



**TOWN OF WINTER PARK
PLANNING COMMISSION
Tuesday, July 26, 2022 8:00 AM**

A G E N D A

- I. **Meeting Call to Order**
- II. **Roll Call of Commission Members**
- III. **Town Hall Meeting** (time for anyone from the public to speak about items not on the agenda)
- IV. **Minutes:** July 12, 2022
- V. **Conflicts of Interest**
- VI. **Action Items:**
 - A. 8:05am PUBLIC HEARING: Special Use Permit Request – 1097 Winter Park Drive – Blackjack Cannabis (PLN22-077)
 - B. 8:25am CONTINUANCE: PUBLIC HEARING: Final Development Plan – Cooper Creek Village, Cooper Creek North, and Cooper Creek South (PLN21-082)
 - C. 9:25am Single-Family Attached Design Review Applications – Unit G1, G2, H1, H2, I1, I2, J1, J2, K1, and K2, Whistlestop Townhomes, Subdivision Exemption No. 3 – 105, 115, 125, 135, 145, 155, 165, 175, 185, 195 Whistlestop Circle (Uphill Units) (PLN21-114, PLN21-116, PLN21-117, PLN21-118, PLN21-119, and PLN21-122)
 - D. 9:35am Minor Site Planning Application – Lot 28, Hideaway Village South Subdivision – 206 Arapahoe Road (PLN22-072)
 - E. 9:40am Minor Site Planning Application – Lot 99-S, Reserve at Lakota Park Subdivision – 213 and 215 Lakota Park Drive (PLN22-075)
 - F. 9:45am Minor Site Planning Application – Lot 99-Q, Reserve at Lakota Park Subdivision – 217 and 219 Lakota Park Drive (PLN22-071)
- VII. **Planning Commission Items for Discussion**
- VIII: **Director's Report**

If members of the public wish to attend the meeting digitally the link is below. The meeting will continue in person regardless of technical difficulties with Zoom.

Times on the agenda are approximate and only intended as a guide for the Planning Commission. Order of agenda items are subject to change.

Computer Log-In Instructions

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/81725744995?pwd=RnVOb2hpVmN1SXBydzFBZEc3NGhGZz09>

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Phone Log-In Instructions

Dial In Numbers

US: +1 669 900 6833 or +1 253 215 8782 or +1 346 248 7799 or +1 929 436 2866 or +1 301 715 8592
or +1 312 626 6799

Webinar ID: 817 2574 4995

Passcode: 113389

International numbers available: <https://us02web.zoom.us/j/81725744995>

You can log into the Zoom meeting through the link above to view what is projected on the screen. You can use either your computer audio or the number above. Everyone will be muted upon entry into the meeting to ensure that we have manageable background noise and limited interruptions.

Public Hearing Process

If you would like to participate in the public hearing, please follow these instructions so we can make sure everyone that wants to speak has the opportunity. When you log into Zoom you will be automatically muted to limit background noise. When the public hearing is opened for public comment, please use the “raise your hand” feature and staff will unmute citizens in the order they were received. To enable “raise your hand” feature, click on the “Participants” button the bottom of the screen.



**TOWN OF WINTER PARK
PLANNING COMMISSION
Tuesday, July 12, 2022 8:00 AM**

MINUTE

- I. **Meeting Call to Order.** The Planning Commission meeting starts at 8:00 am.
- II. **Roll Call of Commission Members.** Roll Call indicated present Chairman Brad Holzwarth, Commissioners Doug Robbins, Angela Sandstrom, Roger Kish, Mike Davlin, and Dave Barker. Staff present includes Community Development Director James Shockey, Town Planner Hugh Bell, and Planning Technician Irene Kilburn. Commissioner Jonathan Larson arrives at 8:07 am.
- III. **Town Hall Meeting** (time for anyone from the public to speak about items not on the agenda). No one comes forward.
- IV. **Minutes:** June 28th, 2022. Commissioner Davlin makes a motion to approve the minutes. Commissioner Sandstrom seconds. The minutes are approved 6, 0. Commissioner Jonathan Larson arrives at 8:07 am after the minutes have been approved.
- V. **Conflicts of Interest.** No one comes forward.
- VI. **Action Items:**
 - A. **TABLED: PUBLIC HEARING:** Final Development Plan – Cooper Creek Village, Cooper Creek North and Cooper Creek South (PLN21-082)

This item was item C on the agenda but it has been moved to the first place since the applicant asked to table this item until next meeting, July 26th, 2022. Director Shockey explains to the public how the process will take place on that date.

Mr. Charlie Johnson comes forward. Mr. Johnson explains to the Planning Commission and the public the reasons behind their request to continue this item on the agenda until July 26th, 2022. The applicant explains that they received staff's comments just a few days ago and they are still addressing them and they need more time to review them.

If someone is not able to attend on July 26th, they can send a letter or attend the meeting via Zoom.

Commissioner Davlin makes a motion to continue the Final Development Plan until July 26th, 2022. Commissioner Robbins seconds. The Final Development Plan is approved to be continued 7, 0.

- B. **Single-Family Detached Minor Site Plan – Lot 105, Lakota Park Subdivision – 203 Lakota Park Drive (PLN22-069)**

Town Planner Hugh Bell begins his presentation.

The Commission ask some questions about the driveway in relation to the site plan. Director Shockey explains the Commission the relation to the adjacent roads. The Commission also ask about the length of the conditions. This has to do with the adoption of the new UDC.

Commissioner Kish makes a motion to approve this Single-Family Detached Minor Site Plan with Staff recommendations. Commissioner Robbins seconds. The Single-Family Detached Minor Site Plan is approved 7, 0.

C. PUBLIC HEARING: Special Use Permit – Pepe Osaka’s (PLN22-058)

Town Planner Hugh Bell begins his presentation regarding this Special Use Permit. Planner Bell goes over the main aspects including a brief background of the application process. All the information has been sent to the Planning Commissioners in the Electronic Packet for their review. Planner Bell points out the new guidelines according to the new UDC. Planner Bell also mentions that they received one comment form the public opposing to the approval of the Special Use Request. Finally, Planner Bell indicates that the Staff is recommending approval with Staff conditions.

The Commission ask about the loss of two parking spaces and how this would affect the neighboring business. The Staff talks about the parking reduction. The Commission have a discussion about the comment received and the parking configuration.

The applicant Mr. Fernan De Leon comes forward. Mr. De Leon explains his arguments to request this Special Use Permit for additional patio seating. He talks about the business hours of the adjacent business. His restaurant opens in the evenings. The Commission and the applicant have a conversation about the possibility of other businesses introducing outdoor seating as well. Mr. De Leon also talks about the advantages of having this temporary outdoor seating. The Staff, the Planning Commission and the applicant talk about the configuration details of the proposed outdoor seating. There is also further discussion about the impact on neighboring businesses. There is also a discussion about some complaints from some of the people who live adjacent to this property in Middle Park Condo Association in a nearby condominium complex.

Commissioner Davlin makes a motion to approve this Special Use Permit with Staff recommendations. Commissioner Larson seconds. The Special Use Permit is approved 7, 0.

D. Subdivision Plat Exemption – Whistlestop Townhomes, Subdivision Exemption No. 4 (PLN22-046).

Director Shockey outlines the staff report.

The applicant, Mr. Jarrod Ashida comes forward. Mr. Ashida does not have a presentation. The Commissioners do not have any questions for Mr. Ashida.

Commissioner Barker makes a motion to approve this Subdivision Plat Exemption with Staff recommendations. Commissioner Davlin seconds. The Subdivision Plat Exemption is approved 7, 0.

VII. Planning Commission Items for Discussion

Director Shockey and the Commission have a conversation about the implementation of the new UDC and the convenience of fixing any discrepancies now to make the process more efficient for all parties involved. Some of the items discussed are landscaping, property line requirements, lot lines, building coverage, and flexibility with regard to those items.

The Commissioners and the Staff have further conversation about the language on the recently adopted UDC.

Finally, the Commissioners and the Staff discuss the Final Development Plan – Cooper Creek Village, Cooper Creek North and Cooper Creek South (PLN21-082) one more time in relation to the public hearing portion and the public notice when the applicant requested to table the item just a few hours prior to the Planning Commission meeting. Director Shockey will consult with the legal team about how to handle these types of situations for the future.

Then, the Commissioners and the Staff talk about the disclosures required for significant development applications.

VIII: Director's Report

Director Shockey informs that there are no items to discuss.

Upon a previously approved motion, the Planning Commission meeting is adjourned at 09:19 am.



MEMO

TO Planning Commission
FROM Hugh Bell, Planner
THRU James Shockey, Community Development Director
DATE July 26, 2022
RE PUBLIC HEARING: Special Use Permit Request – 1097 Winter Park Drive – Blackjack Cannabis (PLN22-077)

Property Owner: LXXTWO, LLC

Applicant: Ray Strickoff on behalf of Blackjack Cannabis, LLC

Location: 1097 Winter Park Drive

Special Use Permit Request:

Request to operate a regulated marijuana business use.

Applicant's Reasons Why the Permit Should Be Granted:

See applicant's application for details.

Applicable Provisions of the Unified Development Code (UDC):

Table 2-B-1-2, *Non-Residential and Mixed Uses by District*, lists "Marijuana-Related Uses" as a Limited Use in the C-1 zone district. § 2-B-3(F)(5), Marijuana Uses, instructs that the standards set out in Title 3, Chapter 7 and Title 7, Chapter 3, sections 19-21, of the Town's Code of Ordinances, shall be referenced. Title 3, Chapter 7 in the Code of Ordinances dictates applications for regulated marijuana businesses shall be processed as Special Use Permits (SUP) so therefore staff is processing this as such.

Title 7 in the Code of Ordinances has since been replaced with the UDC and the above referenced sections for that title no longer exist.

§ 2-B-3(D) Review Criteria Applicable to All Limited and Special Uses:

An application for use approval may be approved if it is demonstrated that:

1. The proposed use in its proposed location will not conflict with the implementation of current adopted plans of the Town.
2. The use is compatible with surrounding land uses and the natural environment, and will not materially detract from the character of the immediate area or negatively affect the anticipated development or redevelopment plans for surrounding land uses.
3. There is no practicable alternative location where the use is permitted by right within the general vicinity of the parcel proposed for development, or, if such a location exists, the proposed location is comparable or more favorable in terms of:
 - a. Providing a needed community service;
 - b. Providing a critical mass of related and mutually supportive land uses that promote quality economic development and opportunity;

- c. Providing a balance of land uses, ensuring that appropriate supporting activities, such as employment, housing, leisure-time, and retail centers are in close proximity to one another; and
- d. Making more efficient use of public infrastructure.

§ 2-B-3(E) Review Criteria Applicable to All Special Uses:

An application for special use permit may be approved if it is demonstrated that:

1. Provisions for hours of operation, parking and loading areas, driveways, lighting, signs, landscaping, buffering, and other site improvements have been provided; and
2. Adequate public services (such as: streets, off-street parking, pedestrian facilities, water, sewer, gas, electricity, police and fire protection) shall be available without the reduction of services to any existing uses.

§ 5-B-8 Public Notice Requirements:

This SUP request has had proper public notification pursuant to § 5-B-8 of the UDC. A Newspaper Publication (PUB) was published in the Middle Park Times on July 14, 2022, providing notification of the meeting and requesting comments. A Surrounding Property Owners Mailing (ML) was sent to property owners within 300' of the property on July 11, 2022. A Property Posting (PO) was posted on July 12, 2022.

Six (6) comments have been received as of July 21, 2022. All comments oppose the request.

Staff Comments:

Background

Blackjack Cannabis requests to operate a retail marijuana business on an existing platted lot (formerly the post office/ski rental shop) in a future unbuilt mixed-use structure. Said mixed-use structure will need to go through the Major Site Planning Application process. UDC, § 5-B-3.

Location

Proposed retail marijuana business is on the ground floor of the proposed structure and adjacent to a proposed restaurant within the same structure.

Design

9 windows are proposed but it is unclear if these will be treated with any frosting or opaqueness; such treatments are not required. There are three (3) points of egress proposed; the customer entrance would face Winter Park Drive. The other two are restricted (Sheet A4.01a) as these are either for emergency egress or solely for employees of the establishment.

Signage will be processed administratively and is limited to 15 sq. ft. Code of Ordinances, § 3-7-11.

Parking

A minimum of 2.7 off-street parking spaces are required as "Retail Sales" uses require one (1) off-street parking space per 500 sq. ft. of gross floor area (1,362 sq. ft./500 sq. ft.). UDC, § 3-H-3-2. Applicant depicts eleven spaces on site plan. Parking will need to be recalculated upon applicant submitting a Major Site Planning Application for any further uses proposed on the property.

Odor Control

Applicant states odor will be mitigated but has not submitted an odor control plan outlining specific measures to do so.

Construction Schedule

Not indicated; this is not a requirement.

Operation

Not indicated.

Staff Recommendation:

Staff recommends the Planning Commission recommend approval to the Town Council with the conditions outlined below, given that the use is appropriate to the context as it will be in an existing commercial area within the C-1 zone district and given the use will promote quality economic development.

1. All required State and Town licenses and/or permits shall be obtained prior to commencement of construction.
2. In accordance with § 5-B-13 of the UDC, the Special Use Permit shall expire one (1) year from the date of its approval if construction is not commenced and being diligently pursued within that time unless an extension is granted.
3. Approval of this Special Use Permit is contingent upon the approval and issuance of any and all applicable State and Town licenses and/or permits.
4. Applicant shall ensure continued compliance at all times with any and all applicable State and Town requirements including those found in Title 3 Chapter 7, Regulated Marijuana Businesses of the Winter Park Town Code, as amended.
5. The Town shall have the right to suspend the Special Use Permit at any time upon investigation of complaints or non-compliance with the conditions of the Special Use Permit.
6. The Special Use Permit is not assignable to any other person or entity.
7. Applicant shall submit an odor mitigation plan to staff for their review.

However, this is a decision for the Commission to make, and the Commission may choose to recommend approval or denial based on the testimony and evidence it hears. Two sample motions are included below for convenience only. They do not limit the evidence the Commission can rely on or the decision the Commission makes.

Sample Motion Recommending Approval:

I move to recommend approval of the SUP with conditions to Town Council based on... *[walk through factors 1-3]* finding the applicant meets all three criteria required by the UDC, § 2-B-3(D) and (E) in that:

1. The proposed use in its proposed location will not conflict with the implementation of current adopted plans of the Town because ***[insert explanation supported by the evidence here];***
2. The use is compatible with surrounding land uses and the natural environment, and will not materially detract from the character of the immediate area or negatively affect the anticipated development or redevelopment plans for surrounding land uses because ***[insert explanation supported by the evidence here]; and***
3. There is no practicable alternative location where the use is permitted by right within the general vicinity of the parcel proposed for development, or, if such a location exists, the proposed location is comparable or more favorable in terms of:

- a. Providing a needed community service;
- b. Providing a critical mass of related and mutually supportive land uses that promote quality economic development and opportunity;
- c. Providing a balance of land uses, ensuring that appropriate supporting activities, such as employment, housing, leisure-time, and retail centers are in close proximity to one another; and
- d. Making more efficient use of public infrastructure because ***[insert explanation supported by the evidence here]***.

Sample Motion Recommending Denial:

I move to recommend denial of the SUP to Town Council based on... *[walk through factors 1-3]*, finding the applicant has failed to meet all three criteria required by the UDC, § 2-B-3(D) and (E) in that:

1. The proposed use in its proposed location will conflict with the implementation of current adopted plans of the Town because ***[insert explanation supported by the evidence here]***;
2. The use is incompatible with surrounding land uses and the natural environment, and will materially detract from the character of the immediate area or negatively affect the anticipated development or redevelopment plans for surrounding land uses because ***[insert explanation supported by the evidence here]***; and
3. There is a practicable alternative location where the use is permitted by right within the general vicinity of the parcel proposed for development, or, if such a location exists, the proposed location is incomparable or less favorable in terms of:
 - a. Providing a needed community service;
 - b. Providing a critical mass of related and mutually supportive land uses that promote quality economic development and opportunity;
 - c. Providing a balance of land uses, ensuring that appropriate supporting activities, such as employment, housing, leisure-time, and retail centers are in close proximity to one another; and
 - d. Making more efficient use of public infrastructure because ***[insert explanation supported by the evidence here]***.



**PUBLIC NOTICE
TOWN OF WINTER PARK
SPECIAL USE PERMIT REQUEST**

Applicant: BlackJack Cannabis LLC

Property Owner: LXXTWO, LLC

Applicant's Mailing Address: 3900 East Mexico Avenue, Suite 300, Denver, CO, 80210

Street Address of Properties for Which the Special Use Permit is Requested: 1097 Winter Park Drive, Suite B

Zone District of Properties for Which the Special Use Permit is Requested: C-1 (Limited Commercial)

Legal Description of Properties for Which the Special Use Permit is Requested: Lot A, Block 3, Winter Park Village Subdivision (Reception No. 90263)

Description of Request: Request to operate a "Marijuana-related Use," i.e., a regulated marijuana business use.

Applicable Provisions of the Unified Development Code (UDC):

In § 2-B-3, Marijuana Uses are listed as a Special Use in the C-1 zone district.

The Town Council will review this case and render a decision under § 5-B-3 of the UDC.

Property Posted On: July 11, 2022

Additional information is available at this link: <https://wpgov.com/current-development-projects/>

A Public Meeting at Winter Park Town Hall, 50 Vasquez Road is scheduled for:

Planning Commission: Tuesday, July 26, 2022, at 8:00 A.M.

Town Council: Tuesday, August 2, 2022, at 5:30 P.M.

Members of the public wishing to make comment regarding the special use permit request may do so at the scheduled meeting, or write to Hugh Bell, Planner, Town of Winter Park, P.O. Box 3327, Winter Park, CO 80482, or hbelle@wpgov.com.

The meeting will be broadcast via Zoom and public comment can be made by those attending. If there are technical difficulties with Zoom, public comment via Zoom will not be available and the meeting will continue in person.



TOWN OF WINTER PARK
PLANNING & ZONING COMMISSION
APPLICATION FOR SPECIAL USE PERMIT

APPLICANT: BlackJack Cannabis LLC

MAILING ADDRESS: 3900 E Mexico Avenue, Suite 300
Denver, CO 80210

PHONE: (720) 985-9984 FAX:

EVENT DAY(S) CONTACT: Trevor McGarvey

CELL PHONE NUMBER: (720) 343-9896

PROPERTY OWNER: LXXTWO, LLC

ADDRESS: 3725 Rocky View Place
Castle Rock, CO 80108

STREET ADDRESS OF PROPERTY FOR SPECIAL USE: 1097 Winter Park Drive, Suite B,
Winter Park, Colorado 80482

LEGAL DESCRIPTION OF PROPERTY: Legal Summary Subd: WINTER PARK VILLAGE
Lot: A Block: 3

EVENT DATE(S): Continuous/Public hearing date TBD

DETAILED DESCRIPTION OF SPECIAL USE REQUESTED: A regulated marijuana business
(Ord. 423, Series of 2009; amd. Ord. 537, Series of 2020; Ord. 559, Series of 2021)
is the commercial use proposed at the property, which requires the Special Use Permit.
In accordance with all State and Town regulations, the business will engage in the retail
sale of regulated marijuana products. See building plans and elevations for site/floor plans.

REASONS WHY THIS SPECIAL USE SHOULD BE GRANTED: The Applicant has complied with all
requirements set forth in the Town Code to apply for and operate a licensed regulated marijuana
business within Town limits. The Applicant has demonstrated to be able to operate such a business
and has submitted all required items with its Special Use Permit application. The Applicant has proven
a need in the neighborhood from adult inhabitants and compatibility with surrounding uses.

The applicant agrees that if this request is granted, he will proceed with its implementation in
accordance with the provisions of Section 7, Chapter 9, Special Use Permit Procedures, of the
Winter Park Town Code, a copy of which applicant has received and read. The applicant further
affirms that he is able from financial, legal and physical basis to satisfy all requirements associated
with this request. Applicant must be present at the Planning & Zoning Commission
hearing or the application will not be heard.

[Signature]
Applicant's Signature

3/31/2022
Date

For Office Use Only
Date Received Received By

\$150 Fee Received

Applicant will also be invoiced for cost of Legal Notice publication
and adjoining property owner certified mailing.

Description of the Proposed Use and Vicinity Compatibility



7-9-2: APPLICATION FOR SPECIAL USE PERMIT:

A special use permit application shall be prepared on a form provided by the planning department. In addition to the application, the following information is required:

B. A description of the precise nature of the proposed use and its operating characteristics and measures proposed to make the use compatible with other properties in the vicinity.

Applicant: BlackJack Cannabis LLC

Location: 1097 Winter Park Drive, Suite B, Winter Park, CO 80482

Retail Marijuana Zoning: Old Town

Compatibility

The retail store will be compatible with surrounding uses and development:

- Located in an intensive mixed use residential and commercial area.
- New attractive commercial building designed in accordance with Town design standards.
- Retail presence is appropriate along Winter Park Drive
- Attractive landscape presentation on property
- Sufficient buffer between adjacent properties
- Conservative and attractive sign.
- No depiction of marijuana leaf on advertising.
- Located in the Retail Marijuana Zoning established by the Town

Description of the Proposed Use and Vicinity Compatibility

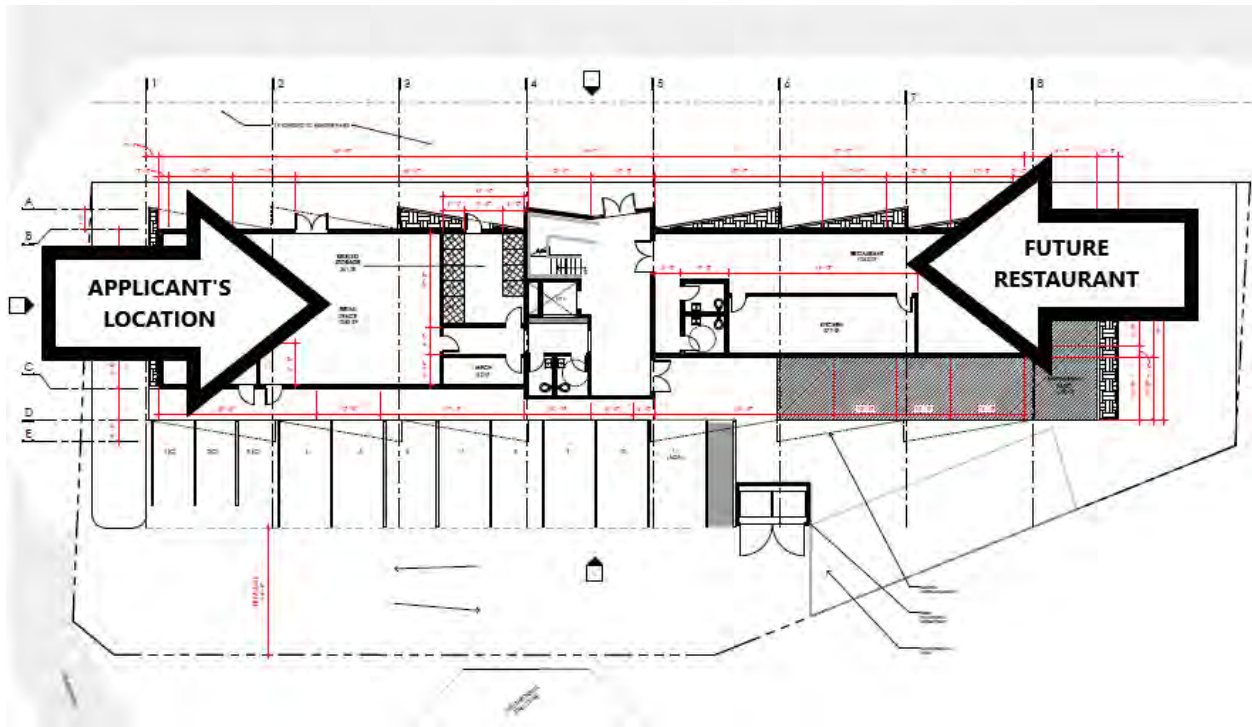


Additional Compatibility

The retail development boasts additional features of compatibility:

- Retail location provides incredibly convenient location in the Old Town region for tourists and locals alike.
- Mechanical conditioning to mitigate odor – extensive activated carbon filtration units – 3x more air cleansing capacity than required for powerful odor mitigation.
- Odor is not a problem for other retail stores in Colorado that have much less robust air cleansing capabilities than the Applicant's proposed odor mitigation plan.
- State of the art security, fire and carbon monoxide systems.

Description of the Proposed Use and Vicinity Compatibility

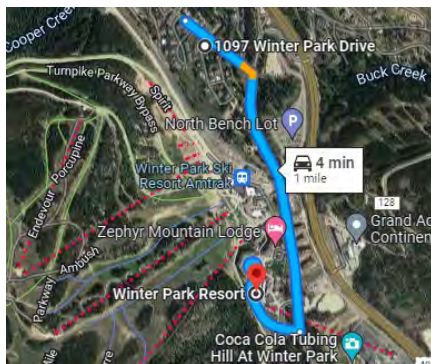


Surrounding Uses

The proposed regulated marijuana business is compatible with surrounding uses such as:



- New restaurant to the east - 30 feet from the Applicant's proposed licensed premises.
- Ski rental shop to the north – 75 feet from the Applicant's property.



- Winter Park ski resort nearby.
- Lodging in proximity to Applicant.

Description of the Proposed Use and Vicinity Compatibility

Additional Parking Availability

The proposed regulated marijuana business is located only 415 feet away from Old Town parking lot:



Minimized Impacts

Store impacts will be minimized

- Odor control/mitigation.
- No traffic impacts with great levels of service on surrounding roads.
- More than adequate parking is provided compared to number of spaces required.
- Expecting to provide additional angle parking in the front with 15-minute time limit, if approved by the Town.

Consistency with Code Purposes

Store is consistent with the general purpose and intent of the Town Code:

- Store protects the public health, safety and welfare.
- Promotes orderly, efficient and integrated development within the town.
- Use specific standards ensure no adverse impacts.
- Store meets the applicable requirements of the Town Code and, specifically, the Special Use Permit requirements.
- Natural hazards have been mitigated with overall development.

Description of the Proposed Use and Vicinity Compatibility



Compliance with Applicable Development Code Standards

- Store meets applicable Development Code standards.
- Use Specific Standards
- License application has been submitted.
- Buffer requirement has been met to nearest marijuana store or any other sensitive use.
- Zone District allows the use.
- Will comply with the operational requirements for procurement, display, dispensing, labeling, packaging, customer ID screening, storage, transportation, sanitation, security and all other local and state requirements.
- Hours of operation.
- Sign permit for building mounted signage.
- Storage area met.
- Odor mitigation

Additional Development Code Standards Met by Applicant

- Other Development Code requirements
- Dimensional standards.
- Drainage (see survey submitted).
- Roads and Traffic.
- Civil engineering design requirements.
- Building structural engineering; other geotechnical hazards were addressed by the Town code.

Description of the Proposed Use and Vicinity Compatibility

General Conformance with Town’s Comprehensive Goals



- Commercial development envisioned by the Town’s Land Use Code.
- The Mixed-use land use designation allows for a variety of uses including commercial, retail, office, restaurant, entertainment and multi-family housing co-existing through design either in a horizontal or vertical fashion.
- Scale of the development helps maintain small town character in an intensive mixed-use neighborhood.
- Walkable retail destination – reduces traffic travelling outside of Old Town for marijuana products.
- Retail store provides for more synergy for the development as a complimentary use to the restaurant opening next door on the same parcel.
- Attractive storefront development.
- Store will enhance development as a regional retail center.

The Applicant’s retail store integrates with the Town’s multi-modal transportation system – sidewalks and pedestrian connectivity to the development; bus stop directly in front; great roads; bicycle access; and more than required parking.

Economic development: create an opportunity for new, well livable wages for 8-10 people.

Summary

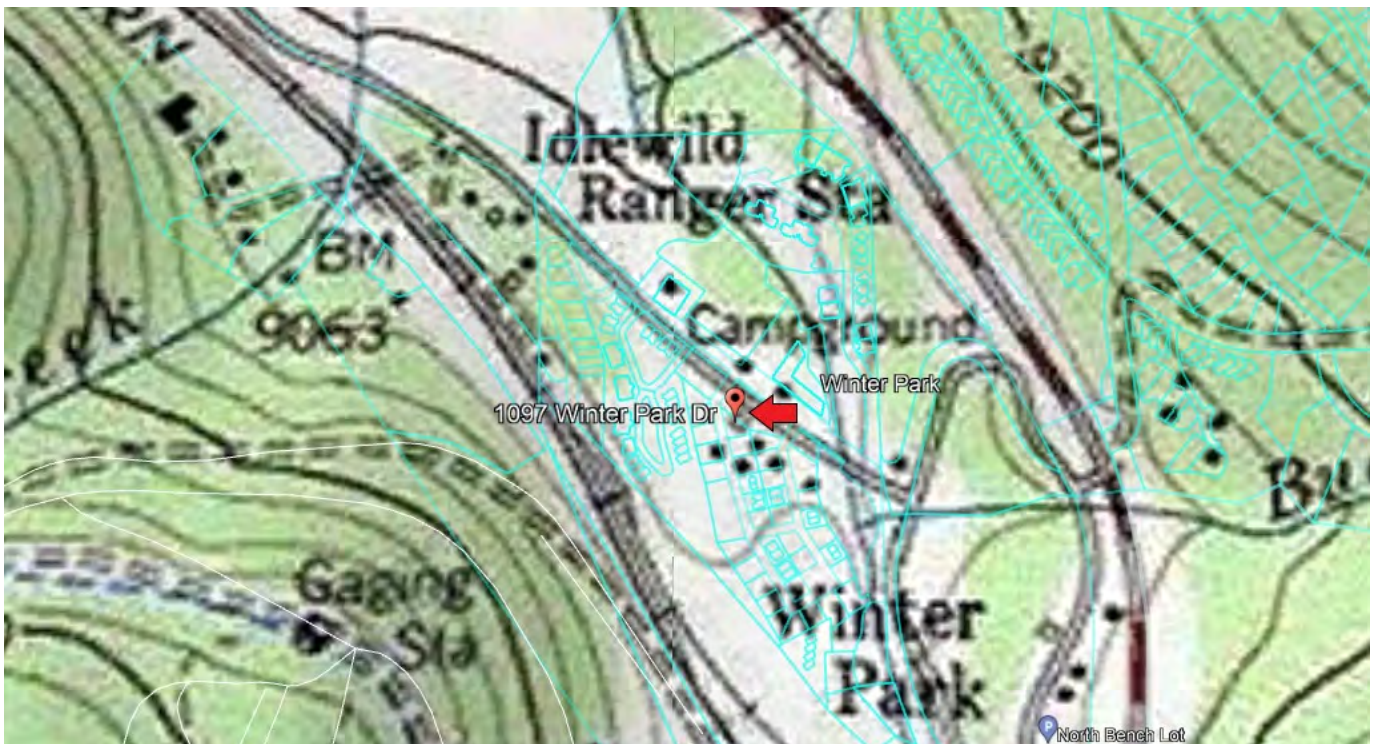
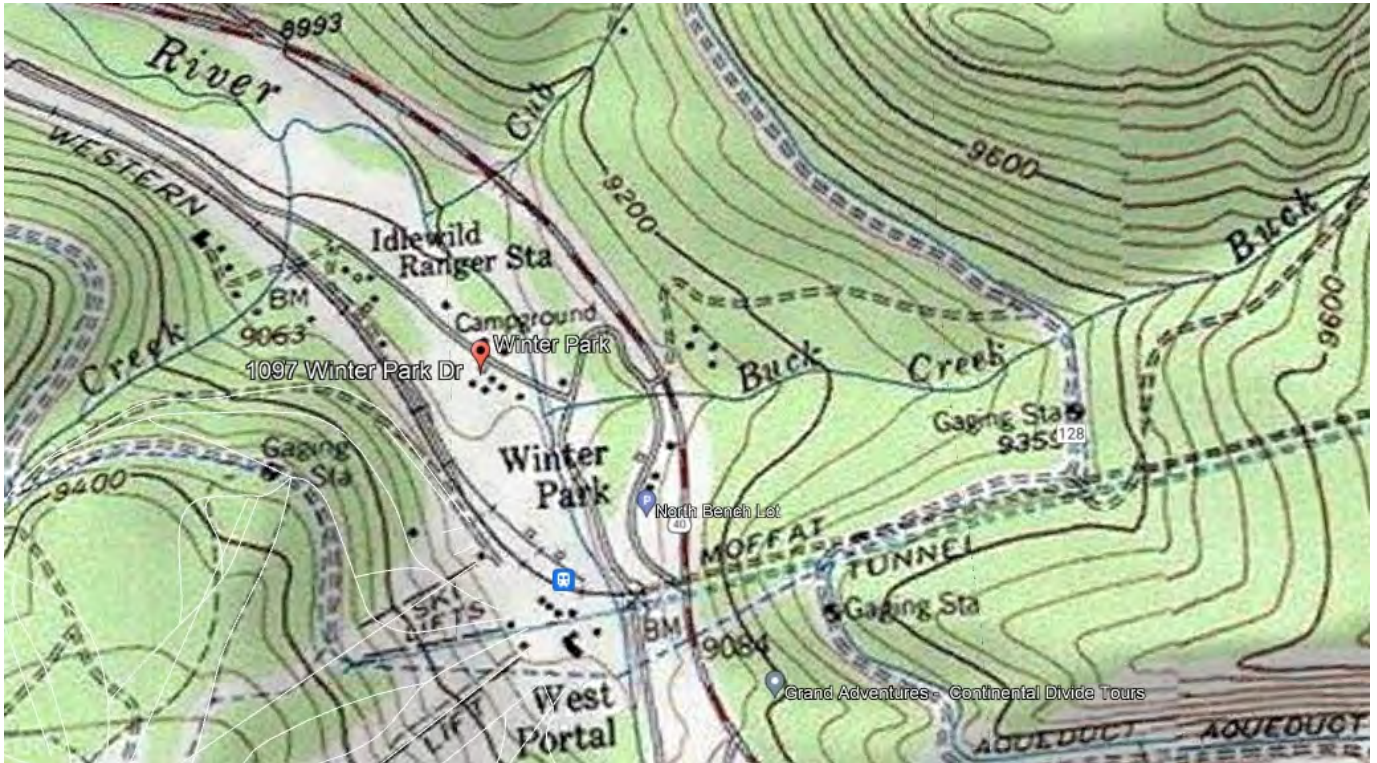
- a. Promote long-term, sustainable, diverse, economic development
- b. Maintain Winter Park as a regional provider for tourism, retail, and commercial services
- c. Preserve small town character while maintaining the livability of Old Town Winter Park and increasing the vibrancy and commercial success of the Old Town area, especially along the main road of Winter Park Drive.
- d. Addresses transportation and provide multiple convenient travel choices.
- e. Direct development to locations and building forms that are cost effective to serve.
- f. Support social diversity.
- g. Preserve natural resources.

Site Map

Topography Overview

Applicant: BlackJack Cannabis LLC

Location: 1097 Winter Park Drive, Winter Park, CO 80482





ROTH
SHEPPARD

WINTER PARK - OLD TOWN LOT

FLOOR PLAN TEST FIT & CONCEPT RENDERINGS

ARCHITECT:



ROTH SHEPPARD ARCHITECTS
1900 WAZEE STREET, SUITE 100 | DENVER, COLORADO 80202
T.303.534.7007 F.303.534.7722 | www.rothsheppard.com

CONSULTANT:



WINTER PARK - OLD TOWN LOT

1097 Winter Park Drive
Winter Park, CO 80482
PROJECT: 2128

ISSUANCE: DATE:

STAMP:

NOT FOR CONSTRUCTION
FOR REFERENCE ONLY

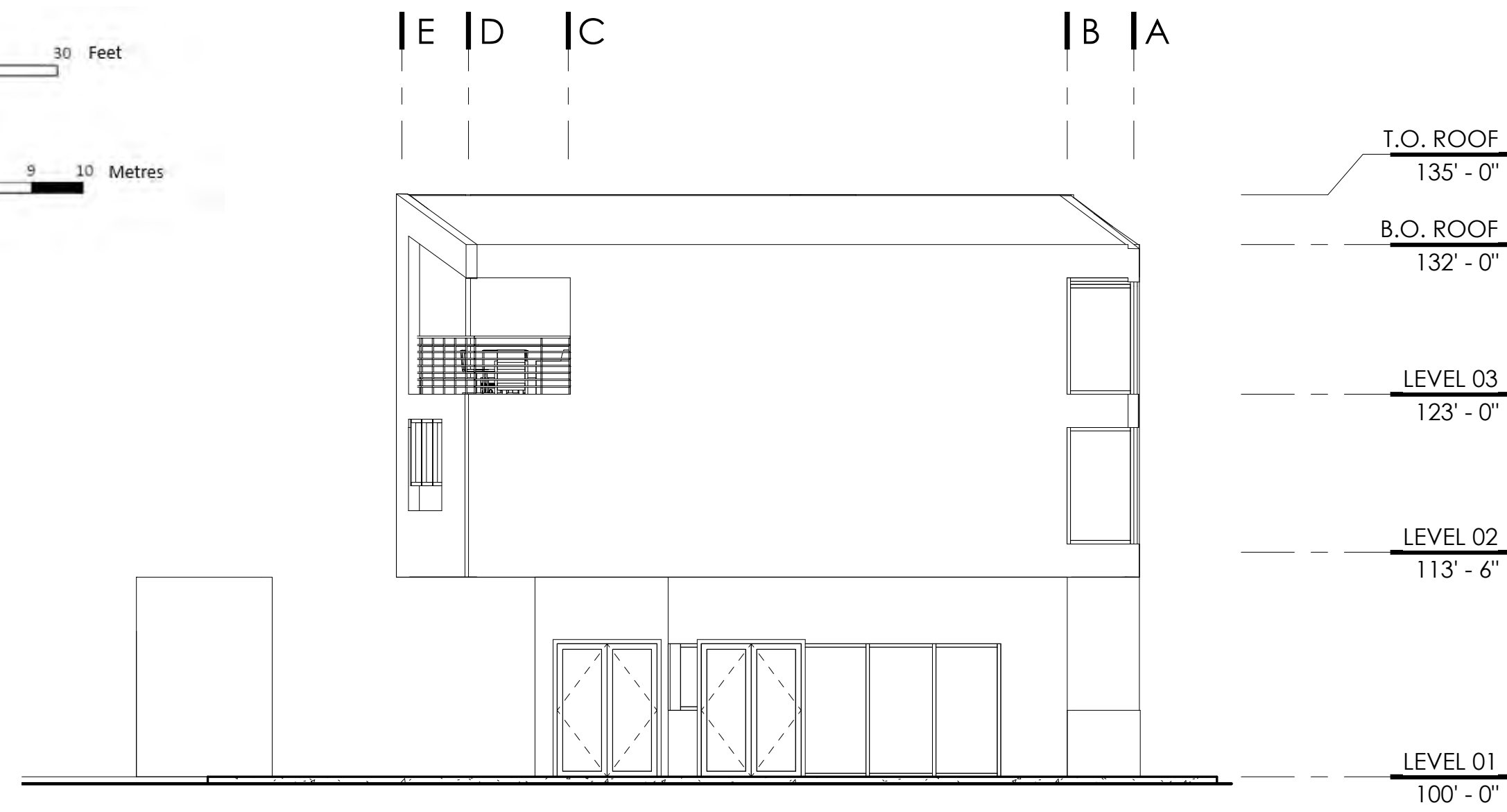
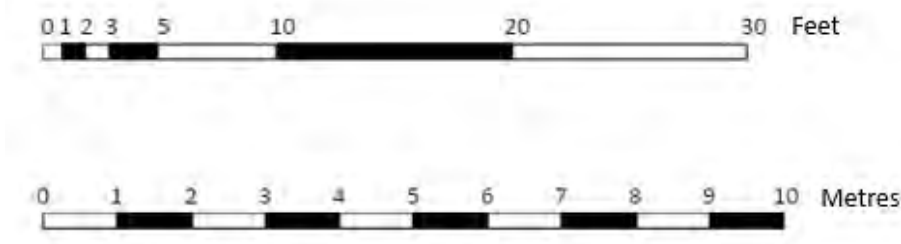
DRAWING TITLE:
OVERALL FLOOR PLAN - LEVEL 01

SHEET NUMBER:
A1.01

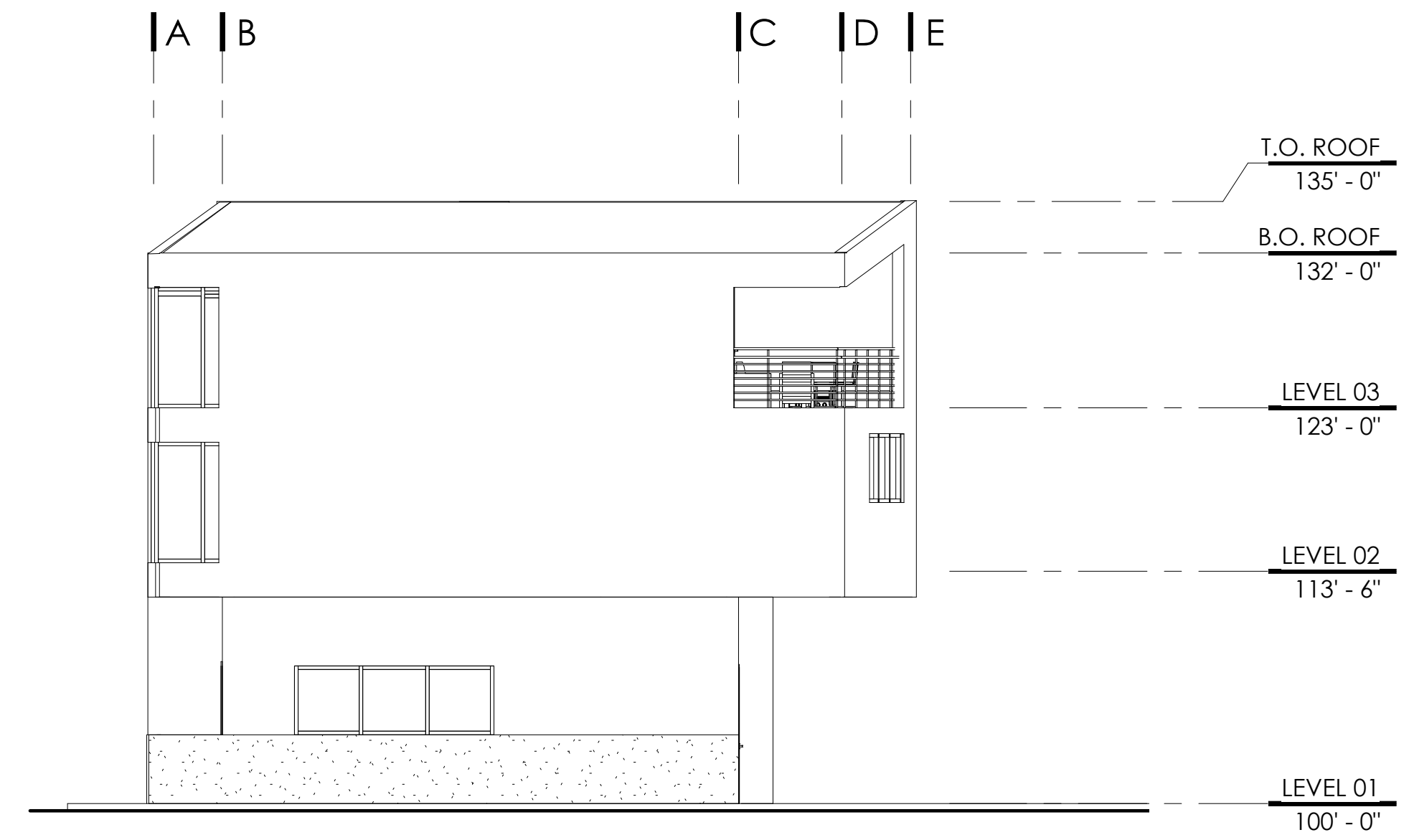
1 OVERALL FLOOR PLAN - LEVEL 01
A1.01 SCALE: 1/8" = 1'-0"

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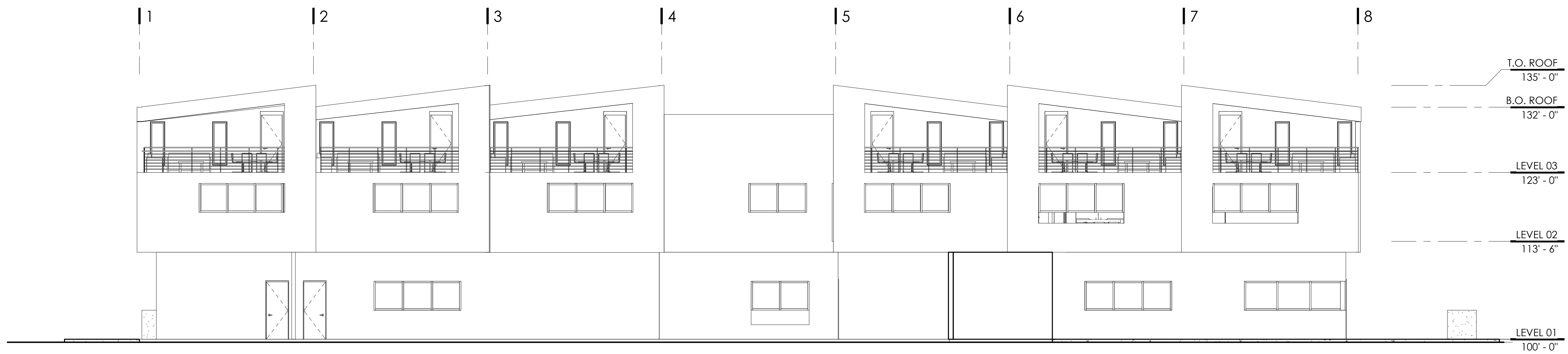
4 EXTERIOR ELEVATION - EAST
A2.01 SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION - WEST
A2.01 SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION - NORTH
A2.01 SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION - SOUTH
A2.01 SCALE: 1/8" = 1'-0"

ARCHITECT:

ROTH SHEPPARD

ROTH SHEPPARD ARCHITECTS LLC
1900 WAZEE STREET, SUITE 100 | DENVER, COLORADO 80202
T.303.534.7007 F.303.534.7722 | www.rothsheppard.com

CONSULTANT:

WINTER PARK - OLD TOWN LOT

1097 Winter Park Drive
Winter Park, CO 80482
PROJECT: 2128

ISSUANCE:

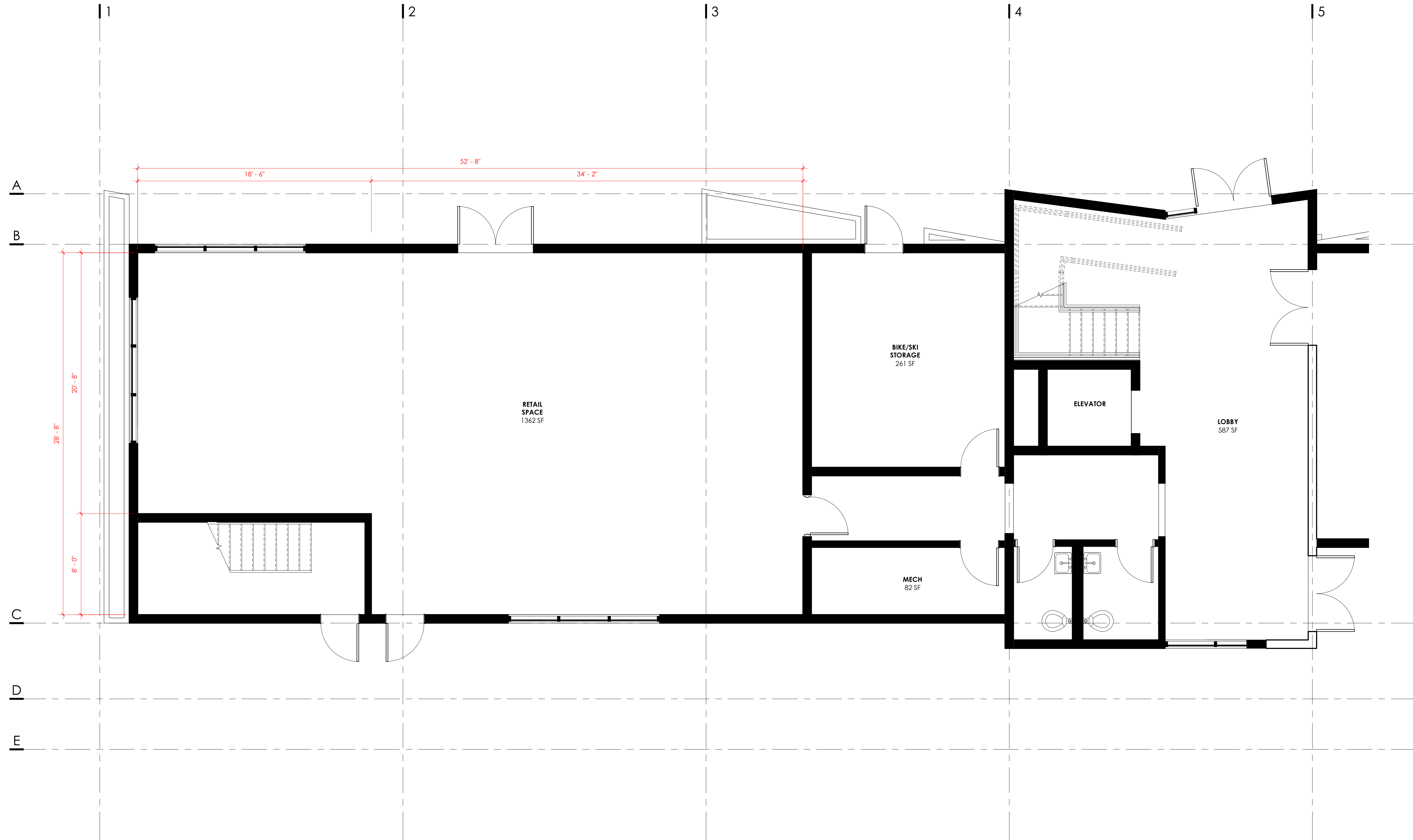
DATE:

STAMP:

NOT FOR CONSTRUCTION FOR REFERENCE ONLY

DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NUMBER:
A2.01



1 ENLARGED PLAN - RETAIL & LOBBY LEVEL 01
 A4.01 SCALE: 1/4" = 1'-0"

ARCHITECT:



ROTH SHEPPARD ARCHITECTS
 1900 WAZEE STREET, SUITE 100 | DENVER, COLORADO 80202
 T: 303.534.7007 F: 303.534.7722 | www.rothsheppard.com

CONSULTANT:

WINTER PARK - OLD TOWN LOT

1097 Winter Park Drive
 Winter Park, CO 80482
 PROJECT: 2128

ISSUANCE:

DATE:

STAMP:

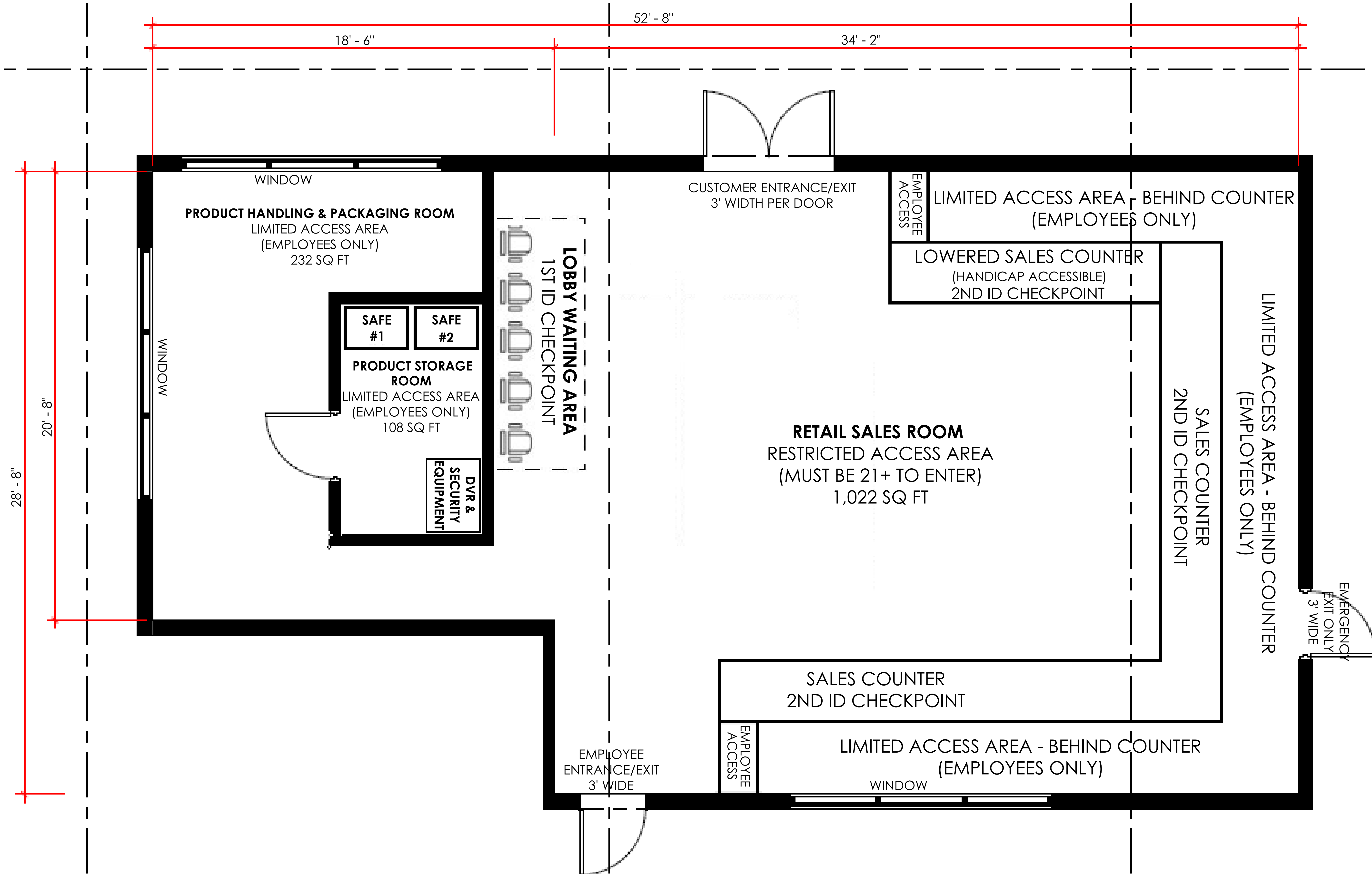
NOT FOR
 CONSTRUCTION
 FOR REFERENCE ONLY

DRAWING TITLE:

ENLARGED FLOOR PLANS

SHEET NUMBER:

A4.01



WINTER PARK - OLD TOWN LOT

1097 Winter Park Drive
Winter Park, CO 80482

NOTES:

TOTAL SQUARE FOOTAGE = 1,362

- MEASUREMENTS ARE IN FEET
- INTERNAL WALLS ARE 6 INCHES IN WIDTH
- EXTERNAL WALLS ARE 12 INCHES IN WIDTH

STAMP:

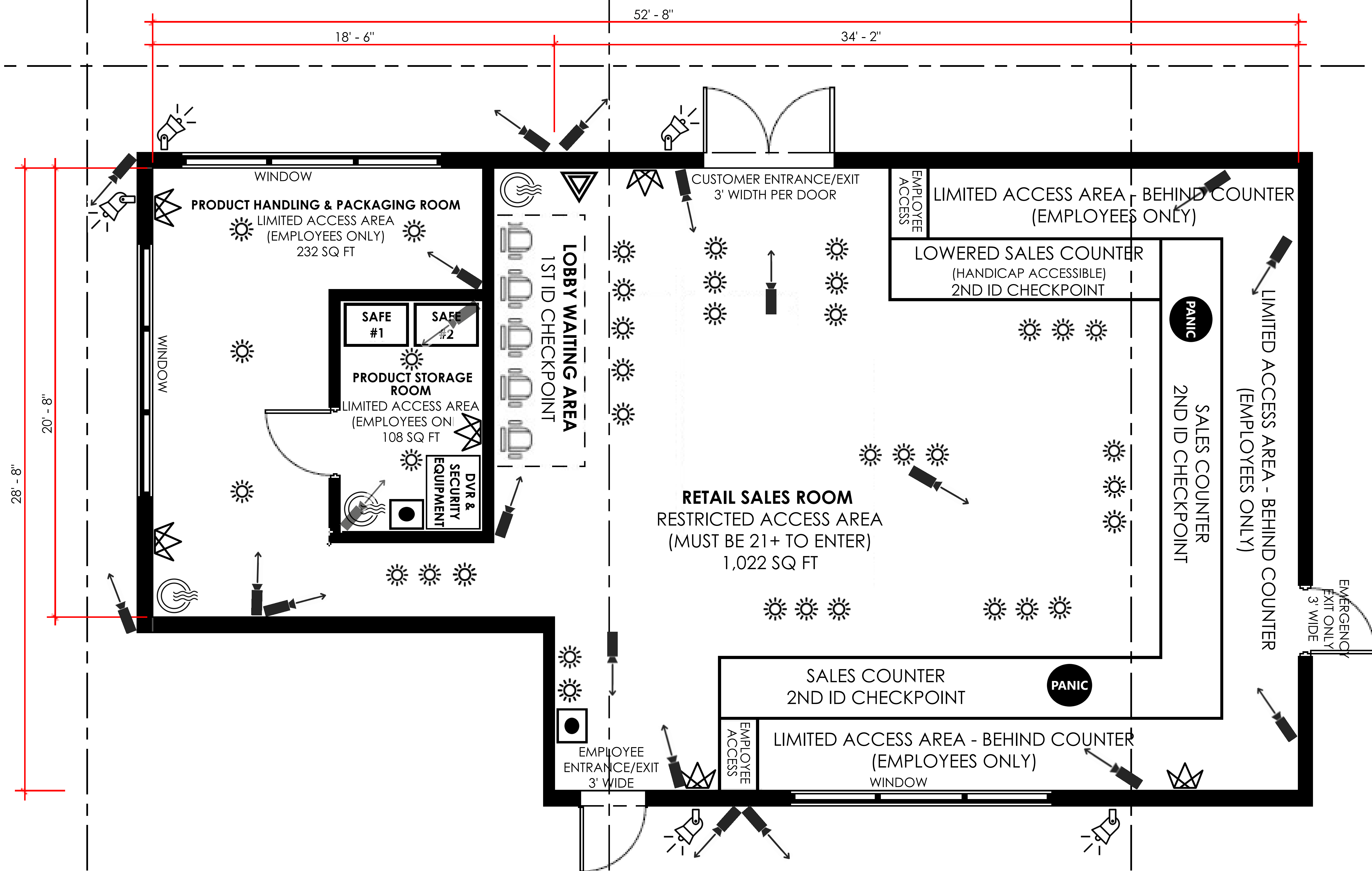
DRAWING TITLE:

FLOOR PLANS FOR
BLACKJACK CANNABIS LLC









SHEET NUMBER:

A4.01a

1 FLOOR PLAN - LICENSED PREMISES
A4.01 SCALE: 1/4" = 1'-0"



LEGEND:

-  SECURITY CAMERAS
15 INTERNAL / 6 EXTERNAL
-  ALARM KEY PADS
2 PADS, SEPARATE CODES
-  MOTION DETECTORS
6 UNITS
-  EMERGENCY PANIC BUTTONS
2 UNITS (AUTOMATICALLY CALLS POLICE)
-  POSTED LICENSE LOCATION
-  MOTION DETECTION AFTER-HOURS SECURITY LIGHTS
4 UNITS (DARK SKY COMPLIANT)
-  ACTIVATED CARBON AIR FILTRATION
3 UNITS (ODOR MITIGATION)
-  LIGHT FIXTURES

WINTER PARK - OLD TOWN LOT
1097 Winter Park Drive
Winter Park, CO 80482

NOTES:

TOTAL SQUARE FOOTAGE = 1,362

- MEASUREMENTS ARE IN FEET
- INTERNAL WALLS ARE 6 INCHES IN WIDTH
- EXTERNAL WALLS ARE 12 INCHES IN WIDTH

STAMP:

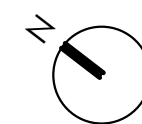
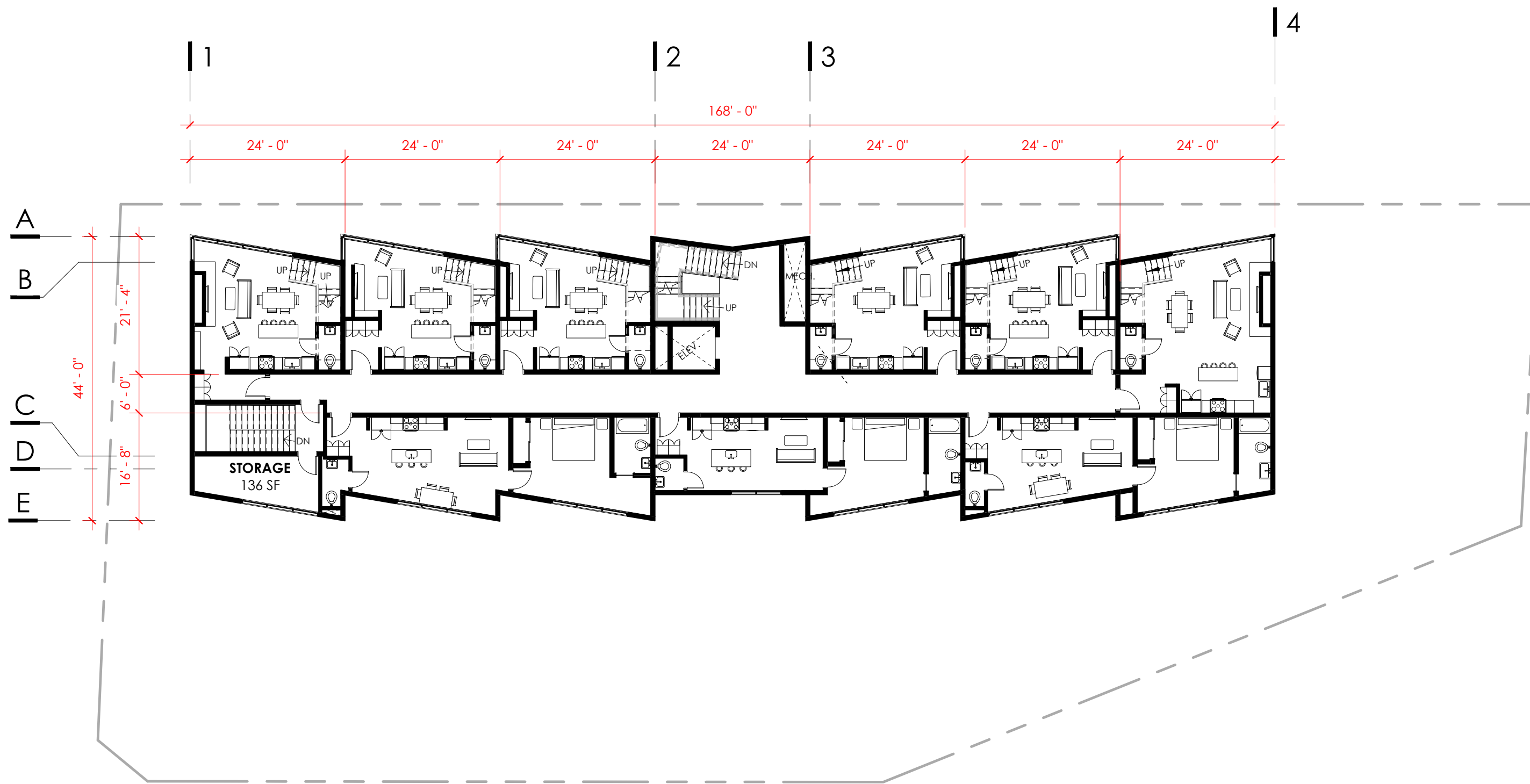
DRAWING TITLE:

FLOOR PLANS FOR
BLACKJACK CANNABIS LLC

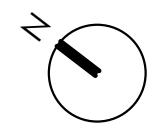
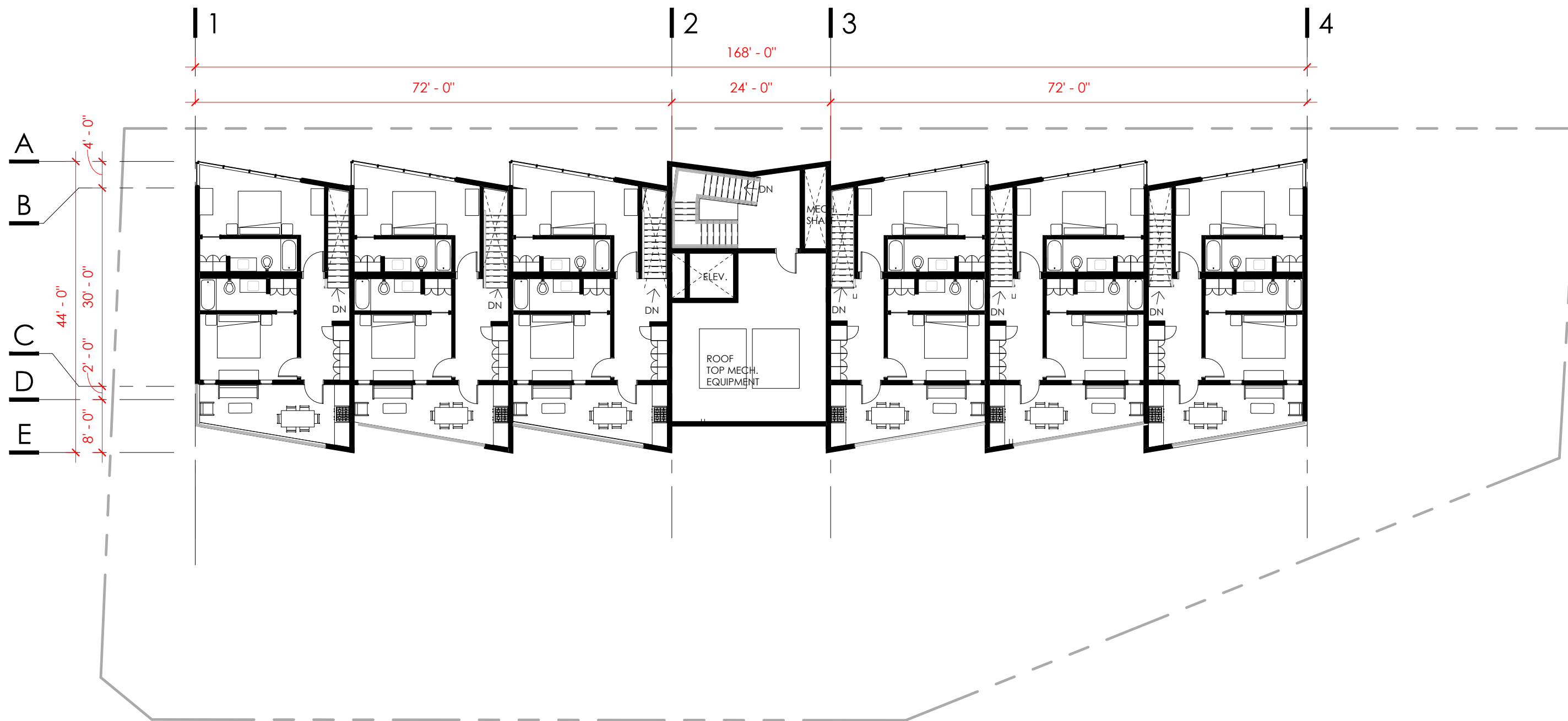
SHEET NUMBER:

A4.01b

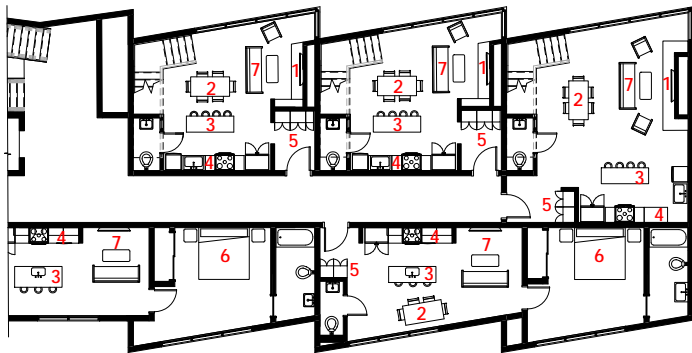
1 FLOOR PLAN - SECURITY/SURVEILLANCE
A4.01 SCALE: 1/4" = 1'-0"



1 OVERALL FLOOR PLAN - LEVEL 02
 PR.02 SCALE: 1/16" = 1'-0"

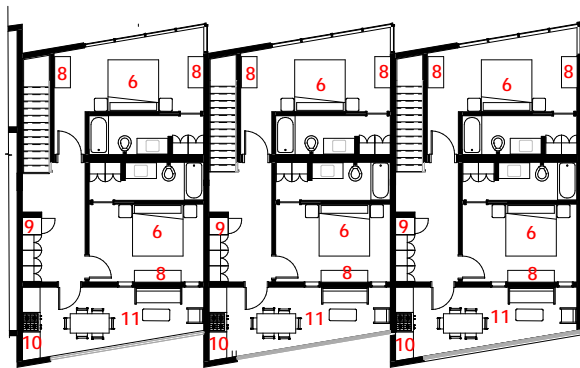


1 OVERALL FLOOR PLAN LEVEL 03
 PR.03 SCALE: 1/16" = 1'-0"



1. FIREPLACE & HEARTH
2. DINING TABLE
3. KITCHEN ISLAND
4. KITCHENETTE W/ STOVE, DW & SINK
5. MUDROOM STORAGE
6. KING BED AND SIDE TABLES
7. LIVING ROOM COUCH AND TV
8. DRESSER
9. WASHER/DRYER
10. GRILLE
11. DECK FURNITURE.

LEVEL 02 - ENLARGED PLANS



1. FIREPLACE & HEARTH
2. DINING TABLE
3. KITCHEN ISLAND
4. KITCHENETTE W/ STOVE, DW & SINK
5. MUDROOM STORAGE
6. KING BED AND SIDE TABLES
7. LIVING ROOM COUCH AND TV
8. DRESSER
9. WASHER/DRYER
10. GRILLE
11. DECK FURNITURE.



STREET ELEVATION



NORTHEAST CORNER



SOUTHEAST CORNER



REAR ELEVATION



NORTHWEST CORNER



NORTHWEST CORNER



PEDESTRIAN APPROACH



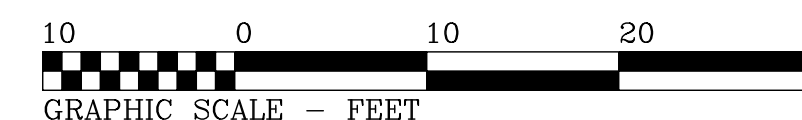
COVERED PATIO

IMPROVEMENT SURVEY PLAT

Winter Park Village, Block 3. Lot A

Town of Winter Park, Grand County, Colorado

Part of Homestead Entry Survey No. 117
Township 2 South, Range 75 West of the 6th P.M.



BASIS OF BEARINGS: Assumed S13°01'33"E, along the west boundary of Lot 11, Block 3, between monuments shown, derived with GPS/RTK.

KEY:

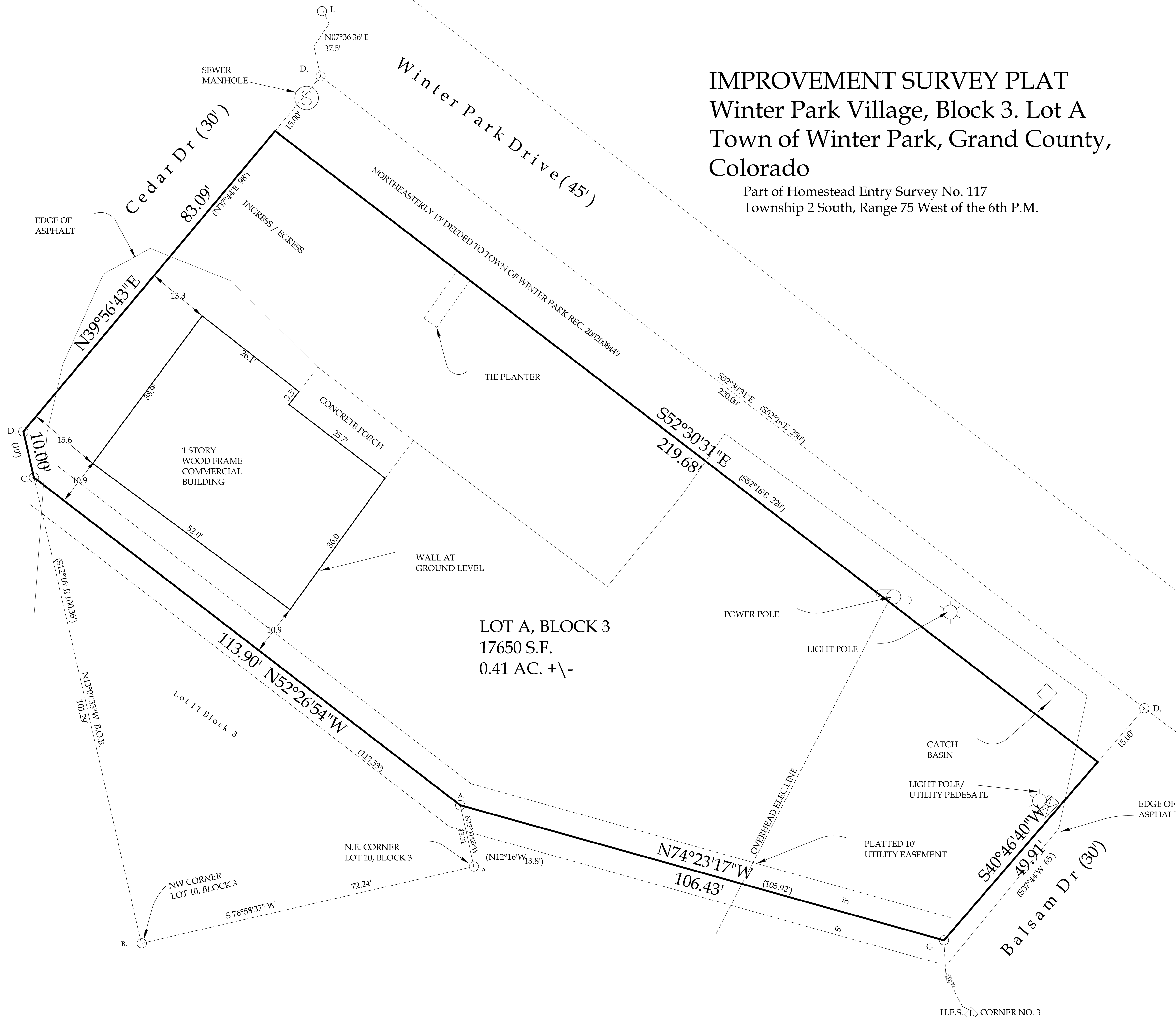
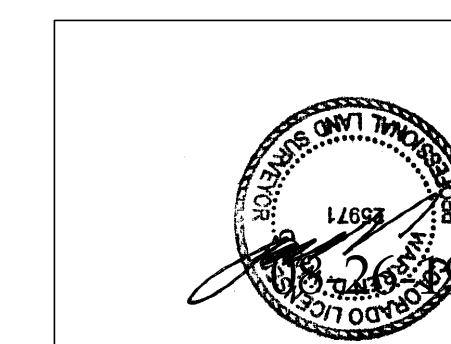
- A. - FOUND ALUMINUM CAPPED REBAR STAMPED PLS 2690, DISTURBED, REPLACED AND UPGRADED WITH ALUMINUM CAPPED, 1/2" REBAR STAMPED PLS 25971.
- B. - FOUND ALUMINUM CAPPED, 1/2" REBAR STAMPED PLS 25971.
- C. - FOUND ALUMINUM CAPPED, 3/8" REBAR STAMPED PLS 31942.
- D. - SET BRASS TAG STAMPED PLS 25971 IN ASPHALT.
- () - DENOTES RECORD PLAT DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY.
- F. - EXTANT PLS CORNER NOTED, FOUND 3" DMWW BRASS CAP.
- G. - FOUND 3/8" REBAR, APPARENT ORIGINAL MONUMENT.
- H. - FOUND PLASTIC CAPPED, 1/2" REBAR STAMPED PLS 25971.
- I. - FOUND 3/4" REBAR, APPARENTLY SET BY PLS 35586 FOR "ADOLF'S PARCEL SURVEY, DEPOSITED UNDER LS 2174, COUNTY SURVEYOR INDEX".

NOTICE:

1. For question of title, and to obtain a list of record easements possibly affecting this property, reference to a title insurance policy is recommended.
2. Wetlands are not addressed.
3. Buried utilities are not shown or located.
4. Parts of the paved surface of Cedar and Balsam Drive encroach onto Lot A.
5. This document is certified as a single, complete object. Any alteration made to this document, in any manner, by any person, supercedes and invalidates all previous information and certifications.

This improvement survey plat was produced for Herbert Fox, shows the result of a field survey done by me or under my responsible charge based on facts known to me, complies with applicable statutes, and is not a warranty or guarantee, either expressed or implied.

ww ward surveyor



LOT A, BLOCK 3
17650 S.F.
0.41 AC. +/-

Rocky Mountain Surveys, Inc
P.O. BOX 552 WINTER PARK CO 80482
PHONE 970-531-1120 FAX 800-725-2734

IMPROVEMENT SURVEY PLAT
Winter Park Village, Block 3. Lot A,
Town of Winter Park, Grand County,
Colorado

DATE: 08-26-19
SCALE: 1 in = 10 usft BY: ww JOB: 299003AW

design guidelines

3.1.7 Environment: Landscaping Standards

Trees

1



Shrubs

2



Grasses

3



Perennials

4



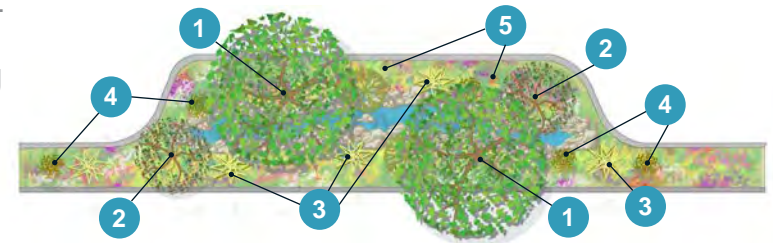
Annuals

5

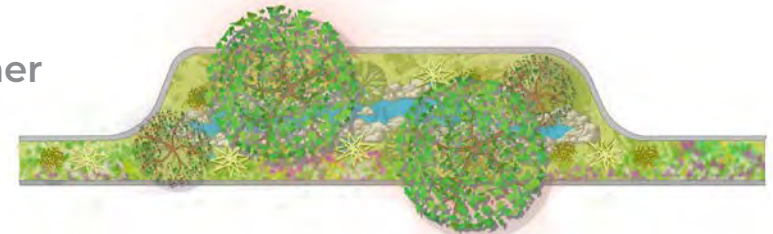


Seasonal planting is important in an alpine environment. Bright annuals and perennials look great for the summer season. Whereas, shrubs and grasses give form to planter beds and streetscapes through the winter months. Using bright, flowering native species will help to mirror the wildflower habitat in the nearby alpine environment and encourage pollinator development. Suggested plant species include: golden-beard penstemon, common juniper, big bluestem grass, and scented-leaved geranium.

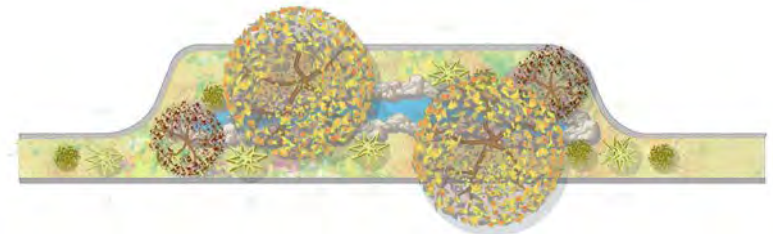
Spring



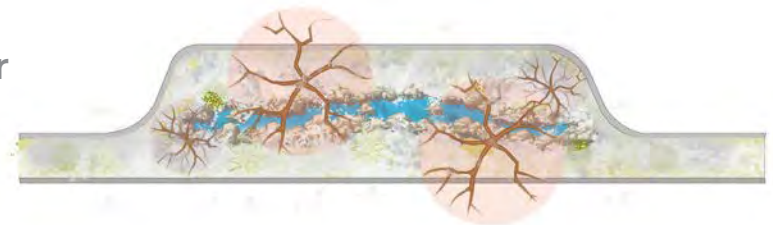
Summer



Fall



Winter



Rocky Mountain Inspiration



design guidelines

Plants and trees are the defining characteristic of many great streets. They give form and structure to the streetscape, while promoting a lively and engaging character.

Street trees can make a wide street more comfortable for pedestrians and cyclists by creating a canopy over the sidewalk. Providing consistent tree plantings along an automotive corridor visually narrows the street for drivers, encouraging slower driving. Trees also manage stormwater, reduce heat island effects, and bring the beauty of nature into the heart of Downtown.

When selecting tree and plant species, native species should be prioritized and root growth impact on sidewalks considered. To limit sidewalk damage from root growth, root shields or barriers can be installed in tree wells or planting strips.

The current Town Landscape Design Regulations and Guidelines recommend the following regarding plant species and their locations that should be taken into consideration along Main Street:

1. A variety of plant materials is encouraged, but given that Winter Park's alpine environment permits a limited range of plants to survive, a palette of evergreen trees, deciduous trees, evergreen shrubs, deciduous shrubs, and ground covers is recommended.
2. Current guidelines say deciduous trees and evergreen trees should be planted 5' and 10'

respectively from the edge of the pavement. This plan recommends to follow this guideline as best as possible, but to reduce the 10' guideline for evergreen trees in manner that will not cause shading or icing in order to more easily reach the requirement that at least twenty percent of trees and shrubs used should be evergreen.

3. Native trees and shrubs should be clustered in informal masses to mimic the natural environment. *This should especially be done in the Southern Gateway District.*
4. Ground cover in snow management areas shall be used so that visible cobble and/or mulch covers less than fifty percent within three years of installation.

Additionally, the CDOT Landscape Architecture Manual (2014) provides guidelines for planting along highways:

1. In Main Street locations, the use of street trees is encouraged.
2. Planting should be considered in large massings to achieve a consistent, scaled appearance.
3. Evergreen tree placement should not cause shading or icing.



List of Owners of Record of the Properties Adjacent to the Subject Property

Regulated Marijuana Business: Blackjack Cannabis LLC (Applicant)

Location: 1097 Winter Park Drive, Suite B, Winter Park, Colorado 80482

Zoning: Old Town

Jurisdiction: Winter Park

SCHEDULE	NAME	ADDRESS2	CITY	STATE	ZIPCODE
R037420	CHRISTENSON, EVAN & MICHELLE &	1851 TANSY PL	BOULDER CASTLE	CO	80304- 0890 80108-
R036892	HAMIDI, ERIC	405 W SURREY DR	ROCK	CO	9113
R037150	MACKENZIE, LLLP	23940 GENESEE VILLAGE RD	GOLDEN	CO	80401- 7011
R302757	105 SADDLE RIDGE LLC	PO BOX 5148	DILLON	CO	80435- 5148
R302757	105 SADDLE RIDGE LLC	PO BOX 5148	DILLON	CO	80435- 5148
R310690	FRAME CLUB WINTER PARK LLC	3455 RINGSBY CT STE 100	DENVER	CO	80216- 4923
R303122	WOOD, LANCE A	PO BOX 309	WINTER PARK	CO	80482- 0309
R303124	WOOD, LANCE A	PO BOX 309	WINTER PARK	CO	80482- 0309
	WINTER PARK I LTD OWNERS ASSOCIATION	PO BOX 66	WINTER PARK	CO	80482

***Please see attached excel spreadsheet (both tabs) for more owner/parcel information and list of individual condos.**

STATEMENT OF PROPERTY OWNER'S AUTHORIZATION FOR REGULATED MARIJUANA BUSINESS

Marijuana Business Zoning: OLD TOWN WINTER PARK

Property Address: 1097 WINTER PARK DRIVE, WINTER PARK, CO 80482

I hereby state that I am owner of the property address above and I authorize the tenant/premises located at 1097 Winter Park Drive in Winter Park, Colorado, to apply for a license and operate a Regulated Marijuana Business at the property address above.

LXXTWO, LLC

Sign: 

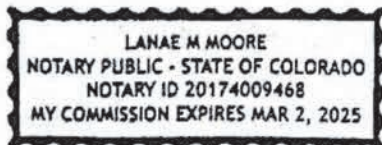
Print name: DEVIN N. VISCIANO

Title: GENERAL COUNSEL

Date: 4/5/2022

NOTARIZED

Notary Public: Lanae M. Moore
Lanae m. moore



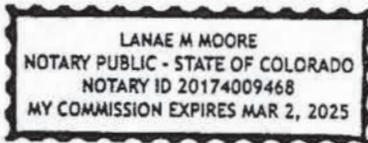
COLORADO NOTARY ACKNOWLEDGMENT

State of Colorado

County of Denver

The foregoing instrument was acknowledged before me this 5th Day of April²⁰²² (date)
by Devin N. Visciano (name of person acknowledged).

(Seal)



Lanae M. Moore

(Notary's Official Signature)

My Commission Expires: 03/02/2025

From: [Brian Chansky](#)
To: [Hugh Bell](#)
Subject: FW: Town of WP Public Hearings on Proposed Cannabis Shop in Old Town
Date: Thursday, July 21, 2022 9:35:41 AM

Dear Mr. Bell,

My wife and I had owned our ski condo in Winter Park Place for 6 years and now have resided in Trademark for the past 5 years. We absolutely love this area(Old Town) for its proximity to the base and for it's peaceful family oriented quietness. Please do NOT allow a pot shop to move in and destroy this area. If you allow this pot shop to move in it will dramatically change the ambiance of this area. We do NOT need the extra traffic that a shop like this will bring to the area, nor do we need the seedy element that majority of the patrons to a shop like this would attract. I implore you to please recommend that this shop move to a more commercialized area and not allow them to disrupt this tranquil area.

If you would like to discuss further please email me or call me at 913-710-0173.

Thank you for your consideration in this matter.

Kind regards,

Brian Chansky
President

Disposable Instrument Co., Inc.

An ISO 9001:2015 Certified Company

14248 Santa Fe Trail Drive

Lenexa, KS. 66215

913-492-6492

www.disposableinstrument.com

From: Suzannah Macleod <Suzannah@allegiantmgmt.com>

Sent: Thursday, July 21, 2022 10:08 AM

Cc: Michelle Franz <mfranz@allegiantmgmt.com>; Erica Fransen <erica@allegiantmgmt.com>;
Brigitte Blois <brigitte@allegiantmgmt.com>

Subject: Town of WP Public Hearings on Proposed Cannabis Shop in Old Town

Hello Trademark and Winter Park Place Owners:

As you are most likely aware at this point, there is currently a Special Use Permit Application currently in queue with the Town of Winter Park to put a cannabis dispensary in Old Town at 1097 Winter Park Drive, where the old ski rental shop used to be located. [Here](#) is the link to the 32-page Special Use Permit Application submitted to the Town of Winter Park by BlackJack Cannabis, LLC.

The application is set to be addressed at public meetings held by the Planning Commission on July 26, at 8:00 a.m. and the Town Council on August 2, 2022 at 5:30 p.m. These meetings will be broadcast via Zoom for those unable to attend in person and public comment can be made by those

attending. If you wish to attend either or both of these meetings, the Zoom link will be available on the [Town website](#) by the end of day the Friday before each respective hearing. If you cannot attend and wish to submit a comment, they can be directed to Hugh Bell at hbell@wpgov.com.

Thank you,

Suzannah Macleod, CMCA®
Property Manager



Allegiantmgmt.com

Winter Park, Colorado

Direct: 970.722.1120

Office: 970.726.5701 ext 217

From: [todd erber](#)
To: [Hugh Bell](#)
Subject: Marijuana Dispensary
Date: Thursday, July 21, 2022 9:51:55 AM

Hi Hue I can't make this meeting but wanted to give you my 2 cents. I have a unit directly across the street at Winter Park place. I think this would be a bad place for a dispensary. This is mostly a residential neighborhood, so having a dispensary does not mesh with the neighborhood. Also the street is basically a one way so traffic would be affected greatly. My unit would see a huge increase in car traffic in a very quiet neighborhood. I very much object to this facility getting a permit for use in this location. Thank you..

Todd Erber
303-898-9760

From: [Barry - Jeanne](#)
To: [Hugh Bell](#)
Subject: concerning Black jack Cannabis special permit request
Date: Thursday, July 21, 2022 10:20:27 AM

Mr Hugh Bell,

We would like to take this opportunity to share our opinion as a home owner in Old town Winter Park concerning the Black Jack Cannabis permit application before the scheduled Public meetings On July 26 and August 2.

We would like to go on record stating that We are opposed simply due to the fact that what attracted us to old town Winter Park was the quiet nature of the residential community and it's close proximity to the beautiful surrounding forest, the Fraser river, the wild life and the view of the continental divide. We already have been disappointed with the construction occurring across the road from us at Slopeside from the Zeppelin project which we had concerns with and which we also went on record objecting to with particular regard to the noise level, lights and parking. Although I do not in principle object to the cannabis business I do not believe it is the proper location for such a business to exist. This is a family residential area and the location proposed is directly adjacent to the bus stop where many families with children board to enter the Winter Park ski resort. It seems a business of this nature would be better served in the business district of either Winter Park or Fraser and consequently would get more visibility and more customers.

It saddens us that our property that we felt was so unique is quickly turning into something that can be found in most towns. We formerly request that you reject the Special permit request by Black-Jack Cannabis and encourage them to look at a more logical and profitable location.

Jeanne Abbott and Barry Cheney
97 B Slopeside
Winter Park, CO 80482
828-234-5864

From: [barb beaton](#)
To: [Hugh Bell](#)
Subject: The following hearing scheduled 7/26/22
Date: Thursday, July 21, 2022 1:06:36 PM

I am writing to state my concerns with a proposed marijuana dispensary to be operated close to this residential area. I am very concerned about the increase in traffic as there are a large number of skiers in the winter and pedestrians/cyclist in the summer who will be adversely affected by this. During the ski season there is a constant flow of skiers loading and unloading shuttle buses to WP. Please consider that safety of these people during your meeting scheduled for this Tuesday, July 26. Stating this as a resident in the neighborhood being considered.

Thank you,
Barb Beaton



**PUBLIC NOTICE
TOWN OF WINTER PARK
SPECIAL USE PERMIT REQUEST**

Applicant: BlackJack Cannabis LLC
Property Owner: LXXTWO, LLC
Applicant's Mailing Address: 3900 East Mexico Avenue, Suite 300, Denver, CO, 80210

Street Address of Properties for Which the Special Use Permit is Requested: 1097 Winter Park Drive, Suite B

Zone District of Properties for Which the Special Use Permit is Requested: C-1 (Limited Commercial)

Legal Description of Properties for Which the Special Use Permit is Requested: Lot A, Block 3, Winter Park Village Subdivision (Reception No. 90263)

Description of Request: Request to operate a "Marijuana-related Use," i.e., a regulated marijuana business use.

Applicable Provisions of the Unified Development Code (UDC):
[In § 2-8-3, Marijuana Uses are listed as a Special Use in the C-1 zone district.](#)
The Town Council will review this case and render a decision under § 5-8-3 of the UDC.

Property Posted On: July 11, 2022

Additional information is available at this link: <https://wppgov.com/courtesy-development-projects/>

A Public Meeting at Winter Park Town Hall, 50 Vasquez Road is scheduled for:

Planning Commission, Tuesday, July 26, 2022, at 8:00 A.M.

Town Council, Tuesday, August 2, 2022, at 5:30 P.M.

Members of the public wishing to make comment regarding the special use permit request may do so at the scheduled meeting, or write to Hugh Bell, Planner, Town of Winter Park, P.O. Box 3327, Winter Park, CO 80482, or hbells@wppgov.com.

The meeting will be broadcast via Zoom and public comment can be made by those attending. If there are technical difficulties with Zoom, public comment via Zoom will not be available and the meeting will continue in person.

July 18, 2022

Hugh Bell, Town Planner
Town of Winter Park
P.O. Box 3327
Winter Park, CO 80482

Cc via email: hbell@wpgov.com

Subject: Objection to Special Use Permit Application submitted by BlackJack Cannabis, LLC

Mr. Bell and members of the Winter Park Planning Commission, and Town Council:

My name is Jennifer Drake. My husband Nathan Drake and I reside in Denver and own a second home in the Slopeside subdivision in Old Town Winter Park, which is proximate to the site of the proposed BlackJack Cannabis marijuana dispensary and mixed-use property. **We are writing to object to the marijuana-related aspect of the proposed development only.** We have no objection to the condominiums, restaurant, or other retail spaces additionally proposed as part of the project.

My family has owned property in Grand County since the 1950's, and I've spent my life skiing and recreating in Grand County. I've worked for the ski area, and have been a volunteer ski patroller at Winter Park since 2002. My husband is an avid Nordic skier, supporting both Devil's Thumb and Snow Mountain Ranch for many years, we're both cycling enthusiasts, and we have likewise put our kids through the comp center programs at the ski resort. In short, we are both Grand County 'lifers' and loyalists who love Winter Park, its historical connections to the city of Denver, and all that represents. Professionally I have worked in the energy industry for 25+ years, and hold a master's degree in City Planning, as well as an MBA, both from the Massachusetts Institute of Technology. In terms of politics, I am a registered independent who is generally pro free markets and skeptical of big government and regulation.

In spite of what it's done for the state's coffers, we have watched the negative effect marijuana culture has had on the neighborhoods and public schools of Denver since legalization, and strongly believe a dispensary would be incongruous with the ski area's family-oriented and healthy / outdoorsy identity and brand. In short, whatever your views on adult use of marijuana, it is devastating and yet very enticing to children. Furthermore, the Town of Winter Park may be able to successfully incorporate MJ-related businesses in a safe and appropriate manner, and in a way that enhances the economic development we all desire for the Valley, but marijuana and skiing/biking are simply a bad mix.

We also believe the marijuana dispensary component of the proposed development specifically violates each of the following Application Considerations that the Winter Park Town Code requires the Commission and Council to deliberate per Title 7 Chapter 9 (https://codelibrary.amlegal.com/codes/winterparkco/latest/winterpark_co/0-0-0-5214):

1. The health, safety and welfare of the residents of the town.

Having a dispensary so near to the ski area would be unsafe, given it is likely to promote both skiing and driving under the influence of marijuana. As a ski patroller (and bike patroller in the summer) for many years, I am acutely aware of the increasing prevalence of injuries caused by the impaired judgment and delayed reaction times associated with marijuana use. In this respect, users are not only a risk to themselves, but to others as well, be they locals or visitors to the mountain. The proposed location's proximity to the mountain and location right on the bus-lines will invite mountain users to "pop in" on their way to the resort, while at the resort, and so on. In addition to MJ posing an increased on-hill risk at the resort, locals who live and/or work in the town of Winter Park (as well as in Old Town specifically) could be hurt by MJ tourists imbibing in Old Town after the ski day, and then driving to other destinations in the Valley, especially given the tight supply of lodging and restaurants in Old Town.

2. The orderly development of the property in the town.

Again, given good leadership and oversight, I believe it is possible for the Town of Winter Park to tactfully incorporate limited marijuana-related business into the local economy. But not within a stone's throw of the ski area, whose off-season business in mountain biking is also growing, adding to the number and ways in which people could get hurt as a direct consequence of marijuana use on the mountain.

I would additionally point out that Winter Park Resort's interest in Old Town's development trajectory should be focused first on issues such as its well-known and acute parking shortage and infrastructure. And on preserving the integrity of the Fraser River watershed. Beyond these foundational objectives, the town and resort's master plan should additionally be focused on other ways to enhance ski area access and the guest experience for residents and visitors of Old Town, for example with a program to tie-in the Winter Park Express.

3. The preservation of property values.

A dispensary in Old Town would introduce an undesirable element into the quiet and family-oriented environment we and our renters enjoy. Being near to but not right at the base, Old Town is a hidden gem for families seeking great riding and biking access yet with more space to immerse themselves in the solitude and beauty of our surroundings in the shadow of the Continental Divide. A marijuana dispensary introduced in this context would cause prospective renters and buyers alike to locate elsewhere, with the perverse impact of lowering property values in Old Town.

4. The protection of the tax base.

Winter Park Resort is not only the economic engine of the Fraser Valley, but also the area's recreational and cultural focal point. As such, it is the town's duty to preserve and protect its status, being careful not to 'kill the goose that lays the golden egg'. Acknowledging again the legitimacy of the economic drivers at play, I would assert that the Town of Winter Park can achieve the same economic outcome associated with courting MJ businesses by concentrating them in the preexisting retail district in town, and/or in the growing business corridor between Winter Park and Fraser, rather than on the resort's doorstep.

5. The effect on the neighborhood.

In addition to the physical and medical dangers of collocating extreme sports with marijuana, the MJ culture would adversely affect the wholesome family and highly residential nature of Old

Town. The only businesses active for decades in the neighborhood have been Adolf's, Alpine Sun and the Ski Exchange, though in fact there is currently only ONE SINGLE commercial establishment even open in Old Town. In other words, BlackJack Cannabis' insistence, on page 1 of its application, that the development would be "located in an intensive mixed use residential and commercial area," is completely spurious.

In addition to its almost exclusively residential nature, perhaps a more important attribute of Old Town is its family appeal, with ready access to the resort in particular for families with young kids via the Lift shuttle. As a neighborhood we are not ready for the implications of locating a marijuana dispensary right next to the bus stop our children take to the ski area. The least of which being the well-known and increasing provision of marijuana to minors in Colorado and nationally. Which is expressly against any state's objectives for legalization, given the tremendously adverse impact it is also widely known to have on developing brains, and increasingly on teen mental health. Imagine the dismay of the urban family excited to escape to the beauty of the Rocky Mountains and healthful exhilaration of an outdoors-oriented skiing or biking vacation, only to discover a dispensary next door.

6. The likelihood of a nuisance being created.

It is highly likely a dispensary would create a public nuisance in the Old Town setting, by putting pressure on what are already exceedingly scarce parking resources, especially during resort operating hours. Contrary to BlackJack's assertion on page 4 of its application that "the proposed regulated marijuana business is located only 415 feet away from Old Town parking lot", the lot depicted is not a public or 'town' lot, but rather a Winter Park Resort Lot. And while it may be 415 feet away as the crow flies, it's at least double that via driving or walking. Unless perhaps by a marijuana customer attempting to scramble down the steep, wooded hillside bordering that lot to get to or from the dispensary, popping out of the woods into traffic, and possibly hurting themselves or others along the way. It would also unduly increase traffic, unwittingly contribute to DUI's, and likely create bad odors in this almost exclusively residential area, all the while attracting minors, or worse yet encouraging the illegal provision of marijuana to minors.

7. The effect on the master plan of the town.

Given the town has already somewhat 'preapproved' a single dispensary for Old Town, following through on that may therefore be in keeping with the master plan. But I doubt as stated it is in keeping with Winter Park Resort's plan.

In closing, we would like to go on the record encouraging the Planning Commission and Town Council to not only deny the BlackJack application, but to seriously consider repealing its previous approval to allow for this type of business in Old Town at all.

Sincerely,

Jennifer Drake

From: [Ken Baker](#)
To: [Hugh Bell](#)
Subject: BlackJack Cannabis LLC application
Date: Thursday, July 14, 2022 5:33:36 PM

Hi Hugh,

I am a property owner at Winter Park Village Condominiums, 1128 Winter Park Dr, in Old Town. I received the notice of the Special Use Permit Request. Thanks to the Town of WP for informing nearby property owners.

In their application dated 3/31/2022, the applicant states "The applicant has proven a need in the neighborhood from adult inhabitants and compatibility with surrounding uses." What data supports the applicant's statement that they have proven a need from adult inhabitants in the neighborhood? What is their definition of the neighborhood, and does the Town of WP agree with this definition? How many adult inhabitants of the neighborhood were surveyed, and how many expressed a need for this type of store, vs how many did not?

In the Description of the Proposed Use and Vicinity Compatibility, p. 4 of 6, applicant states "The proposed regulated marijuana business is located only 415 feet away from the Old Town parking lot." However, The distance marker on the map shows the distance to the bottom of a steep, wooded hill that is to the north of the lot. The actual walking distance from the lot on established roads is likely twice as far. Does Town Code take this into consideration?

As far as I can tell, there are only 11 parking spaces in the proposal, to support the cannabis store, a restaurant, and (6) 2-bedroom condominiums. What information has the applicant provided to alleviate concerns about illegal parking?

In the Description of the Proposed Use and Vicinity Compatibility, p. 4 of 6, applicant states the "Store protects the public health, safety, and welfare." What data has the applicant provided to support this claim?

Without detailed answers to the questions above, I have significant concerns about the Town of WP approving this application. Thanks for your consideration, and the opportunity to review this information.

Ken Baker
719-359-2422



MEMO

TO Planning Commission

FROM James Shockey, Community Development Director

DATE July 26, 2022

RE PUBLIC HEARING CONTINUED: Final Development Plan (FDP) - Cooper Creek Village, Cooper Creek North, and Cooper Creek South (PLN21-082)

The Planning Commission continued the public hearing from July 12, 2022 to July 26, 2022. Changes to the staff report are noted in red.

General Information:

JAC Colorado II, LLC (the "Applicant") has applied to create a Final Development Plan ("FDP") to zone 53 acres of property currently eligible for annexation pursuant to Town Council Resolutions 1916 through 1926, which established the property eligible for annexation to the Town and determined all requirements of law have been met, including the requirements of C.R.S. §§ 31-12-104 and 31-12-105. The property consists of two vacant parcels in unincorporated Grand County. The parcels are located south of Town Hall and are bordered on the north by Idlewild Subdivision, the east by Beaver Village Condominiums, the south by USFS land, and the west by Hideaway Village South. The Union Pacific Railroad divides the two parcels. The parcels, if annexed, will be incorporated into the Town as 11 separate annexations that will be legally considered 11 super lots for future development. The parcels are referred to as Cooper Creek Village (CCV) in the FDP.

In addition, JAC Colorado II, LLC, Cooper Creek WP, LLC, Station WP, LLC and Winter Park Tower, LLC (the "Applicant") have applied to rezone 10 parcels totaling 5.65 acres already within Town limits. Nine parcels are located north of Town Hall and public parking garage and include the Cooper Creek Shopping Center, the clock tower building and the associated parking lots. These parcels are referred to as Cooper Creek North (CCN) in the FDP. One parcel is located south of Vasquez Road adjacent to Winter Park Station/Crestview Place Condominiums and currently consists of a paved parking lot. This parcel is referred to as Cooper Creek South (CCS) in the FDP.

The Applicant is proposing to create one FDP to regulate the CCV, CCN, and CCS parcels. The properties are proposed to have a Planned Development overlay with underlying base zone districts.

Authority

Pursuant to § 7-7-5 of the Winter Park Town Code (the "Code"), the Planning Commission shall consider the application within sixty (60) days after the date of submittal to the Town planner. After consideration, the Planning Commission shall, in writing and by resolution, either approve the application as presented, approve the application subject to specified conditions, or disapprove it.

This staff report includes comments from Town staff that should be considered during the hearing and possibly incorporated into the Planning Commission's written recommendation to Town Council.

Analysis

The full FDP, with the roadway report, utility study, drainage report, etc., can be viewed at this [link](#). Included with this staff report are two redlined documents, a Vested Rights Agreement and the portion of the FDP that will be recorded with the Vested Rights Agreement.

The Planning Commission must evaluate the application against the design standards in § 7-7-5 of the Code. The staff report has been broken into the following sections: site characteristics, development standards, public and private road standards, and public dedications.

Site Characteristics

The CCV parcel consists of approximately 53 acres of high alpine terrain, ranging from 8,800 to 9,110 feet above sea level. There are significant slopes (greater than 30%) on the parcel as well as gentler slopes of less than 20%.

The CCS parcel consists of 1.85 acres of mixed terrain with a developed parking lot on the parcel adjacent to Vasquez Road.

The CCN parcel consists of 3.8 acres of mostly flat terrain with improved structures, gravel parking lots and vacant wooded land.

The natural characteristics of each parcel is described below:

Geological Hazard Areas: The Applicant submitted a Phase I Geotechnical Engineering Report (Olsson, Inc., October 15, 2020) that was reviewed by Colorado Geological Survey (CGS) in a letter dated June 21, 2022. CGS agreed with the findings in the report that no obvious signs of slope instability or landslides were observed on the parcel and nothing in the report would preclude development on the site if recommendations from Olsson are adhered to.

Slopes in Excess of 30%: There are numerous slopes that are in excess of 30% on CCV parcel (planning areas – WPA-7, EPA-6, SPA-4, SPA-3, NPA-2) and in portions of CCS's planning area PA-1. Typically, these areas are not suitable for development as it could require a considerable amount of cut and fill in order to build on the site. CGS recommends that development on slopes 30% or greater be avoided and preserved as open space.

The FDP states that “development will be limited on steep slopes that exceed 30%” and during “the time of platting, the Applicant will demonstrate that areas with steep slopes have been avoided to the greatest extent possible”. Staff recommends this statement be deleted from the FDP and the applicant follow the Hillside, Ridgelines and Topographic Features section (§ 3-C-2) established in the UDC.

Wetlands: The Conceptual Grading Plan identifies wetlands on the CCV parcel. Jurisdictional wetlands, administered by the US Army Corps of Engineers, exist in the southern portion of the site. Non-jurisdictional wetlands, administered by the Town, exist in the northwestern portion of the site. The Conceptual Grading Plan identifies most of the jurisdictional wetlands as areas of non-disturbance other than one road crossing. A portion of the non-jurisdictional wetlands are proposed to be disturbed for residential development, road crossings and the ski-back trail.

Colorado Geological Survey reviewed the jurisdictional wetlands as it relates to slope stability and recommended no development within this drainage. Other than one road crossing, no other development is proposed within the drainage.

The FDP states “impacts to jurisdictional wetlands will be processed and approved with the regulations outlined by the United States Army Corps of Engineers”. The FDP does not state how non-jurisdictional wetlands will be processed. Staff recommends this statement

be modified in the FDP, so the Applicant follows both the US Army Corps of Engineers requirements and those in the Wetlands section (§ 3-C-3-4) of the UDC.

Ridgelines and Areas of Visual Sensitivity: The majority of the proposed development is located on the lower reaches of the hillsides and ridgeline development is unlikely due to the steep slopes west of the proposed areas of grading. The FDP does not address ridgelines and areas of visual sensitivity so it will revert to the Hillsides, Ridgelines and Topographic Features section (§ 3-C-2) established in the UDC.

Natural Resources Assessment: The FDP includes an assessment that was prepared by ERO Resources in June 2007. At the time of the report, it was determined the CCV parcel did not contain potential habitat for species listed as federally threatened, endangered, or candidates for listing. The parcel did contain potential habitat for boreal toad, a state endangered species, and the northern leopard frog and wood frog, state species of special concern. The report recommends if any work is planned within the wetlands, coordination with the CDOW would be necessary. At the time of the report there were no migratory bird nests observed but if new nests are found on the parcel, construction activities should be restricted during breeding season.

The FDP includes a Wildlife Mitigation section that discusses the 2007 report and provides recommendations and mitigation directives and considerations. The Applicant will be amending this section to include language requiring an updated master resource assessment prior to any future platting. Since this development will take place over the next 20 years, individual assessments will be provided to supplement the master resource assessment at time of platting.

Development Standards

Zoning / Land Use/Planning Areas

CCV Parcel: The 2021 Three Mile Plan states if the CCV parcel were to be “annexed into the Town, appropriate zoning for this parcel would be Planned Development to allow for a flexible design that includes a mix of residential and open space. The northern parcel should be considered for mixed use zoning due to its proximity to the downtown while the southern parcel should remain primarily residential due to its surrounding uses”. The proposed zoning for CCV will be Planned Development (PD) with base zone districts Destination Center District (D-C) and Residential Commercial Service District (R-C). The base zone districts are the highest and most intense zone districts permitted in Town. The purpose of these



districts can be viewed in the UDC at this [link](#). The proposed zoning is in conformance with the 2021 Three Mile Plan.

The zone boundaries are defined by planning areas as outlined in the Proposed Zoning map. Planning areas EPA-5, NPA-1 and NPA-2 are proposed as PD-D-C which allows for a more intensive commercial component complimenting the existing D-C zoning in the downtown area. NPA-1, adjacent to Idlewild Meadows, a single-family zoned neighborhood will be restricted to single-family attached and detached only. The remaining planning areas will be zoned PD-R-C.

CCN and CCS: The proposed rezoning will be Planned Development with base zoning Destination Center District (D-C). The proposed rezoning is consistent with other properties in the downtown.

The FDP further breaks down each planning area with specific variations from the base zone district to make each area more compatible at a micro level as described below in the Land Use Table. The Applicant is requesting to increase or decrease the planning areas by up to ten percent without requiring an amendment to the FDP. Staff supports this request if language is added requiring an exemption plat be approved through the Town prior to transfer.

Land Use Table

The FDP is divided into three land use types: residential, mixed use, and public open space. Each land use type has a broad list of uses outlined in the FDP that were taken from the [Use Tables](#) in the UDC. The Applicant has modified each land use type to meet the intent and context of the properties. Staff recommends revising the land use table to ensure conformance with Town Code.

Density

The FDP proposes a total of 875 dwelling units, 720 accommodation units (hotel units) and 115,000 square feet of commercial space.

Parcel	Dwelling Units	Accommodation Units	Commercial Space
CCV	650	200	15,000
CCS and CCN	225	520	100,000

Each planning area has a maximum density and a maximum number of units that can be constructed. The maximum density within each planning area in the CCV parcel is consistent with the base zoning. The CCS and CCN parcels are proposing a maximum density of 40 units per acre compared to 28 units per acre as the parcels are currently zoned in the D-C District. This equates to an increase of 70 dwelling units over what is currently permitted on these properties.

The Applicant is requesting the ability to transfer up to 30 percent of permitted density with a planning area to other planning areas without an amendment to the FDP. In previous agreements, the Town has permitted density transfers up to 10 percent without having to amend the FDP. Staff recommends it be changed to 10 percent and language be added requiring a density transfer chart be provided to the Town for administrative approval.

The Land Use Summary table will need to be amended as noted in the redlines.

Specific Development Standards

The FDP proposes to create unique standards for Slope Preservation and Grading, Pedestrian Sidewalks, Retaining Walls, Wetlands and Accessory Dwelling Units. Staff recommends the FDP refer to the UDC instead of creating standards just for these properties with exception of retaining walls. Staff supports the Applicant's request to have separate standards and will be revising this section of the FDP. CCV parcels have steep terrain that will require special consideration for retaining walls along roadways, the ski-back trail, and possibly individual structures.

Setbacks

The Dimensional Standards Table outlines setbacks, minimum lot size and maximum building height for each planning area. The setbacks are consistent with the proposed base zoning. Staff recommends the Applicant add provisions for corner lot setbacks.

Building Height

The FDP is proposing building heights ranging from 40 feet for single-family attached and detached structures to 55 feet for multi-family and commercial structures. The Applicant proposes increasing building height to 75 feet for accommodation units in CCS and CCN. The maximum building height adjacent to right-of-way or adjacent property will be 40' and then increase at a 45-degree plane to a maximum height of 75 feet. The building must contain a minimum of 60 percent accommodation units to qualify for the additional height.

Building Coverage

Building coverage is calculated as follows:

- Planning areas that contain attached single-family dwelling and multifamily (townhomes, condominiums, apartments) shall have a 60% maximum building coverage requirement. Individual lots shall not be required to meet building coverage requirements
- Planning areas that contain detached single-family dwellings on lots less than 10,000 sq. ft. shall have a maximum building coverage of 40%. Individual lots shall not be required to meet building coverage requirements.
- Planning areas that contain detached single-family dwellings on lots greater than 10,000 sq. ft. shall have a maximum building coverage of 50% on each individual lot. The planning area shall not be required to meet building coverage requirements.

The FDP does not have provisions for commercial use. The UDC will govern.

Landscape Buffers

The FDP will incorporate UDC standards. For planning area NPA-1 the Applicant is proposing to create a 30-foot landscape buffer to minimize impacts to the existing single-family homes on Idlewild Lane. The Applicant has not indicated the Bufferyard Classification they are proposing and that should be indicated in the FDP.

Design Standards

The FDP will incorporate UDC standards.

Parking Requirements

The FDP will incorporate UDC standards. The Applicant is requesting to amend the Parking Garage Agreement (Reception No. 2021004361) between the Town and Copper Creek WP, LLC for parking at the Cooper Creek Square Shopping Center. Currently the Town allocates 215 parking spaces within the public parking garage for the Shopping Center. The Applicant is requesting to use those parking spaces for future development in CCV, CCS and CCN and not exclusively for just the Shopping Center. Doing so would require an amendment to the Parking Garage Agreement, which staff recommends should be amended separately from the FDP.

Public and Private Road Dedication

CCV Parcel

The Applicant submitted a Roadway Report which includes a conceptual plan of the road system. The parcel is proposed to connect to Vasquez Road and Timber Drive with internal public roads.

The FDP is proposing the Town will own and maintain Road 1 and Road 2. Road 1 connects with Vasquez Road and travels south across the railroad tracks to the far southeast end of the parcel. Road 2 connects Road 1 to Timber Drive. All other internal roads are proposed to remain private.

Road 1 and Road 2 are proposed to be dedicated to the Town upon recording of a final plat and then turned over to the Town for maintenance after the following occurs - the two-year warranty period has expired, certificates of occupancy (whether temporary or final) have been obtained for no less than twenty-five percent (25%) of the DUs and sufficient contiguous portions of Road 1 and/or Road 2 have been completed to allow for continuous access to the road.

The Roadway Report has been created as a substitute for the Town standards. The Report has been reviewed by the Town Engineer and is currently being amended based on their recommendations. If appropriately amended, Town staff will support the Roadway Report in lieu of generally applicable Town standards.

Public Dedications – Open Space, Trails

Open Space

Public open space will consist of the ski-back trail that will traverse the parcel from the southwest to the northeast. The ski-back trail will be a minimum of 20 feet wide with additional widths for cuts, fills and/or retaining walls.

Private open space will be provided throughout the parcels and be dedicated to the Master Association at the time of final plat. No additional public open space dedications or payment in lieu thereof shall be required based on the public open space proposed.

Trails

The Applicant is proposing a trail network throughout the development, connecting existing trails into the National Forest and to the proposed ski-back trail. In addition to the ski-back

trail, the FDP proposes to dedicate a singletrack trail from the ski-back to Ice Hill Trail in the National Forest. The Town would be responsible for construction of the singletrack trail. The Open Space and Trail Plan provides a visual description of the trails.

Compliance with Imagine Winter Park

The Comprehensive Plan, Imagine Winter Park, is divided into four vision themes that guide future development. The outline below highlights various strategies that relate to this FDP:

- Our Character and Our Culture
 - CC Strategy 1.1: Maintain a healthy balance of commercial development that can provide a multitude of services both for local residents and for guests.
 - CC Strategy 1.3: Ensure that the built environment continues to be seamlessly integrated with mountain and recreational amenities (e.g. connections to trails, integration with the Fraser River, bikeable paths, etc.).
 - CC Strategy 1.5: Strengthen the sense of connection between Downtown and The Resort.
 - CC Strategy 2.1: Incorporate public places into future development
 - CC Strategy 3.1: Work with developers to provide recreational and cultural amenities that benefit both residents and guests alike.
 - CC Strategy 4.1: Include a mix of housing to support a variety of household compositions and income levels.
- Our Global and Local Connectivity
 - CO Strategy 1.2: Provide enhanced connections between the Resort and Downtown such as a ski back trail, a direct gondola, and circulator bus routes.
 - CO Strategy 3.1: Use policies and incentives to prioritize and direct new, mixed use development within the Vasquez Road Node.

- Our World-Class Outdoor Recreation
 - OR Strategy 1.4: Maintain trailhead and forest access points and easements within and through residential and commercial developments. This access can be as simple as signage and a hiker/biker/horse width easement.
 - OR Strategy 3.8: Capitalize on and enhance existing recreational facilities

- Our Healthy and Thriving Environment
 - EN Strategy 1.5: Protect the viability of natural wetlands and watercourses as a key component of our natural and built environments.
 - EN Strategy 2.3: Protect the integrity of significant wildlife habitat and movement corridors.
 - EN Strategy 3.1: Encourage density in appropriate locations and clustering of development to maximize open space.

Review Agency Comments

- **CDOT**

Brian Killian, Access Program Manager for Region 3 Traffic and Safety, responded to the referral in an email dated May 17, 2022. In this email he stated the Applicant has been working with CDOT and that individual traffic studies will be required as the properties are platted. See attached email for details.

- **Colorado Geological Survey**

Amy Crandall, Engineering Geologist, responded to the referral in a letter dated June 21, 2022. In this letter she expressed that the project could be developed as proposed provided Olsson's geotechnical recommendations are adhered to. See attached letter for details.

- **East Grand Fire Protection District No. 4**

Dennis Soles, Fire Marshal, responded to the referral in a letter dated June 15, 2022. In this letter he expressed a number of items that will require further review at time of platting. See attached letter for details.

- **Grand County Water and Sanitation District No. 1**

JVA, consultant to the District, responded to the referral in a letter dated June 27, 2022. In this email they expressed concern with pressure availabilities in certain locations on the CCV parcel and the removal of the lift station that is proposed in

the Master Utility Study. See attached letter for details. **Revisions to the Master Utility Study will be required.**

- **Mountain Parks Electric**

Jean Johnston, Senior Staking Engineer and ROW Specialist, responded to the referral in an email dated June 14, 2022. In this email she stated she provided separation requirements, so the Applicant has it for future platting. See attached email for details.

- **Town Engineer**

Cooper Karsh, Senior Engineer responded to the referral in a letter dated June 27, 2022. In this letter he outlined concerns with the Traffic Impact Study, Drainage Report, Utility Report and Roadway Study. See attached letter for details.

- **Xcel Energy**

Kathleen Jacoby, Design Planner, responded to the referral in a letter that was undated. In this letter she expressed that provided the general guidelines for gas construction are adhered to, Xcel has no objections. See attached letter for details.

Public Notification

This FDP request has had proper public notification pursuant to § 7-7-5 of the Town Code. A Public Notice was published in the Middle Park Times on June 15, 2022, providing notification of the meeting and requesting comments. Mailings were sent to property owners adjacent to the parcels on June 15, 2022.

25 comments have been received as of July 22, 2022 and are attached.

Other Items

Single-Family Equivalent (SFE) Restrictions: The FDP will have a maximum water and sewer tap allocation of 682 SFE's for the CCV parcels and 333 SFE's for CCS and CCN parcels. This maximum allocation is in addition to what is already allocated to the parcels.

Vested Rights: The Applicant proposes vested rights of 20 years with an additional 10 years if the bridge over the railroad tracks is constructed and dedicated to the Town. This term, and others, will be negotiated and memorialized in an annexation and development agreement between the Applicant and the Town. The annexation and development

agreement will be subject to Town Council review and approval and falls within Town Council's discretion as part of the legislative annexation process.

Discussion Items

The Planning Commission should provide feedback on the following items:

1. Steep Slopes / Wetlands – special regulations or UDC standards
2. Retaining Walls – special regulations or UDC standards
3. Natural Resource Assessment – future studies prior to platting
4. Density – increased density for CCS and CCN
5. Density Transfers – 30% density transfer between planning areas
6. Building Height – additional height for accommodation units
7. NPA-1 additional standards adjacent to Idlewild Meadows

Staff Recommendation

The Applicant is in the process of revising the FDP based on redlines included in this report. For this meeting, the Commission will take public comment and provide the Applicant with feedback for incorporation into the FDP.

The Commission should continue the public hearing to August 9, 2022, at which time it will review the final version of the FDP and consider making its recommendation to Town Council on the FDP, as revised.

**APPROVAL OF THIS AGREEMENT CREATES A VESTED PROPERTY RIGHT
PURSUANT TO C.R.S. § 24-68-103, AS AMENDED**

**COOPER CREEK VILLAGE AND COOPER CREEK SQUARE
DEVELOPMENT GUIDE AGREEMENT**

THIS DEVELOPMENT GUIDE AGREEMENT (this “**Agreement**”) is made as of this ____ day of _____, 2022 (the “**Approval Date**”), by and between the TOWN OF WINTER PARK, a Colorado home rule municipal corporation with an address of 50 Vasquez Road, P.O. Box 3327, Winter Park, Colorado 80482 (the “**Town**”), JAC COLORADO II, LLC, a Colorado limited liability company with an address of 747 Sheridan Blvd., #7D, Lakewood, Colorado 80214 (“**JAC**”), COOPER CREEK WP, LLC, a Colorado limited liability company with an address of 747 Sheridan Blvd., #7D, Lakewood, Colorado 80214 (“**CCWP**”), STATION WP, LLC, a Colorado limited liability company with an address of 747 Sheridan Blvd., #7D, Lakewood, Colorado 80214 (“**SWP**”), and WINTER PARK TOWER, LIMITED LIABILITY COMPANY, a Colorado limited liability company with an address of P.O. Box 3233, Winter Park, Colorado 80482 (“**WPT**”) (JAC, CCWP, SWP and WPT are sometimes hereinafter referred to individually as an “**Owner**”, and collectively as the “**Owners**”), COOPER CREEK VILLAGE METROPOLITAN DISTRICT NO. 1, a quasi-municipal corporation and political subdivision of the State of Colorado (“**District No. 1**”), COOPER CREEK VILLAGE METROPOLITAN DISTRICT NO. 2, a quasi-municipal corporation and political subdivision of the State of Colorado (“**District No. 2**”), COOPER CREEK VILLAGE METROPOLITAN DISTRICT NO. 3, a quasi-municipal corporation and political subdivision of the State of Colorado (“**District No. 3**”), COOPER CREEK VILLAGE METROPOLITAN DISTRICT NO. 4, a quasi-municipal corporation and political subdivision of the State of Colorado (“**District No. 4**”), and COOPER CREEK VILLAGE METROPOLITAN DISTRICT NO. 5, a quasi-municipal corporation and political subdivision of the State of Colorado (“**District No. 5**,” and collectively with District No. 1, District No. 2, District No. 3 and District No. 4, the “**Districts**”) (collectively the “**Parties**” and each a “**Party**”).

RECITALS

A. This Agreement is entered into in accordance with the Town’s contemporaneous approval of annexation into the Town of certain unincorporated territory referred to in this Agreement as the “**Cooper Creek Village Property**” pursuant to the Colorado Municipal Annexation Act, C.R.S. §§ 31-12-101, *et seq.* (the “**Annexation Act**”) and the terms and conditions of that certain “**Annexation Agreement**” by and among the Parties of even date herewith, and the Town’s contemporaneous conferral of vested rights as defined in and pursuant to C.R.S. §§ 24-68-101, *et seq.* (the “**Vested Rights Act**”) upon title to the “**FDP Properties**” (as hereinafter defined) as described in this Agreement and in the Annexation Agreement.

B. The terms and conditions of the Annexation Agreement are incorporated into the operative provisions of this Agreement as if set forth in this Agreement in full.

AGREEMENT

NOW, THEREFORE, in consideration of the premises, mutual covenants, and agreements contained herein, and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged by the Parties, the Parties agree as follows:

Section 1. Definitions. Certain terms used in this Final Development Plan shall have definitions as set forth in this Section 1:

1.1 **"Accessory Dwelling Unit"** shall mean a dwelling that is incorporated within the living area of a single-family residence or in a detached building. An Accessory Dwelling Unit includes permanent provisions for living, sleeping, eating, cooking, bathing and sanitation.

1.2 **"Accessory Use"** shall mean a use incidental to and customarily associated with a specific principal use, located on the same lot or parcel.

1.3 **"Active Open Space"** shall have the meaning set forth in Section 7.1.

1.4 **"Adjacent Project"** shall mean, individually, any development project located on properties in the vicinity of the FDP Properties.

1.5 **"Agricultural"** shall mean a use category containing nonresidential uses primarily related to the raising of animals and crops that do not exceed the threshold for concentrated or intensive animal feeding operations. The use category includes: crop production; nursery (retail); stables; and animal, crop, and farm equipment storage.

1.6 **"Annexation Agreement"** shall mean the Annexation and Development Agreement for the FDP Properties, as the same may be amended from time to time.

1.7 **"Approval Date"** shall have the same meaning as is attributed to it in the Annexation Agreement.

1.8 **"Attainable Dwelling Unit"** shall mean a primary or accessory dwelling unit for the purpose of providing attainable housing for residents earning a low to moderate annual income.



1.9 **"CCWP"** shall mean Cooper Creek WP, LLC, a Colorado limited liability company, its successors and assigns in title and interest to the portions of the Cooper Creek North Parcels it owns.

1.10 **"Commercial Square Footage"** or **"CSF"** shall mean any area, measured in square feet, which may be used, rented or leased for the purpose of generating retail business or consumer services, excluding DUs, OAU and Recreational Amenities.

1.11 **"Cooper Creek North Parcels"** shall mean those parcels representing approximately 3.94 acres, located north of Vazquez Road between Lions Gate Road and US 40

that are owned by JAC, CCWP and WPT, subject to Johnson Acquisition Corp.'s option to purchase the parcel owned by WPT, all as legally described herein.

1.12 **“Cooper Creek South Parcel”** shall mean that parcel located south of Vasquez Road but north of the Cooper Creek Village Property legally described herein representing approximately 1.91 acres that is owned by SWP.

1.13 **“Cooper Creek Village Property”** shall mean those annexation parcels representing approximately 53.3 acres as legally described on Exhibit 1 of the Annexation Agreement.

1.14 **“Cooper Creek Square Shopping Center”** shall mean the existing shopping center located on the three (3) parcels owned by CCWP, which parcels are part of the Cooper Creek North Parcels.

1.15 **“Dedicated Trails”** shall be those trails identified as the same on the Final Open Space and Trails Plan which are to be dedicated to the Town.

1.16 **“Developer”** shall mean WCJ Holdings, LLC, a Colorado limited liability company, the master developer of the Project.

1.17 **“District”** shall mean and refer to any metropolitan district formed pursuant to Title 32, C.R.S., for the purpose of financing and constructing any or all of the Public Improvements and for providing certain public services to the FDP Properties.

1.18 **“Drainage Plan”** shall mean that certain Master Drainage Plan and Report prepared by TKE Engineering dated May 28, 2021.

1.19 **“Dwelling Unit”** or **“DU”** shall mean one (1) or more rooms in a dwelling designed for occupancy by one (1) family for living purposes and having not more than one kitchen.

1.20 **“FDP Properties”** shall mean the Cooper Creek Village Property, the Cooper Creek South Parcel and the Cooper Creek North Parcels.

1.21 **“Final Development Plan”** shall mean that certain Final Development Plan for Cooper Creek Village and Cooper Creek Square, as approved by the Town Council and attached hereto as Exhibit 1, as the same may be amended from time to time, and shall include the Final Development Plan Narrative, the Existing Conditions Plan, Final Land Use Plan, Final Zoning Plan, Final Multi-Modal Plan, Conceptual Grading Plan, Final Open Space and Trails Plan and Roadway Report dated May 28, 2021.

1.22 **“Gondola Connection”** shall mean the area designated as the “Gondola Connection” on the Final Development Plan.

1.23 **“GCWSD”** shall mean Grand County Water and Sanitation District No. 1, a political subdivision of the State of Colorado.

1.24 **“Hazardous Material”** shall mean any hazardous, toxic or dangerous waste, substance or material, pollutant or contaminant, as defined for purposes of the Comprehensive Environmental Response, Compensation and Liability Act Of 1980 (42 U.S.C. Sections 9601 et seq.), as amended (“CERCLA”), or the Resource Conservation and Recovery Act (42 U.S.C. Sections 6901 et seq.), as amended (“RCRA”), or any material which is toxic, explosive, corrosive, flammable, infectious, radioactive, carcinogenic, mutagenic or otherwise hazardous, or any material which contains gasoline, diesel fuel or other petroleum hydrocarbons, polychlorinated biphenyls (pcbs), radon gas, urea formaldehyde, asbestos, lead or electromagnetic waves.

1.25 **“Interior Road Improvements”** shall mean all private interior subdivision roads, driveways and related improvements which provides vehicular access to abutting properties without undue hazard to public property or residents and is not owned or maintained by the Town.

1.26 **“JAC”** shall mean JAC Colorado II, LLC, a Colorado limited liability company, its successors and assigns in title and interest to the Cooper Creek Village Property and the portions of the Cooper Creek North Parcels it owns.

1.27 **“Master Owners Association”** shall mean one or more master owners associations formed and existing pursuant to C.R.S. §§ 38-33.3-101 *et seq.*, for the purpose of providing certain non-public services to the FDP Properties and/or the Project.

1.28 **“Overnight Accommodation Unit”** or **“OAU”** shall mean commercial bedroom and bathroom units arranged for short-term stays of less than thirty (30) days for rent that contain a lobby on the premises. Examples of this use category include bed and breakfast; hostel; hotel or motel and other uses that the Town’s planning director or his or her designee interprets to meet the characteristics of Overnight Accommodations. Short-term rental (see § 3-10 in the Town Code) is excluded from this definition.

1.29 **“Owners”** shall mean JAC, CCWP, SWP and WPT, and each of their successors and assigns. Each of the aforementioned entities shall be an “Owner.”

1.30 **“Parking Garage”** shall have the meaning ascribed thereto in the Parking Agreement.

1.31 **“Parking Agreement”** shall have the meaning set forth in Section 5.3.

1.32 **“Phase”** shall mean any portion of the Project identified by Developer from time to time for development of Public Improvements which comply with the development standards stated in the Final Development Plan.

1.33 **“Planning Area”** shall be a planning area shown on the Final Development Plan.

1.34 **“Private Active Open Space”** shall mean any Active Open Space that is not Public Active Open Space.

1.35 **“Project”** shall mean the mixed-use commercial and residential development featuring single-family residences, multi-family residences, lodging, commercial uses, roads and streets, utilities, trails, parks, open space, and other amenities as more fully described in the Final Development Plan.

1.36 **“Public Active Open Space”** shall mean the Dedicated Trails.

1.37 **“Public Improvements”** shall mean any drainage ditch, roadway, parkway, sidewalk, pedestrian way, tree, lawn, off-street parking area, lot improvement, or other facility for which the local government may ultimately assume the responsibility for maintenance and operation, or which may affect an improvement for which local government responsibility is established. All such improvements shall be properly bonded for or secured by a letter of credit or other acceptable legal instruments.

1.38 **“Recreational Amenities”** shall mean facilities operated in conjunction with CSF intended to provide recreational or other leisure opportunities for guests of, customers of or visitors to businesses located within CSF on the FDP Properties and shall include, without limitation, plazas, skating rinks, cultural and community centers, indoor and outdoor water parks, swimming pools and hot tubs, sledding hills, playing fields, and indoor and outdoor tennis and other racquet sport facilities.

~~1.39 **“Resort Cabins”** shall mean individual cabins/accommodations with cooking and sleeping facilities that are offered to the public primarily on a short term or transient basis with parking facilities for use of guests nearby.~~

1.40 **“Roadway Report”** shall mean the Roadway Report included with the Final Development Plan.

1.41 **“Service Plan”** shall mean that certain Consolidated Service Plan for Cooper Creek Village Metropolitan District Nos. 1, 2, 3, 4 and 5 submitted contemporaneously to the Town Council with this FDP and the Annexation Agreement.

1.42 **“SFE Equivalent”** shall mean the amount of water, measured by volume over a period of time (i.e., acre-feet per year or gallons per day), that is required to satisfy the water demand for a single-family residential unit, as determined by GCWSD.

1.43 **“Single Track Trail”** shall mean the area designated as Single Track Trail on the Final Open Space and Trails Plan, which provides access to Beavers Village Condominiums and the Ice Hill trail at ~~Winter Park Resort~~ and connects to the Ski Trail Connection throughout the Cooper Creek Village Property as depicted on the Final Open Space and Trails Plan.

1.44 **“Single Track Trail Easement Area”** shall mean a relocatable easement area that is comprised of a minimum ten foot (10’) wide trail, together with additional widths for cuts, fills and/or retaining walls necessary for the safe establishment of the Single Track Trail, the final dimensions of which shall be determined at the time of final design and construction and

confirmed upon the filing of the final subdivision plat of a portion or portions of the FDP Properties that includes the Single Track Trail segment.

1.45 “**Ski Trail Connection**” shall mean the trail area designated as “Ski Trail Connection” on the Final Open Space and Trails Plan.

1.46 “**Ski Trail Connection Easement Area**” shall mean a relocatable easement area that is comprised of a minimum twenty foot (20’) wide trail, together with additional widths for cuts, fills and/or retaining walls necessary for the safe establishment of the Ski Trail Connection, the final dimensions of which shall be determined at the time of final design and construction and confirmed upon the filing of the final subdivision plat of a portion or portions of the FDP Properties that includes the Ski Trail Connection segment.

1.47 “**SWP**” shall mean Station WP, LLC, a Colorado limited liability company, its successors and assigns in title and interest to the Cooper Creek South Parcel.

1.48 “**Town**” shall mean the Town of Winter Park, a Colorado municipal corporation.

1.49 “**Town Code**” shall mean the Winter Park Town Code.

1.50 “**Town Council**” shall mean the Winter Park Town Council.

1.51 “**Unit**” shall mean either a DU or an OAU and the term “**Units**” shall mean more than one DU, more than one OAU, or a combination of DUs and OAUs.

1.52 “**Vested Property Rights**” shall have the meaning set forth in Section 10 and as further provided in the Annexation Agreement.

1.53 “**WCJ**” shall mean WCJ Holdings, LLC, a Colorado limited liability company, the master developer of the Project, its successors and assigns.

1.54 “**WPT**” shall mean Winter Park Tower, Limited Liability Company, a Colorado limited liability company, its successors and assigns in title and interest to the portion of the Cooper Creek North Parcels it owns.

Section 2. Nature of Final Development Plan. This Final Development Plan shall be binding and regulatory upon the Town, Owners, Developer, the Districts, the FDP Properties, and the Project. Pursuant to C.R.S. § 24-68-102.5(1) the Town Council intends that this Final Development Plan will be designated as a “Site Specific Development Plan” as that term is defined in C.R.S. § 24-68-102(4)(a) and the Town Code. The Final Development Plan vests property rights for a period in excess of three (3) years as warranted by all relevant circumstances, including, but not limited to, the size and phasing of the Project, economic cycles, and market conditions.

Any breach by the Town, Owners, Developer or the Districts of this Final Development Plan shall also constitute a breach of the Annexation Agreement and any non-breaching party(ies) shall be subject to all rights and remedies set forth in the Annexation Agreement.

Section 3. Land Use. The Final Development Plan was submitted to the Town in accordance with Title 7, Chapter 7 (P-D Planned Developments) of the Town Code, and specifically in accordance with Section 7-7-5-2, which addresses final development plan application review procedures in connection with annexation of qualified territory. The FDP Properties and the Project shall be subject to all provisions of the Town Code except as expressly modified by the terms and conditions of the Annexation Agreement or the Final Development Plan, as applicable. In the event of an irreconcilable conflict between or among the terms and conditions of the Town Code, the Final Development Plan, and/or the Annexation Agreement, the terms and conditions of the Final Development Plan and the Town Code shall apply and control in that order.

Section 4. Zoning.

4.1 RC, DC, and Open Space/Forestry Zone Districts. The FDP Properties shall be zoned RC (Residential-Commercial District) and DC (Destination Center District) as modified by the Final Development Plan; specifically, the Cooper Creek Village Property shall be zoned RC and DC with an FDP overlay, and the Cooper Creek South Parcel and the Cooper Creek North Parcels shall be zoned DC with an FDP overlay. The acreage and boundaries of the Planning Areas depicted on the Final Development Plan are preliminary and subject to change as more detailed planning for the FDP Properties progresses. The acreage of any Planning Area may be increased or decreased by up to ten percent (10%) of the total Project acreage in the discretion of JAC or Developer and no amendment of the Final Development Plan shall be required as a result of such increase or decrease. The final acreage of each Planning Area shall be determined at the time of final subdivision platting of all portions of that Planning Area.

4.2 Continuation of Current Use. Notwithstanding any provision of the Final Development Plan or the Town Code to the contrary, all existing residential and commercial uses shall be permitted to continue on the FDP Properties until such time as construction is commenced on such portion of the FDP Properties and all or any portion of FDP Properties shall be permitted to be used for Agricultural or forestry purposes until such time as construction is commenced on such portion or portions of the FDP Properties.

4.2.1. Signage. Notwithstanding any provision of the Final Development Plan or the Town Code to the contrary, all existing signage located on the Cooper Creek South Parcel and the Cooper Creek North Parcels shall be permitted to continue unaltered until the improvements thereon are raised or destroyed. Upon such event on any portion of the Cooper Creek South Parcel Cooper or the Creek North Parcels, any alterations or modifications to existing signage must conform with the applicable sign regulations of the Town.

Section 5. Densities.

5.1 Overall Densities. Developer shall have the right to develop up to 15,000 CSF, 200 OAU and 650 DUs within the Cooper Creek Village Property. Developer shall have the right to develop up to 100,000 CSF (inclusive of redevelopment of existing properties), 520 OAU and 225 DUs within the Cooper Creek South Parcel and the Cooper Creek North Parcels. Affordable housing units, including the deed restricted units ~~contemplated under the~~ Annexation Agreement, shall be excluded from the maximum densities outlined above and permitted under the Final Development Plan. The area occupied by Recreational Amenities shall be credited as an open area when calculating maximum building coverage ratios permitted within the FDP Properties. Land use densities within planning areas defined by the Final Development Plan may be increased or decreased so long as sufficient roadway, water and sewer capacity is available. Up to ~~30%~~ of permitted density within a planning area may transferred to other planning areas without requiring an amendment of the Final Development Plan.

5.2 Land Use Summary Matrix. Subject to the terms of Section 5.1, the FDP Properties may only be developed consistent with the Land Use Summary Matrix of the Final Development Plan, which governs the uses and densities allowed in each Planning Area of the Project.

5.3 Parking. Parking requirements shall comply with Winter Park Standards and Specifications for Construction Section 3.9.3, and all uses under the Final Development Plan shall satisfy the Town Code's parking requirements. In addition, certain parking requirements for the densities contemplated in Section 5.1, and specifically for the parcels owned by CCWP known as the Cooper Creek Square Shopping Center, are addressed in that certain Parking Garage Agreement dated September 2, 2015, and recorded at Reception No. 2021004361 in the Grand County, Colorado public records (the "**Parking Agreement**"). The Parking Agreement provides that CCWP as the owner of the Cooper Creek Square Shopping Center has the right to use 215 unallocated and undesignated parking spaces within the Parking Garage pursuant to the terms of the Parking Agreement. Notwithstanding anything to the contrary in the Parking Agreement, this Final Development Plan hereby amends the Parking Agreement such that CCWP (who may act by and through Developer) may allocate pursuant to separate instrument to the owners of the Cooper Creek South Parcel, Cooper Creek North Parcels, Crestview Place Condominiums and/or Winter Park Station properties, including their successors, assigns, employees, invitees, licensees, customers and tenants, use rights for any surplus parking spaces located in the Parking Garage that are not needed to satisfy the Town Code's parking requirements for Cooper Creek Square. In the event of any conflict between this Section 5.3 amendment and the Parking Agreement, this Section 5.3 amendment shall control. CCWP acknowledges and agrees that consent from third-parties will be required should any third-parties be adversely affected by any revised or updated parking allocation.

Section 6. Infrastructure Financing. In recognition of the extraordinary public infrastructure costs associated with development of the Project, including, without limitation, the Public Improvements, the Town and JAC have agreed to the establishment of certain mechanisms between the public and private sectors to accomplish the financing of the infrastructure

contemplated by the Annexation Agreement. Such mechanisms as set forth in the Service Plan are hereby incorporated by reference.

Section 7. Open Space Dedication.

7.1 Active Open Space. Open space shall be land areas not occupied by buildings, structures, parking areas, driveways, streets or alleys. Said open space shall be devoted to landscaping, planting, patios, walkways, recreational areas and facilities, and preservation of natural features, Recreational Amenities or structures and their Accessory Uses located in common recreation areas shall be considered open space as long as total impervious surfaces, including paving and roofs, constitute no more than five percent (5%) of the total open space. As described in the Final Development Plan, active open space areas (“**Active Open Space**”) are planned throughout the Project and are to be located within the FDP Properties as depicted on the Open Space Plan. These areas shall include the public and private, paved and unpaved, non-motorized, multi-use recreational trails connecting the Project to Town and surrounding properties. All Active Open Space shall remain open and undeveloped, except for the recreational trails, buried utility systems, and other ancillary structures as may be constructed on or installed within Active Open Space areas in accordance with the Final Development Plan. Except as set forth below, the Public Active Open Space is to be public, as depicted on the Final Open Space and Trails Plan, and shall be dedicated to the Town for public use at the time of final subdivision platting of the portion or portions of the FDP Properties containing such Public Active Open Space. The Town shall accept and thereafter own, operate, and maintain the Public Active Open Space for the benefit of the Town’s citizens and guests as further provided below. Private Active Open Space shall be developed and conveyed to the Master Owners Association or the District for the benefit of a specific neighborhood or portion of the Project. The Town shall not be responsible for the maintenance of Private Active Open Space, but the Town will include Private Active Open Space in calculating overall community open space requirements for the Project. In consideration of JAC’s conveyances of the Public Active Open Space, designation of Private Active Open Space and construction of Public Improvements in the Active Open Space, all in accordance with the terms of this Section, no additional public open space dedications or payments in lieu thereof, of any kind, type or sort, shall be required with respect to any portion of the Project. Without limiting the generality of the foregoing, individual subdivision submissions to the Town will not be required to independently satisfy the five percent (5%) public open space requirement of Town Code Section 8-3-10-B (or payment in lieu thereof under Town Code Section 8-3-10-D) at the time of their approval or meet any other dedication or cash-in-lieu requirements that the Town may in the future impose.

7.1.1 Approximate Size and Public Infrastructure of Open Space. As depicted on the Final Open Space and Trails Plan, the Public Active Open Space shall include the following approximate acreage and Public Improvements.

7.1.2 Gondola Easement. As depicted on the Final Open Space and Trails Plan, JAC shall dedicate required easements for the proposed gondola. The easement shall include a width of 100’. The easement shall be granted contemporaneously with approval of the

annexation of the Cooper Creek Village Property pursuant to the terms and conditions of the Annexation Agreement.

7.1.3 Ski Trail Connection. As depicted on the Final Open Space and Trails Plan, the Ski Trail Connection Easement Area shall include a ~~relocatable~~ area that is comprised of a minimum twenty foot (20') wide trail, together with additional widths for cuts, fills and/or retaining walls necessary for the safe establishment of the Ski Trail Connection, the final dimensions of which shall be determined at the time of final design and construction and confirmed upon the filing of the final subdivision plat of a portion or portions of the FDP Properties that includes the Ski Trail Connection segment. A bridge will be constructed over the Union Pacific Railroad right-of-way as required to accommodate the Ski Connection Trail. The bridge located within the Ski Trail Connection will be dedicated to the Town following completion and preliminary acceptance by the Town. The District shall construct or cause construction of the bridge, and the Town shall contribute \$800,000 towards the bridge's construction (the "Town's Contribution"). At the time the bridge is completed, the easement for the Ski Trail Connection within the Ski Trail Connection Easement Area shall be granted by JAC or its assigns, and the Town and the District shall enter into a cost recovery agreement. The formula for collection and distribution of the Town's Contribution shall be determined pursuant to a development improvements agreement entered between the Town and JAC. The Town's Contribution shall be paid to JAC no later than two (2) years following completion of the bridge.

7.1.4 Easement Vacation and Reversion. The easements described in Sections 7.1.2 and 7.1.3 shall be vacated and title to the real property encumbered by those easements shall revert back to the legal title holder of the land underlying the easements upon occurrence of the following events:

7.1.4.1 If the Town has not obtained all required off-site easements for the construction and operation of the gondola within three (3) years following the date of annexation of the Cooper Creek Village Property; or

7.1.4.2 If the gondola or Ski Connection Trail have not been completed within twenty (20) years following the date of annexation of the Cooper Creek Village Property, or completed within thirty (30) years following the date of such annexation in the event the Town extends the full period of vested rights for all of the FDP Properties to be a total of thirty (30) years following the date of annexation of the Cooper Creek Village Property.

7.1.4.3 If the easements described in Sections 7.1.2 and 7.1.3 are vacated, the Owners of the Cooper Creek Village Property shall be required to satisfy the Town's 5% public open space requirement as a condition of completing the vacation and reversion of title to the affected Owners.

7.2 Conveyance of Public Active Open Space.


7.2.1 General Dedication Requirement. Except as set forth below, each application for final subdivision plat approval of any portion of the FDP Properties which includes

or borders a portion of the Public Active Open Space shall provide for the dedication of the entire area of that particular Public Active Open Space as public open space upon approval, execution and recordation of the subdivision plat, unless otherwise provided herein or agreed to by the Parties. Except for the Town, which shall be permitted to construct trail connections within the proposed easements for the Dedicated Trails, nothing contained herein shall be deemed to authorize any other person or party to enter upon any portion of the Public Active Open Space or use the same other than JAC or any other applicable Owner prior to creation and conveyance of the Public Active Open Space to the Town.

7.2.2 Conveyance of Public Trail System. The Dedicated Trails depicted on the Final Open Space and Trails Plan are conceptual in nature and are intended to ensure that key connections between the Town, existing neighborhoods, the Project, and surrounding properties are maintained. The Dedicated Trails shall include the following approximate locations, widths, and uses.

7.2.2.1 Ski Connection Trail. The Ski Connection Trail shall be improved and located within the relocatable Ski Trail Connection Easement Area that shall be comprised of a minimum twenty foot (20') wide trail, together with additional widths for cuts, fills and/or retaining walls necessary for the safe establishment of the Ski Trail Connection, the final dimensions of which shall be determined at the time of final design and construction and confirmed upon the filing of the final subdivision plat of a portion or portions of the FDP Properties that includes the Ski Trail Connection segment; provided, however, that the portion of the Ski Connection Trail that consists of the bridge over the Union Pacific Railroad right-of-way will be dedicated to the Town following completion and preliminary acceptance by the Town. Neither Owners, as applicable, nor Developer shall be responsible for paying for the cost, for the design, construction, and maintenance of the Ski Connection Trail.

7.2.2.2 Single Track Trail Easement. The Single Track Trail shall be situated within the Single Track Trail Easement Area and dedicated to the Town following completion and preliminary acceptance of the bridge over the Union Pacific Railroad right-of-way. The final dimensions and alignment of the Single Track Trail Easement Area shall be confirmed not later than preliminary acceptance of the bridge over the Union Pacific Railroad right-of-way. The Town shall be responsible, at its sole cost, for the design and construction of any improvements in the Single Track Trail Easement Area. JAC may, in connection with development of the Project and in its sole discretion, relocate any portion of the Single Track Easement Area. In the event JAC relocates any portion of the Single-Track Trail Easement Area, relocation of the affected portion of the Single Track Trail shall be at JAC's sole cost and JAC shall be responsible for amending the recorded instruments governing the Single-Track Trail Easement Areas to reflect such relocation.

 7.2.3 Study of Trail Corridors. JAC and the Town shall flag the rough locations of the Dedicated Trails. Upon completion of field verification and within 90 days, JAC shall convey to the Town, one or more relocatable easements for the location, construction, improvement, maintenance, repair, and replacement of the Dedicated Trails. More specific alignments of the Dedicated Trails within each portion of the FDP Properties will be determined at the time of first

final subdivision platting of any portion of the Project, and those alignments shall be depicted on the applicable final subdivision plat(s), subject, however, to an appropriate plat note indicating the relocatable nature of the easement containing the Dedicated Trails. Actual field-constructed alignments of the Dedicated Trails will be evaluated at the time of construction against site constraints such as wetlands, steep slopes, and rock outcroppings, and following construction, the Dedicated Trails may thereafter be relocated from time to time to facilitate forest management, construction, and maintenance activities so long as reasonably equivalent substitute trails are provided. In the event that any change in the as-constructed location of the Dedicated Trails occurs such that the Town's then-current easement grant does not include the as-constructed location of the Dedicated Trails, or any portion thereof, then JAC shall amend the Dedicated Trails Easement as necessary to grant the Town comparable easement rights for the as-constructed location of the Dedicated Trails.

7.3 Uses. Recreational facilities within the Active Open Space, including parking lots and restrooms, and all utilities and infrastructure shall be a Use by Right. The Town shall maintain facilities located within Dedicated Trails and parcels.

Section 8. Subdivision Platting of Property

8.1 Development in Phases. Due to the size and complexity of the development contemplated by the Final Development Plan, the time required to complete development, and the possible impact of economic cycles and varying market conditions which will occur during development of the Project, the Town acknowledges and agrees that development of the Project may proceed in Phases.

8.2 Subdivision of Phases. The Town shall process approval of the subdivision plat(s) presented by JAC in accordance with this Final Development Plan, the Town's Subdivision Regulations (Title 8 of the Town Code), the Town's Design Review Regulations and Guidelines (Title 6, Chapter 3 of the Town Code), the Town's Landscape Design Regulations and Guidelines and all other Town ordinances and regulations which are in effect and uniformly applied throughout the Town's municipal boundaries as of the date of final approval of the Final Development Plan, except to the extent such ordinances and regulations conflict with the terms and conditions of the Final Development Plan, in which case the terms and conditions of the Final Development Plan shall control.

8.3 Re-Subdivision of Previously Approved Subdivision Plats. The Town acknowledges and agrees that certain portions of the Project described in the Final Development Plan are permitted to be developed with multiple-family structures. The Town further acknowledges and agrees that pursuant to the Final Development Plan, these areas are permitted to be subdivided and further re-subdivided into a total number of lots and/or units equal to the approved number of DUs and OAU's designated in the Final Development Plan.

~~**Section 9. Reimbursement for Off Site Improvements.** It is anticipated that Adjacent Projects may, in the future be developed in such a manner and at such an intensity of use which may require such properties to utilize certain off site Public Improvements constructed by the~~

~~District, and more fully described in the Annexation Agreement. At the time of completion of each such off-site Public Improvement, the Town and any of the Owners or the District, as applicable, may enter into a cost recovery agreement. The formula for collection and distribution of such proportionate share of the cost of each off-site Public Improvement shall be determined pursuant to a development improvements agreement entered between the Town and the applicable Owner.~~

Section 10. Enforcement, Assignment of Rights and Obligations. The rights and obligations of the Town and JAC under the Final Development Plan shall be enforceable and assignable as follows:

10.1 Right to Enforce the FDP. The provisions of the Final Development Plan shall run in favor of the Town and shall be enforceable, at law or in equity, by the Town, any of the Owners, the Developer and the District.

10.2 Vested Rights. The Parties intend that the Vested Property Rights conferred by the Annexation Agreement shall attach to and run with the Owners in their capacities as landowners of the FDP Properties and Developer in its capacity as master developer of the Project. Thus, the Vested Property Rights granted by the Agreement and as further defined herein shall attach to and run with the FDP Properties and be enforceable by the Owners and their successors and assigns in interest as landowner(s) of all or any portion of the FDP Properties and shall further attach to and run with the FDP Properties and be enforceable by the Owners, Developer and their successors and assigns in interest. No assignment of the Vested Property Rights shall be required in order for any successor landowner to any Owner or any successor master developer to Developer to be a beneficiary of the Vested Property Rights. Any assignment of an Owner's rights in and to the Vested Property Rights in Owner's capacity as landowner and in Developer's capacity as master developer of the Project shall be made in accordance with Section 10.3 below.

10.3 Assignment of Rights and Obligations. Except as described above in Section 10.2, the rights and obligations set forth in this Final Development Plan are solely the obligations of the Owners and Developer and shall not, except as otherwise set forth in this Section 10.3, run with the land or inure to any purchaser of all or any portion of the FDP Properties. Notwithstanding the foregoing, the Owners and Developer may, in their sole discretion, assign the rights or obligations, or any portion thereof, described in this Final Development Plan or in the Annexation Agreement to any third party, whether or not such third party obtains any interest in the FDP Properties. In the event of any such assignment and subsequent assumption by such third party, any Owner or Developer as assignor shall, as more fully described in such assignment, be relieved of any further liability with respect to the obligations of this Final Development Plan described in such assignment, and the assignee shall thereafter be liable for fulfillment of the assigned obligations. Any such assignment shall be immediately effective as against the parties thereto and the Town upon the recording of a written instrument evidencing such assignment in the real property records of Grand County, Colorado. Any assigning Owner

or Developer shall notify the Town of any assignment pursuant to this Section 10.3, but the Town's consent to any such assignment shall not be required.

Section 11. Rights Which are Vested. As further provided in the Annexation Agreement, the entire Final Development Plan for the FDP Properties, including every provision of this Agreement and the Final Development Plan attached hereto as Exhibit 1, is hereby deemed a part of the Site-Specific Development Plan and any right of or benefit conferred upon the Owners, or any of them, and the Developer, as described herein shall constitute a Vested Property Right. Without limiting the generality of the foregoing sentence, the Vested Property Rights include the right of the Owners and Developer to submit and for the Town to process development applications in accordance with the procedures set forth in the Town Code ~~(as the same was in effect on the Approval Date)~~. Any amendment to the Town Code approved after the Approval Date that creates generally applicable submittal requirements, procedural requirements, or approval criteria which conflict with ~~or are in addition to~~ the terms and conditions of the Agreement, the Final Development Plan, or the Town Code will not apply to the FDP Properties or the Project. In recognition of the size and complexity of the Project contemplated under the Final Development Plan, the time required to complete development, the need for development to proceed in phases, ~~and the possible impact of economic conditions and economic cycles and varying market conditions during the course of development~~, the Owners have the right to develop the FDP Properties in such order and at such rate and at such time as the market dictates consistent with the Final Development Plan.

Section 12. Miscellaneous.

12.1 Amendments. This Agreement may be amended only with the prior written approval of all of the Parties and any such amendment shall be recorded in the Grand County, Colorado real property records.

12.2 Notices. Any notice required by this Agreement shall be in writing, addressed as follows:

If to the Town:

Town of Winter Park
50 Vasquez Road
Winter Park, CO 80482
Attn: Town Clerk

If to JAC, CCWP or SWP:

Charles J. Johnson
747 Sheridan Blvd., #7D
Lakewood, CO 80214

With a copy to:

Johnson & Repucci LLP
850 W. South Boulder Road, Suite 100
Louisville, CO 80027
Attn: Michael J. Repucci

If to WPT:

Robin Wirsing
P.O. Box 3233
Winter Park, CO 80482

If to District No. 1:

Cooper Creek Village Metropolitan District No. 1
c/o Icenogle Seaver Pogue, P.C.
4725 S. Monaco St., Suite 360
Denver, CO 80327

With a copy to:

Alan Pogue, Esq.
Icenogle Seaver Pogue, P.C.
4725 S. Monaco St., Suite 360
Denver, CO 80327

If to District No. 2:

Cooper Creek Village Metropolitan District No. 2
c/o Icenogle Seaver Pogue, P.C.
4725 S. Monaco St., Suite 360
Denver, CO 80327

With a copy to:

Alan Pogue, Esq.
Icenogle Seaver Pogue, P.C.
4725 S. Monaco St., Suite 360
Denver, CO 80327

If to District No. 3:

Cooper Creek Village Metropolitan District No. 3
c/o Icenogle Seaver Pogue, P.C.
4725 S. Monaco St., Suite 360
Denver, CO 80327

With a copy to:

Alan Pogue, Esq.
Icenogle Seaver Pogue. P.C.
4725 S. Monaco St., Suite 360
Denver, CO 80327

If to District No. 4:

Cooper Creek Village Metropolitan District No. 4
c/o Icenogle Seaver Pogue, P.C.
4725 S. Monaco St., Suite 360
Denver, CO 80327

With a copy to:

Alan Pogue, Esq.
Icenogle Seaver Pogue. P.C.
4725 S. Monaco St., Suite 360
Denver, CO 80327

If to District No. 5:

Cooper Creek Village Metropolitan District No. 5
c/o Icenogle Seaver Pogue, P.C.
4725 S. Monaco St., Suite 360
Denver, CO 80327

With a copy to:

Alan Pogue, Esq.
Icenogle Seaver Pogue. P.C.
4725 S. Monaco St., Suite 360
Denver, CO 80327

Notices will be deemed delivered and effective as follows: if given personally, when delivered

to the Party to whom it is addressed; if delivered by overnight courier, the date upon which delivery is confirmed by such overnight courier; or if given by mail, five (5) days after a letter containing such notice, properly addressed, with postage prepaid, is deposited in the United States mail.

12.3 Entire Agreement. This Agreement constitutes the entire and final understanding among the Parties with respect to the subject matter hereof, other than the FDP and subsequent development improvement agreements affecting the FDP Properties. This Agreement supersedes all prior agreements and understandings between the Parties relating to the subject matter hereof.

12.4 Assignment. Any Owner may assign to one or more successor developers or a District all or any part of its obligations and rights under this Agreement in accordance with the terms and conditions of this Agreement, any applicable service plan for the District, and applicable law. A District may assign to one or more additional metropolitan districts all or any part of its obligations and rights under this Agreement in accordance with the terms and conditions of this Agreement, any applicable service plan for the District, and applicable law. Where used in this Agreement or in the FDP, the term "JAC," "CCWP," "SWP," "WPT" or "District" shall also mean any of the lawful successors or assigns of JAC, CCWP, SWP, WPT and/or the District, and all such successors and assigns shall be bound by and have the right to enforce this Agreement.

12.5 Severability. If any term, provision, covenant, or condition of this Agreement is held by a court of competent jurisdiction to be invalid, void, or unenforceable, the remaining provisions of this Agreement shall, unless amended or modified by mutual consent of the Parties, continue in full force and effect.

12.6 Third Parties. There are no intended third-party beneficiaries to this Agreement.

12.7 Conflict with Other Provisions of the Town Code. In the event any provision of this Agreement conflicts with any provision of the Town Code, this Agreement shall control the determination of the rights and obligations of the Parties with respect to such conflicting matter.

12.8 Counterparts. This Agreement may be executed in multiple counterparts, each of which will be deemed to be an original and all of which taken together will constitute one and the same agreement.

12.9 Governing Law and Venue. This Agreement shall be governed by the laws of the State of Colorado, and any legal action concerning the provisions hereof shall be brought in Grand County, Colorado.

12.10 No Waiver. Delays in enforcement or the waiver of any one or more defaults or breaches of this Agreement by the Town shall not constitute a waiver of any of the other terms

or obligation of this Agreement.

12.11 Governmental Immunity. The Town and its officers, attorneys and employees, are relying on, and do not waive or intend to waive by any provision of this Agreement, the monetary limitations or any other rights, immunities or protections provided by the Colorado Governmental Immunity Act, C.R.S. § 24-10-101, *et seq.*, as amended, or otherwise available to the Town and its officers, attorneys or employees.

12.12 Rights and Remedies. The rights and remedies of the Town under this Agreement are in addition to any other rights and remedies provided by law. The expiration of this Agreement shall in no way limit the Town's legal or equitable remedies, or the period in which such remedies may be asserted, for work negligently or defectively performed.

12.13 Subject to Annual Appropriation. Consistent with Article X, § 20 of the Colorado Constitution, any financial obligation of the Town not performed during the current fiscal year is subject to annual appropriation, shall extend only to monies currently appropriated, and shall not constitute a mandatory charge, requirement, debt or liability beyond the current fiscal year.

[Remainder of page left intentionally blank]

COOPER CREEK WP, LLC, a Colorado limited liability company

By: _____
Charles J. Johnson
Authorized Representative

STATE OF COLORADO)
) ss.
COUNTY OF _____)

The foregoing instrument was subscribed, sworn to and acknowledged before me this ____ day of _____, 2022, by Charles J. Johnson, as Authorized Representative of Cooper Creek WP, LLC, a Colorado limited liability company, on behalf of the company.

My Commission expires:

(S E A L)

Notary Public

STATION WP, LLC, a Colorado limited liability company

By: _____
Charles J. Johnson
Authorized Representative

STATE OF COLORADO)
) ss.
COUNTY OF _____)

The foregoing instrument was subscribed, sworn to and acknowledged before me this ____ day of _____, 2022, by Charles J. Johnson, as Authorized Representative of Station WP, LLC, a Colorado limited liability company, on behalf of the company.

My Commission expires:

(S E A L)

Notary Public

EXHIBIT 1

FINAL DEVELOPMENT PLAN

Existing Conditions

Existing conditions including but not limited to existing topography, wetlands, vegetation, etc. have been evaluated and serve as a backbone to the plan. These exhibits have been included in this document.

The Cooper Creek Village Property is approximately 53.3 acres and is currently undeveloped. Adjacent parcels include the United States Forest Service to the south and Union Pacific Railroad located to the east. The Beaver Village Condominiums are located to the east/northeast. Existing single family residential homes are located to the northwest and west. The Wintermoor Townhomes along with undeveloped parcels are located to the north.

Vehicle access is provided to the north from Vasquez Road which will include constructing a vehicle and ski bridge across the Union Pacific Railroad. Western access is provided via Timber Drive. The proposed multi-modal transportation system will provide significant connections between the downtown core and Timber Drive providing alternative circulation and emergency vehicle access to these respective neighborhoods.

The property rises from the northeast to the southwest. This rise reflects approximately 245 feet in elevation. Slopes that are approximately 30% or greater are located within the southwest quadrant portions of the property.

A drainage tributary traverses southwest to northeast across the property intersecting with US 40 to the east. Located in the northwest quadrants is a second smaller drainage that also traverses southwest to northeast.

Existing vegetation includes lodge pole pine, aspen, native shrubs, and grasses. There has been some forest management conducted on the property to remove dead trees impacted by the pine beetle. Existing wetlands have been mapped and are primarily located within the drainage corridors. The enclosed wetland report summarizes jurisdictional and non-jurisdictional wetlands. The intent is to incorporate preservation of the existing drainage and wetland corridors to the extent practicable.

Located to the north of the Cooper Creek Village Property, the Cooper Creek South Parcel (CCS) comprises approximately 1.91 acres. The Cooper Creek South Parcel is located on the south side of Vasquez Road. Located to the east of the Cooper Creek South Parcel is the Winter Park Station commercial project and the Crestview residential condominium.

Existing physical characteristics of the Cooper Creek South Parcel include existing topography that rises from the north to the south. Some of the topographic features, including surface parking areas, are a result of the Crestview condominium and Winter Park Station project construction. Existing vegetation includes lodge pole pine, aspen, native shrubs, and grasses.

The Cooper Creek North Parcels (CCN) are located north of Vasquez Road between Lions Gate Road and US 40. These parcels are part of the existing Cooper Creek Square complex, which

includes a variety of the commercial and non-commercial uses. The Cooper Creek Square Complex was master planned as an integrated project with the existing parking structure located to the south of the existing Cooper Creek Square mixed use building. Commercial parcels are located to the north of the Cooper Creek North Parcels.

Existing physical conditions include the existing Cooper Creek Square mixed use building and pedestrian plaza. The undeveloped parcels to the north were configured with the intent to construct additional mixed use buildings. These parcels do not include any existing natural vegetation and have been utilized for service and access.

Commented [JS1]: This information is needed for background research but should not be part of the FDP document.

Existing Zoning

The Cooper Creek Village Property is currently located within Grand County, CO and is zoned Forestry/Open. The Cooper Creek South Parcel (CCS) and the Cooper Creek North Parcels (CCN) are located within the Town of Winter Park (the "Town") and zoned D-C.

Commented [JS2]: Same as comment above

Exhibit B DISTRICTS AND USES

Zoning

Commented [JS3]: This is already covered in the Development Guide

The Town's Master Plan and 3-Mile Plan identify the Cooper Creek Village Property as a potential site for development. Given the location is within the 3-mile growth area and existing adjacent land uses, the parcel is ideally positioned for to serve as a mixed-use development and expansion of the downtown core.

The Town's master plan recommendations discuss enhancing connectivity between the Town core and Winter Park Resort. Enhancing vehicle and pedestrian connectivity between the Town core and existing neighborhoods is a primary objective of the Final Development Plan. This parcel is also located within the gondola alignment identified in the Town's master plan. Establishing a gondola link along with both ski and recreation trail connections will provide significant community and regional benefits. The economic benefits to the downtown core and Fraser Valley will be expansive.

As outlined above, the intent is to zone the Cooper Creek Village Property to provide for mixed use and a variety of residential housing types. The Town's D-C zoning is proposed for the core of the Cooper Creek Village Property. This zoning will permit the core to be developed as a mixed-use center that will include a variety of commercial, residential, hospitality, entertainment and recreation uses.

R-C zoning is planned for the Cooper Creek Village Property's planning areas located to the south and west of the core. The R-C zone district allows for less intensive land uses with a focus on residential. It also permits some commercial that may be proposed for specific areas of this portion of the Cooper Creek Village Property.

The Cooper Creek South Parcel (CCS) and the Cooper Creek North Parcels (CCN) will maintain the existing D-C zoning. This zoning is consistent with the intent and recommendations outlined in the Downtown Master Plan.

This Final Development Plan (FDP) proposes utilizing an overlay zone land use district for each planning area that will allow for variations from the D-C and R-C zone districts to further achieve community and planning objectives. Planning and development standards have been created for each planning area to further ensure that project objectives will be addressed.

Land Use

The master plan for the Cooper Creek Village Property is divided into four villages with individual planning areas, each of which has its own unique set of permitted land uses and development standards. Each planning area has a specified maximum number of dwelling units, commercial square feet, and lodging units per the planning area summary table. Movement of the

boundaries between the planning areas may be necessary to accommodate a specific design or development.

As illustrated on the enclosed land use plan, the intent is to incorporate mixed use and commercial uses within the Town core. The central quadrant of the Cooper Creek Village Property is proposed to include a mix of commercial and residential land uses. Planning areas located south of the proposed gondola terminal are also planned to be mixed use. These planning areas are also a natural extension of the existing downtown core.

Planning areas located on the southern and western perimeter of the Cooper Creek Village Property are planned to be predominantly residential with some commercial uses. These planning areas may include a variety of single family, single family attached and multi family housing types.

In keeping with the character of the D-C and R-C zone districts intended to be applicable to the Cooper Creek Village Property, while modifying them to meet the intent and context of Cooper Creek Village planned for development on the Cooper Creek Village Property, the following are the permitted land uses, which are illustrated on the enclosed land use plan:

LAND USE TABLE

P=Permitted S=Special Use Permit L=Limited Use Blank=Not Allowed

USE	RC-- Residential	DC-- Mixed Use	OS-- Public Open Space
RESIDENTIAL USES			
Single Family Detached Dwelling			
Site Built Dwelling or Modular Home	P	P	
Zero Lot Line Homes	P	P	
Single Family Attached Dwelling	P	P	
Duplex	P	P	
Townhouse	P	P	
Multiple-Family			
Apartment	P	P	
Multiplex	P	P	
Assisted Living Facility	P	P	
Live-Work Unit	P	P	
Residential Accessory Uses			
Accessory Structures	P	P	
Accessory Dwelling Unit	P	P	
Greenhouse (Personal)	P	P	
Home Occupation	S	S	
On-Site Employee Housing	P	S	
Outdoor Storage Area	S	S	S

Commented [JS4]: Please add that the approval procedures in the UDC must be followed for all uses and that all procedures in the UDC are applicable.

Commented [JS5]: Should this be limited instead of special?

Commented [JS6]: Should this be limited instead of special?

Outdoor Swimming Pool	P	P	P
Real Estate Sales Office and Design Center	P	P	
Overnight Accommodations			
Bed and Breakfast	L	PL	
Campground with Overnight Accommodations			F
Hostel		PL	
Hotel or Motel		P	
Short-Term Rental	PL	PL	
Agricultural			
Nursery (Retail)			P
Stable (Public)			
Agricultural Accessory			
Farm Stand			P
Animal, Crop, and Farm Equipment Storage			P
Commercial, Civic, and Institutional			
Convenience Store and Gasoline Station	PS	PS	
Vehicle Parts, Sales, Rental and Leasing		S	
Adult Day Care		P	
Art Gallery and Studio		P	
Clinic, Medical Lab, or Urgent Care		L	
Club or Lodge		P	
Community Garden	P	P	P
Daycare Facility	P	P	
Library		P	
Museum		P	
Park or Playground	P	P	P
Passenger Terminal		P	P
Place of Public Assembly	L	L	
Plaza	P	P	P
Public Service Facility	P	P	PL
School, Primary or Secondary	P	P	P
Special Event	S	S	S
Commercial and Service			
Bank/Credit Union	P	P	
Bar/Tavern	P	P	
Brewing/Distillery/Winery Production w/ on premise consumption	P	P	
Commercial Amusement, Indoor		P	
Commercial Amusement, Outdoor		P	
Farmer's Market	P	P	
Kennel	S	S	S
Marijuana-Related Uses	L	L	
Personal Services	P	P	
Restaurant	P	P	
Retail Sales	P	P	
Veterinary Services, Small Animal	P	P	

Commented [JS7]: Will need a definition.

Commented [JS8]: Unbold

Commented [JS9]: Unbold

Non-Residential and Mixed-Use Accessory			
Accessory Structures	L	L	L
Drive-Through Facility	L	L	
Garden Center	L	P	
Mobile Vending	S	S	S
Outdoor Display & Sales	L	L	
Refuse Containers	P	P	P
Vehicle Wash	L	L	
Office			
Professional Office	P	P	
Medical Office	P	P	
Parking, Free-Standing			
Parking Lot or Parking Garage (Commercial)		S	
Parking Lot (Off-Site)		S	S
Industrial			
Rock Crushing	S	S	S
Bus Storage			S
General Utilities			
Utility, Major	S	S	S
Utility, Minor	P	P	P
Renewable Energy Uses			
Solar Energy, Accessory	P	P	P
Wind Energy, Accessory	P	P	P
Geothermal Heat Exchange, Accessory	P	P	P
Telecommunications Uses			
Wireless Telecommunication Facility	S	S	S
Waste-Related Services			
Disposal/Recycling Facility			S
Transportation			
Transit Center/Bus Stations	P	P	P
Gondola/Ski Lift	P	P	P
Recreation			
Parks	P	P	P
Picnic Shelters	P	P	P
Playground	P	P	P
Sports Field	P	P	P
Sports Courts	P	P	P

Commented [JS10]: Will need a definition

Commented [JS11]: Will need a definition

Commented [JS12]: Will need a definition

Commented [JS13]: Already noted above

Commented [JS14]: Will need a definition

Commented [JS15]: Will need a definition

PROCEDURES AND ADMINISTRATION Dimensional Standards

The Land Use Summary provides a summary of the planning areas, proposed densities, commercial square feet and dwelling units per acre. ~~Planning Area acreages and boundaries are preliminary and subject to change with more detailed planning. The acreage of each planning area may change up to 10% without requiring an official change to the FDP. Final planning area acreages shall be determined at the time of platting in conformance with the FDP.~~

Commented [JS16]: Already in the Development Guide

LAND USE SUMMARY

COOPER CREEK VILLAGE (CCV) PROPERTY

PLANNING AREA	USE	ACRES	PERCENT OF TOTAL	MAXIMUM RESIDENTIAL DENSITY DU/AC	MAXIMUM # OF RESIDENTIAL UNITS	MAXIMUM # OF LODGING UNITS	MAXIMUM COMMERCIAL SQ. FT.
NORTH VILLAGE							
NPA-1	RESIDENTIAL	7.4	13.8%	15	111		
NPA-2	RESIDENTIAL	1.1	2.1%	20	22		
SOUTH VILLAGE							
SPA-3	RESIDENTIAL	11.3	21.2%	20	225		
SPA-4	RESIDENTIAL	4.8	9.1%	20	97		
EAST VILLAGE							
EPA-5	MIXED USE	8.0	14.9%	28	223	200	15,000
EPA-6	RESIDENTIAL	6.3	11.8%	15	95		
WEST VILLAGE							
WPA-7	RESIDENTIAL	7.9	14.8%	5	40		
WPA-8	RESIDENTIAL	1.9	3.5%	20	38		
OPEN SPACE							
PA-9	<u>PUBLIC</u> OPEN SPACE	4.7	8.7%				
TOTAL		53.3	100.0%		650*	200*	15,000*

Commented [JS17]: Provide explanation to how these numbers are calculated

Commented [JS18]: The title for residential units, lodging units and commercial sqft should match the titles in the Development Agreement. It should be Dus, OAU's and CSF.

COOPER CREEK SOUTH PARCEL (CCS) & COOPER CREEK NORTH PARCELS (CCN)

PLANNING AREA	USE	ACRES	% OF TOTAL	MAXIMUM RESIDENTIAL DENSITY DU/AC	MAXIMUM # OF RESIDENTIAL UNITS	MAXIMUM # OF LODGING UNITS	MAXIMUM COMMERCIAL SQ. FT.
CCS PA-1	MIXED USE	1.9	32.8%	40	76	200	25,000
CCN PA-2	MIXED USE	3.9	67.2%	40	156	320	75,000
TOTAL		5.8	100.0%		225*	520*	100,000*

* NUMBER REPRESENTS MAXIMUM ALLOWED TOTAL UNITS/SQ. FT. PER THIS FDP

DEVELOPMENT STANDARDS

~~Slope Preservation and Grading~~

~~Development will be limited on steep slopes that exceed 30%. At the time of platting, the applicant will demonstrate that areas with steep slopes have been avoided to the greatest extent practicable. Isolated pockets of 30% slopes will be considered acceptable for development. Roadways, trails, and utilities are acceptable on 30% and greater slopes.~~

~~All site grading shall have natural, smooth transitions to existing topography.~~

~~Parking~~

~~Parking requirements shall comply with Winter Park Standards and Specifications for Construction, Section 3.9.3. On-street parking shall be counted towards total off-street parking requirements for commercial uses. The Parking Garage Agreement as amended by this Final Development Plan permits the use of 215 parking spaces in the Parking Garage for use by the Owner of the CCWP property and for use by the Owners of the Cooper Creek South Parcel and the Cooper Creek North Parcels in order to satisfy parking requirements pursuant to the Town Code, all as specifically described in the Final Development Plan.~~

~~Pedestrian Sidewalks~~

~~Road 1 will require either a 6-foot walk along the side of the street, or a detached trail, that reinforces public pedestrian connectivity between the village and Town core.~~

~~Retaining Walls~~

1. Retaining walls may encroach into required setbacks in the following circumstances:
 - a. It is shown that the wall cannot be located within the setback due to structural issues;
 - b. They are an appropriate engineering solution needed to mitigate risk to life and property;
 - c. They are necessary to retain soils and stabilize sites; or their use is part of an approved landscape plan, erosion control plan, slope stability plan, or stormwater management plan.
2. Permitted retaining walls will blend with the natural setting as follows:
 - a. Retaining walls will be finished with timbers, native rock, finished masonry, architectural concrete, split face block or concrete masonry units (CMU) (if not facing a public right-of-way);
 - b. Retaining walls shall reference earth tones found in the surrounding area.
3. Structural retaining walls exceeding 4 feet will be designed and stamped by a Colorado Registered Professional Engineer, specializing in Structural Engineering, when required by the Town's Building Code.
4. Retaining walls shall be limited to four (4) tiers with a maximum height of six feet (6') per tier. Tiers shall be staggered at three to five feet (3 - 5') apart horizontally. Landscape shall be located within the tiers provided it is integrated and permitted with the structural requirements of the wall system. Specific conditions may require retaining wall heights that exceed six feet (6') high and will be reviewed and permitted at the time of platting.

Commented [JS19]: Staff is recommending this be deleted and allow the UDC to govern this standard.

Commented [JS20]: Already addressed in the Development Agreement

Commented [JS21]: The road standards will dictate which type of pedestrian connection should be made for Road 1.

Commented [JS22]: Staff is recommending this section be amended to reflect the height of walls anticipated for CCV.

5. Retaining wall heights and tiers required for the Ski Trail Connection, skier bridges and road bridges may be required to exceed the requirements outlined in note 4.

Wetlands

~~Impacts to jurisdictional wetlands will be processed and approved with the regulations outlined by the United States Army Corps. of Engineers.~~

Accessory Dwelling Unit

- ~~1. Any accessory dwelling unit (ADU) shall:
 - a. Have a minimum size of three hundred (300) square feet not to exceed fifty percent (50%) of the gross floor area of the principal dwelling;
 - b. Include a kitchen (to include, but not be limited to, a sink, a refrigerator, and a range);
 - c. Include a full bathroom (to include, but not be limited to, a sink, a toilet, and a shower or bathtub);
 - d. Be provided with a separate entrance from the principal dwelling;
 - e. Not be subdivided and/or subsequently sold as fee simple ownership. It shall remain as part of the property where the primary unit is located;~~
- ~~2. Detached ADUs shall be:
 - a. Served by a driveway or parking space that is separate or shared with the primary residence standards;
 - b. Separated from the principal dwelling unit by a minimum of ten feet (10') or can be attached provided it has a separate entrance.~~
- ~~3. Located to the rear or side of the principal dwelling unit.~~
- ~~4. Where a principal residential use is expanded to accommodate an attached or detached ADU, the expansion shall be designed, clad, painted, and roofed in a manner that is comparable to the principal dwelling unit.~~

Commented [JS23]: Staff is recommending this be deleted and allow the UDC to govern this standard.

Commented [JS24]: Staff is recommending this be deleted and allow the UDC to govern this standard.

DEVELOPMENT DIMENSIONAL STANDARDS TABLE

Planning Area	Residential Minimum Lot Size		Maximum Building Height (1)		Front Setback (2)	Side Setback (4)	Rear Setback (5)	Max. Building Coverage
	SFD	SFA & Townhomes	SFD, SFA & Townhomes	MF				
CCA-CCS PA-1	1,250 sf	1,250 sf	40 feet	75/55 feet (7,135, 11)	0 feet (3)	0 feet	0 feet	n/a
CCS PA-2	1,250 sf	1,250 sf	40 feet	75 feet (113)	0 feet (3)	0 feet	0 feet	n/a
NPA-1	1,250 sf	1,250 sf	40 feet (124)	50 feet	5 feet (3)	5 feet	5 feet	Note 6, 7, 88, 97, 108
NPA-2	1,250 sf	1,250 sf	40 feet	50 feet	5 feet (3)	5 feet	5 feet	Note 6, 7, 88, 9, 10
EPA-5	1,250 sf	1,250 sf	40 feet	75/55 feet (7,135, 11)	0 feet (3)	0 feet	0 feet	n/a
EPA-6	1,250 sf	1,250 sf	40 feet	50 feet	10 feet (3)	5 feet	10 feet	Note 6, 7, 88, 9, 10
SPA-3	1,250 sf	1,250 sf	40 feet	50 feet	10 feet (3)	5 feet	10 feet	Note 6, 7, 88, 9, 10
SPA-4	1,250 sf	1,250 sf	40 feet	50 feet	10 feet (3)	5 feet	10 feet	Note 6, 7, 88, 9, 10
WPA-7	3,500 sf	1,250 sf	40 feet	50 feet	10 feet (3)	5 feet	10 feet	Note 6, 7, 88, 9, 10
WPA-8	3,500 sf	1,250 sf	40 feet (146)	50 feet (146)	10 feet (3)	5 feet	10 feet	Note 6, 7, 88, 9, 10
PA-9	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a

Commented [JS25]: Are there dimensional standards for commercial uses or will UDC govern?

Commented [JS26]: Will need provisions for corner lots.

Dimensional Notes

- As defined in the Town of Winter Park Ordinance 324, Series of 2002, as amended.
- Front setback measured from right of way or private access easement.
- Public Right-of-Way:** Front loaded garages shall be a minimum of 20 feet from the public right-of-way. ~~Side loaded garages may have 10-foot front setback from the right-of-way or edge of private drive.~~ Front loaded and side loaded garages located on a public right-of-way shall have a 20-foot minimum parking apron that is measured from face of garage to edge of property line adjacent to the public right-of-way. ~~Side loaded garages may have 10-foot front setback from the right-of-way or edge of private drive.~~
- Private Right-of-Way or Access Easement:** Front loaded or rear loaded garages from private drives shall be a maximum of 5 feet from the property line or 20 feet from the property lines based on approved setbacks for the Planning Area. Lots with unique topographic and/or geometric configurations, the garage can be a maximum of 7 feet from the property line if at least one portion of the garage remains at 5 feet from the property line. Side loaded garages ~~may have 10-foot front setback from the right-of-way or edge of private drive~~ and shall have a 20-foot minimum parking apron that is measured from face of garage to edge of property line.
- ~~Minimum building separation shall be as specified above. Roof overhangs, bay or box windows, fireplaces, cantilevers and other architectural features may be located within the side setback. Provided that the encroachment does not exceed 24 inches.~~
- ~~Roof overhangs, bay or box windows, fireplaces, cantilevers and other architectural features may be located within the rear setback. Provided that the encroachment does not exceed 24 inches. Decks, patios and covered porches may extend within 10 feet from the rear property line.~~
- ~~7.5.~~ The building height shall be a maximum of 75 feet for structures that allocate a minimum of 60% of the units for ~~hotel and lodging accommodation~~ OAU (See note 11). The maximum building height for multi-family

Commented [JS27]: Staff is recommending this be deleted and allow the UDC to govern this standard.

projects that do not contain ~~accommodation units (OAU's or function as a condominium hotel)~~ shall be 55 feet.
~~8-6.~~ Planning areas that contain attached single-family dwelling and multifamily (townhomes, condominiums, apartments) shall have a 60% maximum building coverage requirement. Individual lots shall not be required to meet building coverage requirements.

~~97.~~ Planning areas that contain detached single-family dwellings on lots less than 10,000 sq. ft. shall have a maximum building coverage of 40%. Individual lots shall not be required to meet building coverage requirements.

~~108.~~ Planning Areas that contain detached single-family dwellings on lots greater than 10,000 sq. ft. shall have a maximum building coverage of 50% on each individual lot. The ~~lots~~ planning area shall not be required to meet building coverage requirements.

~~119.~~ Side yard setbacks shall not apply to Multifamily buildings and single family attached units with a common wall.

~~1210.~~ There shall not be a minimum lot frontage requirement for residential uses.

~~13-11.~~ Build to Lines shall apply to public right-of-way frontage. The build to line shall be measured from the public right-of-way. Buildings greater than 55 feet in height should not exceed ~~55-40~~ feet at the Build to Line. Buildings may increase to 75 feet within a bulk plane, defined by a 45-degree line cast from any point above the 55 feet Build to Line.

~~14-12.~~ Structures located within the northwest quadrant of NPW-1 shall ~~include-only-be~~ single family attached or detached units (see Land Use Plan for approximate location). These structures shall not exceed a maximum building height of 35'.

~~15-13.~~ A 30' landscape buffer shall be located within the northwest quadrant of ~~NPW/NPA-1 adjacent to Idlewild Meadows Subdivision~~ (see Land Use Plan for approximate location).

~~16-14.~~ A 20' landscape buffer will be required along the west side of Planning Area WPA-8 if structures exceed a maximum height of 35'.

Commented [JS28]: What about commercial uses?

Exhibit C PLANS

Vicinity Map

Existing Conditions & Site Analysis Exhibit

Existing Zoning Exhibit

~~Proposed~~ Zoning Plan

Land Use Plan

Multi-Model Plan

Conceptual Grading Plan

Commented [JS29]: Refer to the PDF copies of these maps for staff comments

Commented [JS30]: This map can be removed from the FDP documents

Exhibit D TRAILS & OPEN SPACE

Trails and Open Space

The trails proposed throughout the Cooper Creek Village Property will further advance the Town of Winter Park's goal of enhancing connectivity. Numerous trails will be incorporated into the Cooper Creek Village Property including the Ski Trail Connection that will provide a community connection between the Town core and Winter Park Resort. The landowners will dedicate a permanent relocatable trail easement. This trail easement may need to be increased where cut or fill slopes are present. Horizontal and vertical grading will be coordinated with the ski area to ensure safe and viable access to the Town core. The trail will be located within the western quadrant of the Cooper Creek Village Property.

A bridge will be constructed over the Union Pacific Railroad as required to accommodate the Ski Trail Connection. The Town of Winter Park will share in the construction cost of the bridge pursuant to a separate cost recovery agreement to be negotiated upon completion of the bridge.

In addition to the trails discussed above a series of interconnected trails will be provided. Public trails will be located within a 10-foot relocatable easement. Specific locations will be determined during the subdivision process.

As illustrated on the Open Space plan, large contiguous areas of open space are to be preserved. These areas include the existing drainage and riparian corridors. Wetland areas will also be preserved to the extent practicable.

Commented [JS31]: This is already covered in the Development Guide

Exhibit E – DRAINAGE CORRIDOR WILDLIFE & FOREST MANAGEMENT

The Cooper Creek Village Property includes two natural drainages. The primary drainage corridor meanders through the southern portion of the Cooper Creek Village Property. This corridor ranges in width from 20 feet to 230 feet. A second drainage corridor is located within the northwest quadrant of the Cooper Creek Village Property.

In keeping with the vision of Cooper Creek Village, the intent is to preserve and enhance the natural integrity of these corridors within the Cooper Creek Village Property. Enhancing and preserving these corridors will continue to provide for wildlife habitat and recreational opportunities.

As illustrated on the existing conditions plans, these corridors include significant wetland areas. These wetland areas have been mapped with the intent is to preserve them as part of the open space system. A wetlands report has been prepared and is included within this FDP for review. Any disturbance to the wetlands will be reviewed and approved by the United States Army Corp. requirements.

The southwestern portion of the Cooper Creek Village Property is defined by a series of mountains and hillsides. Some of these geographic features are comprised of slopes that exceed a 30% vertical gradient. Slopes 30% or greater will be preserved as open space. This will include maintaining the existing vegetation to the extent practicable.

Existing vegetation on the Cooper Creek Village Property includes massing's of lodgepole pine, spruces, and aspen trees. The forest has been impacted by the mountain beetle resulting in damaged or dead trees. A Forest Management plan will be prepared with each final subdivision plat.

Commented [JS32]: This is great background information but since it does not have any regulations associated with it, it should not be in the FDP.

WILDLIFE MITIGATION

Commented [JS33]: Applicant will revise

An important focus of the Cooper Creek Final Development Plan ~~isto~~ is to incorporate land uses and amenities into the natural environment and animal communities that inhabit the area. The first task to creating a human community compatible with the natural community is to understand the function and value of the natural environment and associated wildlife communities present on the site. ERO was retained to conduct a natural resource assessment for the Cooper Creek Village Property (see included ERO Natural Resources Assessment). This analysis included an audit of the Cooper Creek Village Property defined as Parcel V which included a site reconnaissance to identify and address any potential wildlife issues associated with the project's Wildlife issues specifically addressed in this preliminary audit includes:

1. Federal and State Listed Threatened, Endangered and Sensitive Species
2. Raptors and Migratory Birds
3. Game Species and Other Wildlife-Related Issues

APPROACH

The overall approach to the project is to gather existing information and identify data deficiencies in the existing data. Field reconnaissance surveys were conducted to gather missing data or verify and augment existing data necessary to perform the audit of wildlife resources. Field reconnaissance concentrated on identification of the presence of habitat necessary to support sensitive wildlife species, including threatened and endangered species, game species, or other species and habitats protected by state or federal regulations.

THREATENED, ENDANGERED AND SENSITIVE SPECIES

As outlined in the ERO Natural Resources Assessment, the Cooper Creek Village Property does not include any endangered species. It was reported that the south wetland could serve as habitat for the Boreal Toad. There were no Boreal Toads or frogs observed. As noted, the intent is to preserve the wetland complex. The report also discusses field observations and recommendations related to habitat for wildlife and raptors.

DISCUSSION AND RECOMMENDATIONS

The Natural Resources Assessment identified the following primary wildlife issues associated with the proposed Cooper Creek Village Property's development:

1. Disturbance to riparian corridors.
2. Moose Habitat
3. Potential boreal toad and raptors habitat.

RECOMMENDATION AND MITIGATION

In addition to recommendations outlined in the Natural Resources Assessment, the following are additional mitigation directives and considerations.

1. Protect locally important wildlife habitat areas such as the two natural tributary drainage corridors.
2. Maintain open travel corridors along the drainages.
3. Minimize disturbance and stress to wildlife.

Minimizing stress to wildlife, elk and moose is also an important consideration. Stress to elk can come from direct human presence, harassment by domestic dogs, hike/bike trail use, and cross-country skiing, snow shoeing and other winter recreation. Management prescriptions that can reduce human related stress and disturbance to elk and moose within the Annexation Property include the following:

1. Kenneling all domestic dogs.
2. Designing hike/bike trails to avoid disturbance to potential foraging areas.
3. Requiring dogs on trails to be on a 6-foot or less leash.
4. Utilize and incorporate wildlife proof trash containers.

Exhibit F – LANDSCAPE & SNOW STORAGE GUIDELINES

Landscape Guidelines

The Property shall be subject to the Town of Winter Park's Landscape Design Regulations and Guidelines, as amended herein and in the Annexation and Development Agreement.

The Property shall comply with the Town of Winter Park's Landscape Design Regulations and Guidelines allowing outdoor watering to the extent permitted.

Tree clearing within the Property will be limited to designated development areas and prudent forest management practices (including forest thinning and spraying and other mountain pine beetle or similar pest defense techniques).

Snow Storage Guidelines

Snow storage shall be subject to the Town of Winter Park's snow storage requirements. Specific snow storage locations and area calculations will be provided at the time of subdivision. Wherever possible snow storage areas will be located at the ends of roads or in other locations that are easily accessible to snow plows and not encroaching onto roadways or private properties.

Commented [JS34]: Since both sections are referring to Town standards this can be deleted from the FDP.

Exhibit G – ROAD STANDARDS

Transportation

A road network has been strategically designed for the Cooper Creek Village Property to incorporate recommendations in the Winter Park Master Plan and provide the maximum flexibility for each planning area. Vehicle access is provided to the north from Vasquez Road which will include constructing Road 1 and a grade separated crossing over the Union Pacific Railroad. Road 2 is designed to provide a connection from Road 1 to existing Timber Drive. Mass transit stops throughout the Cooper Creek Village Property will be incorporated into the master plan with locations to be determined at the time of subdivision plat.

The included Roadway Report further outlines the transportation considerations and standards. This report includes design standards that will provide for safe access while also maintaining the natural integrity of the Cooper Creek Village Property including minimizing extensive cuts and fills.

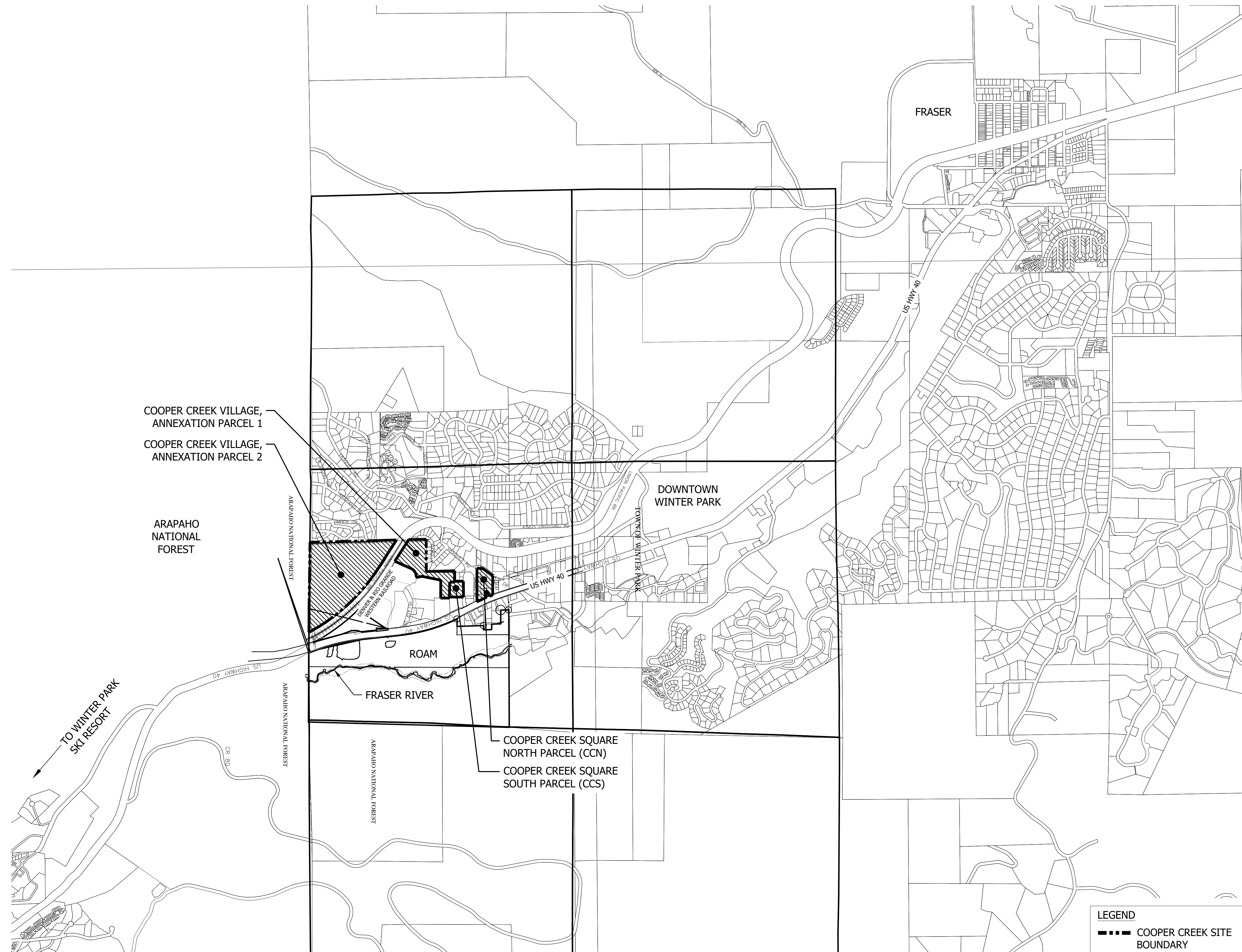
The Cooper Creek North Parcels and the Cooper Creek South Parcel will also utilize a multi-modal approach to transportation. These parcels are strategically located within the Town core which includes walkable blocks. It is the intent of the FDP to enhance these walkable blocks by creating pedestrian-oriented streetscapes. The Town's Transit Center is located adjacent to Cooper Creek Square.

Another major component of the multi-modal system is the proposed gondola and ski connection trail. These regional transportation facilities will provide much needed connectivity between the Downtown core and Winter Park Resort. Providing an alternative year-round connection between the Town core and resort will provide significant social, economic, and environmental benefits to the Fraser Valley and Grand County.

Commented [JS35]: This is great background information but should not be part of the FDP.

COOPER CREEK VILLAGE & COOPER CREEK SQUARE FINAL DEVELOPMENT PLAN

LOCATED IN THE TOWN OF WINTER PARK,
COUNTY OF GRAND, STATE OF COLORADO
VICINITY MAP



LEGEND
 - - - - - COOPER CREEK SITE BOUNDARY

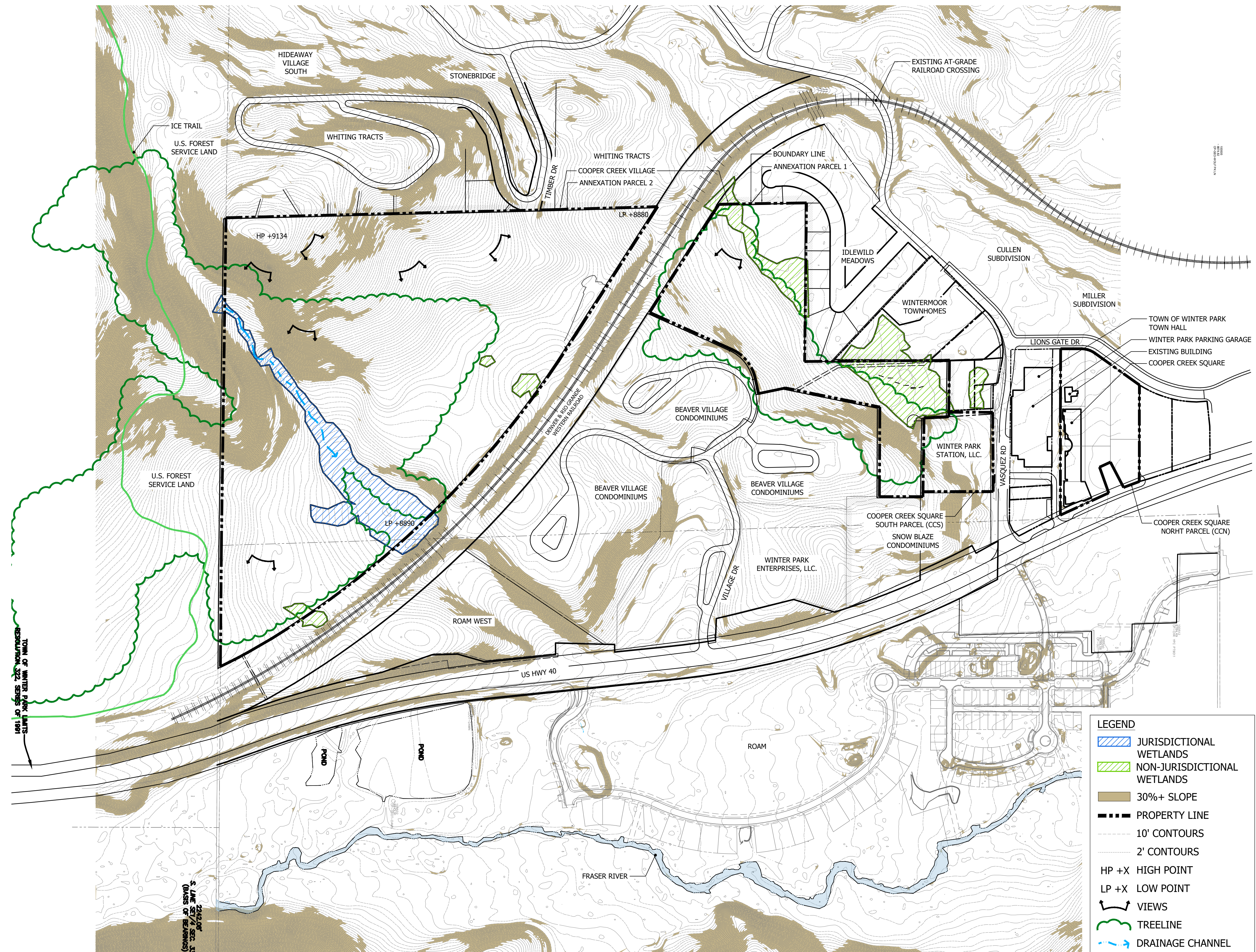
SCALE: 1"=1000'
 0 500 1000 2000

VOGEL & ASSOCIATES
 475 W. 12th Avenue - Suite E
 Denver, Colorado 80204-3688
 (303) 893-4288

h:\vogel\cooper creek\cad\cooper creek - vicinity map.dwg

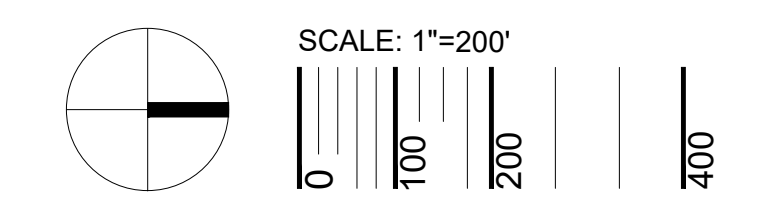
COOPER CREEK VILLAGE & COOPER CREEK SQUARE FINAL DEVELOPMENT PLAN

LOCATED IN THE TOWN OF WINTER PARK,
COUNTY OF GRAND, STATE OF COLORADO
EXISTING CONDITIONS AND SITE ANALYSIS



LEGEND

- JURISDICTIONAL WETLANDS
- NON-JURISDICTIONAL WETLANDS
- 30%+ SLOPE
- PROPERTY LINE
- 10' CONTOURS
- 2' CONTOURS
- HP +X HIGH POINT
- LP +X LOW POINT
- VIEWS
- TREELINE
- DRAINAGE CHANNEL



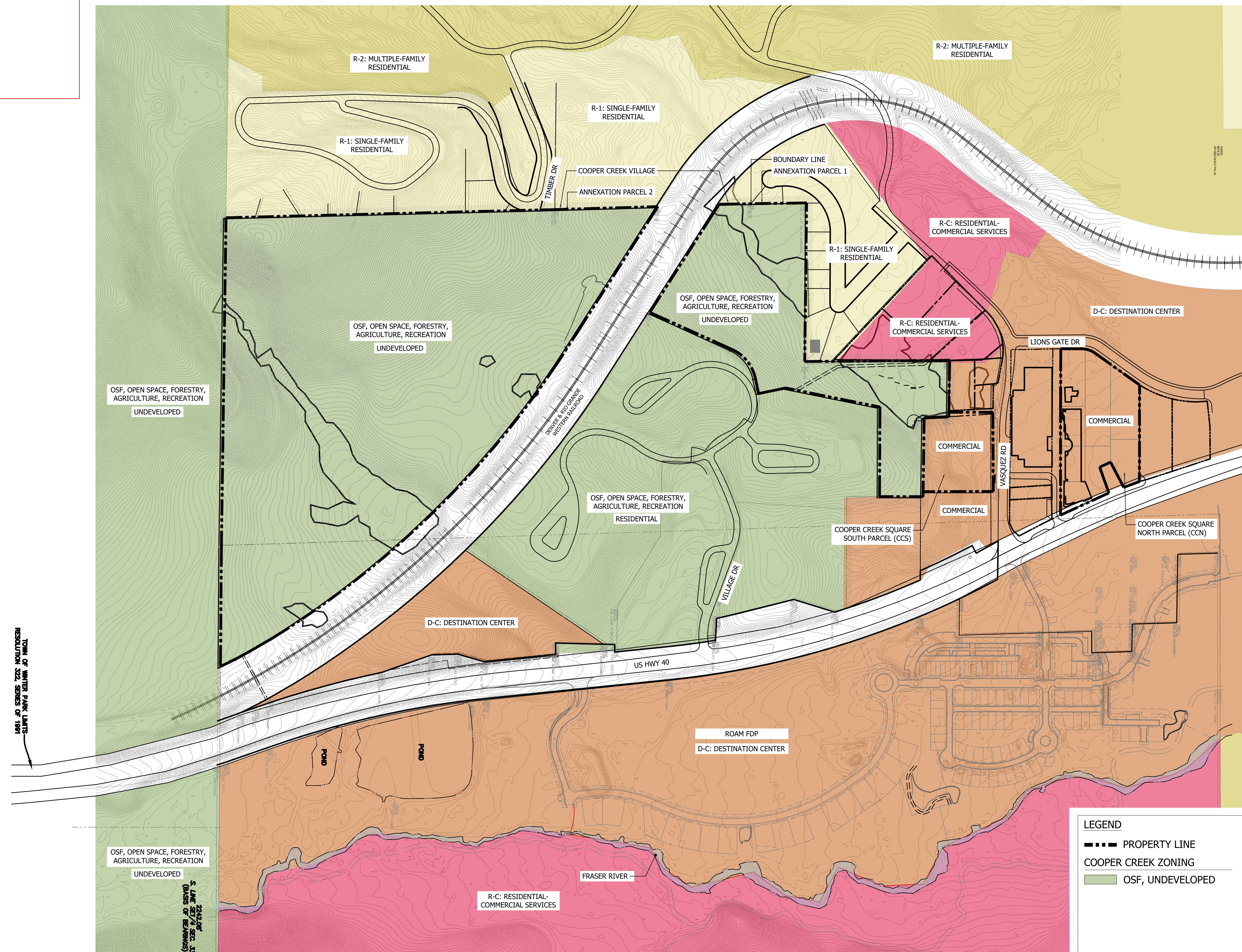
VOGEL & ASSOCIATES
475 W. 12th Avenue - Suite E
Denver, Colorado 80204-3688
(303) 893-4288

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COOPER CREEK VILLAGE & COOPER CREEK SQUARE FINAL DEVELOPMENT PLAN

LOCATED IN THE TOWN OF WINTER PARK,
COUNTY OF GRAND, STATE OF COLORADO
EXISTING ZONING

This map can be deleted.



LEGEND

- PROPERTY LINE
- COOPER CREEK ZONING
- OSF, UNDEVELOPED

SCALE: 1"=200'

0 100 200 400

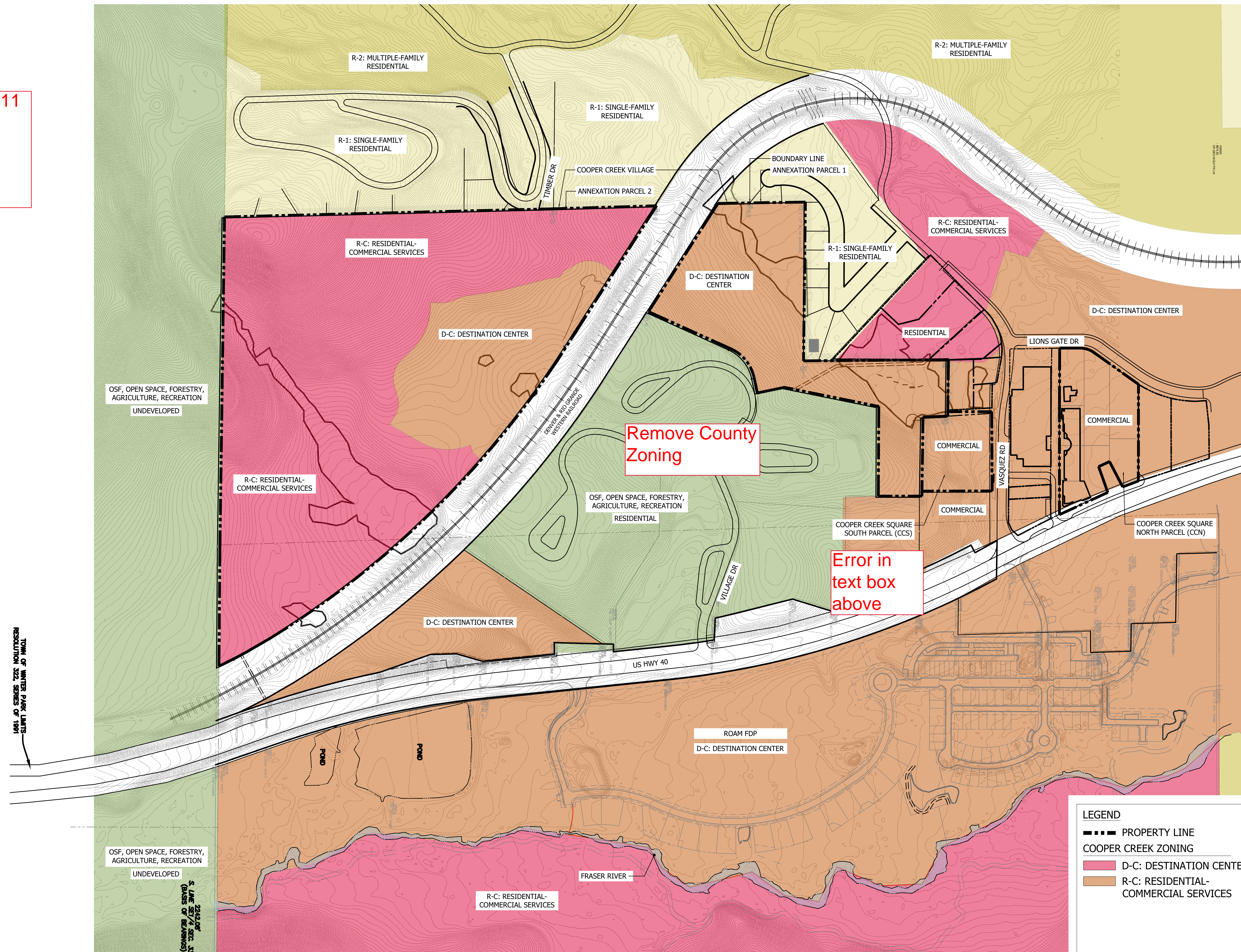
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Denver, Colorado 80204-3688
(303) 893-4288

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COOPER CREEK VILLAGE & COOPER CREEK SQUARE FINAL DEVELOPMENT PLAN

LOCATED IN THE TOWN OF WINTER PARK,
COUNTY OF GRAND, STATE OF COLORADO
~~PROPOSED~~ ZONING

Update to show all 11 parcels being annexed.



Remove County Zoning

Error in text box above

LEGEND

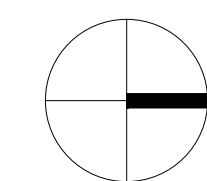
- PROPERTY LINE
- COOPER CREEK ZONING
- D-C: DESTINATION CENTER
- R-C: RESIDENTIAL-COMMERCIAL SERVICES

Colors need to be switched.

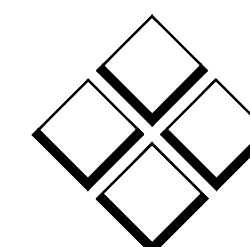
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TOWN OF WINTER PARK LIMITS
RESOLUTION 302, SERIES OF 1991

S. LINE SE1/4 SEC. 35
(BASED ON RECORDS)



SCALE: 1"=200'
0 100 200 400



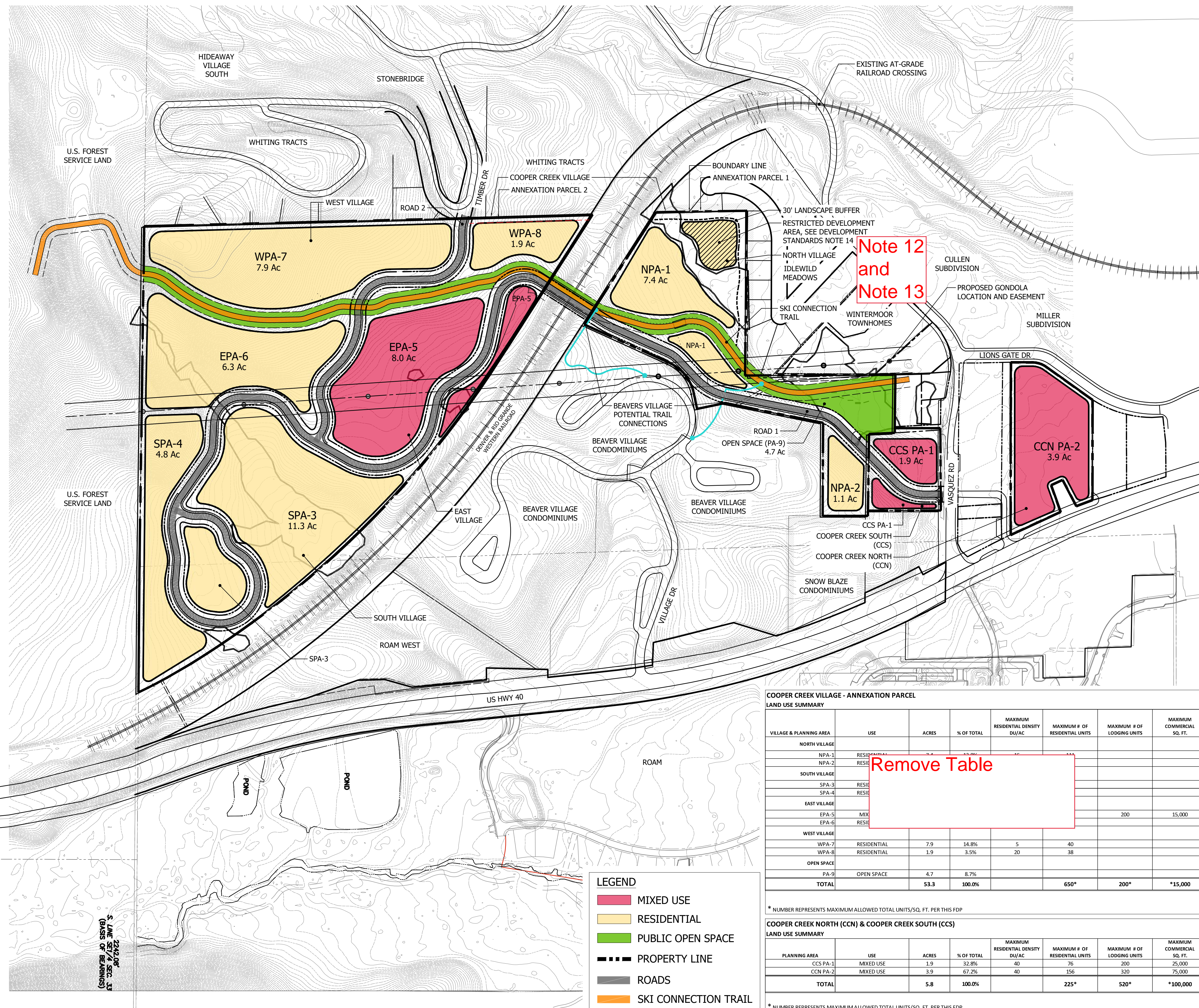
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COOPER CREEK VILLAGE & COOPER CREEK SQUARE FINAL DEVELOPMENT PLAN

LOCATED IN THE TOWN OF WINTER PARK,
COUNTY OF GRAND, STATE OF COLORADO
LAND USE PLAN

Update to show all 11 parcels being annexed as background to the planning areas

Add base zoning to the different planning areas. It can be just added as DC or RC under the planning area designation.
Example
WPA-7
RC Base Zone
7.9 Ac



TOWN OF WINTER PARK LIMITS
RESOLUTION 322, SERIES OF 1991

S. 1/4 SEC. 35
T. 224 N. R. 35 E.
(BASED ON BEARINGS)

LEGEND

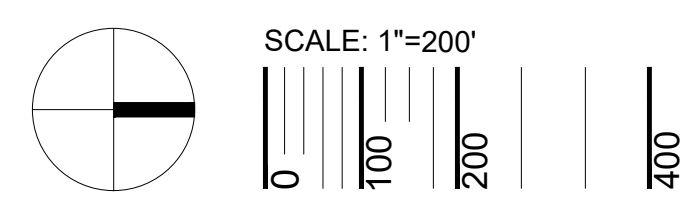
- MIXED USE
- RESIDENTIAL
- PUBLIC OPEN SPACE
- PROPERTY LINE
- ROADS
- SKI CONNECTION TRAIL

COOPER CREEK VILLAGE - ANNEXATION PARCEL
LAND USE SUMMARY

VILLAGE & PLANNING AREA	USE	ACRES	% OF TOTAL	MAXIMUM RESIDENTIAL DENSITY DU/AC	MAXIMUM # OF RESIDENTIAL UNITS	MAXIMUM # OF LODGING UNITS	MAXIMUM COMMERCIAL SQ. FT.
NORTH VILLAGE							
NPA-1	RESIDENTIAL	7.4	13.9%	20	40		
NPA-2	RESIDENTIAL	1.1	2.1%	20	20		
SOUTH VILLAGE							
SPA-3	RESIDENTIAL	11.3	21.2%	20	40		
SPA-4	RESIDENTIAL	4.8	9.0%	20	20		
EAST VILLAGE							
EPA-5	MIXED USE	8.0	15.0%	40	200	200	15,000
EPA-6	RESIDENTIAL	6.3	11.8%	20	40		
WEST VILLAGE							
WPA-7	RESIDENTIAL	7.9	14.8%	5	40		
WPA-8	RESIDENTIAL	1.9	3.5%	20	20		
OPEN SPACE							
PA-9	OPEN SPACE	4.7	8.7%				
TOTAL		53.3	100.0%		650*	200*	*15,000

COOPER CREEK NORTH (CCN) & COOPER CREEK SOUTH (CCS)
LAND USE SUMMARY

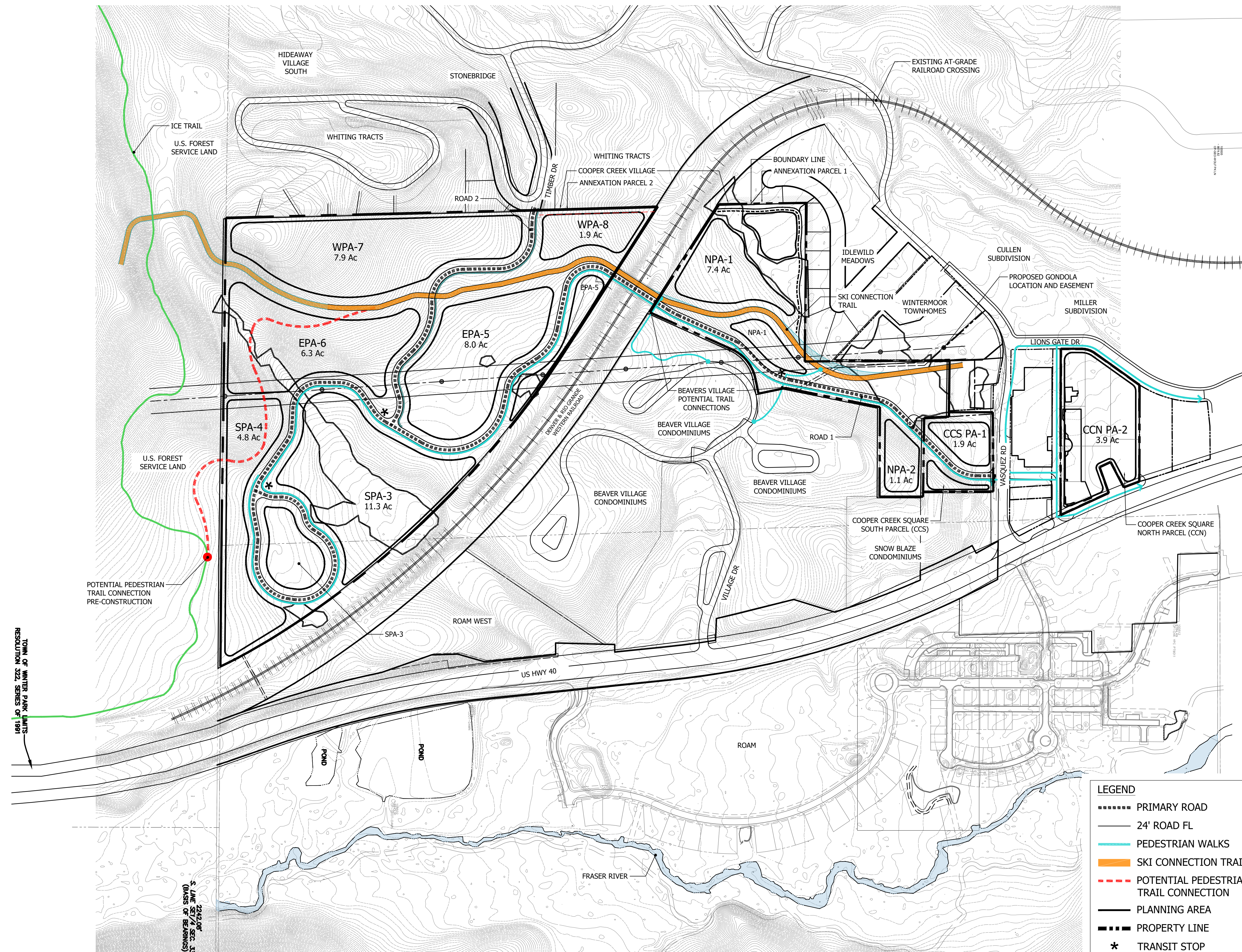
PLANNING AREA	USE	ACRES	% OF TOTAL	MAXIMUM RESIDENTIAL DENSITY DU/AC	MAXIMUM # OF RESIDENTIAL UNITS	MAXIMUM # OF LODGING UNITS	MAXIMUM COMMERCIAL SQ. FT.
CCS PA-1	MIXED USE	1.9	32.8%	40	76	200	25,000
CCN PA-2	MIXED USE	3.9	67.2%	40	156	320	75,000
TOTAL		5.8	100.0%		225*	520*	*100,000



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COOPER CREEK VILLAGE & COOPER CREEK SQUARE FINAL DEVELOPMENT PLAN

LOCATED IN THE TOWN OF WINTER PARK,
COUNTY OF GRAND, STATE OF COLORADO
MULTI-MODAL CIRCULATION PLAN

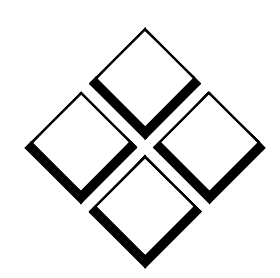
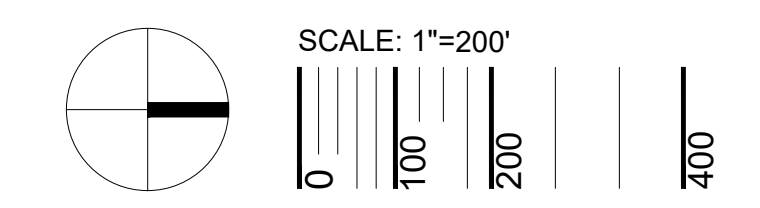


LEGEND

- PRIMARY ROAD
- 24' ROAD FL
- PEDESTRIAN WALKS
- SKI CONNECTION TRAIL
- - - - POTENTIAL PEDESTRIAN TRAIL CONNECTION
- PLANNING AREA
- — — — PROPERTY LINE
- * TRANSIT STOP

Remove
"Primary"
Add "Public"

Remove
"Potential"
Add
"Public"

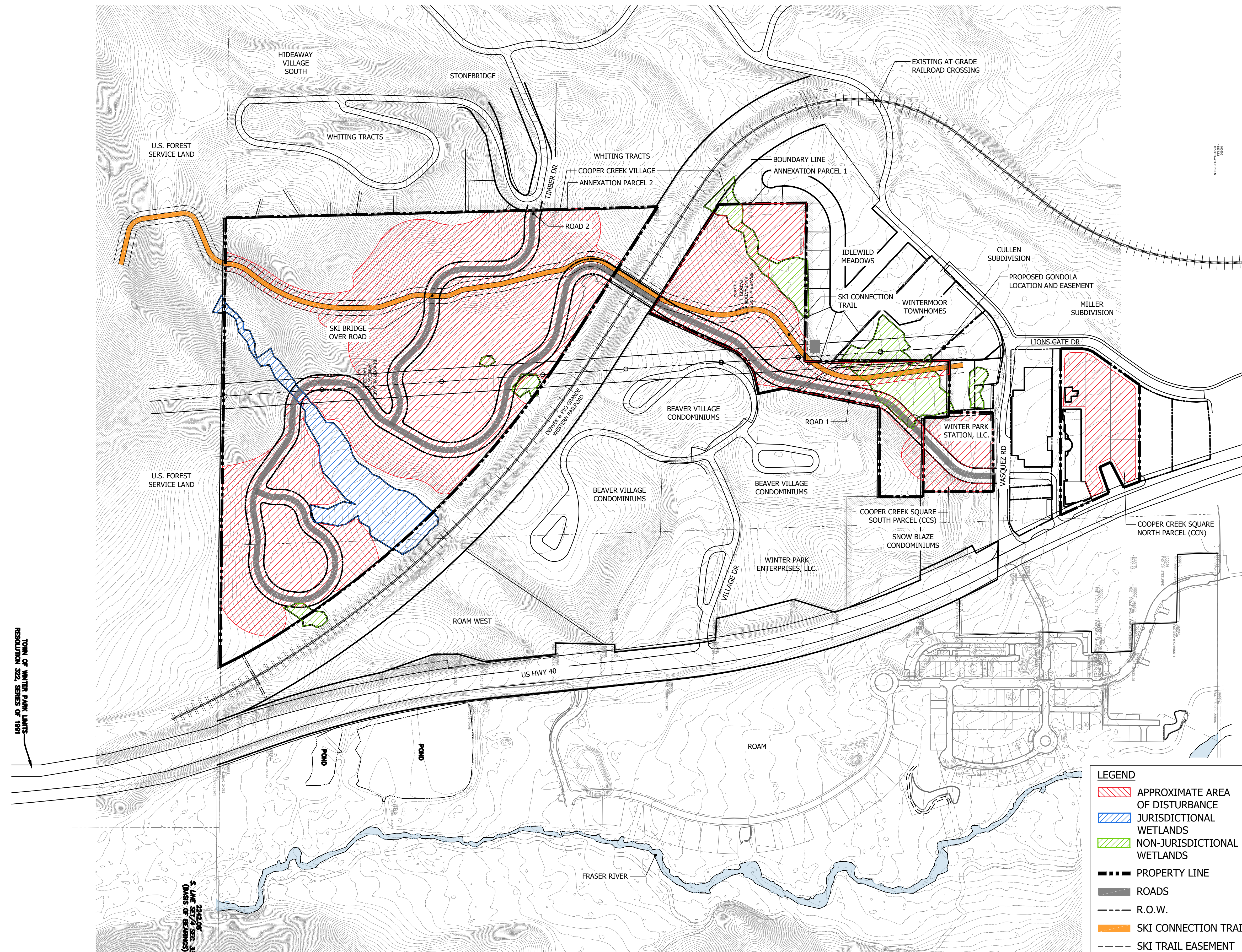


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COOPER CREEK VILLAGE & COOPER CREEK SQUARE FINAL DEVELOPMENT PLAN

LOCATED IN THE TOWN OF WINTER PARK,
COUNTY OF GRAND, STATE OF COLORADO
CONCEPTUAL GRADING PLAN



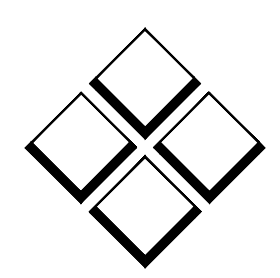
TOWN OF WINTER PARK LIMITS
RESOLUTION 2022, SERIES OF 1001

S. LINE 2342.00'
(BASED ON BEARINGS)

LEGEND

- APPROXIMATE AREA OF DISTURBANCE
- JURISDICTIONAL WETLANDS
- NON-JURISDICTIONAL WETLANDS
- PROPERTY LINE
- ROADS
- R.O.W.
- SKI CONNECTION TRAIL
- SKI TRAIL EASEMENT

SCALE: 1"=200'

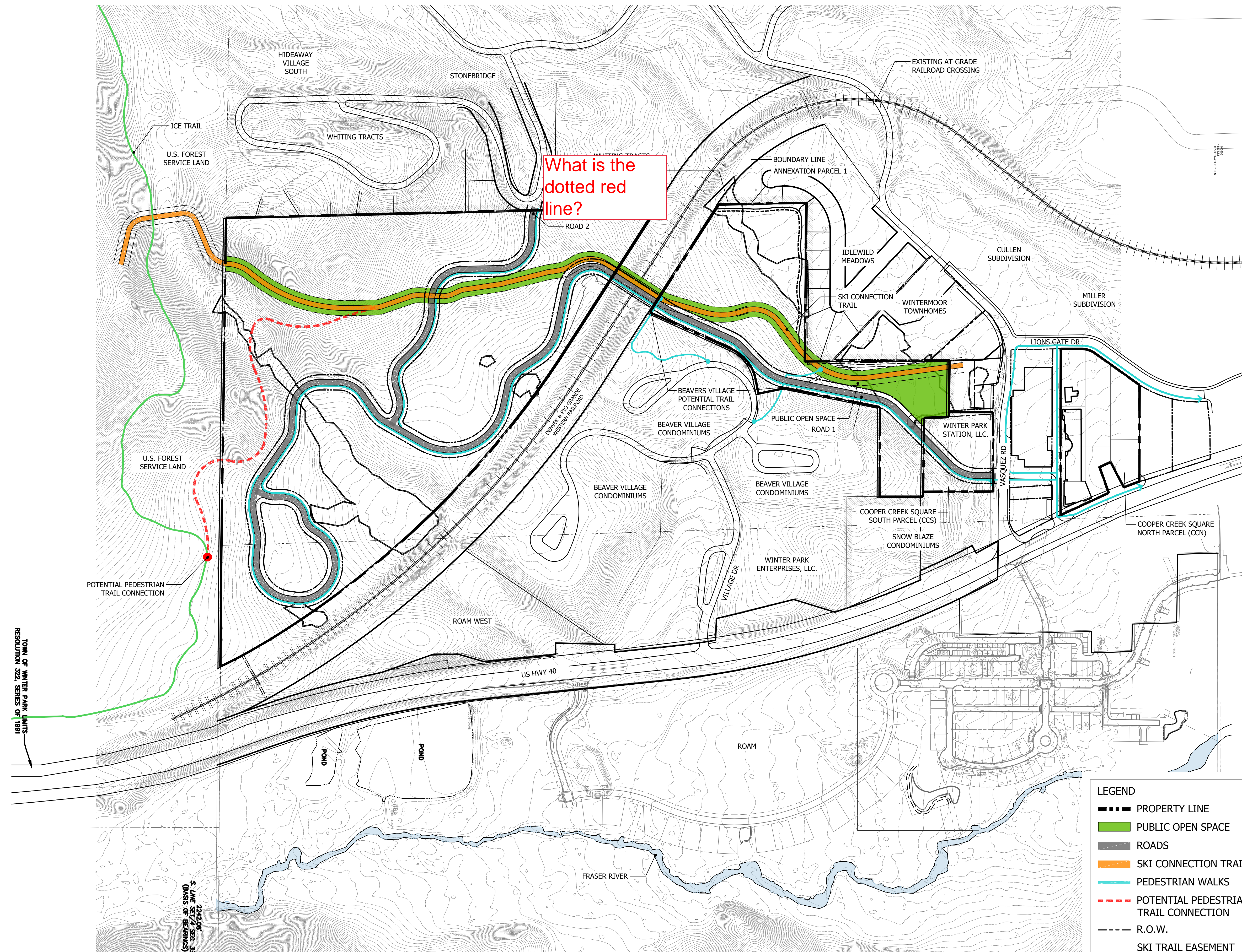


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(303) 893-4288

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COOPER CREEK VILLAGE & COOPER CREEK SQUARE FINAL DEVELOPMENT PLAN

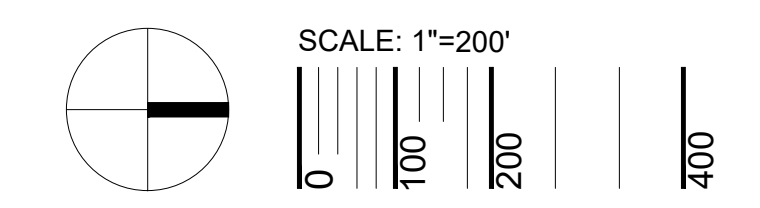
LOCATED IN THE TOWN OF WINTER PARK,
COUNTY OF GRAND, STATE OF COLORADO
OPEN SPACE AND TRAILS PLAN



What is the dotted red line?

LEGEND

- PROPERTY LINE
- PUBLIC OPEN SPACE
- ▬ ROADS
- ▬ SKI CONNECTION TRAIL
- ▬ PEDESTRIAN WALKS
- - - POTENTIAL PEDESTRIAN TRAIL CONNECTION
- - - R.O.W.
- - - SKI TRAIL EASEMENT



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(303) 893-4288

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From: [Killian - CDOT, Brian](#)
To: [James Shockey](#)
Cc: [Kandis Aggen - CDOT](#)
Subject: Re: Agency Review Comment Request: Cooper Creek Village and Cooper Creek Square, Town of Winter Park
Date: Tuesday, May 17, 2022 1:35:43 PM

James,

Thanks for the referral. CDOT coordinated with the developer months ago on the traffic study methodology, but nothing has been formally submitted to CDOT. The developer will need to submit a traffic study and access permit applications for all intersections to the highway that increase traffic by 20% or more or if they create safety and operational issues. Per the traffic study page 22:

"As a result of anticipated background traffic growth, intersection improvements are required at all intersections along US 40."

The Town will need to be the permittee for all Town Streets or delegate authority to the developer to be the permittee on behalf of the Town.

Please let me know if you have any questions.

Thanks,

Brian Killian
Region 3 Access Program Manager
Traffic & Safety



P 970-683-6284 | C 970-210-1101 | F 970-683-6290
222 S. 6th St, Room 100 Grand Junction, CO 81501
brian.killian@state.co.us | www.codot.gov | www.cotrip.org

On Mon, May 16, 2022 at 3:20 PM James Shockey <jshockey@wpgov.com> wrote:

Hello Review Agencies and Utility Providers:

Charlie Johnson, representing JAC Colorado II, LLC, has submitted a Final Development Plan (FDP) in conjunction with an Annexation Agreement and Vested Property Rights Agreement to the Town of Winter Park for Cooper Creek Village (CCV) and Cooper Creek Square (CCS). CCV consists of two vacant parcels of unincorporated land in Grand County totaling approximately 53 acres proposed to be annexed into the Town. The parcels are located south of Town Hall and are bordered to the north by Idlewild Subdivision, to the east by Beaver Village Condominiums, to the south by USFS land, and to the west by Hideaway Village South. The Union Pacific Railroad divides the two parcels. CCS consists of 5.8 acres of land located in Town limits and

includes Cooper Creek Square, Paellas Restaurant, Allegiant Management, and associated gravel parking lots.

Please review the application materials [here](#) and provide comments no later than **5pm on Tuesday, June 21, 2022**. The comments will be made part of the public record of the Town of Winter Park. Hearings for the Planning Commission and Town Council will be scheduled once major comments from the Town have been addressed.

Thank you for your assistance in reviewing this development. Please respond with questions and your comments to:

- James Shockey, Community Development Director
- jshockey@wpgov.com
- 970.726.8081 ext. 206

Thanks,

James Shockey, AICP

Director | Community Development



COLORADO GEOLOGICAL SURVEY

1801 Moly Road
Golden, Colorado 80401



June 21, 2022

Karen Berry
State Geologist

James Shockey
Winter Park Community Development
P.O. Box 3327
50 Vasquez Rd.
Winter Park, CO 80482

Location:
SW¹/₄ Section 33,
T1S, R75W of the 6th P.M.
39.9128, -105.7872

**Subject: Cooper Creek Village and Cooper Creek Square
Town of Winter Park, Grand County, CO; CGS Unique No. GR-22-0007**

Dear Mr. Shockey:

Colorado Geological Survey has reviewed the Cooper Creek Village and Cooper Creek Square Final Development Plan (FDP) referral. The FDP includes:

- Cooper Creek Village consists of two vacant parcels of unincorporated land in Grand County, totaling approximately 53 acres to be annexed into the town and will include commercial, hospitality, recreation, and up to 650 residential units.
- Cooper Creek Square consists of 5.8 acres of land located in Town limits and will include up to 225 residential units.

With this referral, CGS received a request for review (Email dated May 16, 2022); Final Development Plan (Vogel & Associates, April 29, 2022); Phase I Geotechnical Engineering Report (Olsson, Inc., October 15, 2020); and other documents. I visited the site on June 3, 2022. I did not observe any conditions that would preclude the proposed development. Olsson's geotechnical assessment for Phase I is good; **provided all Olsson's recommendations are adhered to, CGS has no objection to the final development plan.** CGS offers the following comments and recommendations.

Drainage tributary and flooding. Per the FDP (page A-102), a drainage tributary traverses southwest to northeast across the property, and existing wetlands have been mapped within the drainage. This drainage is indicated on sheet C-3 of the FDP as jurisdictional wetlands. The proposed zoning map (sheets C-5 and C-6) of the FDP shows the proposed use for this area as residential. **CGS recommends that development in areas associated with this drainage be avoided and preserved as open space.**

Site geology and slope stability concerns. According to available geologic mapping (Shroba et al., 2010, Geologic map of the Fraser 7.5-minute quadrangle, Grand County, Colorado: U.S. Geological Survey, Scientific Investigations Map SIM-3130, scale 1:24,000), the site is underlain by Till of Bull Lake age, Till of Pinedale age, stream terrace alluvium, and biotite gneiss. This is consistent with Olsson's geology descriptions on page 7 of their report. Olsson also describes the site as containing "some steeper hillsides" but states that "obvious signs of slope instability and landslides were not observed." Although the slopes appear to be stable under current conditions (and are not mapped as unstable or containing landslide deposits), currently stable slopes can be destabilized if modifications are made to existing conditions through the excavation of cuts, the addition of fills, removal of vegetative cover, and changes to drainage patterns, infiltration rates, and soil water content. CGS agrees with Olsson (page 9) that "grading for development can change the stability of rock and soil masses and need to be considered for the final grading plans for

the site.” **Olsson should review the grading plans to verify that their recommendations have been correctly incorporated into the project design for all roadways, structures, retaining walls, etc.**

The southwest portion of Cooper Creek Village contains slopes of 30 percent or greater. Per page B-6 of the FDP, “Development will be limited on steep slopes that exceed 30%. At the time of platting, the applicant will demonstrate that areas with steep slopes have been avoided to the greatest extent practicable.” **CGS recommends that development on slopes greater than 30 percent or greater be avoided and preserved as open space.** If roadways, trails, and utilities are deemed acceptable on these steeper slopes, a qualified engineer should evaluate the slopes with the proposed conditions.

Olsson makes appropriate recommendations regarding retaining walls, retaining wall foundation soils, structural fill placement behind and beneath retaining walls, and behind-wall drainage. These recommendations must be strictly adhered to throughout the design and construction of the proposed retaining walls.

Undocumented fill materials. Undocumented fill was encountered in Olsson’s borings drilled for the proposed hotel site. All undocumented fill material encountered during site grading and within utility trenches and retaining wall and building foundation excavations will need to be removed and replaced with properly moisture-conditioned and compacted, clean structural fill (free of debris). All materials associated with the proposed hotel site (asphalt parking lot, gravel parking, foundations, utilities, etc.) must be completely demolished, removed, and disposed of offsite, *not* graded into the existing fill.

Shallow groundwater. Groundwater was encountered as shallow as 11 feet below the ground surface. CGS agrees with Olsson (page 24) that “groundwater may have an impact on deep planned excavations and/or, if necessary, drilled shaft construction.” The test borings do not appear to have been monitored/observed following drilling operations. Also, it is unknown if basements or other below-grade spaces are proposed. If below-grade levels are planned, CGS recommends that the town require groundwater monitoring/observation to verify that proposed floor levels are at least three feet, preferably five feet above maximum anticipated groundwater levels, and maintained year-round. The piezometers should be monitored weekly during and shortly after the snowmelt period and immediately after any storms. CGS agrees with Olsson (page 30) that “the residential structures, the hotel, and the commercial buildings should all be protected with an underdrain system” and on page 38 that “to protect below grade foundation walls from increased hydrostatic pressures that may develop from snow melt, we recommend that foundations be protected with an underdrain system.”

Thank you for the opportunity to review and comment on this project. If you have questions or require further review, please call me at 303-384-2632 or email acrandall@mines.edu.

Sincerely,



Amy Crandall, P.E.
Engineering Geologist

EAST GRAND FIRE PROTECTION DISTRICT NO. 4

P.O. Box 2967 • Winter Park, Colorado 80482
(970) 726-5824 • www.eastgrandfire.com

Mr. James Shockey,

June 15, 2022

Thank you for the opportunity to comment on *Cooper Creek Village & Cooper Creek Square Final Development Plan*. We have included (attached) a copy of East Grand Fire Districts 2022 “Development Review Criteria” (recently revised after the adoption of 2021 IFC on January 26th of 2022) for the Town and Developer to reference (It appears that in the documentation submitted that a (very) old version of East Grand Fire Districts “Development Review Criteria” was used for the plan submitted, and that the current criteria will be applied to this review.

Upon initial review, access points into the *Cooper Creek Village* complex off Vasquez Road and Timber Drive appear to meet requirements defined in 2021 IFC Appendix D, provided it continues to meet and follow Intercity Bus (BUS-45) requirements and all access points remain open and unobstructed during all phases of construction.

Width of the roads shown inside the complex is 24ft with shoulders. Appendix D of the 2021 IFC section 103.1 requires all access roads with a hydrant be a minimum width of 26ft (exclusive of shoulders). Section D105.1, D105.2 of IFC require approved *aerial fire apparatus access roads* for buildings exceeding 30ft in height measured from the grade plane to the highest roof surface, (which are to be expected throughout the development). *Aerial fire apparatus access roads* are to be a minimum of 26ft wide (exclusive of shoulders). EGFD also requires 4ft shoulders each side of roadway or street. In this area shoulders may be sidewalks, capable of supporting 84,000 lbs. fire apparatus. “No street parking” signage throughout will be required as currently drawn but can be amended as further road details are submitted in later application submissions.

Turn radius described in the *TKE Collector and Local Roadway Standards* appear to meet requirements but should be verified on future application subdivision submissions by a civil engineer confirming that EGFD aerial apparatus can navigate all roadways. Please find attached “Turning Performance Analysis” for EGFD’s current aerial apparatus for engineers and developers to reference. It should also be noted that EGFD requires emergency turn-a-rounds at a min of every 750ft (TKE shows 1000ft) these can be oversized driveways, intersections, or specially constructed areas (for future planning purposes).

Slopes of proposed roads are at or exceed 7% in a few areas, special consideration should be given to these areas regarding turns, intersections, and limitations of emergency vehicle maneuverability.

Fire suppression water supply should be adequate in this area regarding flows and pressures but will need field verified by an engineer once utilities have been installed. Fire hydrant placement is not included in this submission and will be reviewed on future application submissions. Building/ structure uses, sizes, construction, etc. will dictate the requirements of alarm and fire suppression systems.

Special attention should be given to Cooper Creek Village and Cooper Creek Square development for the risk of wildfire (and proactive steps to mitigate it). This is due to several factors including (but not limited to): steep slopes, heavily wooded locations, adjacent and uphill of railroad tracks, and limited ingress/egress. Attention to utility locations, wildfire hazard mitigation, access, and municipal water supply is necessary for the protection of lives and property.

Thank You,



Dennis K. Soles
Fire Marshal
East Grand Fire Protection District

EAST GRAND FIRE PROTECTION DISTRICT NO. 4

**P.O. Box 2967 • Winter Park, Colorado 80482
(970) 726-5824 • www.eastgrandfire.com**

EAST GRAND FIRE PROTECTION DISTRICT DEVELOPMENT REVIEW CRITERIA

Standards and Codes to be used: NFPA, IFC, IBC, IRC, AASHTO, Mountain Parks Electric, and Public Service (Xcel), East Grand Fire Protection District- SOG.

International Fire Code (IFC): 2021
International Building Code (IBC): 2015
International Residential Code (IRC): 2015
NFPA Standards: 13, 24, 25, 101, 299, 1142 (and others-most current)

ACCESS: In addition to: IFC Appendix D, NFPA Standard 299- Protection of Life and Property from Wildfire and the road standards of Fraser, Town of Winter Park, or Grand County.

ROADWAYS: Roads and Driveways shall be constructed and in place before building construction begins. A minimum width 24 ft. road shall be required where either of the following conditions below are not met:

- Access roads with hydrants shall be a minimum width of 26ft. (IFC D103.1).
- Aerial fire apparatus access roads with minimum widths of 26ft. shall be required “where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet” (IFC D105.2).

Roads shall have a hard-all-weather surface sufficient to support 84,000 lbs. fire apparatus. Shoulders to be a minimum width of 4 ft. on each side. Vertical clearance to be a minimum of 18 ft. Maximum grade to be 7 %. Minimum curve radiuses to be 50 ft. measured at centerline or follow the AASHTO geometric designs for highways and streets manual, for Intercity Bus (BUS-45). At 750 ft. intervals Emergency turnarounds for fire apparatus are needed on all roads. (These can be oversized driveways, intersections, or specially constructed areas). No parking is to be allowed along 24/26-foot roadways. “No Parking” signage will be required along both sides of road with required signs provided by the developer. If parking is to be allowed, 9ft. needs to be added to width of road on either or both sides of roadway in addition to signage. Cul-de-Sacs are to be avoided. If unavoidable the maximum length of cul-de-Sac shall be no more than 500 feet. A turnaround at end of Cul-de-Sac, with the continuation of 24/26 ft. road width, shall have 104 ft. minimum outside diameter. Cul-de-Sacs, turnarounds, and shoulders shall not be used for snow storage if it reduces access in any way. To avoid building construction delays special attention should be given to IFC Chapters 33 and 5. Sections 1410, 1412, 501, 503, 505, and 508.

GATES: Gates are to be avoided, but, if necessary, shall be considered on a case-by-case basis. If allowed, the design would need to be approved prior to construction. Gate should consist of a counterweight type barrier that swings completely free of the access when released. A “Click2Enter” or “KNOX” key switch, or another approved device, shall operate the gate electronically.

DRIVEWAYS and ACCESSES: Three homes (dwelling units) or more require a road, not a driveway. The minimum driveway width should be 14 ft. with two 1 ft shoulders, a maximum grade of 7%, an approach or departure angle not more than 8%, and vertical clearance of at least 14ft. If the access or drive extends more than 150 ft. from a roadway there shall be a turnaround adequate for our trucks.

BRIDGES: Require a letter from an engineer with his or her stamp certifying that the bridge meets the requirements of the International Fire Code Section 503.2.6 which requires the bridge to be constructed and maintained in accordance with AASHTO HB 17 “Standard Specification for Highway Bridges.” Appendix D Section D102 (as amended by EGFD) suggests the bridge be capable of carrying the load of 84,000 lbs. Any crossings shall be constructed to the same standards as the traveled way on either side.

WATER SUPPLY:

MUNICIPAL: Reference Appendix B of International Fire Code. Water supplies needed for firefighting would range between 3500 gallons per minute fire flow for three hours (minimum 630,000 gallons of fire protection storage), to a minimum 2500 gallons per minute for two hours (minimum 300,000 gallons of fire protection storage). A minimum water supply of 1500 gallons per minute fire flow for two hours (minimum 180,000 gallons of fire protection storage), will be considered in buildings protected by fire suppression sprinkler systems.

Documentation would be needed that adequate flows will be available from the water system at a residual pressure no less than 20 psi. By installing fire sprinkler systems in all structures any large life or property losses would be avoided and would make the best use of the available water supplies.

Fire hydrants are to be located at least every 500 ft. or as agreed to by the Fire District. Fire hydrant locations and distribution shall be in accordance with Appendix C of the International Fire Code.

For planning purposes, the following may be used. Fire hydrants must meet the requirements of the local water purveyor / water authority or be Mueller Super Centurion 250A-423 or equivalent hydrant having at least one 4 ½ inch NST opening facing the Road. Hydrants are to be installed to the local water authority's requirement. Fire Hydrant installation outside of a Water Authority's jurisdiction shall be required to be acceptable to East Grand Fire District.

The approach to the hydrant is to be a level-walking surface free of obstructions or depressions, at least five feet wide from the center of the hydrant in all directions including the backside. Existing Fire Hydrants can be credited for a new development if the hydrant has at least one 4.5-inch opening, a 6-inch barrel, is in good repair, is appropriately located, has adequate access, has adequate flows, and is not an antiquated Hydrant. If any one of these conditions is not met it will need to be replaced. International Fire Code tables B105.1 and C105.1 provide further guidance on flows and fire hydrant distribution.

RURAL: The acceptable calculated amount of water storage necessary for structural fire extinguishment or at least 30,000 gallons of fire protection water storage which is the minimal creditable amount acceptable to Insurance Services Office.

UTILITIES: Careful consideration should be given to the location of all utilities to avoid interference with fire department operations. Meters, transformers, and gas piping all need to be carefully located to avoid damage from ice, snow, and vehicles. All utility meters shut offs or other equipment that would be attached to the exterior of a building shall be protected from falling ice and snow. Shutoffs need to be readily available.

WILDFIRE: There is Wildfire potential for this project. Normal precautions of maintaining defensible space around buildings, irrigated grass, mowing, minimizing any flammable vegetation, and storing combustibles / flammables away from the buildings would help. Making the exterior walls and roofs non-combustible would certainly minimize the risk. Consulting with I.C.C. Wildland Urban Interface Code is encouraged.

Dennis K. Soles
Fire Marshal
East Grand Fire Protection District

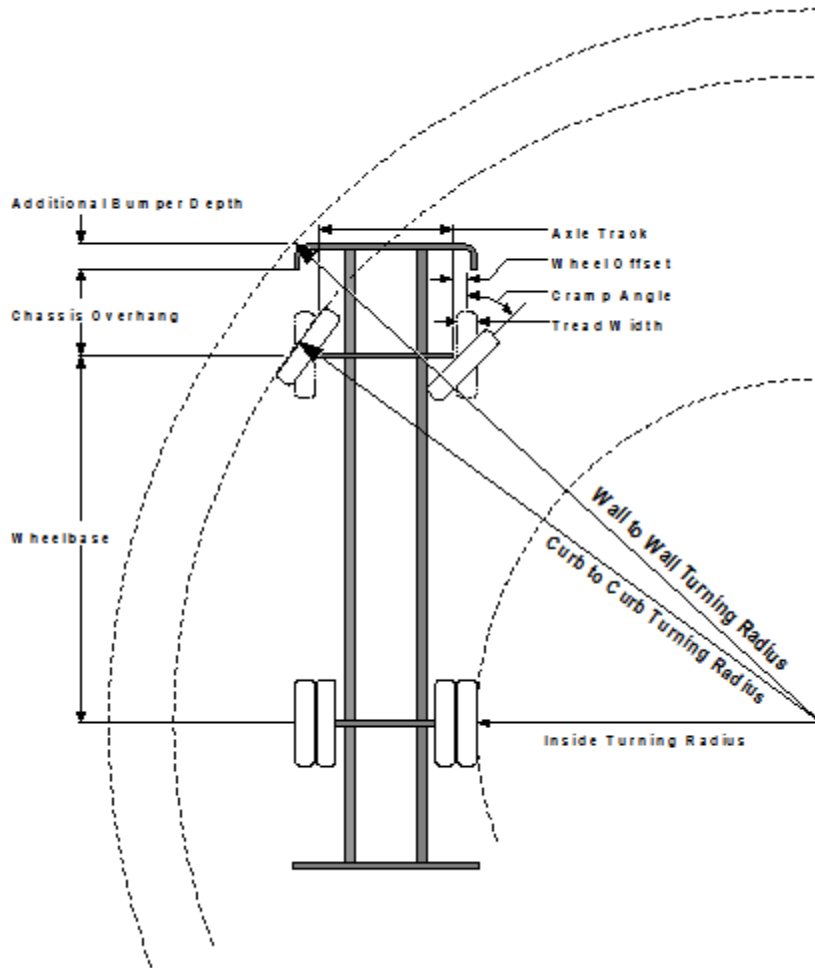


Turning Performance Analysis

4/3/2007

Configuration: East Grand Velocity 100' Platform
Number: EP1955494-101 V: 169

Representative: Kerber, Wayne
Organization: Front Range Fire Apparatus, Ltd
Department: East Grand Fire



Parameters:

Inside Cramp Angle:	45°
Axle Track:	85.34"
Wheel Offset:	4.68"
Loaded Tire Width:	17.70"
Chassis Overhang:	79.62"
Additional Bumper Depth:	16.00"
Front Overhang	124.60"
Wheelbase:	279.00"

Calculated Turning Radii:

Inside Turn:	265.47"
Curb to Curb:	472.43"
Wall to Wall:	552.88"

Comments:

Aerial Application

Components	Item #	Description
Front Axle	0018453	Axle, Suspension, Front, Oshkosh TAK-4, Non-Drive, 22,800 lb
Front Wheels	0111380	Aluminum, Alcoa, 22.50 x 12.25
Front Tires	0111371	Michelin, 425/65R22.50, 20 Ply, XZY-3
Chassis	0121631	Velocity Chassis
Front Bumper	0123647	Tray, Bumper, Center, Standard, 35" W x 11.5" L x 13" D
Aerial Device	0022160	Aerial, 100' Pierce Platform

Notes:

Actual Inside Cramp Angle may be less due to highly specialized options.

Curb to Curb turning radius calculated for a 9.00 inch curb.



Turning Performance Analysis

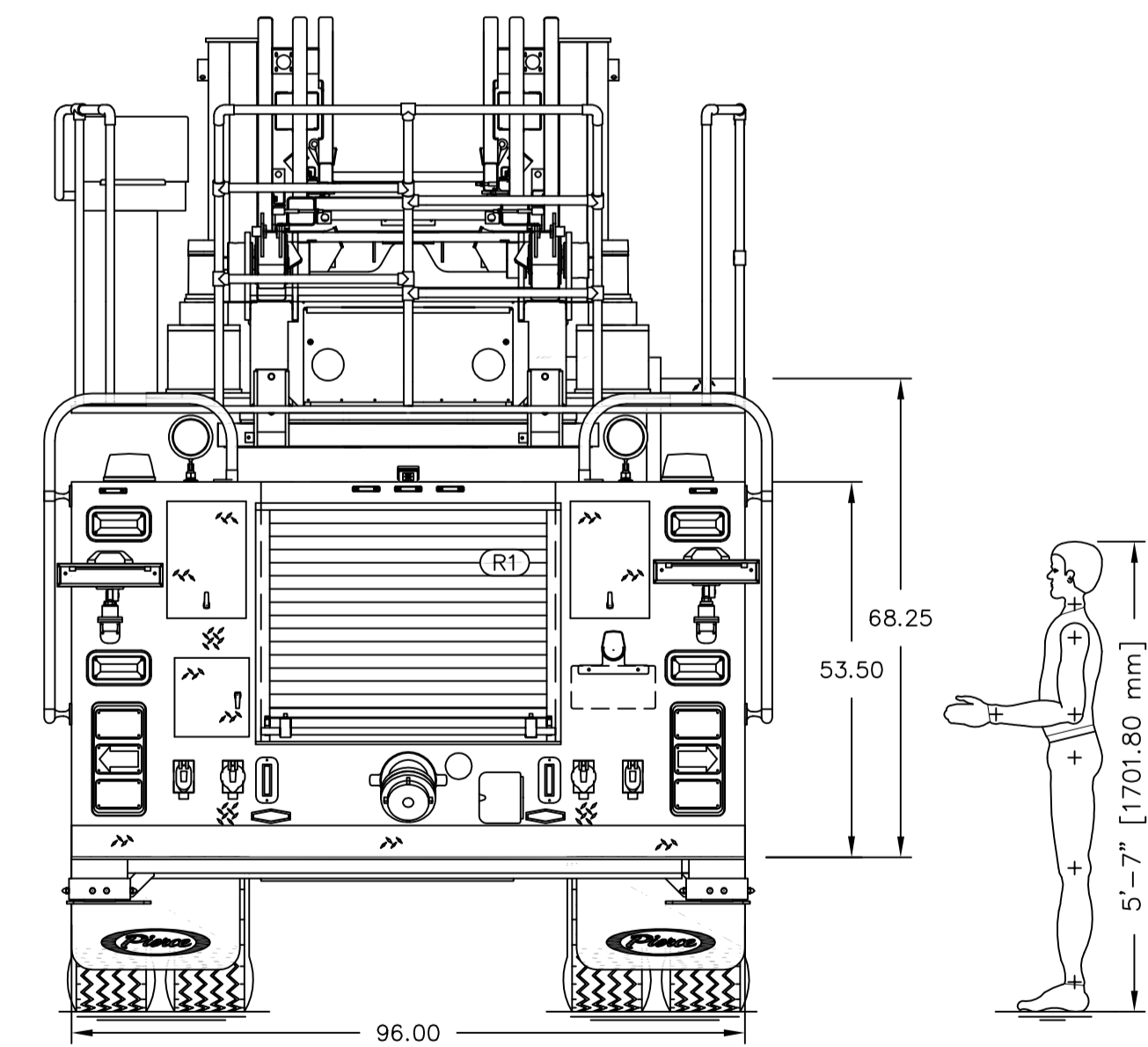
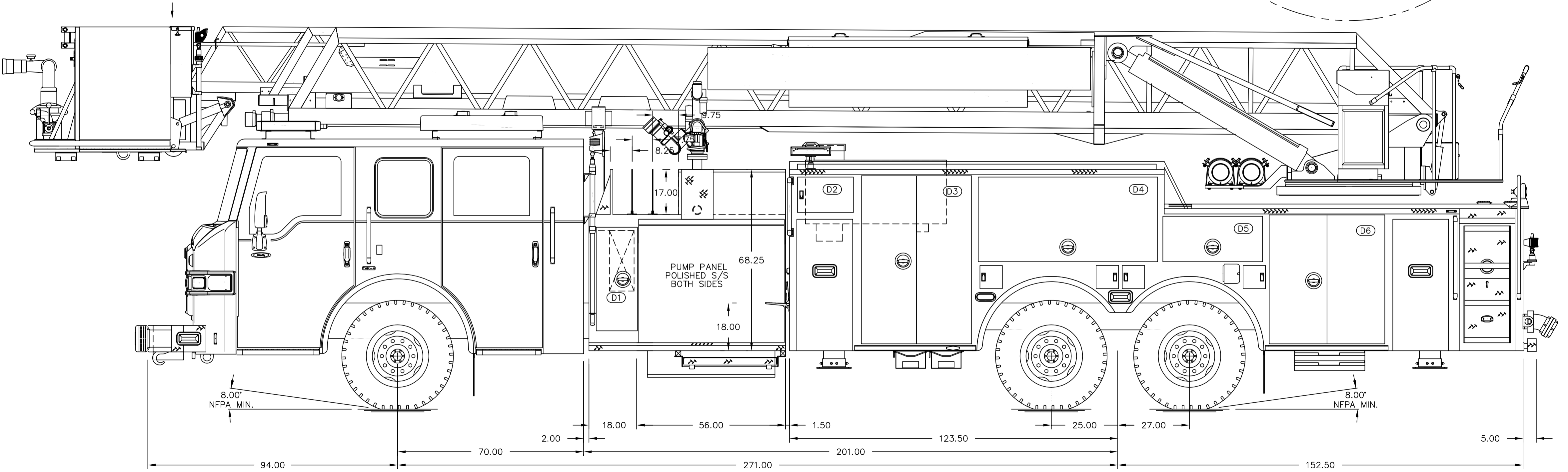
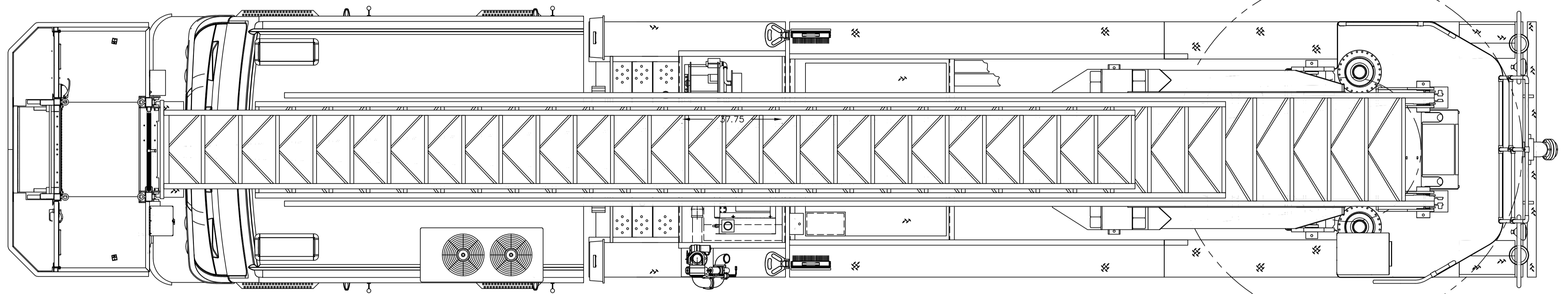
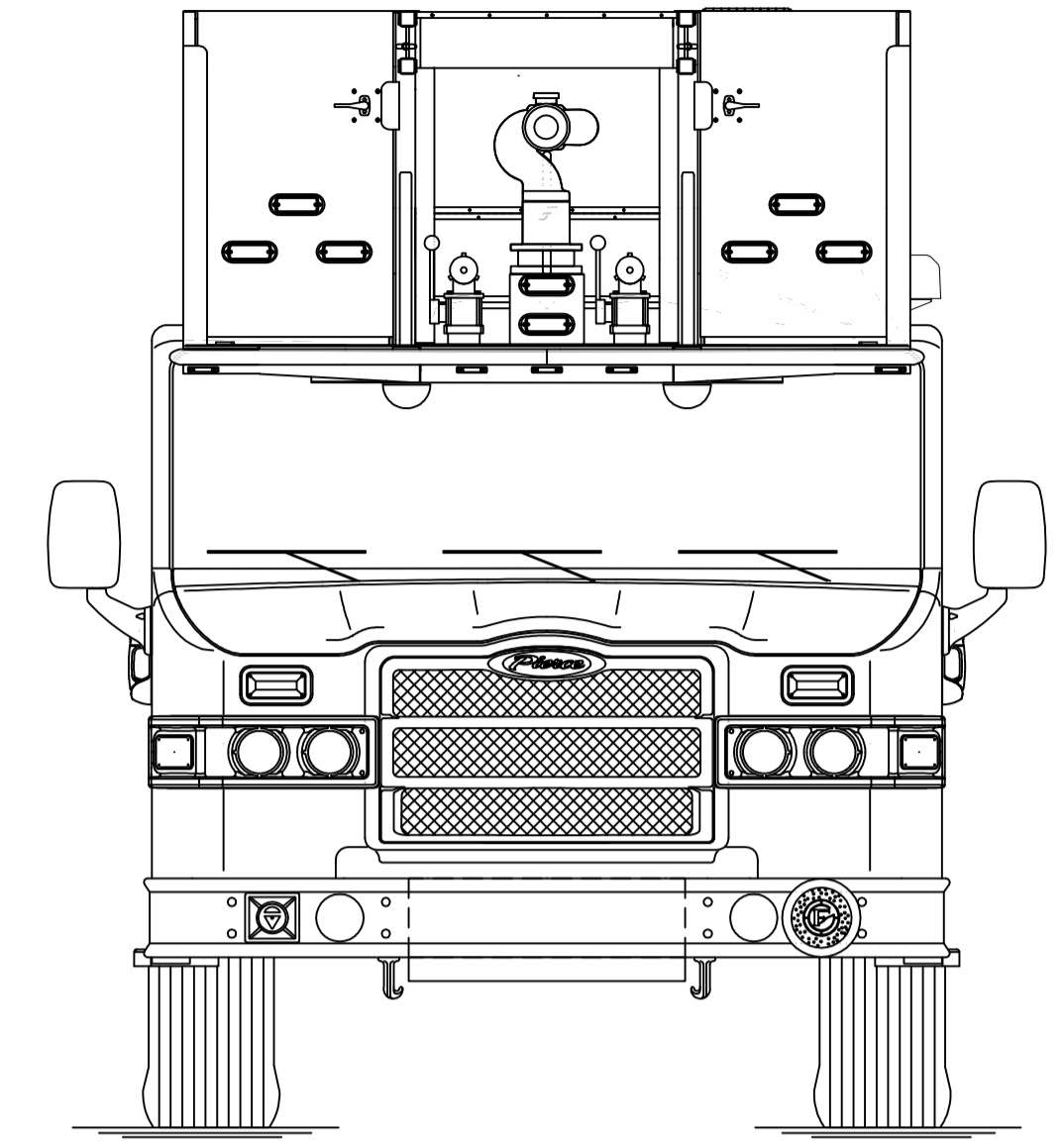
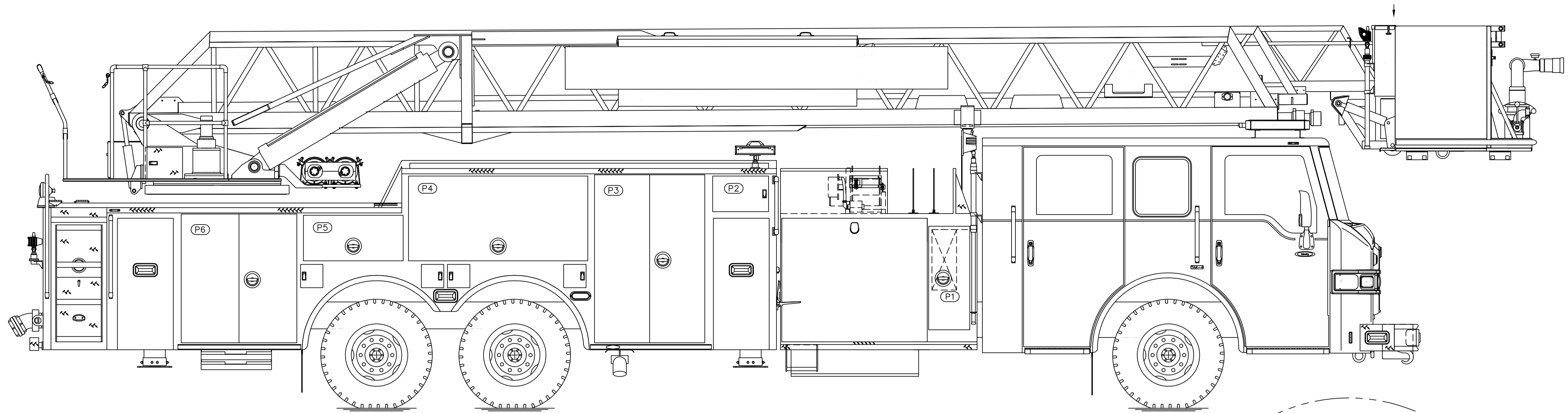
4/3/2007

Configuration: East Grand Velocity 100' Platform
Number: EP1955494-101 V: 169

Representative: Kerber, Wayne
Organization: Front Range Fire Apparatus, Ltd
Department: East Grand Fire

Definitions:

Inside Cramp Angle	Maximum turning angle of the front inside tire.
Axle Track	King-pin to king-pin distance of the front axle.
Wheel Offset	Offset from the center-line of the wheel to the king-pin.
Tread Width	Width of the tire tread.
Chassis Overhang	Distance from the center-line of the front axle to the front edge of the cab. This does not include the bumper depth.
Additional Bumper Depth	Depth that the bumper assembly adds to the front overhang.
Wheelbase	Distance between the center lines of the vehicle's front and rear axles.
Inside Turning Radius	Radius of the smallest circle around which the vehicle can turn.
Curb to Curb Turning Radius	Radius of the smallest circle inside of which the vehicle's tires can turn. This measurement assumes a curb height of 9 inches.
Wall to Wall Turning Radius	Radius of the smallest circle inside of which the entire vehicle can turn. This measurement takes into account any front overhang due to the chassis, bumper extensions and/or aerial devices.



CUSTOMER APPROVAL
 PRELIMINARY DRAWING REQUIRES
 ENGINEERING REVIEW
 SIGNATURE _____
 DATE _____

BODY MATERIAL = ALUMINUM
 SIDE SHEET HEIGHT = 71.25
 TOTAL COMPARTMENT CUBIC FEET = 216.46
 TOTAL TANK SIZE = 300
 WATER VOL = 300
 FOAM VOL CLASS A = 0
 FOAM VOL CLASS B = 0
 AERIAL PEDESTAL RAISED = 3

ESTIMATED OAH = 147.0
 CUSTOMER OAH = N/A
 ESTIMATED OAL = 585.0
 CUSTOMER OAL = N/A
 WHEELBASE = 271.00
 HOSEBED DEPTH = 23.50
 SIDE ROLL PROTECTION, IMP/VEL

DO NOT SCALE DRAWING.
 DIMENSIONS SHOWN ARE
 APPROXIMATE AND ARE
 SUBJECT TO CHANGE AS
 MAY BE NECESSARY DURING
 CONSTRUCTION.
 SOME DETAILS NOT SHOWN.



DRAWN BY AERIALWEST
 DATE 08/15/2007
 CONFIG VER 257
 DWG CHG VER 276
 SOFTWARE VER 01.08.0140
 DWG DATA VER

CHASSIS MAKE
 PIERCE
 CHASSIS MODEL
 VEL7000
 BODY MODEL
 PAP100A

EAST GRAND FIRE
 OPPORTUNITY EAST GRAND VELOCITY PLATFORM
 CONFIGURATION EAST GRAND VELOCITY 100' PLATFORM
 JOB/CONFIG NUMBER 20063

SCALE
 1:24
 SHEET SIZE
 D
 SHEET NO.
 1 OF 1

East Grand Fire Protection District
Box 2967
Winter Park, CO 80482

BILL TO:
Charlie Johnson
JAC Colorado II, LLC
747 Sheridan Blvd, Suite #7D
Lakewood, CO 80214

FROM:
East Grand Fire District
Box 2967
Winter Park, CO 80442

Invoice : # 192

Invoice Date: 6/21/2022

Location Cooper Creek Village & Cooper Creek Square
Winter Park, Colorado 80482

	Address :	Inspection Fee	Total
	Cooper Creek Village & Cooper Creek Square Winter Park, CO 80482		
1	Final Development Plan- Development Review	\$440	\$440.00
		Total	\$440.00

REMITTANCE:

Date:

Amount Due: \$440.00

Amount Enclosed: _____



JVA, Incorporated
P.O. Box 1860
47 Cooper Creek Way
Suite 328
Winter Park, CO 80482
970.722.7677
info@javajva.com

June 27, 2022

Mr. William Buff Borrás
District Manager
Grand County Water and Sanitation District #1
50 Vasquez Road
Winter Park, Colorado 80482
Via email: wborras@gcws1.com

www.javajva.com

RE: Cooper Creek Village – Final Development Plan Review
JVA Job# 1552.2.6c

Dear Buff:

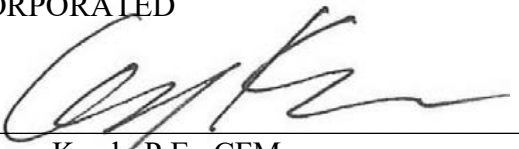
JVA Inc. has received Final Development Plan submittal documents for the proposed Cooper Creek Village development. We have reviewed these documents for conformance to the Grand County Water and Sanitation District Standards (Standards) as well as best engineering practices and have the following comments to provide.

1. JVA is working with the District to complete modeling analyses of future development proposals. We anticipate providing this effort in the near future to assist in the decision-making process for proposed system designs. Additional comments may be generated upon completion.
2. There have been noted concerns with pressure availabilities at existing homes at the top of Timber Drive adjacent to the project. It is our understanding that some of these homes have individual pressure boosting systems. Similar requirements may be necessary for other planning areas near this elevation.
3. Based on our discussions, the District will not allow the proposed Lift Station. The Sanitary Sewer system will need to be revised.

Please let us know if you have any questions regarding anything above. We can also make ourselves available to discuss this project with the District and Applicant. We look forward to reviewing additional submittals for this development.

Sincerely,
JVA, INCORPORATED

By:



Cooper Karsh, P.E., CFM
Project Manager

From: [Jean Johnston](#)
To: [James Shockey](#)
Cc: [Hugh Bell](#)
Subject: RE: Agency Review Comment Request: Cooper Creek Village and Cooper Creek Square, Town of Winter Park
Date: Tuesday, June 14, 2022 11:52:25 AM
Attachments: [FBlogo20x20_f385a67c-d933-45ab-89b5-afca2eff55b1.png](#)
[twitter20x20_4b90b8ef-da46-4b7b-814e-87a8b9a2dc73.png](#)

Hi James,

I would like to let the developer know our separation requirements so as they move forward in the design process they have them. For a more complete specifications, you can call and ask for our Electric Service Construction Standards.

1. Required separations from other utilities must be given to assure safety for the general public and our employees for normal activity around our power lines and equipment. MPEI requires 20 foot wide easements (10' on each side of centerline) for primary power lines, as installed. (Part of the easement can be in the road if provided for in the plat). No structure (including decks and building overhangs) is allowed closer than 10' from any primary voltage power lines or within ten feet (10') around any equipment. Water and sanitation districts require a minimum of ten feet (10') separation to parallel power lines. MPEI requires five foot (5') separation to parallel gas lines and one foot (1') separation to communications.
2. All equipment must be set a minimum of 5' behind a road edge with no curb, or minimum of 3' behind a minimum 6" curb. All equipment must have a minimum clearance of 10' to any obstruction to the front of the equipment. Plastic communication boxes must be a minimum of 2 feet from electric vaults.
3. MPEI does not install their facilities along back lot lines.
4. MPEI is experiencing supply chain issues with transformers. Currently, lead times are over a year for most sizes.

We look forward to seeing the design when it is developed.

Thanks, Jean

Jean Johnston
Right of Way Specialist, Sr Staker

JeanJ@mpei.com
ex 265



Mountain Parks Electric, Inc.

321 West Agate Ave • P.O. Box 170, Granby, CO 80446-0170 • 970.887.3378

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From: James Shockey <jshockey@wpgov.com>

Sent: Monday, May 16, 2022 3:20 PM

To: Brian Killian <brian.killian@state.co.us>; Huntington - DNR, Jeromy <Jeromy.huntington@state.co.us>; cgs_lur@mines.edu; andy_newby@comast.com; Tony_Hildreth@comcast.com; gary.booth@denverwater.org; Dennis Soles <dsoles@eastgrandfire.com>; Ryan Mowrey <rmowrey@eastgrandfire.com>; Frank Reeves <frank.reeves@egsd.org>; dlindblom@co.grand.co.us; William Buff Borrás <wborras@gcws1.com>; mmcquain@co.grand.co.us; Jean Johnston <JeanJ@mpei.com>; Kevin E. Vecchiarelli <kvecchiarelli@jvajva.com>; Cooper W. Karsh <ckarsh@jvajva.com>; Gerry Vernon <gvernon@wpgov.com>; Transit <transit@wpgov.com>; Kathleen.Jacoby@xcelenergy.com; Robert Davis <rdavis@co.grand.co.us>; Kevin McLaughlin <kevin.mclaughlin2@usda.gov>; bramsey@pauleyc.com; tschlueter@co.grand.co.us; 'Ben Wilson' <Benjamin.R.Wilson@usace.army.mil>

Cc: TJ Dlubac <tdlubac@planstrategize.com>; Hugh Bell <hbell@wpgov.com>; Jeffrey Vogel <jvogel@vogelassoc.com>

Subject: [External] Agency Review Comment Request: Cooper Creek Village and Cooper Creek Square, Town of Winter Park

Caution: This email originated from outside of MPEI. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Review Agencies and Utility Providers:

Charlie Johnson, representing JAC Colorado II, LLC, has submitted a Final Development Plan (FDP) in conjunction with an Annexation Agreement and Vested Property Rights Agreement to the Town of Winter Park for Cooper Creek Village (CCV) and Cooper Creek Square (CCS). CCV consists of two vacant parcels of unincorporated land in Grand County totaling approximately 53 acres proposed to be annexed into the Town. The parcels are located south of Town Hall and are bordered to the north by Idlewild Subdivision, to the east by Beaver Village Condominiums, to the south by USFS land, and to the west by Hideaway Village South. The Union Pacific Railroad divides the two parcels. CCS consists of 5.8 acres of land located in Town limits and includes Cooper Creek Square, Paellas Restaurant, Allegiant Management, and associated gravel parking lots.

Please review the application materials [here](#) and provide comments no later than **5pm on Tuesday, June 21, 2022**. The comments will be made part of the public record of the Town of Winter Park. Hearings for the Planning Commission and Town Council will be scheduled once major comments from the Town have been addressed.

Thank you for your assistance in reviewing this development. Please respond with questions and your comments to:

- James Shockey, Community Development Director
- jshockey@wpgov.com
- 970.726.8081 ext. 206

Thanks,

James Shockey, AICP
Director | Community Development





JVA, Incorporated
P.O. Box 1860
47 Cooper Creek Way
Suite 328
Winter Park, CO 80482
970.722.7677
info@jvajva.com

June 27, 2022

Mr. James Shockey, AICP
Community Development Director
Town of Winter Park
50 Vasquez Road
Winter Park, Colorado 80482
Via email: jshockey@wpgov.com

www.jvajva.com

RE: Cooper Creek Village – Final Development Plan Review
JVA Job# 1566.98c

Dear James:

JVA Inc. has received Final Development Plan (FDP) submittal documents for the proposed Cooper Creek Village development. We have reviewed these documents for conformance to the Town of Winter Park Standards and Specifications for Design and Construction (Standards) and have the following comments to provide.

1. The Vested Rights Agreement (VRA) discusses the Ski Trail Connection and relocatable Easement Area. We recommend disallowing utilities to be placed in this easement, with the exception of crossings and limited short runs as approved by the Town. This easement language should also discuss the general clearances, design guidelines, and maintenance responsibilities of any grade-separated road crossings.
2. The FDP Development Standards state that isolated pockets will be acceptable for development. We recommend revising this sentence to state that these pockets may be considered acceptable, to be reviewed and approved by the Town.
3. The Roadway Study proposes three classifications of roads. These should be related to an anticipated level of traffic or other identifiable function to account for future plan changes. Furthermore, the narrative states that Collectors are shown in the Roadway Exhibit, but no roads are classified as such in the exhibit. The proposed road classifications should be verified.
4. The Roadway Study shows Collectors and Local roadways to be located within Right-of-Ways. The overall FDP does not appear to address when ROWs would be dedicated to the Town if this is the intent. We recommend the Town have a conversation with the Applicant to determine if it is appropriate to include this in the FDP.
5. The Roadway Study shows to Urban Local variants with concrete pans in lieu of curb and gutter. Both of these variants appear similar with 2' wide pans. We recommend against the inclusion or approval of these road sections.
6. The Roadway Study should review all Design Standards and make revisions as necessary to conform to the current Road Standards of the East Grand Fire Protection District.
7. The Roadway Study exhibits should be revised to show maximum 3:1 cut and fill slopes to conform to the Geotechnical report, or show slopes to be determined by future Geotechnical Studies.
8. The Impact Analysis shows a reduced amount of units and commercial space than provided in the Land Use Summary. The methodology and reasoning for this reduction should be addressed.

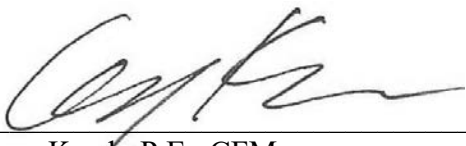


9. The Traffic Impact Analysis recommends several improvements to existing off-site intersections over the full buildout of this development. The FDP should address responsible parties for the costs of both design and construction of any improvements required, or contributed to, by traffic generated by the proposed development. The FDP should also address when these improvements shall be constructed, with any necessary coordination and approval of CDOT. The FDP should require Individual Traffic Studies of future subdivisions in this development area to track progress of the master study and determine when the improvements will need to be implemented.
10. The Drainage Report currently shows some of the proposed detention ponds in inaccessible locations. While the preliminary basin delineation is practical, the narrative should be revised to specify the need to provide maintenance access to all future pond locations. Future designs for planning areas shall take this into account while also evaluating the possible benefits of regional facilities.
11. The Utility Report references an old version of Fire Protection District Standards and should be revised with the current version.
12. The Utility Report shows a different number of proposed residential units than the Land Use Plan. Please revise as necessary.

Please let us know if you have any questions regarding anything above. We can also make ourselves available to discuss this project with the Town and Applicant.

Sincerely,
JVA, INCORPORATED

By: _____


Cooper Karsh, P.E., CFM
Senior Engineer



PO Box 528, Granby CO 80446

The Town of Winter Park
Attention: James Shockey
PO Box 3327
Winter Park, CO 80482

RE: Cooper Creek Village and Cooper Creek Square, Town of Winter Park

Dear Mr. Shockey,

Concern:

In the Cooper Creek Square area gas main and service lines are present if any type of relocation is needed the cost will go to the customer.

Preliminary Plat Review General Guidelines

Application

- Must apply for Gas service at Xcel Energy Builders Call Line. Gas main is present in the surrounding area. Gas main will be installed at 36" depth and must be 10' away from water & sewer main, electric 5'. Gas will be installed in a sole trench- no other utilities are to be located with main or services.
- Gas main preferable to be installed in a 5' easement. **Acceptable easement language provided on final plat.**
- **Reinforcement may be needed for existing system depending on the current capacity (additional cost of reinforcement will be the responsibility of the applicant.)**

Meter Locations

- While customer preference regarding meter location deserves reasonable consideration, it remains the right of the Company to determine the placement of meters. All meter locations including multiple points of service shall have the approval of the local Xcel Design Department.
- Meters and service regulators are to be set outside the serviced structure where they will be readily accessible and be protected from corrosion and other damage, including vehicular. Meter sets in areas of deep snow need to be placed on a gable end (no shed roof allowed) *Note: Due to excessive snowfall, ice and snow shields will not be permitted in the following Colorado counties: Eagle, Lake, Park and Summit. Meters shall be installed on the gable or non-drip side of a building or in an approved remote location from the building or structure in these counties.*

Please note – this is not a final assessment of what the new gas distribution will entail. There may be additional things in the field I cannot see. Once an application has been submitted to Xcel Energy, we can start the full design process and identify the scope of work that will need to be done for this request.

Sincerely,

Kathleen Jacoby

Kathleen Jacoby

Kathleen Jacoby

Xcel Energy | Responsible By Nature

Designer, Mountain Division

583 East Jasper Court, Granby CO 80446-0528

P: 970-262-4055 F: 970-887-2453

E: kathleen.jacoby@xcelenergy.com

3/19/2022

Town of Winter Park Planning

Bob Bleck
161 Idlewild Lane

We bought in Winter Park and have build 153 and 161 on Idlewild Lane. We left development happy Fraser to get away from over development, packed condos, idling diesel buses and roving junior groups and into a poorly platted but quiet residential neighborhood (we both grew up in railroad towns and were/are not bothered by train noise).

Winter Park has precious little open space within its borders, a sought after item in most US towns and cities. We understand that Winter Park is surrounded by largely open space but seems determined to destroy/lose that commodity within its limits.

Idlewild Lane was mis-developed by prior administrations to include poorly measured surveys and crowded lots. If the Marshall fires teach us anything, future development should use that lesson wisely with community safety and appeal should be valued over tax generation opportunity.

We believe the existing wetland has been under appreciated. The deep tracks from beadle kill tree removal equipment a few years ago are still water filled even in the Fall. Water from the wetland migrates under Idlewild Lane homes to Vasquez Creek most noticeable in the Spring but with past dye application ,to some degree at least, well into late Summer. It required our plans for 161 to be raised 18 inches over desired level for a basement and required pretty extensive perimeter drainage and a sump pump installation. I wonder if the plans for development are adequate for removing spring runoff from migrating into Idlewild Lane neighborhood given loss of water absorbing surface and loss of vegetation.

Plans appear to seriously affect access to Idlewild lane and further uphill residences accessible via Vasquez Road. Other mountain towns with gondolas into town have created serious parking problems. With only fair and inconsstent snow removal in Idlewild Lane and very limited snow storage capacity, there are times we have little more than one lane access.. Coupled with little enforcement of current on street parking regulations we see our street at risk of parking violations and obstruction.

Adaquacy of fire fighting equipment?
As for a ten story structure, that is ~~totally~~ inconsistent with the character of Grand County, let alone an extreme killer of existing businesses.. Unless it has been changed, there are height limits on individual homes within Winter Park and existing condo projects seem to respect some standard the town and county enforces or expects. Will there also be a ten story parking garage to accommodate those who will drive to the gondola base? If not, they may be better off driving to the ski area. Any access to in town parking which would have to be vertical will be much more of a hassle than getting in and out of the Ski area.

Lastly, Without development of a lot more ski-able terrain, Winter Park Ski Area will be standing room only. Current high count weekend crowds are already making the ski experience unpleasant.



Bob Bleck 161 Idlewild Lane

Impact source base?

Adaquacy of US 40?

From: [Bob Seymour](#)
To: [James Shockey](#)
Cc: [theseymours](#)
Subject: Proposed rezoning for Cooper Creek Village
Date: Monday, July 11, 2022 12:16:39 PM

Mr. James Shockey,

As I WP Property owner, I would like you to consider my input on this Proposal.

1) re zoning from "Open Space forestry" to DC. This type of action is not in line with the current character of the town of Winter Park.

While I am personally not a climate change activist, anytime you cut down forest to make way for a High Density Project such as this one, You are causing damage.

2) This Development will change the very Aesthetics of the town of WP from a comfortable and friendly town to an austere standoffish environment. Think Vail.

3) When we decided to own real estate in WP, we had many choices. WP won our decision BECAUSE of its warm inviting atmosphere.

4) It appears that this will add 14,491 daily vehicles to Vasquez Road traffic. Really, no one sees that as a problem?

Conclusion, This project needs to be scaled way back. 35' Height limit. Setbacks of at least 20'. Needs to blend with existing development or be denied rezoning.

Thanks for your time,

Bob Seymour
79114 US HWY 40
Winter Park, CO 80482
970-443-0152

March 20, 2022

Dear Planning and Zoning Members, and Council Members,

I am a full time homeowner in Idlewild Meadows and would like to address some concerns regarding the proposed zoning and plan of the Cooper Creek Village annexation. The current proposal is asking for D-C zoning designation with the intent to construct a gondola, ski-back, bike trails, roads to access future development and a maintenance road to the ski area, effectively creating a new transportation corridor through a natural area in town and through the national forest. My concerns are as follows.

This proposal runs adjacent to one of the oldest neighborhoods in Winter Park, Idlewild Meadows. As such, we are exactly what the town's Imagine Winter Park describes as eclectic and worthy of protection. It runs through a wildlife corridor and serene habitat. It is a dark sky area within our city limits that the residents enjoy. If a gondola and the adjoining development occurs the change will be dramatic and irreversible.

A ski-back will need man-made snow and grooming. It will have snowmobile traffic from the resort. All of this will be noisy and stressful to wildlife. There are documented encounters with moose in ski areas. A ski-back is hardly a large enough area for moose and skiers. The gondola itself is not quiet either. As homeowners we have a reasonable expectation of quiet, something we currently do have.

Where will the extra snow melt go? The wetland that is part of the meadow is a fragile environment. It doesn't need significantly more or less water. We must realize that year round surface water does not a wetland make. The water that goes into this wetland flows underground directly to Vasquez Creek.

At night there will be lights from grooming equipment on the ski-back as well as from traffic from the new roads. In the current plan, lights from new roads will shine directly into existing homes. Road lighting will also be an issue in a dark sky area.

According to the Final Development Plan submitted, this same area turns into biking/hiking trails in the summer. Wildlife uses this area to make their way to the creek. We had a baby moose last year as well as bear, a mountain lion, marmots, marten, deer and fox. And those are just the larger animals. We should not be adding bikes, humans, and dogs in this area. All that is already quite close on the trails off the Vasquez corridor. The FDP actually suggests this can be mitigated by keeping dogs on a leash. Really? That is untenable. The meadow between our neighborhood and where these trails are proposed is a grazing area. Animals bed down here. There is nothing in the FDP to prevent hikers and bikers from entering the meadow. What is to prevent hikers and bikers from striking out onto existing wildlife trails and creating new human trails through the forest and through our properties? How much thought has really gone into the parts of this plan that will make it a development in keeping with this existing values of our small town community?

In the Three Mile Plan the town adopted, it specifically states, "If the property is annexed into the Town, it is anticipated that a large amount of the property, especially the steeper slopes to the south and the wetland complex's on both the north and south would remain undeveloped as open space for wildlife migration, wetland preservation, USFS buffer and trail corridors." The meadow is a documented wetland. When we purchased our property, this was plan was in effect. It affected our decision to purchase.

Imagine Winter Park also influenced us. The vision statement envisions a “community physically linked to a healthy and thriving natural and human environment.” Chapter 6 acknowledges that “The community should protect wildlife, habitat, corridors, and scenic vistas. When development occurs it should be sized, located, and designed to avoid or limit impacts to wildlife and the natural environment.”

Strategies outlined in Chapter 3 also address these issues. Specifically:

EN StratEgy 2.3: Protect the integrity of significant wildlife habitat and movement corridors.

EN StratEgy 3.3: Work to become a Dark Sky Community.

EN StratEgy 3.8: Update landscape design guidelines to clearly address conflicts with the natural environment and wildlife.

In summary, this is a big plan with a big impact on the environment and our neighborhood. It is a plan that has not yet addressed some major concerns and makes light of many of them. Yes, the landowner has a right to develop his land, but nothing this large and with this much impact is inherent in that right without taking the environment and wildlife, the rights of current homeowners and current city guidelines into account. This land was purchased with no specifically implied zoning change. I realize some development is bound to happen, but please mitigate the impact as much as possible with zoning that protects the environment, wildlife, neighborhood and quality of life in our town. Please require that any plan for the land includes protection of wetlands, landscape and elevation barriers and large 100 ft. buffers, addresses lighting and noise concerns, mitigates heavy human overuse, and provides real useable space for wildlife. Please protect the character of our neighborhood and our town.

Respectfully,
Cathy Ratschkowsky
153 Idlewild Lane
970-556-8109

July 8, 2022

JAC Colorado II
747 Sheridan Blvd
Lakewood, CO 80214

Re: Cooper Creek Village & Cooper Creek Square Final Development Plan

Dear Mr. Johnson,

On behalf of the Crestview Place HOA Board and homeowners, although we are on board with the development plan overall, I would like to identify two areas of significant concern associated with the proposed Cooper Creek Final Village & Cooper Creek Square Final Development Plan ("Current Plan"). The areas of concern relate to parking and trash removal, and potentially other, to be identified, specifics.

Crestview Place Condominiums includes 39 residential condominium units ("Crestview") and two floors of commercial condominium units ("Winter Park Station"). The Crestview Place Condominiums are located immediately east of the proposed Cooper Creek South Parcel CCS PA-1.

Parking

Parking requirements for both Crestview and Winter Park Station are satisfied by a combination of shared parking garage, two levels of uncovered surface parking known as "Parcel B", and two spots in the town garage. Parcel B appears to be part of the development plan as part of CCS PA-1 (also identified as SN PA-1).

In the Current Plan, Exhibit B page 6 discusses parking but fails to provide for how the residential parking requirements for Crestview Place Condominiums will be addressed once Parcel B is developed and those outdoor parking spots are no longer available.

Trash Removal

Dumpsters for all Crestview and Winter Park Station occupants are located on the surface parking lot. This is the only location possible on the property for dumpsters which can be accessed by trash trucks. While we recognize this is not the most pressing issue of a project of this scale, the development of Parcel B does have some additional factors that need to be considered.

Overall

Crestview is one of the current buildings, not commonly owned by WC Johnson, that will be hugely impacted by the Current Plan, yet the building is not identified in any of the drawings like Winter Park Station or Snowblaze is, and no plan for addressing the lost residential parking or dumpster locations has been presented. It is also unclear how close the new road will be to the building and the impacts of that since Parcel B appears to be identified as both CCS PA-1 and SN PA-1 and the location of the road is different based on which version you are looking at.

There is conflicting information within the Current Plan relative to CCS PA-1. Exhibit C page 6, Final Development Plan prepared by Vogel & Associated has a portion of CCS PA-1 on the east side of the proposed new street. The parcel on the east side of the proposed new street is adjacent to the Crestview property. The Cooper Creek – Annexation exhibit prepared by TKE Civil and Structural Engineering has SN-PA-1 on the west side of the proposed new street and no planning area on the east side of the proposed new street.

On behalf of all 39 Crestview residential owners, the Crestview Place Condominium Residential Board of Directors recommends the following: The Final Development Plan should recognize and provide for an adequate amount of parking to meet the needs of Crestview and Winter Park Station and future development plans for Parcel B shall address the dumpster situation. We will have a board representative and homeowners at both the Planning Commission meeting on July 12th and the Town Council meeting on August 16th and are available to schedule a time to discuss this with you personally as well.

Respectfully,

/Steve Kane/

Steve Kane
Crestview HOA President

cc: James Shockey, AICP, Community Development Director, Town of Winter Park

From: [Cynthia McCoy](#)
To: [James Shockey](#)
Cc: [Nick Kutrumbos](#); [Keith Riesberg](#)
Subject: Letter to the Town of WP
Date: Tuesday, July 19, 2022 4:57:31 PM
Attachments: [image001.png](#)

Good afternoon Mayor Kutrumbos, Manager Riesberg, and Winter Park Town Board of Trustees and development team,

I understand a public hearing was set last week, and was unable to organize in time to prepare to attend or submit a letter.

I would like to respectfully ask that a portion of the area set for proposed gondola project south of Cooper Creek Square be preserved as open space, so that those who walk the trails there, and Frisbee golf players may continue to appreciate the beautiful forested area.

I understand development is inevitable there, and believe both development and remaining a Frisbee golf course (maybe redesigned with guidance from the Town of Winter Park if needed) can be achieved. An example is the Frisbee golf course at the YMCA of the Rockies, Snow Mountain Ranch, which runs below a zipline (which would have similar tower structures and cable line).

Respectfully,

Cynthia “Cyndi” McCoy
Executive Administrator, GC Board of County Commissioners / County Manager’s Office
Office: 970-725-3100
Mobile: 970-531-3728
308 Byers Ave., P.O. Box 264
Hot Sulphur Springs, CO 80451



Grand County
Colorado

From: [Darcy Schlichting](#)
To: [James Shockey](#)
Subject: Cooper Creek Development
Date: Tuesday, July 12, 2022 7:18:02 AM

Dear Mr. Shockey,

My husband and I are full time residents of Winter Park. We are concerned about the parameters of the proposed development at Cooper Creek. We reside at 21 E. Viking Drive

Although we are not directly impacted by the development, our concern is for the overall impact on the Vasquez Road area. The traffic impact, initially from the construction vehicles, and ultimately from the increase in daily traffic once the project is completed will adversely affect all the neighbors in the region.

Please consider the following:

1. Thoughtful development, not maximum density
2. Include large swaths of open space, to minimize the impact of the development on the environment and the wildlife
3. Add another access point from the town to the development to minimize traffic on Timber Drive and Idlewild.

Thank you for your consideration

Darcy and Dave Schlichting

From: [George Sharpe](#)
To: [Keith Riesberg](#); [Alisha Janes](#); [Dani Jardee](#); [James Shockey](#); [Hugh Bell](#); [Irene Kilburn](#); [Tom Hawkinson](#); [Nick Kutrumbos](#); [M Periolat](#); [Mike](#); [Art Ferrari](#); [Jeremy Henn](#); [Jennifer Hughes](#); [Rebecca Kaufman](#)
Subject: Concerns regarding Cooper Creek development
Date: Tuesday, March 22, 2022 9:06:21 AM

To Winter Park Planning and Zoning, Winter Park Town Council, Town of Winter Park Staff;

I am writing today with regard, specifically, to the Cooper Creek Village Development and, in general, regarding the need to enforce responsible development in the town of Winter Park. Development in Winter Park has reached fever pitch with residents and long-time visitors asking the same question; "when will it end"?

I have been a full-time resident of Winter Park since 1997. Far less time than some of my neighbors and their families on Idlewild Lane, I might note. In the past 23 years, I've seen Winter Park transform from a friendly ski mountain and town, where locals and tourists could enjoy skiing, the resort, the town and everything that the surrounding area had to offer, to what feels like a target for greedy developers who destroy the land, without limits, for their own benefit and profit and a ski resort that has become much too crowded, tainting the experience not only for the locals but for visitors as well. Town of Winter Park and the Ski Area saw a massive influx of cars and people the weekends of January 7-9 & January 14-17. Travel times were reported as being 40+ minutes between town and the Mary Jane entrance & 2.5 hours to Empire.

With regard to current large developments in the valley, take a look at Grand Park. What used to be a beautiful meadow that moose frequented and a small area of development on the Fraser side is now littered with hideous unfinished retail buildings and more and more cookie-cutter structures being put up every day. I read in the paper that, at a recent Fraser town meeting, Trustee Quinn (also Planning Commissioner Quinn) commented, based on his survey efforts across town "You know I asked how many people really cared about the meadow, maybe 2 out of 20 even knew what meadow I was talking about, much less cared." I find this truly frightening.

Roam is building, building, building, building. Their website states "The energy-efficient designs are mindful of their surroundings and add to Winter Park's charm. Vertical designs mirror our peaks." Developing in another beautiful meadow and putting up vertical units that block the view of the peaks hardly adds to Winter Park's charm. Yet another development by the wealthy for the wealthy, new homes starting at \$630,000, with the concerns voiced by locals seemingly ignored.

Arrow is planned for 59 units - 15ft wide units on a piece of land that formerly only housed The Shed restaurant. \$600,000 +. Views from the established homes on Lionsgate completely blocked and no reasonable options for the average local.

My wife and I purchased a townhome in Rendezvous when we were married in 2005. At first, we enjoyed clear views of woods and open space from the back of our home. Then building began in the meadow behind us and the view became construction equipment and trees being ripped down. Now Rendezvous continues to spread - what seems like hundreds of units near the entrance to the development (even digging around a shrine, of sorts) and now the former Ski Idlewild hill being cleared for more.

Most of you have lived here for many years. The mayor is part of a family that built their business here in 1976. This is your home too. I implore you to do what you can to save our town and not let it become any further the victim of greedy developers. I'm certain that none of you want to be thought of as the "administration" that allowed Winter Park to become over-developed.

In conclusion, my question to the town is, when is enough, enough? Do we really need another mega development? It's already impossible to enjoy downtown and ski on weekends. Adding more 2nd homes and more bodies to the equation will only exacerbate the overcrowding issue and create negative experiences for locals and visitors. This could truly lead to decreased visitation and will force locals to move away from town, putting further pressure on our already limited workforce

and, therefore, affecting the overall bottom line of local businesses.

Thank you,

George Sharpe

190 Idlewild Ln

March 23, 2022

104 Idlewild Lane
Winter Park, CO 80482

Town of Winter Park
Planning Division
50 Vasquez Road
PO Box 3327
Winter Park, CO 80482

Dear Ladies and Gentleman,

I write you today to describe the charm and uniqueness of the neighborhood on Idlewild Lane and why it is so special to the residents. My parents bought our "cabin" in October, 1979. We are proud to be some of the longest home owners on the block. In fact, we are one of 7 who have owned their home for over 40 years. When my parents first bought our small one and a half room cabin, Idlewild Lane was a dirt road. The neighborhood was filled with both local families and second home owners. Many of the houses were owned by Kansans who found this wonderful little community by the Millers who owned Miller's Inn on Vasquez Road.

Back in the 1980's and 1990's things were so simple on Idlewild Lane, all the kids would play kick the can and have bon fires with S'mores . We would play in the creek that passes through the back of Idlewild Lane. We played in the meadow and up in the forest. Someone even built a fort that we played in and it has lasted for at least 20 years. We put pennies on the train track and waved at the engineer. I remember that every day we would hang out a 7Eleven and try to win a Slushie by floating a quarter into a shot glass inside a big pickle jar full of water. I am proud to say my brother and I would come home with several a day!

Throughout the last 42 years, there have been some changes in the neighborhood. We added on a second story to our cabin. Neighbors have come and gone. We have lost some very dear friends who were longtime residents. We have had the Winter Park Mayor, business owners, a city council member, police officers, a college president, lawyers all call Idlewild Lane "home". We have seen progress with a paved street, homes built on empty lots, additions or updates to existing homes and a few new neighbors along the way. The one constant is the very close knit community we have on Idlewild Lane.

Idlewild Lane has a total of 27 homes. 9 are year round owners. 17 are second home owners. 1 is a long term rental. 7 have owned their home for over 40 years with the longest at 53 years. The last time a house was sold was in 2021.

There are several reasons why we all have moved and stayed on Idlewild Lane. First is the sense of community. Since our primary residence is in Kansas, we do not get up as often as we would like. When

we do come up, the neighborhood welcomes us with open arms. We visit, have pot luck dinners, borrow each other's tools and get caught up on what we have missed. It is such a relief to know that the neighborhood is watching our home as well as others homes when we are not there.

Safety is also a very big factor for Idlewild Lane. Since Idlewild Lane has a single entrance the residents can see who comes in and out and can be aware if something looks suspicious. This street is very busy with walkers, bikers, skateboarders, snowmobiles, dogs, etc. and our residents are always on the lookout when turning in and driving slowly if they have to round the curve.

With the proposed plans in the meadow and around our neighborhood we are all afraid that Idlewild Lane will rapidly change. If the meadow is developed the potential for crime will increase. The quiet tranquil spot for us to enjoy wildlife will forever change. If an additional access point on Idlewild Lane is made, the traffic will increase and could become dangerous. This is not why we chose to live here.

Obviously, this is a very emotional appeal. In the last 42 years we have seen a lot of changes in Winter Park. Some have been successes and some are still sitting empty and unfinished. We want to be perfectly clear to the developer and to the City Council and Planning Committee, we do NOT agree to the rendering that was submitted on March 10. The 7 single family/multiple family houses begin directly behind our property with a very short buffer. This rendering does not even have the correct zoning attached to it. We do NOT agree to the walking paths and access to our neighborhood which is also drawn in this rendering. The entire neighborhood has expressed on multiple occasions that we do NOT want public access to and from our neighborhood. We are only asking to consider to not develop the 2.5 acres behind our neighborhood. We are not asking to stop development of the rest of his property. We urge you all to come and look at the meadow and see the "game trails" of the variety of wildlife that travels through. Come and see how wet the meadow is especially after all the snow melt. Come visualize the road and 30 foot homes they are proposing in the meadow. We understand that Winter Park wants to grow and expand but the development of the meadow should not be part of that plan. My question to you is this... Why is 2.5 acres such an important and integral part of the overall plan? We hope that you will thoughtfully and carefully consider our concerns on the impact of Idlewild Lane.



Sincerely,

Diane Haag

Ashley and Doug Cooper

Brandon and Kim Haag

March 20, 2022

To Whom it May Concern,

52 years ago, in 1970, Joni Mitchell released a song called "Big Yellow Taxi". Since then, it has been reproduced by dozens of artists. We bet that every time a new generation hears the lyrics they believe those lyrics are more relevant than ever before.

*They paved paradise and put up a parking lot
With a pink hotel, a boutique, and a swinging hot spot
Don't it always seem to go
That you don't know what you got 'til it's gone
They paved paradise and put up a parking lot*

Paving over paradise is exactly what we are watching happen, firsthand, on the Beaver's property that is now ROAM. It is a perfect example of how destructive a developer needs to be to install infrastructure and subsequently take their project vertical.

"Imagine Winter Park recommends a multitude of policies to take advantage of new and unique opportunities while staying true to the Town's roots to provide the best quality of life for Winter Park's residents, visitors, employees and businesses." This is verbatim from the Town's defining growth document. We are fully on board for smart balanced development that can be profitable to a developer while supporting this defining statement. We do not feel that building homes in the meadow and permanently altering a thriving wetland to access those homes supports the goals of Imagine Winter Park, the Three-Mile Area Plan, the Compact of Colorado Communities or the Middle Park Conservation District's Ultimate Landowner Guide.

From day-one, ALL of the homeowners in Idlewild Meadows have actively engaged with the developer and the Town to find a solution to preserve the nature & culture of the oldest residential neighborhood in Winter Park. We believe Idlewild Meadows is the epitome of an ***"eclectic and unstructured development"*** that has given Winter Park its ***"authentic look and feel"*** as stated in pages 2-10, Chapter Two, OUR TOWN TODAY, Imagine Winter Park.

When we say ALL of the 26 Idlewild Meadows homeowners, we are talking about 20 fulltime Winter Park locals who contribute to the vibrancy of our community. 20 fulltime locals working, volunteering, donating and supporting our local businesses 365 days a year. We **ARE** Winter Park.

Let's put into scale what exactly we are asking for. We are asking to have approximately 2.5 acres, out of 53 acres, preserved from development. This is less than ½ of 1% percent of the entire Cooper Creek Villages project. As shown in the story board from the first open house, the developer is planning for seven residences in the meadow. These would be seven, multi-million dollar second homes that would be occupied, on average, only 1/3 of the year.

Our request to preserve 2.5 acres of meadow and wetland is in complete alignment with the very first paragraph of Chapter Five, OUTDOOR RECREATION, in Imagine Winter Park. In all capital letters it *says “[MOUNTAIN LIFESTYLE] AN AUTHENTIC MOUNTAIN COMMUNITY WITH A CULTURE DEFINED BY AND FUNDAMENTALLY LINKED TO ITS SURROUNDING NATURAL, WILD ENVIRONMENT.”* Idlewild Meadows has the “*real town*” feel as mentioned in this section.

Jeopardizing the culture and nature of Idlewild Meadows by NOT protecting the meadow and wetland is a complete disregard of Chapter Three of Imagine Winter Park. Chapter Three, OUR CHARACTER AND OUR CULTURE, defines the growth goals of the Town of Winter Park.

Environmental Strategy 3.1 as found in Chapter Six of Imagine Winter Park, OUR HEALTHY AND THRIVING ENVIRONMENT states that the Town should try to “*Encourage density in appropriate locations and clustering of development to maximize open space.*” seven second homes built in a viable wildlife corridor and wetland (aka open space) is the complete opposite of this.

Chapter Four of Imagine Winter Park, OUR GLOBAL AND LOCAL CONNECTIVITY, has a wonderful goal of getting visitors to walk more than drive their personal vehicles. In order to get visitors to walk, it needs to be easy. Without access through our neighborhood, it would not be.

None of the Idlewild Meadows homeowners want any connectivity through our neighborhood. We have repeatedly expressed that to the developer and to the Town. It was shocking to see a new public access trail on the story board at the open house. Unwanted connectivity through our neighborhood will create non-stop foot traffic since it will be the most direct route to downtown.

Without connectivity through Idlewild Meadows the occupants of those seven homes will have to walk up to the main road accessing Cooper Creek Village. They would then need to continue down and around into Town. We can tell you right now that people will not want to do that walk. They will just cut across our yards like they already do. We have also repeatedly expressed our concerns about trespassing since it is already a problem. Fences are obviously not a solution since that further impairs wildlife migration.

As a side note to the connectivity issue, the seven properties will be accessed by a private drive. It will not be a Town maintained road. There is no convenient access to public transportation without walking up to the main road servicing Cooper Creek Villages.

Additionally, nothing in this letter explores snow storage that could negatively affect homes along the meadow. We already struggle to manage the spring runoff.

What it comes down to is putting the intangible concepts of a happy, healthy “locals” neighborhood, the environmental protection of an active wildlife corridor and a viable wetland up against the financial gain of a developer and the Town of WP. All to build seven second homes occupied, on average, 1/3 of a year. These “intangibles” are what makes us love where

we live and want to go home to 365 days a year. I would venture to say that all of you feel the same way about where you live. Nor would you like having strangers pop into your backyard, as they do in Idlewild Meadows, while you are enjoying private time with your family.

Our entire neighborhood is taking a lot of time from our lives and spending our own hard-earned money to defend and preserve 2.5 acres. If the meadow is developed it will forever negatively impact the culture and nature of our neighborhood, not to mention the wildlife that thrive there. Our homes and neighborhood are a refuge when the Town grows to 20,000 tourists.

We are not sure if the Town knows that our neighborhood has done the ground work to purchase the meadow and wetlands with the intention of placing it in a permanent conservation easement with Colorado Headwaters Land Trust. We met with the developer to present this idea and we asked for a price that would be acceptable. When asked about that at the open house the developer's response was that he "isn't there yet". We find that answer mind boggling since this seems to be an obvious solution and win-win for everyone. Engaging Colorado Headwater Land Trust to permanently preserve the meadow and wetlands supports Environmental Strategy 2.4 of Imagine Winter Park which calls for ***"Fostering alliances and partnerships with organizations that are working toward a healthy and thriving environment."***

The developer actually told us that "we should have expected that land to be developed". Based on Winter Park's Three Mile Area Plan it is understandable why we would think just the opposite. The Three Mile Area Plan specifically states ***"If the property is annexed into the Town, it is anticipated that a large amount of the property, especially the steeper slopes to the south and the wetland complex's on both the north and south would remain undeveloped as open space for wildlife migration, wetland preservation, USFS buffer and trail corridors."*** The annexing considerations further goes onto to say ***"If it were to be annexed into the Town, appropriate zoning for this parcel would be Planned Development to allow for a flexible design that includes a mix of residential and open space. The northern parcel should be considered for mixed use zoning due to its proximity to the downtown while the southern parcel should remain primarily residential due to its surrounding uses."*** This is completely opposite of the developer's requested DC zoning. The Idlewild Meadows neighborhood is only opposed to DC zoning along Idlewild Meadows lots lines not the entire 11 acres of the north parcel.

The general public may not be aware that Winter Park is one of at least 28 cities and towns that have signed onto the Compact of Colorado Communities. As mentioned in item 4.5 of Imagine Winter Park the Town has acknowledged that climate change needs to be addressed and that the Town of Winter Park will proactively work to advance climate action planning in town governments and communities. Climate impacts like reduced snowpack, earlier snowmelt runoff and more frequent droughts, threaten our community and livelihoods.

In support of the Compact of Colorado Communities goal, Middle Park Conservation District's 2022 Ultimate Landowner Guide states, in all caps and bold letters ***THE WORST THING YOU COULD DO IS TURN A NATURAL LANDSCAPE INTO A PARKING LOT, HIGH RISE, OR SHOPPING CENTER.***

We want you to know we are not trying to halt the entire 53-acre project. Overall, Cooper Creek Villages has the potential to be a well thought out and successful addition to the Town of Winter Park. Besides the obvious protection a wildlife corridor and wetlands we are asking the developer and the Town to protect a long-standing, happy, healthy "locals" neighborhood. The alternative is alienating friendly longtime locals and turning them into a group of vocal bitter locals who resent tourists & future developments. All for a measly seven second-homes. Failing to protect Idlewild Meadows, is a complete contradiction to all of the Town's guiding development documents.

We find it surprising that preserving 2.5 acres (out of 53) has turned into such a big "ask". We cannot believe that preserving these 2.5 acres is a huge financial detriment to the developer especially when Idlewild Meadows has gone so far as to offer to purchase the meadow and wetland. The developers themselves could partner with Colorado Headwaters Land Trust. They could reap the associated tax benefits and create a partnership with locals. Locals who would support the project instead of fighting it at every turn.

In conclusion, we bring this back around to Joni Mitchell, please don't pave over paradise.

Thank you for taking the time to read this entire letter. We really appreciate it.

Sincerely,

Kelly Haverhals & Shanna Lalley (76 Idlewild Lane)
970-281-9691 / 303-210-5241
khaverhals@gmail.com / shanna@rewinterpark.com

Kyle Roderick & Jill Swent (50 Idlewild Lane)
303-466-5953 / 720-219-8643
kylroderick01@msn.com / jaswent@yahoo.com

From: [Jacqueline Seymour](#)
To: [James Shockey](#)
Subject: CCV Development
Date: Monday, July 11, 2022 8:19:11 PM

Dear Mr. Shockey,

I'm writing to share my concerns with the zoning of the Cooper Creek Villages development. It is my opinion that the zoning being requested is extremely relaxed and is not in the best interest of the community. The development of 875 residential units will nearly double the population of Winter Park. (at least 87.5%) This amount of growth is going to require a lot of infrastructure to support this amount of increase which intern will cost the taxpayers. My request is to tighten the zoning to a much more reduced number of residential units and/or single family homes.

Regarding the height of the structures the developer wishes to build (75') this would be detrimental to the small mountain town that Winter Park is today. Obstructing the beauty of the land around WPK with large Hotels and parking lots/structures is not environmentally friendly or a desirable view. (Don't loose the Spirit of the Wild that is Winter Park)

My concerns regarding the 100,000 sf shopping center is what will happen to small local businesses? Bringing in a mega shopping center is going to drive many of them out of business. Winter Park will become just like every other city or town along the front range with Super Shopping Center where everyone shops away from town. The downtown area is plagued with a a lot of empty store fronts and no activity. The town counsel will wonder one day what happened to their thriving little town.

Winter Park is a Mountain Town not a Metropolis. Save the multi family high rises for the big cities. Keep your businesses local. Don't kill your Small Town feel.

I hope you will truly consider the opinions of your local residents when voting on the annexation of CCV development project.

Best Regards,
Jacqueline Seymour

Sent from my iPad

To the Winter Park Town Council and Winter Park Planning and Zoning Committee:

As a full-time resident and long-time homeowner on Idlewild Lane, I am writing regarding the proposed annexation of land behind the Idlewild Meadows neighborhood.

While I expect the annexation will be approved, I wish to address the zoning, particularly the small section of NPA-1 which discussions have informally been referring to as “the meadow.”

The area directly behind Idlewild Meadows homes is rich with wildlife. Not only is this area teeming with birds, squirrels, foxes, and other small animals, moose are regularly seen throughout this area. Further, pine martens have been seen here and in the Idlewild Meadows neighborhood on numerous occasions, and even evidence of mountain lions.

It is impractical to expect no development to happen. However, we need only look across Highway 40 to the Roam development to see how upsetting wildlands affects the movement of the most native of all residents of our town: the wildlife.

Zoning of any sort other than OSF would put an undue burden on the movement of wildlife through this area. At the Johnsons’ open house at the town hall, the image of their proposed use of that area indicated six single-family homes. A mere handful of homes that would require their own road and its maintenance, while upsetting the well-known wildlife corridor that currently exists in that area.

By keeping this small portion of land zoned OSF, it would allow residents both established (Idlewild Meadows) and new (Cooper Creek Village) the opportunity to glimpse the pristine meadow and its wetland area as well as its current most important residents, the wildlife. It is a small percentage of the buildable land this annexation is proposing, and the impacts of keeping it undeveloped would be monumental.

As we all saw in a recent Sky-Hi News article, the importance of giving moose their space cannot be overstated. Moose have been in the meadow for longer than any of us have been here. With their ever-decreasing habitat in the Winter Park area of the county, leaving this small piece of land undeveloped would not only benefit the animals, it would also contribute to decreased risk of dangerous, close-proximity human-moose encounters.

You can find the article here: https://www.skyhinews.com/news/cpw-to-everyone-leave-moose-alone-with-video/?utm_source=second-street&utm_medium=email&utm_campaign=grand-update .

Further, as per CPW’s January 2022 Taps Talk, the area in question is considered part of what they refer to as “moose concentration area” and “moose winter range.”

Given that this is already identified by CPW, it seems prudent to have CPW weigh in with their educated assessment of what potential impacts would be caused by zoning the meadow anything other than OSF.

Yes, our goal as the community of Idlewild Meadows is to minimize the impact to the humans in our neighborhood. But part of what we hold dear is the presence of native wildlife species, and we wish to minimize further damage to their habitat that development causes.

We strongly feel it is imperative to zone this small bit of the proposed annexation as OSF, maintain wider buffer zones between the existing neighborhood and the proposed new construction, and to respect the wildlife that is at the center of what makes our mountain community a beautiful and desirable place to live. Rather than naming a street after what the building of that street destroyed—Moose Court?—instead make this small zoning concession in order to retain a piece of habitat for those moose.

Thank you for your time,

Jenn Posterick and Chris Morris
10 Idlewild Lane

From: [Laura Belanger](#)
To: [James Shockey](#)
Cc: [John](#); [Renee Garcia](#); [Brian Nuel](#)
Subject: Regarding Cooper Creek Village and Cooper Creek Square - Final Development Plan Request (PLN21-082)
Date: Monday, July 11, 2022 8:36:28 PM

Dear Mr. Shockey and Planning and Zoning Commission Members,

We are writing to provide public comments on the annexation and proposed rezoning for Cooper Creek Village.

- 1. We support the annexation but urge you to deny the requested R-C zoning for the southern and western planning areas** - We are owners of 11-11 Beaver Village Condominiums which is immediately adjacent to and surrounded by the proposed Cooper Creek Village to our north, west and south. Our condominium complex has long enjoyed the quiet southwestern end of Winter Park and surrounding unincorporated areas which include the parcel in question which is currently zoned "open space, forestry". The proposed R-C zoning for planning areas located to the south and west of the core is on the opposite end of the zoning spectrum from current conditions and would completely destroy the character of the area that led us to purchase our condominium. We understand the desire to develop new housing and commercial space for the Town, and the benefits of the taxes that come with those. But while doing that, please do not forget about current property owners. A balanced approach that meets everyone's needs can be found. We do not oppose the development but believe it should be approached and zoned appropriately and thoughtfully to consider and reflect surrounding property characteristics. While high density development near the Town Center makes sense, please do not allow for 50- and 75-foot-tall buildings and extremely dense development in the planning areas located to the south and west of the core. Providing blanket R-C zoning now will essentially prevent any successful future opposition to extremely dense and tall development – as those would be in compliance with the approved zoning. We support the feathered density transition proposed by the Idlewild Meadows neighborhood and urge you to approve rezoning as they propose.
- 2. We are adjacent property owners and are extremely concerned that we did not receive notice of the proposed annexation and rezoning** – The proposed annexation and rezoning will have significant impacts on each and every one of Beaver Village Condominiums home owners, yet we were not notified of the July 12, 2022 meeting. The only reason we are aware of it is because the Idlewood Meadows neighborhood took it upon themselves to do what the project proponent and Town should have done and sent a letter notifying us of the proceedings – unfortunately with unreasonably short notice. With proper notice, the residents of Beaver Village Condominiums could have better reviewed the proposal and provided additional comments.
- 3. The traffic anticipated from the proposed development is unacceptable** – As the Planning and Zoning Commission knows, as well as anyone who lives in or visits Winter Park or the neighboring communities, traffic in and through Winter Park can already be very bad. While we know additional development and traffic will occur with new development, the daily external vehicle trips that would be generated by the proposed development are excessive and will form a serious bottleneck right at the entrance to town where all vehicles going to or through Winter Park must travel. People don't live in Winter Park to experience traffic jams, and we hope you will rezone the property in question accordingly to prevent further erosion of Winter Park's admirable and desirable mountain community characteristics.

As adjacent property owners to the parcel in question, we urge you to reject the proposed zoning for the proposed Cooper Creek Villages property and instead adopt thoughtful, less dense and less tall zoning appropriate to the characteristics of existing development in the area. We also ask that

you investigate why the residents of Beaver Village Condominiums did not receive notice of this rezoning application or the July 12, 2022 meeting and to provide proper notice and a future meeting opportunity to us, neighbors of the proposed development. Lastly, we hope you will consider your own and nearby communities' impacts from the additional traffic the development will have in determining appropriate zoning for the project.

Sincerely,

Laura Belanger, Renee Garcia, Brian Nuel, and John Rodgers

Owners of Beaver Village Condominiums, Unit 11-11

belanger.laura@gmail.com, renee_e_garcia@yahoo.com, brian.nuel@gmail.com, and rodgers.john@gmail.com

303-215-9122

Luke Braly
60 Idlewild Ln. Winter Park CO. 80482

Cell: (303) 817-9848
Email: luke.braly@fticonsulting.com

Winter Park Zoning Department
Winter Park Town Hall – 50 Vasquez Road

Dear Winter Park Zoning Department Members:

I am writing to express my concerns about the currently proposed zoning request for the annexation of the Cooper Creek Village Property, specifically as it relates to the annexation of NPA-1 and NPA-2 as detailed in the Cooper Creek Village & Cooper Creek Square Final Development Plan (Exhibit A). The proposed zoning for the annexation of these parcels is “D-C: Destination Center” (Exhibit B). The proposed zoning for the annexation is inappropriate for the following reasons:

- 1.) **Lack of Zoning Precedent for D-C Next to Residential:** There are no other properties in Winter Park that have existing R-1: Single-Family Residential zoning with D-C zoning adjacent to it.
 - a. **R-1:** Per Town’s Zoning Districts and use Standards, R-1’s character is **Low Density Residential** and the purpose of the district is “Single-family **detached** residential neighborhoods on moderately sized lots, including provision for varying sized lots, including provision for varying lot areas and widths, home siting, and **by-right cluster development to preserve resources, protect sensitive lands, and accommodate natural topography.**” [**emphasis added**]
 - b. **D-C:** The purpose of this district is to provide: “A planned mixture of **high density** and upper-floor residential and **commercial uses** in horizontal and vertical formats that are arranged to create walkable pedestrian environment. [**emphasis added**]

Exhibit A shows the planned development for NPA-1 is “Residential” which suggests that D-C zoning would be inappropriate if residential is the intended use. It has been explained by the developer that the D-C zoning would include an R-1 “overlay.” If the planned development is residential, there is no reason for an unnecessary overlay of R-1 on top of a D-C zoning designation. R-1 or Open Space would be the most practical zoning designation for this property and would be consistent with already established zoning precedent.

Further, NPA-1 and NPA-2 existing zoning is Open Space, Forestry, Agriculture and Recreational Zone District. Per Town’s Zoning Districts and use Standards, the purpose of this type of district is to provide for “Preservation of the US Forest Service Property; protection of the Fraser River and associated creeks and their wetland and riparian areas; provision of agricultural areas and uses; and expanding upon the recreational amenities and assets of Town.” Converting from the current land use to D-C is a dramatic and unnecessary zoning change. When residents of Idlewild purchased their property, they had a reasonable expectation that this zoning would remain in place. At a minimum, there was a reasonable expectation if an annexation occurred, reasonable zoning standards would be utilized.

- 2.) **Proposed Height Variances for 3 Buildings Surrounding Cooper Creek:** Granting a variance for the three 75-foot buildings around Cooper Creek Square do not meet the criteria of §7-8-1. Specifically, §7-8-1 C #6 states:

“The proposed variation ***will not impair an adequate supply of light and air to adjacent property or substantially increase the congestion in the public streets*** or increase the danger of fire or endanger the public safety or substantially diminish or impair property values within the neighbor.” *[emphasis added]*

Another important criterion in assessing a variance includes: ***The variance, if granted, will not alter the essential character of the locality.*** *[emphasis added]*

None of the above would justify a variance by the Town of Winter Park Board of Adjustments. Numerous precedence has been established on variance requests to increase height “would alter the essential character of the area and would be detrimental to the surrounding property.”

- 3.) **Wetlands Concerns and Lack of Open Space in Land Use Plan:** Parcel 1 contains ecological sensitive “non-jurisdictional” wetlands. There is no proposed Open Space in NPA-1 or NPA-2 that will protect these sensitive areas that are utilized by wildlife as a corridor / sanctuary. The developer may argue that the 5.5 acres of Open Space in PA-9 satisfy this requirement, however, the actual open space goes through NPA-1 is a fraction of the open space and is being offered as it is needed for a ski back. This space is inadequate for preserving space for wildlife and recommend that the Colorado Division of Wildlife (CDW) be consulted on their recommendation for the amount of land that should be preserved for wildlife. Hopefully Town will actually take their recommendation into consideration on this project, instead of disregarding their professional judgement as was done with the Lakota Pointe Development¹.
- 4.) **Plan Lacking Detail on Land Use Transition Zones (LTZs):** Per the Town of Winter Park’s Landscape Design Regulations and Guidelines, Guideline 2: Land Use Transition Zones states: “Through the use of LTZs, provide visually pleasing and functionally appropriate transitions from one land use to another using plant materials, berms, fences and/or walls.” The Cooper Creek Village & Cooper Creek Square Final Development Plan does not address LTZs which is even more important with a D-C zoning request that is adjacent to an existing R-1 zoned neighborhood. Exhibit C is inadequate for addressing compliance with LTZ.

It is rumored that Cornerstone Holdings LLC is holding informal discussions with Town to annex a portion of their Grand Parks development into Winter Park after well documented conflicts with the Town of Fraser have reached a boiling point. Is Winter Park becoming a haven for misbehaving developers and/or are these developers taking advantage of Winter Park’s perceived lax development guidelines, greenlighting multiple massive projects at the same time? It would be a shame if unfinished

¹ Town of Winter Park Planning Commission (Tuesday August 10, 2021, 8:00 am) Preliminary Plat - Lakota Pointe. Review Agency Comments (Colorado Parks and Wildlife: Jeromy Huntington) recommending: “...at least a 300’ buffer from Cub Creek be provided to limit disturbance to moose; that a nest survey be performed in each project area no later than two weeks prior to initiating construction; that precautions be taken to prevent human-bear interactions; etc.

Styrofoam-like buildings start dotting the Winter Park landscape because Town is unable to fulfil its fiduciary duty to its residence to ensure regulation and codes are followed due to the volume of development exceeding the staffing in place to monitor compliance.

Instead of simply dusting off and rubber stamping the Winter Park Master Plan annually², it is time for Town Council to pump the brakes on new development until a comprehensive revamp of the Master Plan has been performed and fiduciary duties have been fulfilled. Additionally, Town Council should consider retaining a competent, independent land use planner to take inventory of Winter Park's dwindling open space to prioritize the open space that should be protected from development for the enjoyment of town residents and visitors.

Town Council should also prioritize balancing the need to retain Winter Park's unique character while balancing thoughtful development.

EXHIBITS FROM COOPER CREEK VILLAGE FINAL DEVELOPMENT PLAN (SUBMITTED JULY 19, 2021).
(NOTE: EXHIBIT C WAS A SUPPLEMENT PROVIDED BY THE DEVELOPER)

² Town of Winter Park Planning and Zoning Commission Resolution No. 3 Series of 2021: The Town of Winter Park approved the Three-Mile Plan on August 10, 2021, with no changes recommended to Town Council for adoption (less than 3 paragraphs of minutes to reach the conclusion).

EXHIBIT A:

COOPER CREEK VILLAGE & COOPER CREEK SQUARE FINAL DEVELOPMENT PLAN

LOCATED IN THE TOWN OF WINTER PARK,
COUNTY OF GRAND, STATE OF COLORADO
LAND USE PLAN

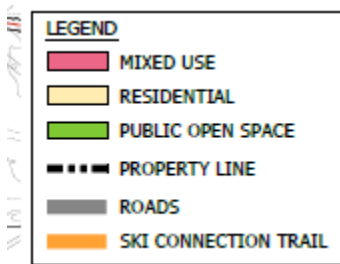
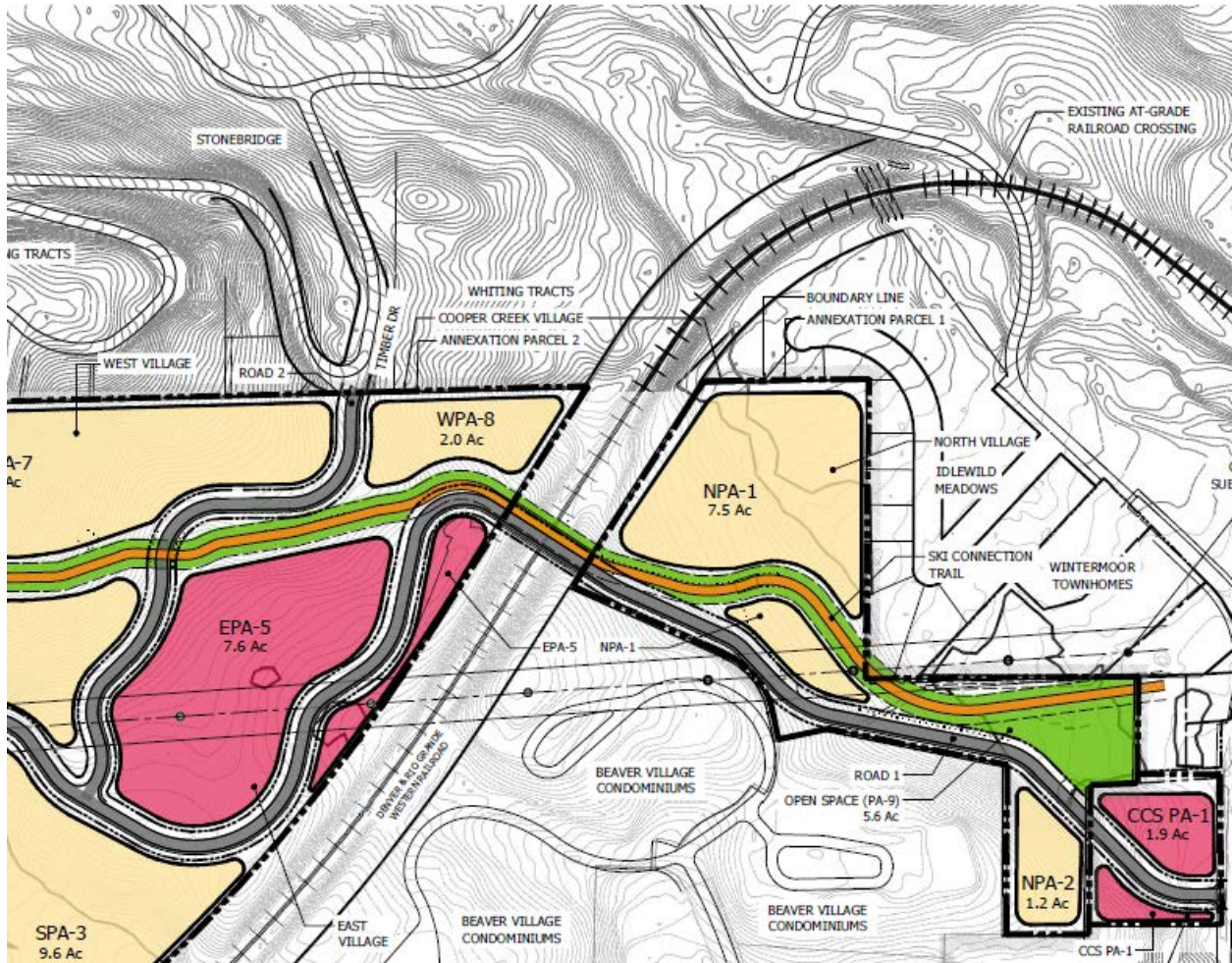


EXHIBIT B:

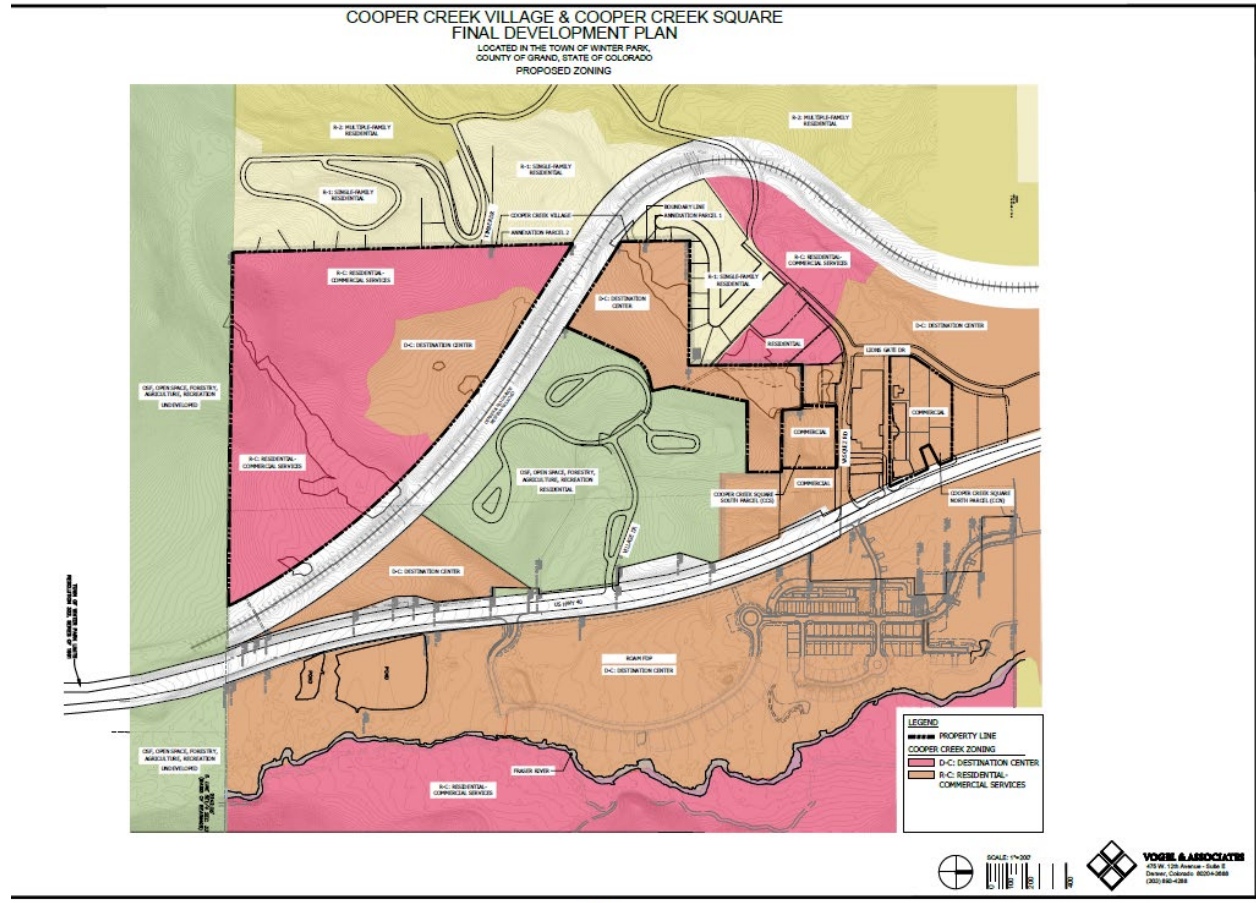


EXHIBIT C: LANDSCAPE BUFFER EXHIBIT (SUPPLEMENT)



COOPER CREEK VILLAGE SECTION
NORTH PLANNING AREA 1 - LANDSCAPE BUFFER

From: [Mindy Trautman](#)
To: [James Shockey](#); [Keith Riesberg](#); [Nick Kutrumbos](#); [Jennifer Hughes](#); [Mike Periolat](#); [Riley McDonough](#); [Art Ferrari](#); [Jeremy Henn](#); [Rebecca Kaufman](#)
Cc: randall.reaugh@jm.com
Subject: Cooper Creek Villages/Annexation and Zoning Determination - Request for Lower Density/Height Zoning
Date: Sunday, July 10, 2022 5:28:36 PM

I respectfully request (implore) that the Town of Winter Park Planning & Zoning set the zoning determination for Cooper Creek Villages to NOT BE a Destination Center (DC).

As a property/homeowner at 284 Arapahoe Road for more than 27 years, I know how much Winter Park has changed. The density and increase in development has been unprecedented. Setting the Cooper Creek Villages area as DC would only contribute and exacerbate the following:

- Traffic Congestion
- Water Shortages
- Staffing Shortages
- Degradation of the vibe/look and feel of our town and valley
- Degradation of the quality of life for the surrounding neighborhoods

We came here and continue to come here because of the 'local' feel versus the mass produced feel. And although that is slowly being eroded, the density request from JAC Colorado will continue to just make us look and feel more like the chaos that is Steamboat, Summit County, Breckenridge and Vail. People come here BECAUSE we are not those other places.

In addition, the surrounding neighbors/neighborhoods will be negatively impacted, forever being changed by the volume of traffic/people and basic aesthetics. From those I've talked to - that even live here full-time, there doesn't seem to be much notice or communication coming from the town and the elected officials. Very convenient for the developer in their push for maximum density. And, the amount of green space being proposed is laughable. I'd appreciate getting information about how to better track this project and how to hear about subsequent meetings that will be available to the public.

Please consider lower density and height allowances that are more in line with the surrounding legacy neighborhoods and area and allow more time to receive input from concerned residents before making a final decision.

Thank you for your time and consideration in this very important matter.

Mindy Trautman

March 22, 2022

Paul & Kristen Tourangeau
22 Idlewild Lane
40 Idlewild Lane
Winter Park, CO 80482

Town of Winter Park
Planning Division
50 Vasquez Road
PO Box 3327
Winter Park, CO 80482

Re: Homeowner Comments on Proposed Subject Planning/Zoning for Cooper Creek Villages Development, Winter Park, Colorado

Ladies and Gentlemen:

Wetland habitat is disappearing too rapidly in this country, and every town and city should endeavor to preserve those that remain. The Town of Winter Park would be wise to protect all wetland habitats that exist within town boundaries, in addition to the waters which flow into the Fraser River. Wetland habitats are an extremely valuable environmental resource for the animals, plants, and microorganisms which rely on them, and are noteworthy for their positive impact on the water that flows through them. Development is greatly impacting our western rivers, and we need to preserve them in their natural states, which include the wetlands that feed them, rather than alter them to suit development.

As homeowners adjacent to and near the proposed Cooper Creek Villages development project, we urge you to consider conditioning approval of the subject development to preserve the wetland habitat characteristics that have existed and presently exist in the area immediately to the south and east of Idlewild Lane.

Development is rampant in the West, and Grand County is no exception. Grand County has been slower to develop than other mountain counties, but significant growth is now at our doorstep. Now is the time to make decisions that will protect our community and our way of life into the future. We can put guardrails around development, but once development has consumed open space, that space is forever lost.

Idlewild Lane, in the town of Winter Park, has been largely unaltered since the late 1960's when my parents bought their tiny cabin at 40 Idlewild Lane from a Winter Park ski patrolman. In those days Beaver Village Condominiums had not been built, and as

kids we roamed through all that area to our hearts' content. The meadow, wetlands, and forest that are between Idlewild Lane and the Beaver Village property are beautiful and peaceful, and still provide a corridor for wildlife.

The neighborhood is almost an accidental example of current-day property development in which preservation of open space is a requirement. The difference is that the open space that currently exists on Idlewild Lane is *not* part of the Idlewild community. It is a portion of the proposed development you are considering.

If we could turn the clock back, perhaps it would have been best for the town of Hideaway Park to preserve all the wetlands that once existed from the Vasquez Creek flowing southeasterly toward the Fraser River. Back in those days no one thought about preservation - one only envisioned basic housing and commercial areas. There were small houses and little businesses along Highway 40. Ski Idlewild, Miller's Idlewild Inn, and Beaver's were the only "big" businesses in town.

At that time an affirmative plan or vision to preserve some of the important natural elements within the town limits did not exist, whereas today we do have a vision which is outlined in the Three Mile Area Plan. From page 5 of that plan under the section entitled, Water Availability:

Water availability is a concern with any annexation in the Town of Winter Park. The 2006 Town Plan considered the effects development could have on the Fraser River and its tributaries. The Town Plan stated that water available for municipal use should not impact the amount needed to support the Fraser River and as such any additional zoning entitlements should be planned that at full build-out of Winter Park, enough water will be available to keep healthy rivers and creeks in the Upper Fraser Valley. The 2019 Imagine Winter Park Town Plan reinforced this statement with a requirement that the Town maintain healthy stream flows for ecological, recreational, and scenic purposes.

Wetlands contribute a significant benefit to the health of water systems. Most of the homes on Idlewild Lane were built on these wetlands. By today's standards it would have been healthier for the Vasquez Creek/Fraser River system if development had been limited in this wetland area. However, the beneficial contributions of wetlands to our ecosystems were not well known at the time. Let us learn from the mistakes that other cities and towns have made by continuing to allow development with little regard for the preservation of open space. ***It is critical that we save what little open space we have left.*** That is the intention of the plans developed by the Town of Winter Park with its Three Mile Area Plan and the Imagine Winter Park Plan. Future residents and guests will thank those with the foresight to preserve open spaces within the heart of Winter Park.

Regarding the development of the gondola and the ski-back trail, the residents of Idlewild Lane have been assured that both projects are being undertaken to *reduce*

the amount of traffic in and around Winter Park. It is possible that there will be less parking needed at the ski area and fewer cars driving that direction, but we foresee that our street is at a real risk of becoming a parking lot for the gondola and our properties will become short cuts to the lift line. Additionally, the traffic on Vasquez Road will increase as people try to reach the base of the gondola or try to find parking nearby to access the gondola. Traffic will increase on Idlewild Lane, as well.

Development around the gondola line and the ski-back trail might lead to further parking and traffic problems in the subject development area and in Beaver Village, as residents, friends, and guests use parking areas in and around the proposed subject development area to access the gondola.

Snow removal and drainage are currently significant problems on Idlewild Lane. Additional development in the adjacent area will magnify the difficulties that we currently have by materially increasing the number of dwellings in a small area. The snow that normally would accumulate for the winter season in the meadow and the forest immediately south of Idlewild Lane will be plowed from a new road, driveways, and access areas around the dwellings. This snow will need to be plowed and removed – a process that will keep it from melting naturally into the waterways, and which will deplete the natural wetlands running along the bottom of the hill rising from the meadow and extending toward the Fraser River.

Please take the time to *carefully* consider each significant element associated with every project that impacts the Town of Winter Park. These considerations extend not only to number and type of units, architectural style, building construction, and tax revenue, but also to the effects of such development on the natural environment around us and within the town's boundaries. Most of us are here in Winter Park because we value the natural beauty at our doorstep.

Therefore, as homeowners adjacent to and near the Cooper Creek Villages development project, we urge you to consider conditioning approval of the subject development to preserve the wetland habitat characteristics that have existed and presently exist in the area immediately to the south and east of Idlewild Lane.

We also ask you to carefully consider the tremendous impact that the development of a gondola, a residential access road, and a ski back trail will have on parking and on snow removal and storage in our neighborhood and in the adjacent subject development, as well as its impact on Vasquez Road, a major artery for the Town of Winter Park.

s/Kristen and Paul Tourangeau

March 22, 2022

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22 Idlewild Lane
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s/Kristen and Paul Tourangeau

Red 7/12/22
KSR

I have two questions for the Planning Commission and Town Council to address regarding the Cooper Creek Villages development and annexation:

First: Is the environment, and the flora and fauna being protected by the agreement?

During public comment for the ROAM development: scientists, wildlife biologists, Trout Unlimited, Colorado Parks and Wildlife and many Winter Park residents all expressed concern about the setbacks on the Fraser River and how a large development would effect the water quality and the migratory corridor for moose, elk and other wildlife, unfortunately; that development was allowed to infringe on the fragile riparian ecosystem. The 57 acres in the CCV development includes multiple drainages that run into the Fraser river and land that up to this point has been available to wildlife. Cooper Creek Villages is a huge development that will impact the native flora and fauna. Some of that flora and fauna is on the brink of extinction due to climate change. Are there any legal provisions to protect the riparian and migratory corridors in this development?

Secondly: Where is the water coming from for this new development?

80% of the water in the valley is already diverted to Front Range Communities. The Southwestern US is experiencing its driest period in over 1200 years and the Colorado River is over allocated so where is the water coming from to support this growth? Is there a dedicated and guaranteed source of water?

Thank you,
Priscilla Kirouac
151 Pine Cone Lane
WP, CO

From: [Rachel Lambden](#)
To: [James Shockey](#)
Cc: [Brian Lambden](#)
Subject: Cooper Creek Villages annexation
Date: Monday, July 11, 2022 9:26:06 PM

Hello James,

My family has owned a vacation home in Hideaway Village South for more than 20 years. My husband and I just moved here full time 3 months ago and are loving our quiet secluded trails. One of our favorites goes thru the forestry land that is currently being re-zoned.

The proposed density will destroy our surrounding open space, trails, wild flowers and views. The amount of anticipated traffic will create havoc. The nature of our backyard and character of our neighborhood will be irrevocably changed.

We do NOT Support the re-zoning as requested.

Thank you for your time in reading this,

Rachel and Brian Lambden

From: randall.reaugh
To: [James Shockey](#); [Keith Riesberg](#); [Nick Kutrumbos](#); [Jennifer Hughes](#); [Mike Periolat](#); [Riley McDonough](#); [Art Ferrari](#); [Jeremy Henn](#)
Cc: scottchisholm@highsofttech.com
Subject: Cooper Creek Village
Date: Monday, July 11, 2022 9:07:07 AM

I am writing this message to express my strong opposition to the zoning of the Cooper Creek Village as a Destination Center with the resulting development densities and height restrictions allowed under that designation.

I am not opposed to the development of this property. However, any development should be in line with the character of the surrounding neighborhoods and the Town of Winter Park. Moving this land from an open space to a maximum density to maximize financial return is inappropriate.

I am a longtime homeowner on Arapahoe Road. This development, as proposed, is the exact opposite of what attracted me to the valley 30 years ago. This will have a significant negative effect on our neighborhoods. Squeezing in 875 multi-family, single family attached units and a 400 room hotel is just one more step to converting Winter Park to the look, feel and chaos of Summit County.

I am requesting that this development not be allowed to proceed under the current development plan. There should be large buffer zones from adjoining neighborhoods, reductions in allowable densities, expanded use of single family detached homes, and reasonable open space.

There seems to be a very apparent lack of transparency concerning this project. I spoke to 5 of my neighbors this weekend and none of them were aware of the scale of this development or that a zooming meeting is to be held on the 12th. I only became aware through a casual conversation with one neighbor. Is there not a requirement to post proposed zoning change signage at the property? I would hope that the Town of Winter Park would want to fulfill its responsibility to fully communicate all pending processes concerning a project of this scale.

I further request that any Town of Winter Park representatives who themselves or who have family members that benefit from this property development, or the sale of real estate, recuse themselves from decisions on this matter as that is clearly a conflict of interest.

I can be reached at 303-638-2733.

Sincerely, Randy Reaugh.

From: [Rebecca Sharpe](#)
To: [Keith Riesberg](#); [Alisha Janes](#); [Danielle Jardee](#); [James Shockey](#); [Hugh Bell](#); [Irene Kilburn](#); [Tom Hawkinson](#); [Nick Kutrumbos](#); [Mike Periolat](#); [Art Ferrari](#); [Jeremy Henn](#); [Jennifer Hughes](#); [Rebecca Kaufman](#); [Riley McDonough](#)
Subject: Voicing my concerns regarding the Cooper Creek Village Development
Date: Monday, April 25, 2022 9:10:43 AM
Attachments: [image.png](#)

To the Town of Winter Park staff and Winter Park Town Council (please forward to Winter Park Planning & Zoning),

I am writing this letter to express my concerns with the Cooper Creek Village development, specifically with regard to the Imagine Winter Park Master Plan.

I'll open by saying that I find it very concerning that the land owner is listed as being on the "Steering Committee" of the Imagine Winter Park Master Plan. Is this not, inherently, a conflict of interest?

The plan was created in 2017 and much has transpired since then, including the approval, partial completion and completion of numerous other developments and catastrophic wildfires. When was the plan last reviewed? The plan itself states on page 1-6, "For the Town Plan to remain effective, it must be regularly reviewed and amended to address current standards, goals and strategies, and future needs, as well as to provide additional social, economic, and environmental sustainability elements. Furthermore, it is essential that the Town Plan remains current with changing local, regional, and global conditions."

I would also like to note the multiple conflicts with this plan as they pertain to the development:

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Page 50 - [MOUNTAIN LIFESTYLE] An authentic mountain community with a culture defined by and fundamentally linked to its surrounding natural, wild environment.
Page 59 - [Our incomparable national forest] “ The community should protect wildlife, habitat, movement corridors, and scenic vistas. When development occurs it should be sized, located, and designed to avoid or limit impacts to wildlife and the natural environment.” EN Strategy 2.3 “Protect the integrity of significant wildlife habitat & movement corridors.

- Visitors come to Winter Park to enjoy the natural environment and to view wildlife. Additional development will only disturb, if not, drive away wildlife. In NPA-1 specifically, and in the bordering Idlewild Meadows, various species are seen frequently including moose, deer, bears, marmots, snowshoe hare, foxes, coyote, and pine marten.
- See the CPW slide below pertaining to the Moose habitat that this property encompasses. You can see that the property in question covers the Moose Winter Range and Moose Priority Habitat.
- Wildlife, especially moose, use riverbeds to move in the winter due to the lack of deep snow. The CPW has noted that the Vasquez Creek is a “crucial habitat

movement" area for moose. The Cooper Creek Village development is adjacent to Vasquez Creek and will have a significant impact on this crucial movement habitat.

- The CPW has also noted a decline in wildlife in Summit and Eagle Counties because of over development.

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Page 57 - [A HEALTHY HEADWATERS COMMUNITY] A conservation-oriented community that recognizes the role water plays in the natural environment and ability to grow in a responsible and sustainable way. Page 58 - EN strategy 1.5: Protect the viability of natural wetlands and watercourses as a key component of our natural and built environments.

- Existing wetlands that the proposed development encompasses and specifically in NPA-1, will be heavily impacted. When questioned about the impact of the wetlands in NPA-1 in the Cooper Creek development Open House session on March 10th, the developer stated that 1) the wetlands in NPA-1 would "only have a road built over them" 2) that the homes on Idlewild Lane were already built on wetlands and 3) that they were not jurisdictional wetlands. Clearly this developer is not interested in "Protecting the viability of natural wetlands and watercourses as a key component of our natural and built environments."
- Potential impact on Vasquez Creek. Sedimentation issues in the Fraser River have already been found. While causation is under review, these issues are likely related to surrounding development. (See: [The indicator species vs. development: How construction runoff is muddying fish habitat.](#))

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Page 61 - [SUSTAINABILITY] A COMMUNITY THAT OPERATES IN WAYS THAT ARE GOOD FOR PEOPLE AND THE PLANET. "In order to provide the quality of life that residents and guests in Winter Park expect and desire, it is crucial that the Town create and maintain conditions under which humans and nature can exist in productive harmony, that allow us to meet the social, economic, and environmental needs of both present and future generations. This will mean reducing our environmental footprint by conserving energy and water, reducing waste, increasing recycling, and addressing climate change.

- Wildlife will be displaced and will not return.
- A multi year buildout with construction vehicles, constant running engines, tree removal, and wetlands destruction will not reduce environmental footprint.
- More development means more people, which in turn leads to excessive energy and water use, along with more waste (both construction and household). A lack

of water in the west is already becoming an issue due to the current drought and overpopulation.

- **Page 60 - [Living with our environment] EN Strategy 3.1 Encourage density in appropriate locations and clustering of development to maximize open space, EN Strategy 3.3: Work to become a Dark Sky Community. EN Strategy 3.4: Proactively plan for disasters and implement mitigation and resilience measures to reduce community vulnerability (e.g. requiring firebreaks) EN Strategy 3.8 Implement policies that reduce conflicts between wildlife and domesticated animals.**

- The development of NPA-1, which directly borders the Idlewild Meadows neighborhood would, in effect, remove the only open space that this neighborhood has to their avail.
- The lives of the residents of Idlewild lane will be greatly impacted due to the proximity of the planned development bordering the neighborhood. Years of construction disruption will make it impossible to live in, work in or enjoy our homes.
- With the addition of hundreds of new homes and new roads on these parcels, any new indoor and outdoor lighting, car headlights, and street lights will all lead to light pollution and eliminate any hope of maintaining a “dark sky community”. Not to mention potential lighting of a ski-back. Walk down Idlewild Lane after dark on a clear night and you'll be amazed how brilliant the stars are currently.
- The East Troublesome fire was a major event for Grand County and evacuations were in place. There are 2 ways to enter and exit Winter Park. When another wildfire occurs (and they will occur), evacuations and extractions will be difficult even with the current population. Neighborhoods below the Vasquez Road camping areas are in constant fear of wildfires started by campers in that area. With additional development and density, ensuing traffic jams could become catastrophic.
- As stated previously, many species frequent the Idlewild Meadows neighborhood. An increase in 2nd homeowner occupation would clearly increase conflicts between wildlife and domesticated animals.

I appreciated the opportunity to hear from current Town Council members as well as candidates for council prior to the election. What I heard was that transparency, residents having a voice, developers being held accountable, quality of life, preserving wildlife corridors and wetlands, the burden being placed upon the community due to new development, sustainability, and climate change were all priorities and/or concerns. I heard the Imagine Winter Park and 3 Mile plans mentioned numerous times. What I also heard, however, was that we can't tell people what to do with their own property. So I'm finding it difficult to

understand the value in a plan if it's not adhered to or enforceable in the face of developers?

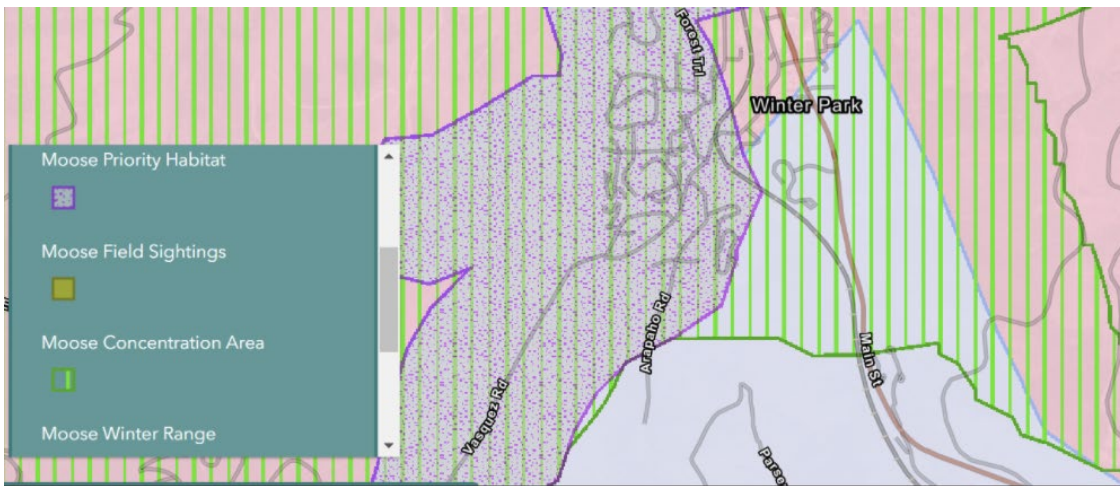
Finally, on the topic of transparency, we know that closed door meetings were held with the land owner/developer. Our neighborhood would like to not only understand what transpired at those meetings but also be afforded the opportunity to speak with council, with no time limits placed upon our commentary.

Thank you for listening,

Rebecca Sharpe

190 Idlewild Lane

Resource:



From: [Richard](#)
To: [James Shockey](#)
Subject: 57 acre development
Date: Monday, July 11, 2022 7:57:21 PM

I was shocked when I heard at the last minute about this seemingly unthought through railroaded zoning change - why so little notice?? Do we need a petition - whole process smells bad - sounds like some inside dealing - no impact studies on traffic - bike / car interactions on Arapaho road , wildlife impacts etc etc - can an injunction happen ? It's TOO big - Too many units - smacks of developer greed!!

Richard George and Ann Tempest

Sent from my iPhone

From: [Susan Keck](#)
To: [James Shockey](#)
Subject: Opposed to commercial zoning on Timber Drive
Date: Sunday, July 10, 2022 1:42:05 PM

Hi James,

RE: Cooper Creek Development

I oppose the commercial zoning proposed for the hotel off of Timber Drive. It does not blend with the current residential zoning and is far from the town center. My concerns are the impact on wildlife and wetlands along with heavy traffic and lack of parking. It would better serve the visitor and community to keep the hotel and commercial zoning in the town center.

Thank you,

Susan Keck

110 Arapaho Rd

Winter Park

7/19/22

RE: Cooper Creek Development

From: Susan Keck

110 Arapaho Rd

Winter Park, CO

To: Winter Park Planning and Zoning Commission and Town Council,

In the Copper Creek Development plan, will you please consider a condition for an access/security gate where Cooper Creek Development meets Timber Drive? Since the new development will have its primary access from the new RR overpass and not from Timber Drive, it seems unnecessary for the traffic to flow through the Hideaway Village South neighborhood except in emergency and limited situations. Without any traffic control, there will be conflict with excessive car traffic on Arapaho and Vasquez Roads. The roads are narrow and the slope is enough that The Lift can't stop on the uphill at the corner of Arapaho and Timber Drive, let alone the rental cars that try to go up Timber Drive! There may be additional stress on Timber Drive from eager skiers parking on the roadway to ski down to the town gondola and ski back to their cars at the end of the day. (This already happens on Arapaho Rd) It would better serve that neighborhood to work on an alternative outlet to Highway 40 toward Winter Park Resort. (By Ice Hill/Serenity)

Also, please question the commercial zoning proposed for the hotel off of Timber Drive. It does not blend with the current residential area or, zoning and is far from the town center. The concerns are the impact on wildlife and wetlands along with heavy traffic and lack of parking. It would better serve the visitor and community to keep the hotel and commercial zoning in the town center where the visitor can walk through town. With a fully occupied hotel, will the lights at night from the rooms be dark sky compliant? Also, if you look at the surrounding neighborhoods of Hideaway Village South, Hideaway Village, Elk Run and Alpine Timbers there is a considerable amount of open space and trees to buffer and soften the landscape. There will still be plenty of homes and rentals in that meadow! Please consider residential zoning only in the area adjoining Timber Drive.

Thank you,

Susan Keck

March 23, 2022

Dear Town Council,

We are homeowners of 107 Idlewild Lane (our second home) and purchased our cabin in August 2011. We have loved being a part of the Winter Park community and specifically our historical street for over ten years. Many of the homes house full time residents and we have loved being part of this established neighborhood that was started in the 1960's.....it has been here for SIXTY years!

Our property does not back up to the Beavers meadow, but we are very much invested in keeping it a meadow for the sake of wildlife and our neighbors across the street. Our children (and our dog) have basically grown up in that meadow and the woods beyond. Forts, sledding, and homemade ski runs.

The fact that the woods will be developed is heartbreaking, but preserving the meadow is all we ask.

I understand that the owners of the property are in full development mode and while we are not opposed to progress including a ski run and future gondola and more development of Cooper Creek, what we ARE OPPOSED to is building SEVEN two story homes ("NORTH VILLAGE") in the meadow and basically in the backyard of houses on our street.

Imagine being a homeowner for decades (there are a few original owners) and now having large houses in your backyard and people inevitably walking through your property for a shortcut to Vasquez Road?? Inevitably several of these homes will be short term rentals....noise, cars, lights etc. LITERALLY in your backyard!

Over the ten years we've spent on Idlewild Lane, we have seen many moose, fox, and even a very large bear wander down our street. These animals always make their way to the meadow. The meadow I believe is just TWO ish acres of the FIFTY plus acres that will be developed.

Our street is unanimous against developing the meadow. PLEASE protect a small part of what has been in existence for decades. The rest of the development will produce MORE THAN ENOUGH revenue.

PLEASE consider the wishes of the longest residents and neighborhood of the TOWP.

Sincerely,

Wade and Kristen Haufschild
And Ava (16), Tyson (15) and Levi (12) and Elwood dog (age 10)

303-667-1412

wadeandkristen@yahoo.com



July 8, 2022

Wayne & Ortrud Fowler
22 Idlewild Lane
40 Idlewild Lane
Winter Park, CO 80482

Town of Winter Park
Planning Division
50 Vasquez Road
PO Box 3327
Winter Park, CO 80482

Re: Proposed Gondola and Cooper Creek Village Development Projects

Ladies and Gentlemen:

It is our understanding that Winter Park Resort plans to locate a gondola base loading area just south of the current town administration building and adjacent parking structure and the neighboring business area.

We write this letter to object to locating the gondola base in the proposed site for the following reasons:

- 1) The existing parking structure is too small to accommodate the required parking that the gondola would demand.
- 2) The increase in automobile traffic and automobile parking would be a major burden on the current residential and business concerns in the greater Idlewild Lane area.
- 3) Locating the gondola base near the town administration building and parking structure would have a major impact on snow removal storage, as this is where most of the removed snow from the adjacent areas is currently stored.
- 4) Although parking on residential streets in Winter Park, such as Idlewild Lane, is not allowed, the lack of parking at the gondola base would encourage illegal parking on all residential streets near the gondola base.

Regarding the development of Cooper Creek Village as it affects the Idlewild Lane neighborhood, we believe that the meadow in the interior of the Idlewild subdivision should be preserved in its current state. It should be left as an open space for the enjoyment of the residents of Winter Park and as a wildlife corridor.

We in the Idlewild area made a sacrifice to help create the Town of Winter Park, which allowed Winter Park Resort to be able to impose taxes on ski area visitors and on the services and goods they need. This is enough of a burden on us -- those who aided the creation of the ski area as a taxing entity. We have already shouldered our part for the ski area and the town.

So put the base of the gondola in a more suitable location. We offer to meet with the Town Council to assist in finding a new and better location for the gondola base.

Sincerely,

Wayne J. and Ortrud M. Fowler



MEMO

TO Planning Commission
FROM Hugh Bell, Planner
THROUGH James Shockey, Community Development Director
DATE July 26, 2022
RE Minor Site Planning Application – Lot 28, Hideaway Village South Subdivision – 206 Arapahoe Road (PLN22-072)

Applicant: Joseph Borkowski

Owner: Joseph Borkowski

Architect: None

Zoning: R-2 (Multiple Family)

Authority:

Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Planning Commission considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park. Design approval is required before building permit issuance.

Variance:

No administrative or Board of Adjustment (BOA) variance requests are included with the application.

Architectural:

Addition of a mudroom and covered deck to an existing single-family detached home with two (2) garage spaces and a building footprint of 2,030 sq. ft.

Title Commitment:

N/A as ownership remains the same.

Homeowner's Association Review:

N/A as home is not governed by HOA.

Material and Color:

Partially satisfactory. Material and color are not indicated for doors, foundation, or glass type.

- Applicant shall indicate material and color for doors, foundation, and glass type for staff's review.

Outdoor Lighting:

Unsatisfactory. One (1) fixture is proposed but does not contain the International Dark Sky Association (IDA) approval stamp. The Correlated Color Temperature (CCT) is not indicated but it shall not exceed 3,000 Kelvin. Lumens are not indicated but the entire property shall not exceed 5,100 lumens, and each fixture shall not exceed 850 lumens. Applicant states the bulbs for proposed fixture is 800 lumens and 3000k but the specification sheet does not indicate this. It is unclear if the existing fixtures are dark-sky compliant but per § 3-K-7, *Existing Lighting Requirements*, this project constitutes a “Major Addition” as the addition constitutes greater than 25% of the gross floor area of the existing structure. Therefore, all existing lighting shall comply with the UDC requirements if it does not already. Photometric plans are not required for single-family homes.

Fixture Name	Proposed # of Fixtures	Proposed Lumens	Proposed CCT
WAC Lighting Amherst 18” Tall LED Outdoor Wall Sconce	1	?	?

- In accordance with Article 3.K, *Outdoor Lighting* from the UDC, Applicant shall submit specification sheet for all proposed outdoor lighting fixtures, which shall be IDA approved, shall not exceed 850 lumens per fixture, and whose bulb CCT shall not exceed 3,000K.
- Applicant shall submit photos and specification sheets of all existing outdoor lighting fixtures for staff to determine conformance with Article 3.K, *Outdoor Lighting*. Lighting for the entire property shall conform with Article 3.K.

Accessory Dwelling Unit (ADU):

N/A. No ADU is contemplated.

Site Plan:

Satisfactory.

Floorplans:

Satisfactory.

Building Elevations:

Satisfactory.

Setbacks:

Satisfactory. Since this lot is in R-2, setbacks are as follows: 25’ front; 20’ rear; and 5’ side setbacks (three feet (3’) are added to each required side yard for each story above the first story of any building).

Building Coverage:

Satisfactory. Proposed building coverage is 20% which is beneath the 40% maximum permitted.

Building Height:

Satisfactory. A maximum midpoint height of 35’ and 42’ overall height is permitted and the addition is at ~22’-6” midpoint and 24’-6” overall.

Parking:

Satisfactory. Two (2) off-street parking spaces are provided, which conforms with the two (2) space minimum.

Bufferyards and Revegetation:

Partially satisfactory. The lot is heavily treed in areas and only one (1) tree is proposed for removal as it lies within the future building site. Applicant states they seek to keep no trees between the house and the south property line to create defensible space. There are existing aspens ~20' south of this property line. This property is subject to Bufferyard requirements in accordance with § 3-I-5, *Bufferyards*. All proposed species comply with Article 7.A, *Recommended Plant List*.

It is unknown if snow storage encroaches into trees or shrubs.

Bufferyard Requirements								
	Evergreens Required	Evergreens Provided	Deciduous Required	Deciduous Provided	Shrubs Required	Shrubs Provided	Height of Berm	Deficiency
N Boundary – Arapahoe Road, "Residential Collector" road classification Bufferyard C – 127 linear ft	10.2	~20	10.2	-	38.1	-	-	38 Shrubs
S Boundary – Adj. R-2 lot Bufferyard B – 134 linear ft	5.4	-	5.4	-	26.8	-	-	5 Evergreen Trees 5 Deciduous Trees 27 Shrubs
E Boundary – Adj. R-2 lot Bufferyard B – 192 linear ft	7.7	~30	7.7	~30	38.4	-	-	38 Shrubs
W Boundary – Adj. R-2 lot Bufferyard B – 109 linear ft	4	-	4	-	20	-	-	4 Evergreen Trees 4 Deciduous Trees 20 Shrubs

- Applicant shall add required plantings to bufferyards outlined in table or shall submit a BOA Variance Request to staff prior to Certificate of Occupancy issuance.
- Any disturbed areas on the site shall be revegetated with the seed mix recommended by the Grand County Natural Resource Conservation Service, which mix composition is described in § 7.4 of the Standards and Specifications for Design and Construction.

Snow Storage:

Partially satisfactory. 505 sq. ft. (25%) are required. Snow storage is not indicated on site plan exhibits but there appears to be adequate room for this. UDC, § 3-H-5, *Parking Design Standards* requires that a minimum of 25% of all driving surfaces, including gravel shoulders, parking areas, and pedestrian walkways is designated for snow storage.

- Applicant shall indicate snow storage areas on a site plan exhibit for staff's review.

Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:

Satisfactory.

- Approved drainage and erosion control shall be in place prior to and throughout site preparation and construction and through successful revegetation.

Driveway:

N/A as driveway is not part of project scope.

Utility Review: N/A

Wetlands: N/A

Inspection:

Building Division staff have not performed a Pre-Disturbance inspection of the property.

- No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Staff Recommendation:

Staff recommends the Planning Commission approve the Minor Site Planning Application for Lot 28, Hideaway Village South Subdivision – 206 Arapahoe Road (PLN22-072) with the following conditions:

1. Applicant shall indicate material and color for doors, foundation, and glass type for staff's review.
2. In accordance with Article 3.K, Outdoor Lighting from the UDC, Applicant shall submit specification sheet for all proposed outdoor lighting fixtures, which shall be IDA approved, shall not exceed 850 lumens per fixture, and whose bulb CCT shall not exceed 3,000K.
3. Applicant shall submit photos and specification sheets of all existing outdoor lighting fixtures for staff to determine conformance with Article 3.K, *Outdoor Lighting*. Lighting for the entire property shall conform with Article 3.K.
4. Applicant shall add required plantings to bufferyards outlined in table or shall submit a BOA Variance Request to staff prior to Certificate of Occupancy issuance.
5. Any disturbed areas on the site shall be revegetated with the seed mix recommended by the Grand County Natural Resource Conservation Service, which mix composition is described in § 7.4 of the Standards and Specifications for Design and Construction.
6. Applicant shall indicate snow storage areas on a site plan exhibit for staff's review.
7. Approved drainage and erosion control shall be in place prior to and throughout site preparation and construction and through successful revegetation.
8. No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Required Permits:

- ✓ Building Permit
- ✓ SFD/Duplex Deposit Agreement



MINOR SITE PLANNING APPLICATION FORM

The Planning Division is here to assist you with your Minor Site Planning Application (“Application”) pursuant to Site Planning (Sec. 5-E-1) in the Unified Development Code (UDC). Applications are administratively and legislatively reviewed and approval is required. The Application will be reviewed in accordance with the procedures and requirements outlined in Sec. 5-E-1 in the UDC.

This publication outlines the Minor Site Planning Application process and submittal requirements.

All submittal items shall be submitted in PDF format in accordance with the Site Planning File Naming Conventions to permits@wpgov.com. Ensure your application is complete by checking each of the required submittal (RS) boxes below.

1 Required Items			
Plan Sheet(s)	RS*	Item #	Submittal Items
	<input type="checkbox"/>	1.	Minor Site Planning Application Form. Executed.
	<input type="checkbox"/>	2.	Title Commitment. Including Schedules A and B. The applicant shall provide a title insurance commitment proving the applicant’s ownership of the land to be platted and that all land to be dedicated or conveyed to the Town is free and clear from all liens and encumbrances except as expressly agreed to by the Town.
	<input type="checkbox"/>	3.	Driveway Permit Application. Executed.
	<input type="checkbox"/>	4.	HOA Architectural Control Committee Approval Letter. If property is governed by HOA.
	<input type="checkbox"/>	5.	Narrative. Shall include the following: <ul style="list-style-type: none"> A. Project name. B. Street address. C. Name, address, email and telephone number of owner, applicant, HOA, project manager, architect, engineer, surveyor, and land planner, as applicable. D. Legal description. E. Zoning district. F. Lot size (acreage and sq. ft.). G. All proposed uses. H. Number of dwelling units. I. Number of bedrooms per dwelling unit. J. Size of residential space (sq. ft.). K. Number of proposed off-street parking spaces. L. Construction schedule indicating major milestones for project.
	<input type="checkbox"/>	6.	Project Drawings. Shall contain project name, legal description, date of preparation, north arrow, legend, vicinity map, and topography at two-foot (2’) intervals. Shall be sized ARCH D (24”x36”).
	<input type="checkbox"/>	6A.	Topographic Survey.
	<input type="checkbox"/>	6B.	Construction Plans. Shall have a minimum scale of 1”=20’ and be in conformance with the Standards and Specifications for Design and Construction. All plans shall be at the same scale and shall align with one another. <ul style="list-style-type: none"> A. Grading and Drainage Plan. B. Revegetation, Erosion, and Sediment Control Plan.

	<input type="checkbox"/>	<p>6C. Site Plan. Shall have a minimum scale of 1"=20'. All elements listed below shall be dimensioned.</p> <p>A. Building coverage ratio table. Shall include area (sq. ft. and acreage) of the following: building footprint (including roof overhangs, decks, porches, balconies, and patios); drives, sidewalks, and parking areas; easements; areas to be designated open space; the site's total acreage; and percentage of building coverage to open space.</p> <p>B. Driveway. Slope, dimensions, and culvert locations, if any.</p> <p>C. Easements, proposed and existing, public and private. Type and location.</p> <p>D. Environmental features. Includes riparian buffers, floodplains, floodways, and floodway fringes, wetlands, forests and woodlands, slopes greater than twenty percent (20%), slopes greater than thirty percent (30%), and geologic hazard areas.</p> <p>E. Limit of disturbance.</p> <p>F. Other improvements. Retaining walls, berms, trash receptacles, trash enclosures, fencing, signage, fire features, water features, hot tubs, pools, affixed barbeque grills, outdoor kitchens, sculptures, etc.</p> <p>G. Parking areas for construction workers' vehicles.</p> <p>H. Parking spaces.</p> <p>I. Property lines.</p> <p>J. Protection notes.</p> <p style="padding-left: 40px;">a. "No disturbance, grading, or removal of significant natural features and vegetation will occur beyond the "limit of disturbance" line, as shown on this plan."</p> <p style="padding-left: 40px;">b. "The "limit of disturbance" line shall be delineated prior to construction with flags, roping, four foot (4') tall orange construction fencing, or other acceptable means."</p> <p>K. Setback distances as required by zoning district. From all property lines.</p> <p>L. Setback distances from all existing and proposed structures, including retaining walls. Draw a line to tie the structure to a point on the property line.</p> <p>M. Snow storage areas.</p> <p>N. Storage areas for soil, construction equipment, and other materials.</p> <p>O. Street addresses or unit numbers.</p> <p>P. Street ROW, proposed and existing, public and private. Type, location, and name.</p> <p>Q. Structures, proposed and existing.</p> <p>R. Top of foundation elevations. For main corners of each structure.</p> <p>S. Utilities, proposed and existing. For mains and service lines.</p> <p>T. Walkways and paths.</p>
	<input type="checkbox"/>	<p>6D. Building Elevations. See Article 3.A, <i>Lot and Building Standards</i>. Shall have a minimum scale of 1/8"=1'.</p> <p>A. Profiles.</p> <p>B. Location where buildings intersect the existing and proposed grades for each profile.</p> <p>C. Building materials. Shall be annotated to correspond with Building Materials Board.</p> <p>D. Location of outdoor lighting fixtures.</p>
	<input type="checkbox"/>	<p>6E. Floorplans. Shall have a minimum scale of 1/8"=1'. All plans shall be at the same scale and shall align with one another. Shall include a roof plan.</p>
	<input type="checkbox"/>	<p>6F. Landscaping Plan. See Article 3.I, <i>Landscaping, Buffering, and Screening</i>. Shall have a minimum scale of 1"=20'. Shall include the following:</p> <p>A. Tabulation of required bufferyard types per property line and list of proposed plantings proposed per property line.</p> <p>B. Property lines labeled with required bufferyard types.</p> <p>C. Structures, existing and proposed.</p> <p>D. Landscaping, existing and proposed.</p> <p>E. Hardscaping, existing and proposed.</p>

		F. Top-of-wall and bottom-of-wall elevations of all retaining walls and site walls.
	<input type="checkbox"/>	6G. Tree Removal and Protection Plan. See Article 3.G, <i>Tree Removal and Protection</i> . All trees proposed for protection greater than four inches (4") in caliper.
	<input type="checkbox"/>	7. Outdoor Lighting Board. See Article 3.K, <i>Outdoor Lighting</i> . Shall include cut sheets for all proposed outdoor lighting fixtures with International Dark Sky Association (IDA) Approval Symbol. Shall indicate mounting heights.
	<input type="checkbox"/>	8. Building Materials Board. Shall be annotated to correspond with Building Elevations. Shall include photographs of swatches demonstrating color and material composition for the following: A. Doors B. Fascia C. Fencing D. Foundation E. Gates F. Glass type G. Roofs H. Siding I. Window and door trim J. Window glass type
	<input type="checkbox"/>	9. Renderings. Shall be 3D, in color, and accurate in scale.
	<input type="checkbox"/>	10. Wetland Delineation. See Article 3.C, <i>Resource Identification and Sensitive Lands Protection</i> . If applicable.
	<input type="checkbox"/>	11. Hillside and Ridgeline Development Study. See Article 3.C, <i>Resource Identification and Sensitive Lands Protection</i> . If impacting slopes greater than twenty percent (20%).
	<input type="checkbox"/>	12. Single-Family/Two-Family Attached Dwelling Deposit Agreement. Executed.
	<input type="checkbox"/>	13. File Naming Conventions. All Minor Site Planning Applications shall be submitted pursuant to the Site Planning File Naming Conventions.
Required Submittal (RS*) = <input type="checkbox"/>		

2 Process for Approval

See Sec. 5-E-1, *Site Plan*.

3 Fees – See Sec. 5-B-6, *Application Fees*. An invoice will be sent once the planning file has been created.

- A. \$100.00 Minor Site Planning Application Review Fee.
- B. \$3,000.00 Deposit for Building Exterior, Driveway, and Landscaping.
- C. \$50.00 Driveway Permit Application Fee.

4 Applicant's Certification Statement

I, [Signature], as Applicant and duly representative of the owner, hereby certify that the information included upon the attached submittal items are true and accurate; and that the development of the site will occur in accordance with the submittal items.

206Arap Covered Deck Replacement/Enhancement Project 206 Arapahoe Road, Winter Park, CO 80482, Hideaway Village South Subdivision, Lot 28

Narrative:

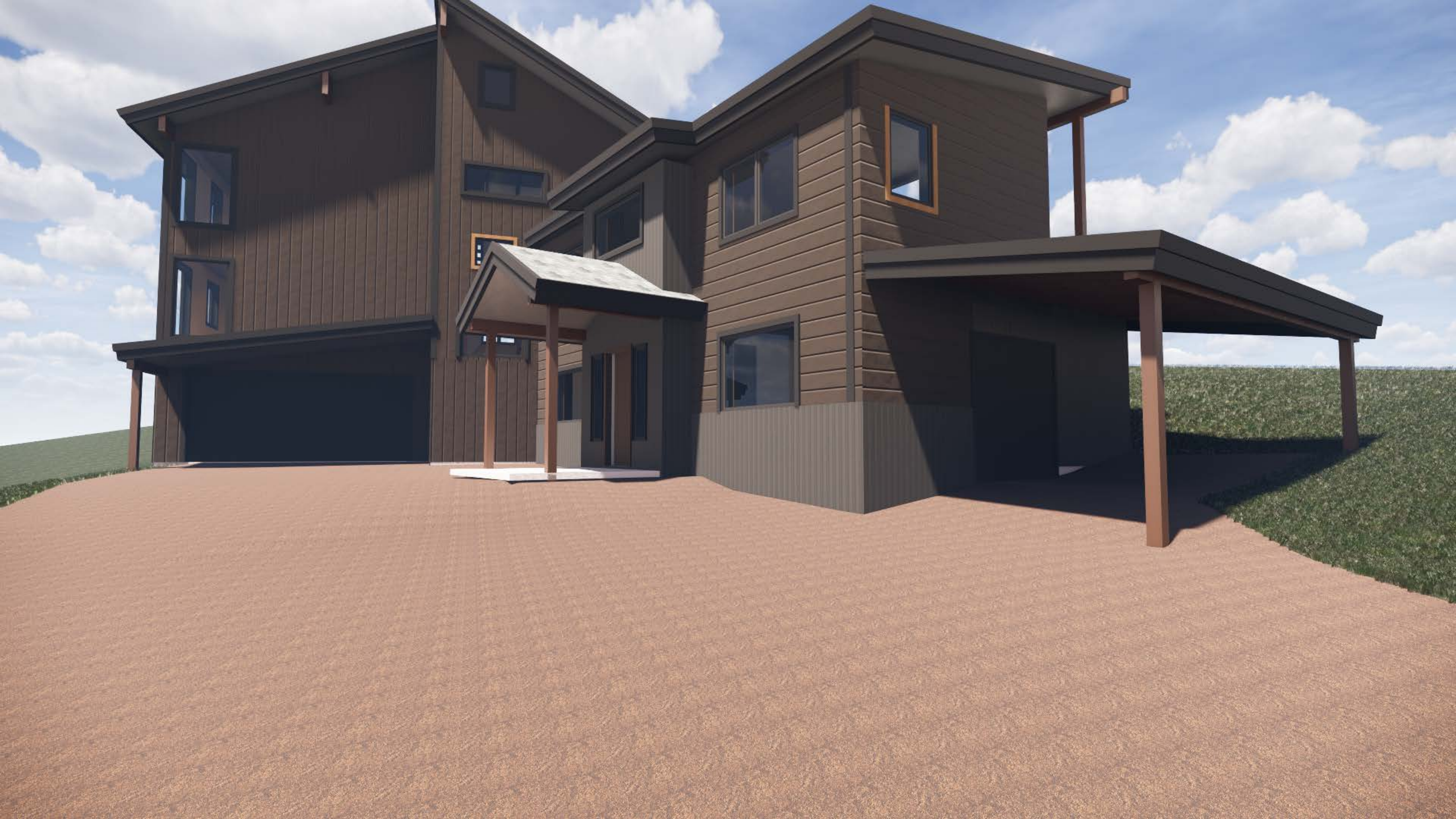
- A) Name of proposed project is "206Arap Covered Deck". Address is 206 Arapahoe Road, WP, CO. Subdivision is Hideaway Village South. Lot is 28.
- B) Owner, Joseph Borkowski. PO Box 2974, Winter Park, CO 80482. Email is JFBorkowski@gmail.com. Cell phone is 312-404-8550.
 - Applicant is the same as owner
 - Homeowner's Association NA
 - Project Manager is same as owner
 - Architect NA
 - Engineer is Craig Kobe
 - Surveyor NA (but used Tim Shank and Michael Kervin in past)
 - Land Planner NA
- C) Legal Description: Parcel ID 158733302029
- D) Variance: NA
- E) Zoning district: R-2
- F) Setbacks: Front 25', Sides 10', Rear 20'
- G) Parking: NA
- H) Building Coverage Ratio Table inputs
 - Site is 0.456 acres, 19,863 sq ft
 - Footprint 2030 sq ft
 - Driveway 2020 sq ft
- I) Building Height: Current house 37 ft 6 ½ inches, proposed covered deck 26 ft 6 ½ inches.
- J) Exterior Building color and material
 - Foundation concrete/grey
 - Siding James Hardie Plank Lap Siding, Cedarmill in Gray Slate color. Will paint existing structure to match new siding. See material board for detail.
 - Roof Asphalt shingle to match existing house
 - Glass Milgard Ultra Series Fiberglass Windows, frame color "black bean" to match grey siding.
 - Exterior lights, see attachment, two darksky compliant luminaire with 800 lumen, 3000K bulb.

Grading/Drainage and Erosion/Sediment Control Plan:

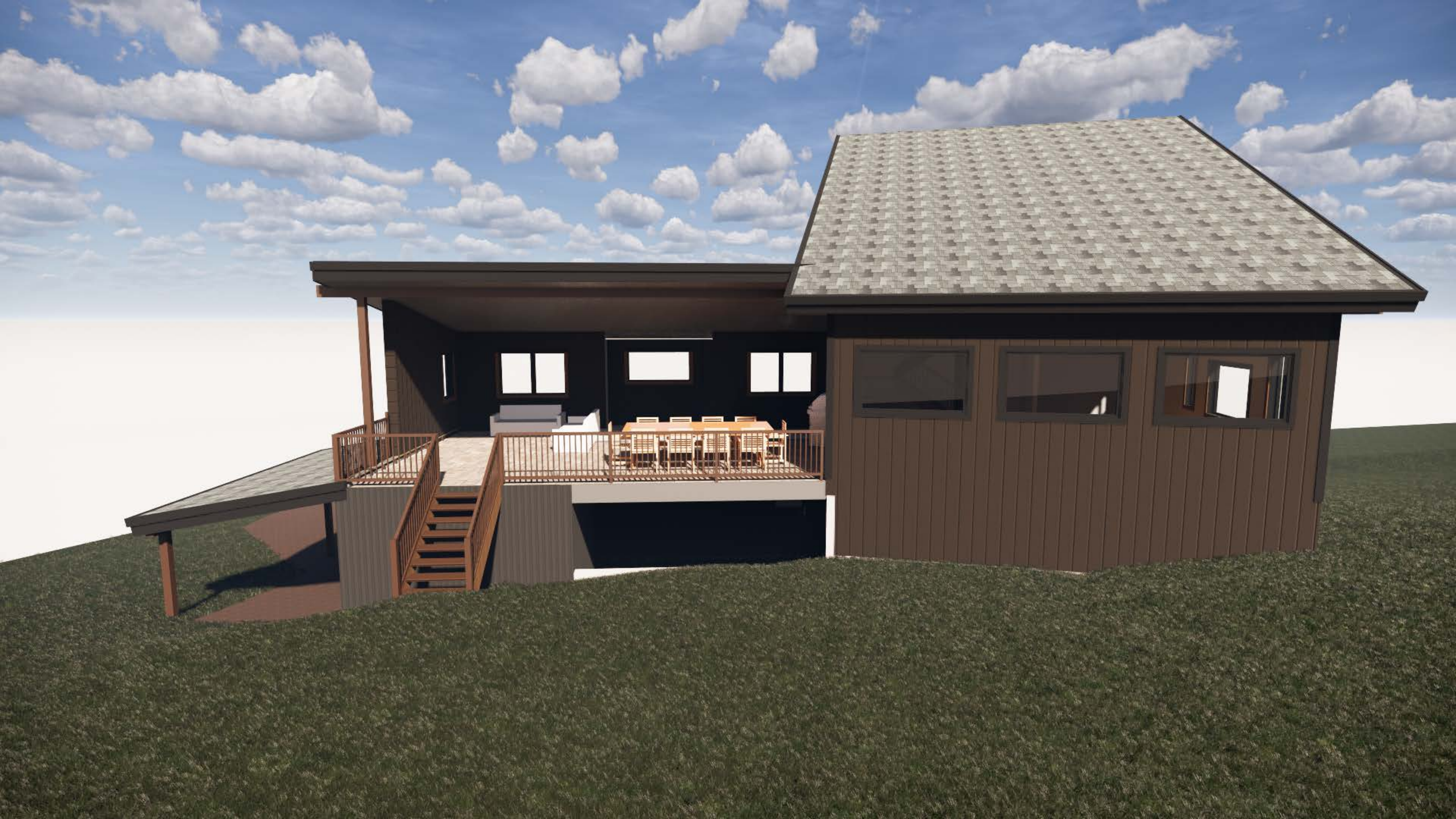
- Minimal needed because of the location of the improvement being uphill and adjacent to existing driveway. Will install sediment filter sock on western and southern project borders as appropriate. Two under deck drains will connect to existing drainage tile, piped to daylight.

Landscape/Revegetation Plan:

- Disturbed site will be primarily bounded by existing driveway. Any disturbed land will be seeded with native grass and wildflower mix.
- Note that one evergreen conifer is currently within 30 feet of the current structure and will be removed to establish zone 2 defensible space around the current structure. This tree removal will be done regardless of this deck replacement project. No other trees will be impacted by this project. Nearby trees will be protected by fencing during construction.
- No natural features to be affected.





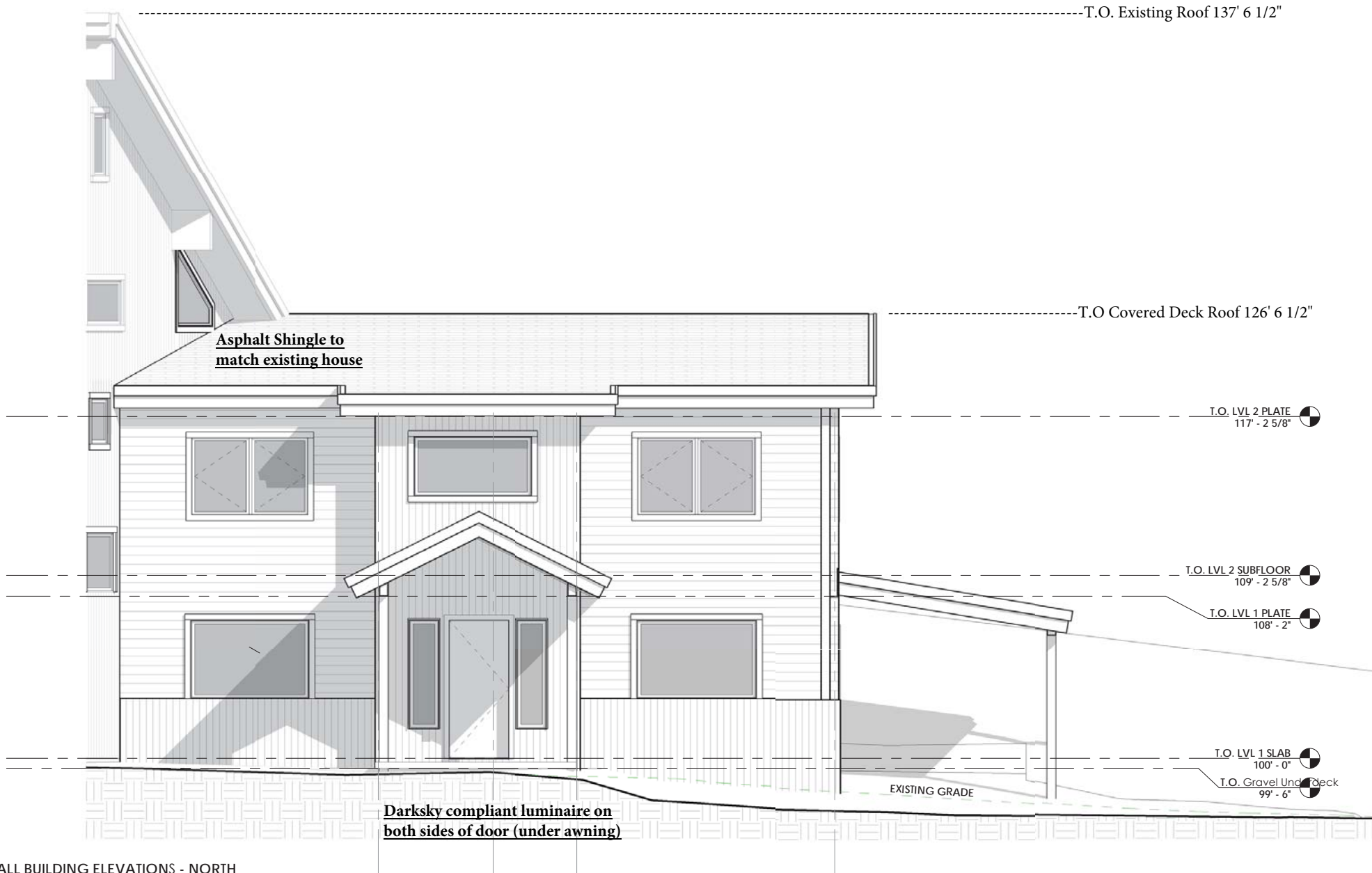


206Arap Covered Deck - Material Board



- 1. JamesHardie™ Hardie® Plank Lap Siding**
Select Cedarmill®
Color: Gray Slate
- 2. Existing Home Exterior T-111**
Paint Color: Sherwin Williams Earl Grey SW 7660
- 3. Milgard Ultra™ Series**
Premium Fiberglass Windows
Frame Color: Black Bean
- 4. Exterior Woodwork**
Stain Color: Ipswich Pine
- 5. AEP Span Reversed HR-36® Metal Siding**
SRI: 33 – Dura Tech 5000 – LRV: 12
Color: Slate Gray
- 6. Tamko Heritage® Series Shingles**
Color: Mountain Slate
- 7. WAC Lighting Dark Sky Compliant**
Amherst 14" Tall LED Wall Sconce
Color: Black

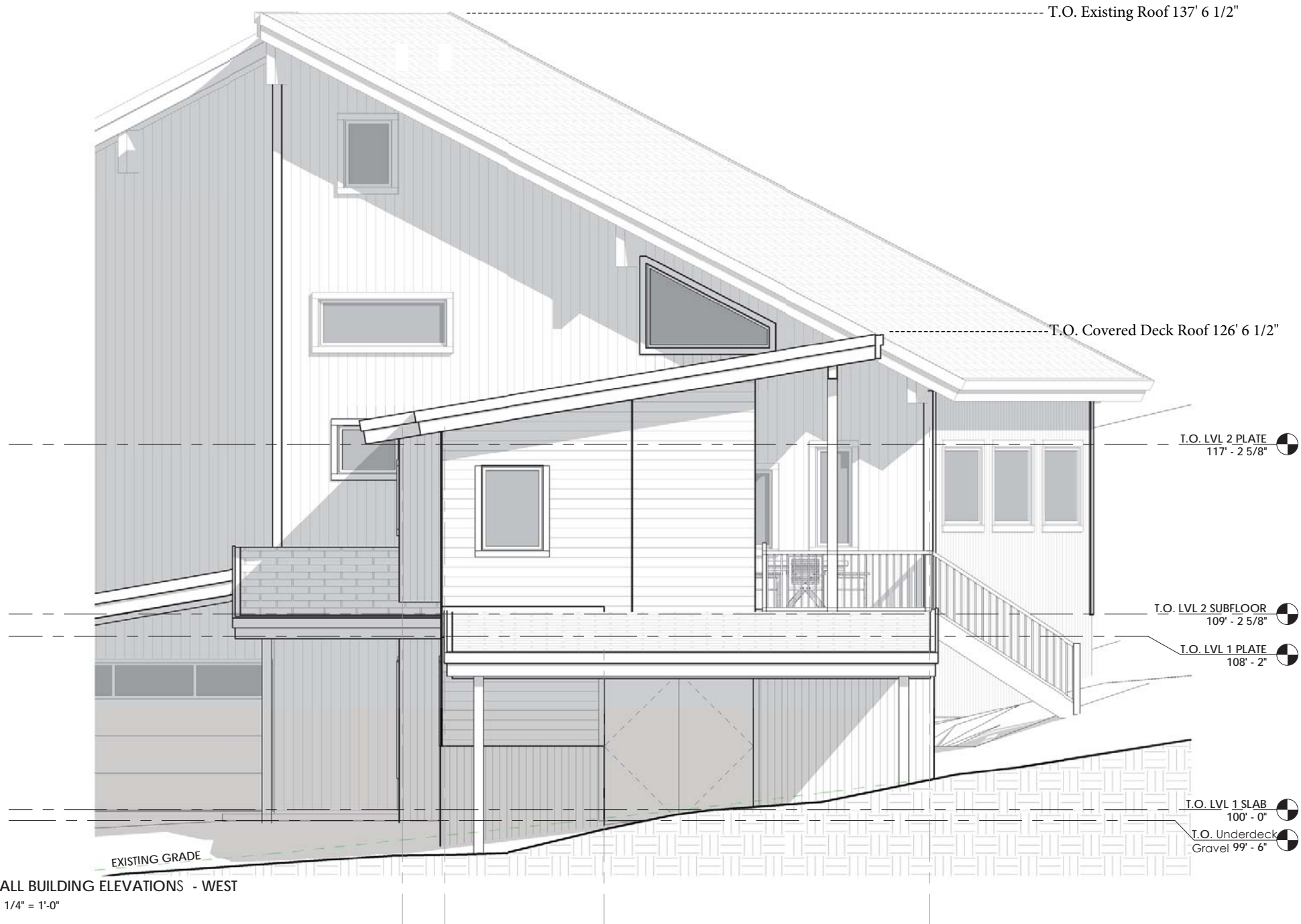
206 Arap Covered Deck - Building Elevations - North



OVERALL BUILDING ELEVATIONS - NORTH

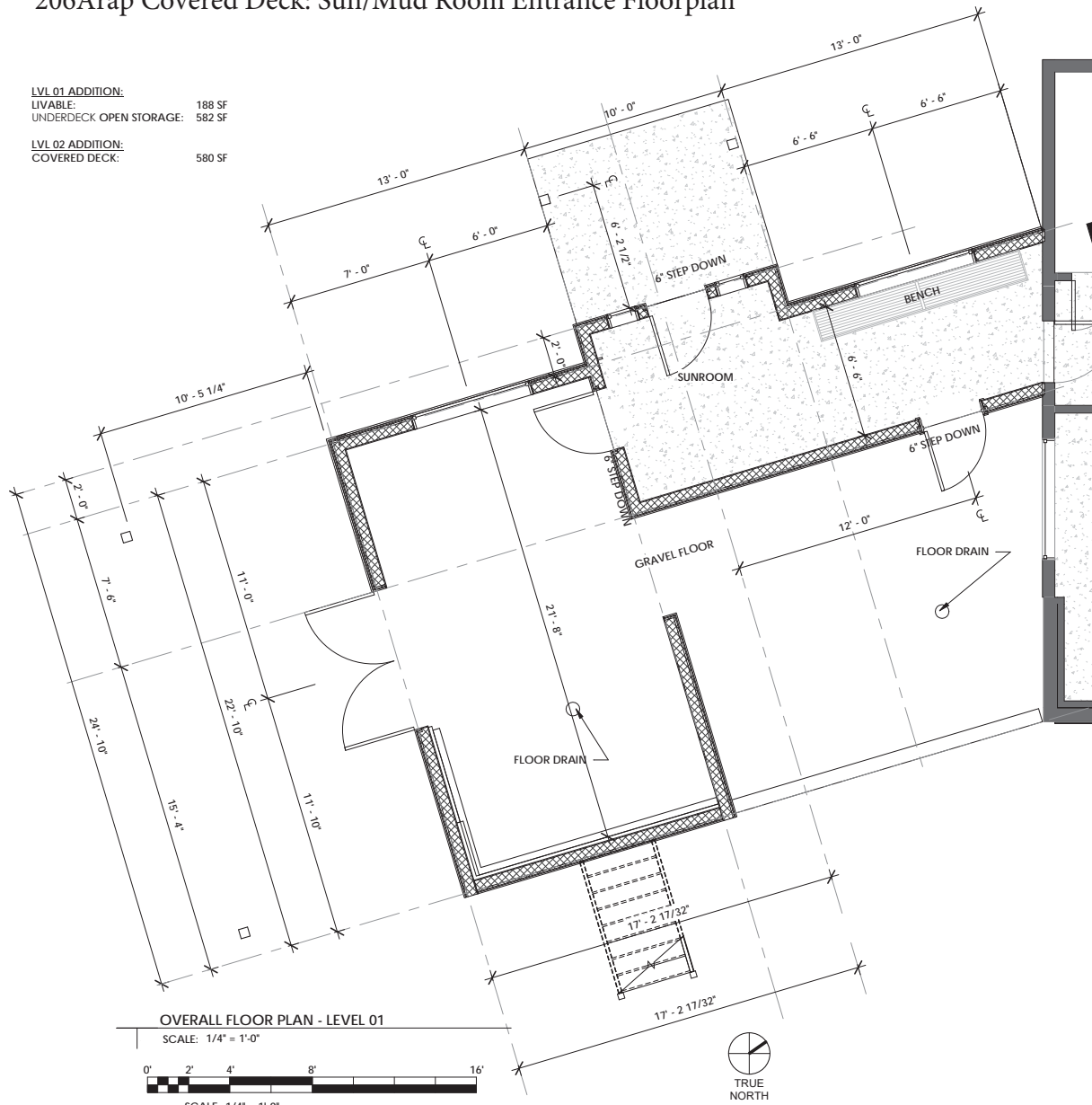
SCALE: 1/4" = 1'-0"

206Arap Covered Deck - Building Elevations - West

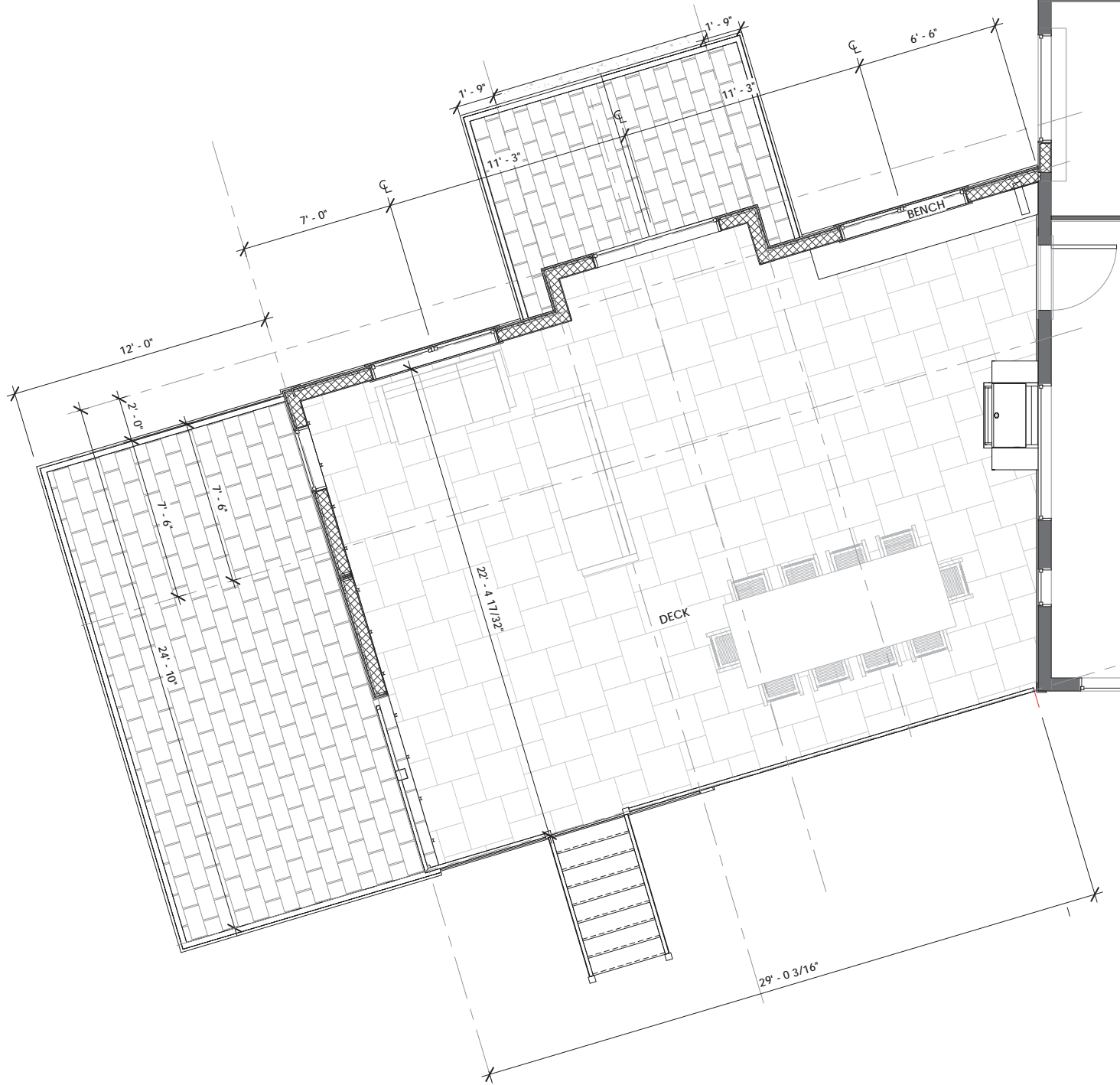


206Arap Covered Deck: Sun/Mud Room Entrance Floorplan

LVL 01 ADDITION:
 LIVABLE: 188 SF
 UNDERDECK OPEN STORAGE: 582 SF
LVL 02 ADDITION:
 COVERED DECK: 580 SF



206Arap Covered Deck: Full Deck Floorplan



1 OVERALL FLOOR PLAN - LEVEL 02
SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

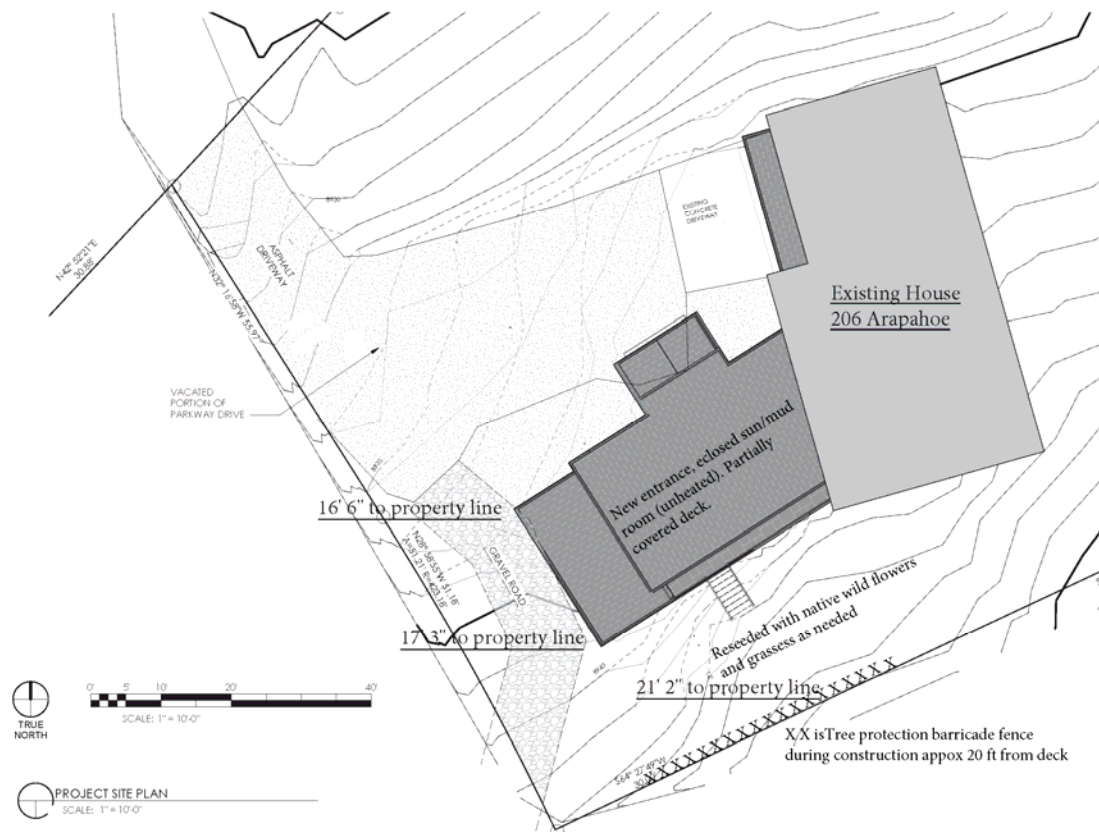


TRUE
NORTH

Landscape Plan: 206Arap Covered Deck Project

Given the location of this project, and that there is an existing deck there now, there is minimal landscaping required for this project. The project site is bounded on the North by our existing asphalt driveway, the west by a compacted gravel driveway with no trees, the east by our existing house and the south (up the slope) by an approximately 20-foot strip of open land with grass and wildflowers growing, before any trees. Given the good access from the existing asphalt driveway and compacted gravel driveway, we do not anticipate any heavy equipment construction traffic in this southern area at the rear of our house. We intend to keep this southern boundary as defensible space and will reseed with native grass and wildflower to insure an appropriate greenbelt and fuel break between our house and the forest.

Many other evergreens, aspens, pines, and other trees on our property, are outside of our structure defensible space, and we intend to keep as many healthy trees as possible and promote their natural growth. Southern boundary additional tree protection: There are some aspens growing to the south about 20 feet from the deck construction, outside the immediate construction area. As further protection, we will barricade the area at the dripline of the nearest tree, and install appropriate signage, to prevent damage in this area to the trees or their roots.

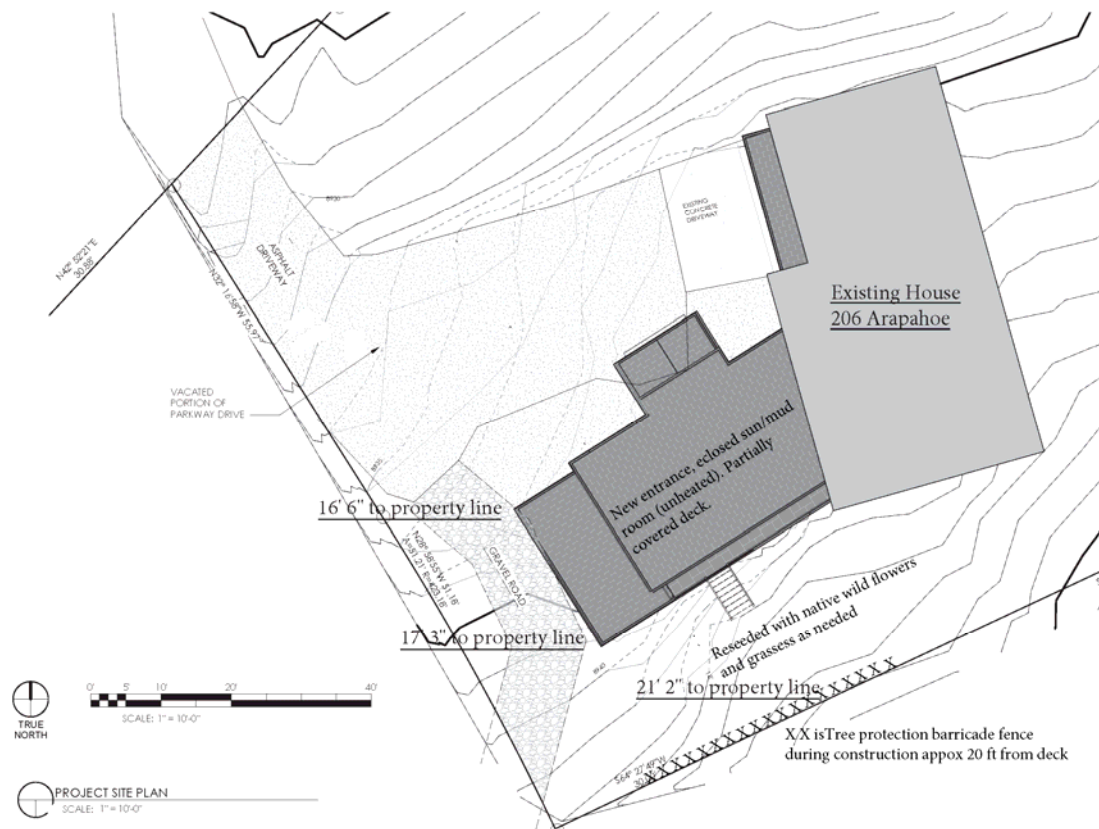


Tree Removal and Protection Plan: 206Arap Covered Deck Project

There is currently one mature blue spruce that is growing next to our existing deck, with branches about 3 feet from the wood deck and trunk 8 feet of the wooden deck. Separate from this Covered Deck rebuild project, we need to remove this tree this year for fire prevention defensible space around our existing house and deck. This type of evergreen tree is very common on our property and there are many others like it on our property. Many other evergreens, aspens, pines and other trees, are outside of our structure defensible space, and we intend to keep as many healthy trees as possible, and promote their natural growth.

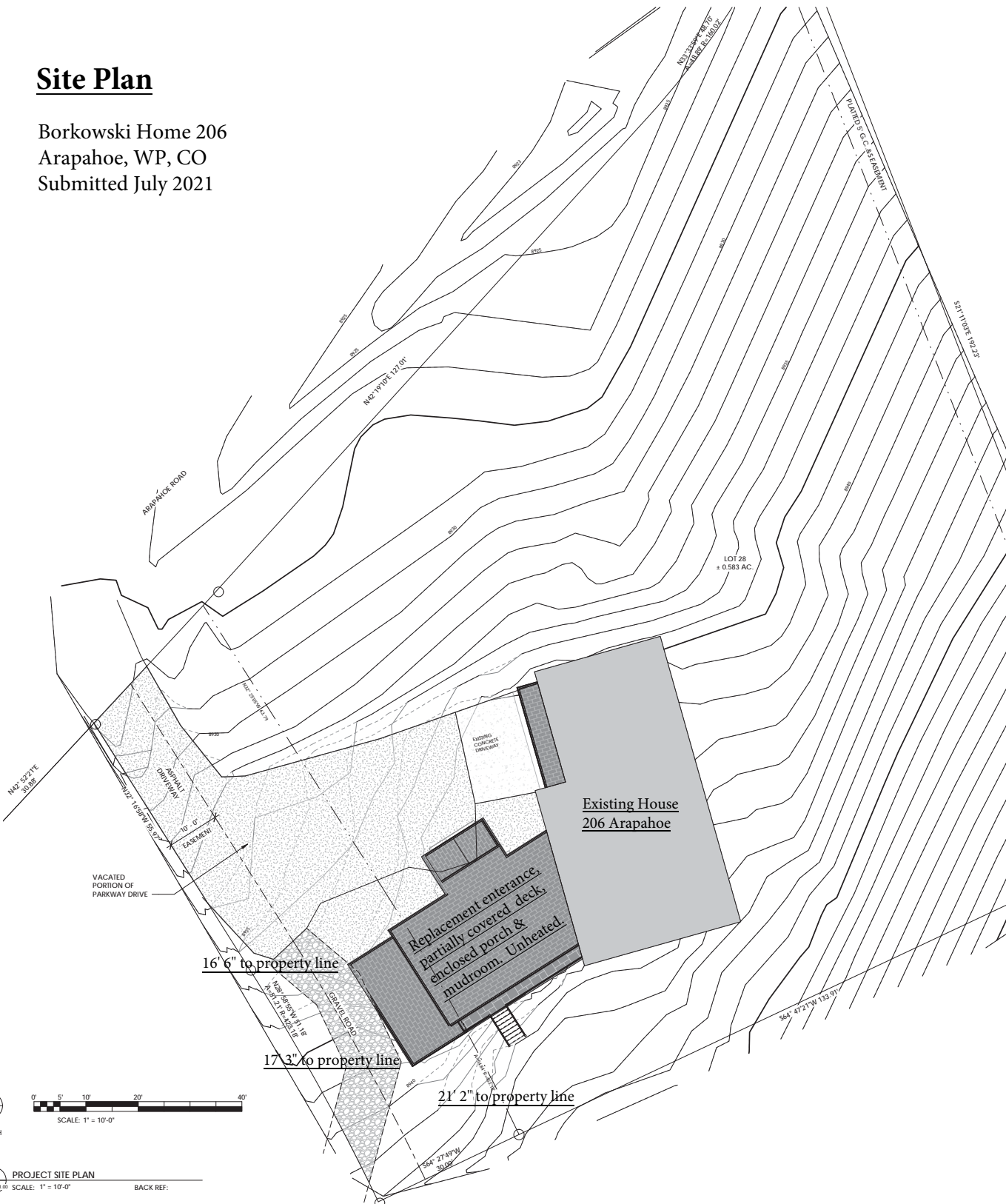
Given the location of this project, and that there is an existing deck there now, there is no other tree clearing needed for this project. The project site is bounded on the North by our existing asphalt driveway, the west by a compacted gravel driveway with no trees, the east by our existing house and the south (up the slope) by an approximately 20 foot strip of open land with grass and wildflowers growing, before any trees. Thus, there is not any individual trees to protect within the construction zone.

Southern boundary additional tree protection: There are some aspens growing to the south about 20 feet from the deck construction, outside the immediate construction area. As further protection, we will barricade the area at the dripline of the nearest tree, and install appropriate signage, to prevent damage in this area to the trees or their roots.



Site Plan

Borkowski Home 206
Arapahoe, WP, CO
Submitted July 2021



VACATED PORTION OF PARKWAY DRIVE

ARAPAHOE ROAD

EXISTING CONCRETE DRIVEWAY

Existing House
206 Arapahoe

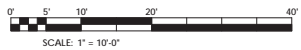
Replacement entrance,
partially covered deck,
enclosed porch &
mudroom. Unheated.

16' 6" to property line

17' 3" to property line

21' 2" to property line

LOT 28
± 0.583 AC.



Item # bc14345990

WAC Lighting Amherst 18" Tall LED Outdoor Wall Sconce

Model:WS-W17218-BK

[Write a Review](#)

206 Arap Covered Deck - Exterior Lighting Plan



One "Darksky Compliant" exterior luminaire proposed for each side of front door (two total), under covered awning. Each of two luminaire to use 800 lumen, 3000k bulb.

\$199.00

Free Shipping!

Leaves the Warehouse in 6 to 10 weeks - [Shipping to 80482](#)

Finish: Black - **Special Order**

-	1	+	Add to Cart
---	---	---	-------------

Compare

Buy Now, Special Financing Available!

On purchases of \$500 for 6 months, or \$1,000 for 12 months made with your Build.com Credit Card¹

[Click Here for Details](#)

Customers Also Viewed



WAC Lighting WS-W17214
\$159.00



WAC Lighting WS-W17222
\$239.00



Norwell Lighting 1240-CL
\$218.00

— Overview

Product Overview

Features

- Aluminum construction
- Clear seeded glass diffuser
- Integrated 19 watt LED lighting
- Dimmable with an electronic low voltage (ELV) or TRIAC dimmer switch
- Mountable in different orientations
- Intended for outdoor use
- ETL rated for wet locations
- **Dark Sky compliant**
- Meets California Title 24 energy standards
- Five (5) year functional, two (2) year finish warranty

Dimensions

- Height: 18"
- Width: 5-1/2"
- Extension: 7-1/8"
- Product Weight: 7.01 lbs
- Backplate Height: 7/8"
- Backplate Width: 4-1/2"

Electrical Specifications



MEMO

TO Planning Commission
FROM Hugh Bell, Planner
THROUGH James Shockey, Community Development Director
DATE July 26, 2022
RE Minor Site Planning Application – Lot 99-S, Reserve at Lakota Park Subdivision – 213 and 215 Lakota Park Drive (PLN22-075)

Applicant: Todd Mohr on behalf of Windham Project Services Ltd.

Owner: PMWP Development Company

Architect: BHH Partners, Planners, and Architects

Zoning: R-2 (Multiple Family) with P-D underlay

Authority:

Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Planning Commission considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park. Design approval is required before building permit issuance.

Variance:

No administrative variance requests are included with the application. A Board of Adjustment (BOA) variance request was approved on June 14, 2022 allowing applicant to increase maximum midpoint building height from 35'-0" to 39'-10" and to increase maximum overall building height from 42'-0" to 43'-8".

Architectural:

New single-family attached home on vacant land with four (4) garage spaces and a building footprint of 2,876 sq. ft.

Title Commitment:

Satisfactory.

Homeowner's Association Review:

Satisfactory. The Lakota East Owners Association provided approval in a letter dated July 18, 2022.

Material and Color:

Satisfactory.

Outdoor Lighting:

Unsatisfactory. One (1) fixture is proposed but does not contain the International Dark Sky Association (IDA) approval stamp. The Correlated Color Temperature (CCT) is not indicated but it shall not exceed 3,000 Kelvin. Lumens are not indicated but the entire property shall not exceed 5,100 lumens, and each fixture shall not exceed 850 lumens. Photometric plans are not required for single-family homes.

Fixture Name	Proposed # of Fixtures	Proposed Lumens	Proposed CCT
Hinkley Aria Medium Wall Mount Lantern	10	?	?

- In accordance with Article 3.K, *Outdoor Lighting* from the UDC, Applicant shall submit specification sheet for all proposed outdoor lighting fixtures, which shall be IDA approved, shall not exceed 850 lumens per fixture, and whose bulb CCT shall not exceed 3,000K.

Accessory Dwelling Unit (ADU):

N/A. No ADU is contemplated.

Site Plan:

Satisfactory.

Floorplans:

Satisfactory.

Building Elevations:

Satisfactory.

Setbacks:

Satisfactory. As referenced in Ordinance 356 for Tract G, since this lot is in R-2 (P-D), the setbacks from right-of-way edge or private access easements to buildings are: 20' front setback (for front-loaded garage structures), 5' side setbacks (three feet (3') are added to each required side yard for each story above the first story of any building) and 15' rear setback.

Building Coverage:

Satisfactory. Proposed building coverage is ~94% but per Note 27 from the Reserve Final Plat (Reception No. 2020011191) building coverage is calculated across the entire Reserve Subdivision. Area of all multifamily lots in the Reserve Subdivision comprise 40.85%, but because each lot is not covered entirely by dwelling units and improvements, the building coverage ratio is less than 40%.

Building Height:

Satisfactory. See "Variance" above.

Parking:

Satisfactory. Four (4) off-street parking spaces are provided per DU, which exceeds the two (2) space minimum.

Bufferyards and Revegetation:

Partially satisfactory. This property is subject to Bufferyard requirements in accordance with § 3-I-5, *Bufferyards*. All proposed species comply with Article 7.A, *Recommended Plant List*.

Snow storage does not encroach into trees or shrubs.

Bufferyard Requirements								
	Evergreens Required	Evergreens Provided	Deciduous Required	Deciduous Provided	Shrubs Required	Shrubs Provided	Height of Berm	Deficiency
N Boundary – Lakota Park Drive, “Residential Collector” road classification Bufferyard C – 61 linear ft	4.9	2	4.9	4	18.3	6	-	3 Evergreen Trees 12 Shrubs
S Boundary – Reserve Way, “Residential Collector” road classification Bufferyard C – 61 linear ft	4.9	2	4.9	2	18.3	6	-	3 Evergreen Trees 3 Deciduous Trees 12 Shrubs
E Boundary – Adj. R-2 lot Bufferyard B – 80 linear ft	3.2	2	3.2	5	16	10	-	1 Evergreen Tree 2 Deciduous Trees 6 Shrubs
W Boundary – Adj. R-2 lot Bufferyard B – 80 linear ft	3.2	2	3.2	7	16	9	-	1 Evergreen Tree 7 Shrubs

- Applicant shall add required plantings to bufferyards outlined in table or shall submit a BOA Variance Request to staff prior to Certificate of Occupancy issuance.
- Any disturbed areas on the site shall be revegetated with the seed mix recommended by the Grand County Natural Resource Conservation Service, which mix composition is described in § 7.4 of the Standards and Specifications for Design and Construction.

Snow Storage:

Satisfactory. 283 sq. ft. (25%) are required and 545 sq. ft. are provided. UDC, § 3-H-5, *Parking Design Standards* requires that a minimum of 25% of all driving surfaces, including gravel shoulders, parking areas, and pedestrian walkways is designated for snow storage.

Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:

Satisfactory.

- Approved drainage and erosion control shall be in place prior to and throughout site preparation and construction and through successful revegetation.

Driveway:

Satisfactory. Maximum slope is 3% which is beneath 5%, which is the maximum permitted for the first 24’ of the driveway.

- A stabilized construction entrance shall be installed prior to ground disturbance.

Utility Review: N/A

Wetlands: N/A

Inspection:

Building Division staff have not performed a Pre-Disturbance inspection of the property.

- No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Staff Recommendation:

Staff recommends the Planning Commission approve the Minor Site Planning Application for Lot 99-S, Reserve at Lakota Park Subdivision – 213 and 215 Lakota Park Drive (PLN22-075) with the following conditions:

1. In accordance with Article 3.K, Outdoor Lighting from the UDC, Applicant shall submit specification sheet for all proposed outdoor lighting fixtures, which shall be IDA approved, shall not exceed 850 lumens per fixture, and whose bulb CCT shall not exceed 3,000K.
2. Applicant shall add required plantings to bufferyards outlined in table or shall submit a BOA Variance Request to staff prior to Certificate of Occupancy issuance.
3. Any disturbed areas on the site shall be revegetated with the seed mix recommended by the Grand County Natural Resource Conservation Service, which mix composition is described in § 7.4 of the Standards and Specifications for Design and Construction
4. Approved drainage and erosion control shall be in place prior to and throughout site preparation and construction and through successful revegetation.
5. A stabilized construction entrance shall be installed prior to ground disturbance.
6. No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Required Permits:

- ✓ Building Permit
- ✓ Driveway Permit
- ✓ SFD/Duplex Deposit Agreement



MINOR SITE PLANNING APPLICATION FORM

The Planning Division is here to assist you with your Minor Site Planning Application (“Application”) pursuant to Site Planning (Sec. 5-E-1) in the Unified Development Code (UDC). Applications are administratively and legislatively reviewed and approval is required. The Application will be reviewed in accordance with the procedures and requirements outlined in Sec. 5-E-1 in the UDC.

This publication outlines the Minor Site Planning Application process and submittal requirements.

All submittal items shall be submitted in PDF format in accordance with the Site Planning File Naming Conventions to permits@wpgov.com. Ensure your application is complete by checking each of the required submittal (RS) boxes below.

1 Required Items			
Plan Sheet(s)	RS*	Item #	Submittal Items
	<input checked="" type="checkbox"/>	1.	Minor Site Planning Application Form. Executed.
	<input checked="" type="checkbox"/>	2.	Title Commitment. Including Schedules A and B. The applicant shall provide a title insurance commitment proving the applicant’s ownership of the land to be platted and that all land to be dedicated or conveyed to the Town is free and clear from all liens and encumbrances except as expressly agreed to by the Town.
	<input checked="" type="checkbox"/>	3.	Driveway Permit Application. Executed.
	<input checked="" type="checkbox"/>	4.	HOA Architectural Control Committee Approval Letter. If property is governed by HOA.
	<input checked="" type="checkbox"/>	5.	Narrative. Shall include the following: <ul style="list-style-type: none"> A. Project name. B. Street address. C. Name, address, email and telephone number of owner, applicant, HOA, project manager, architect, engineer, surveyor, and land planner, as applicable. D. Legal description. E. Zoning district. F. Lot size (acreage and sq. ft.). G. All proposed uses. H. Number of dwelling units. I. Number of bedrooms per dwelling unit. J. Size of residential space (sq. ft.). K. Number of proposed off-street parking spaces. L. Construction schedule indicating major milestones for project.
	<input checked="" type="checkbox"/>	6.	Project Drawings. Shall contain project name, legal description, date of preparation, north arrow, legend, vicinity map, and topography at two-foot (2’) intervals. Shall be sized ARCH D (24”x36”).
	<input checked="" type="checkbox"/>	6A.	Topographic Survey.
CMP & WCE p9 of 18	<input checked="" type="checkbox"/>	6B.	Construction Plans. Shall have a minimum scale of 1”=20’ and be in conformance with the Standards and Specifications for Design and Construction. All plans shall be at the same scale and shall align with one another. <ul style="list-style-type: none"> A. Grading and Drainage Plan. B. Revegetation, Erosion, and Sediment Control Plan.

<p>SP1.1 SP1.2</p>	<p><input checked="" type="checkbox"/></p>	<p>6C. Site Plan. Shall have a minimum scale of 1"=20'. All elements listed below shall be dimensioned.</p> <p>A. Building coverage ratio table. Shall include area (sq. ft. and acreage) of the following: building footprint (including roof overhangs, decks, porches, balconies, and patios); drives, sidewalks, and parking areas; easements; areas to be designated open space; the site's total acreage; and percentage of building coverage to open space.</p> <p>B. Driveway. Slope, dimensions, and culvert locations, if any.</p> <p>C. Easements, proposed and existing, public and private. Type and location.</p> <p>D. Environmental features. Includes riparian buffers, floodplains, floodways, and floodway fringes, wetlands, forests and woodlands, slopes greater than twenty percent (20%), slopes greater than thirty percent (30%), and geologic hazard areas.</p> <p>E. Limit of disturbance.</p> <p>F. Other improvements. Retaining walls, berms, trash receptacles, trash enclosures, fencing, signage, fire features, water features, hot tubs, pools, affixed barbeque grills, outdoor kitchens, sculptures, etc.</p> <p>G. Parking areas for construction workers' vehicles.</p> <p>H. Parking spaces.</p> <p>I. Property lines.</p> <p>J. Protection notes.</p> <p style="padding-left: 20px;">a. "No disturbance, grading, or removal of significant natural features and vegetation will occur beyond the "limit of disturbance" line, as shown on this plan."</p> <p style="padding-left: 20px;">b. "The "limit of disturbance" line shall be delineated prior to construction with flags, roping, four foot (4') tall orange construction fencing, or other acceptable means."</p> <p>K. Setback distances as required by zoning district. From all property lines.</p> <p>L. Setback distances from all existing and proposed structures, including retaining walls. Draw a line to tie the structure to a point on the property line.</p> <p>M. Snow storage areas.</p> <p>N. Storage areas for soil, construction equipment, and other materials.</p> <p>O. Street addresses or unit numbers.</p> <p>P. Street ROW, proposed and existing, public and private. Type, location, and name.</p> <p>Q. Structures, proposed and existing.</p> <p>R. Top of foundation elevations. For main corners of each structure.</p> <p>S. Utilities, proposed and existing. For mains and service lines.</p> <p>T. Walkways and paths.</p>
<p>A2.1 A2.2 A2.3</p>	<p><input checked="" type="checkbox"/></p>	<p>6D. Building Elevations. See Article 3.A, <i>Lot and Building Standards</i>. Shall have a minimum scale of 1/8"=1'.</p> <p>A. Profiles.</p> <p>B. Location where buildings intersect the existing and proposed grades for each profile.</p> <p>C. Building materials. Shall be annotated to correspond with Building Materials Board.</p> <p>D. Location of outdoor lighting fixtures.</p>
<p>A1.0 - A1.4</p>	<p><input checked="" type="checkbox"/></p>	<p>6E. Floorplans. Shall have a minimum scale of 1/8"=1'. All plans shall be at the same scale and shall align with one another. Shall include a roof plan.</p>
<p>SP1.3</p>	<p><input checked="" type="checkbox"/></p>	<p>6F. Landscaping Plan. See Article 3.I, <i>Landscaping, Buffering, and Screening</i>. Shall have a minimum scale of 1"=20'. Shall include the following:</p> <p>A. Tabulation of required bufferyard types per property line and list of proposed plantings proposed per property line.</p> <p>B. Property lines labeled with required bufferyard types.</p> <p>C. Structures, existing and proposed.</p> <p>D. Landscaping, existing and proposed.</p> <p>E. Hardscaping, existing and proposed.</p>

			F. Top-of-wall and bottom-of-wall elevations of all retaining walls and site walls.
	<input type="checkbox"/>	6G.	Tree Removal and Protection Plan. See Article 3.G, <i>Tree Removal and Protection</i> . All trees proposed for protection greater than four inches (4”) in caliper.
	<input checked="" type="checkbox"/>	7.	Outdoor Lighting Board. See Article 3.K, <i>Outdoor Lighting</i> . Shall include cut sheets for all proposed outdoor lighting fixtures with International Dark Sky Association (IDA) Approval Symbol. Shall indicate mounting heights.
	<input checked="" type="checkbox"/>	8.	Building Materials Board. Shall be annotated to correspond with Building Elevations. Shall include photographs of swatches demonstrating color and material composition for the following: A. Doors B. Fascia C. Fencing D. Foundation E. Gates F. Glass type G. Roofs H. Siding I. Window and door trim J. Window glass type
A2.0	<input checked="" type="checkbox"/>	9.	Renderings. Shall be 3D, in color, and accurate in scale.
	<input type="checkbox"/>	10.	Wetland Delineation. See Article 3.C, <i>Resource Identification and Sensitive Lands Protection</i> . If applicable.
	<input type="checkbox"/>	11.	Hillside and Ridgeline Development Study. See Article 3.C, <i>Resource Identification and Sensitive Lands Protection</i> . If impacting slopes greater than twenty percent (20%).
	<input checked="" type="checkbox"/>	12.	Single-Family/Two-Family Attached Dwelling Deposit Agreement. Executed.
	<input type="checkbox"/>	13.	File Naming Conventions. All Minor Site Planning Applications shall be submitted pursuant to the Site Planning File Naming Conventions.
Required Submittal (RS*) = <input type="checkbox"/>			

2 Process for Approval

See Sec. 5-E-1, *Site Plan*.

3 Fees – See Sec. 5-B-6, *Application Fees*. An invoice will be sent once the planning file has been created.

- A. \$100.00 Minor Site Planning Application Review Fee.
- B. \$3,000.00 Deposit for Building Exterior, Driveway, and Landscaping.
- C. \$50.00 Driveway Permit Application Fee.

4 Applicant’s Certification Statement

I, Todd H. Mohr *Todd H. Mohr*, as Applicant and duly representative of the owner, hereby certify that the information included upon the attached submittal items are true and accurate; and that the development of the site will occur in accordance with the submittal items.

July 12, 2022

Ms. Irene Kilburn
Building & Planning Technician
Town of Winter Park - Community Development
50 Vasquez Road
Winter Park, Colorado 80482

**RE: PLN22-048
Design Review Re-Submittal**

A. Project Name: Lakota Reserve Building 10

B. Street Address

213 & 215 Lakota Park Drive
Winter Park, Colorado 80482
Lot 99-S, Final Plat, Reserve at Lakota Park Subdivision

C. Contact Information for Project Participants

<p>1. Owner PMWP Development Company 5490 Nuthatch Road Parker, CO 80134 Matt Schlaepfer: 303-931-0708 matt.schlaepfer@gcgfinancial.com</p>	<p>2. Applicant/ Owner’s Representative Windham Project Services Ltd. 7762 Prairie Lake Trail Parker, Colorado 80134 Todd Mohr: 303-681-7527 tmohr@windhamltd.com</p>
<p>3. Homeowner’s Association Lakota East HOA c/o Allegiant Management LLC P.O. Box 66 Winter Park, Colorado 80482 Stuart Huster: 970-531-2345 shuster@cbmp.com</p>	<p>4. General Contractor/ Project Manager Big Valley Construction, LLC P.O. Box 1879 Granby, Colorado 80446 Rob Neiberger: 970-887-1533 robn@bigvalleyconstruction.com</p>
<p>5. Architect BHH Partners, Planners & Architects 160 East Adams Breckenridge, Colorado 80424 Marc Hogan: 970-453-6880 mhogan@bhpartners.com</p>	<p>6. Engineer Ascent Group - Structural Engineering 79050 U.S. Highway 40, Unit 1C Winter Park, CO 80482 Jared Veenstra: 303-865-4978 j.veenstra@ascentgrp.com</p>
<p>7. Surveyor Tim Shenk Land Surveying P.O. Box 1670 Granby, Colorado 80446 Tim Shenk: 970-887-1046 tshenk@tslsi.com</p>	<p>8. Land Planner None</p>

D. Legal Description

Lot 99-S, Final Plat, Reserve at Lakota Park Subdivision
Reception #2020011191
Section 11, Township 2 South, Range 75 West, of the 6th P.M.
Town of Winter Park, County of Grand, State of Colorado

E. Zoning District

P-D R-2

F. Lot Size, Setbacks & Coverage

Lot size:

0.114 acres, 4,986.99 square ft.

Setback Distances:

Front = to or >20'

Rear = to or >20'

Sides vary but will be = to or >11' in accordance with provision that side setbacks will be at least five feet (5') with three feet (3') being added to each required side yard for each story above the first story of any building.

Calculated Building Coverage:

Please refer to Reserve Building 10 Site Plan (Sheet SP1.1) and land use table prepared by Tim Shenk Land Surveying on Final Plat, Reserve at Lakota Park Subdivision (Reception No. 2020011191).

1. Building footprint: 2,876 square ft.
2. Drive, sidewalks, and parking areas: 1,131 square ft.

Additional open space exists between building envelopes and around lots. Area of all residential lots in the Reserve development is 40.85% of the total platted area. Each building however does not cover 100% of the total platted area for each lot which taken together results in a building coverage ratio which is less than 40% in accordance with Town Code.

G. All Proposed Uses

Construction of residential duplex building

H. Number of Dwelling Units

Two (2)

I. Number of Bedrooms Per Dwelling Unit

	213 Lakota Park Drive Panoramic + Model	215 Lakota Park Drive Sunnyside + Model
Bedrooms	4+ bunk room	4+ bunk room

J. Size of Residential Space (SQFT)

	213 Lakota Park Drive Panoramic + Model	215 Lakota Park Drive Sunnyside + Model
Finished Living Area	3,287	3,287
Unfinished Area	656	656
Total Gross SQFT	3,943	3,943

K. Number of Proposed Off-Street Parking Spaces

	213 Lakota Park Drive Panoramic + Model	215 Lakota Park Drive Sunnyside + Model
Garage	2	2
Additional Off-Street	2	2
Total Parking Spaces	4	4

L. Forecast Milestone Schedule

Design & Preconstruction: May 2022 – August 2022
 Construction: August 2022 – March 2024
 Landscaping & Closeout: April – June 2024

M. Other Information

Variances Granted by the Board of Adjustment

In its variance application (dated May 10, 2022), PMWP requested that for compliance purposes the height of 213 & 215 Lakota Park Drive (Reserve Building 10) be measured from the planned finished grades of each property

Conversely, if the 213 & 215 Lakota Park Drive (Reserve Building 109) height were to be measured from the currently existing property grade, PMWP requested an overall height not to exceed 42'-0" for the intermediate roof step along the easterly side elevation (213 Lakota Park Drive). This represents no variance from the 42'-0" dimension when measured from the point of existing grade (Reference Point A) and accordingly, requested a midpoint height not to exceed 37'-7" for the intermediate roof step representing a 2'-7" variance from the 35'-0" dimension when measured from the point of existing grade (Reference Point B).

As for the building's westerly side elevation (215 Lakota Park Drive), PMWP requested an overall height not to exceed 43'-8" for the intermediate roof step and a midpoint height not to exceed 39'-10". This represents an overall variance of 1'-8" (Reference Point A) and a midpoint variance of 4'-10" (Reference Point B) when measured from the points of existing grade.

The Town of Winter Park Board of Adjustments granted PMWP's variance at its meeting of Tuesday, June 14, 2022.

Calculated Building Height – measured from points of granted variances

Lot 99-S (future Lot 99-T) – 213 Lakota Park Drive

Please reference sheet A2.1 & A2.2

Ridge Reference Point A: East Elevation - 35'-1 1/8" (shall not exceed 42'-0")
East Elevation - 38'-10 5/8" (shall not exceed 42'-0")

Ridge Reference Point B: East Elevation - 32'-0 7/8" (shall not exceed 35'-0")
East Elevation - 35'-0" (shall not exceed 35'-0")

Ridge Reference Point C: East Elevation - 51'-0 7/8" (shall not exceed 55'-0")

Lot 99-S – 215 Lakota Park Drive

Please reference sheet A2.2 & A2.3

Ridge Reference Point A: West Elevation - 37'-1 3/4" (shall not exceed 42'-0")
West Elevation - 38'-10 3/4" (shall not exceed 42'-0")

Ridge Reference Point B: West Elevation - 34'-1 1/2" (shall not exceed 35'-0")
West Elevation - 35'-0" (shall not exceed 35'-0")

Ridge Reference Point C: West Elevation - 51'-0 7/8" (shall not exceed 55'-0")

Exterior Building Materials and Colors

Please refer to Reserve Color Board C for Building #10.

1. Foundation: Cast in place concrete with stone veneer in places
Telluride Stone – Heritage Series – Mountain Ash
2. Siding:
Horizontal Siding – Wood Source Siding Products (cedar) – 1x8 Shiplap
Sherwin Williams Semi Transparent Stain (SW 3504 – Wood Ridge)
Vertical Siding – Wood Source Siding Products (cedar) – 1x6 Shiplap
Sherwin Williams Semi Transparent Stain (SW 3524 – Chestnut)
3. Rock/ Masonry:
Stone Veneer – Telluride Stone – Heritage Series – Mountain Ash
Stone Caps – Telluride Stone – Oklahoma Blue
4. Fascia, Soffit, Trim & Railing: Wood Source Products - fir
Sherwin Williams Super Deck (SW 3524 Charwood)
5. Windows: Pella – Lifestyle Series – Brown
Glass Type: Low-e non reflective
6. Exposed Metal: Not shiny or reflective. Mixture of 75% Permalac Satin w/ 25%
Urban Bronze Color.
7. Roof: Composite Shingle – Owens Corning TruDefinition Duration – Driftwood
8. Slat Wall & Decking: Moisture Shield Vantage – Driftwood



July 18, 2022

PMWP Development Company
Windham Project Svc Ltd
Mr. Todd Mohr
Via Email
tmohr@windhamltd.com

RE: Lakota East Owners Association
Building 10, Lot 99
213 and 215 Reserve Way
Winter Park, CO

Dear Mr. Mohr,

Congratulations! The Lakota East (Park) Owners Association Board of Directors has approved the submittal for Lot 99-S.

This letter will serve as notice to the Town of Winter Park that you are approved and ready to apply for building permits to begin construction. Please notify Allegiant Management when construction commences.

Please contact me with any questions.

Sincerely,

Michelle Franz

Michelle Franz, CMCA®
Senior Property Manager
mfranz@allegiantmgmt.com
970-722-1102

Copy to: Permits@wpgov.com
Erica Fransen, Allegiant Management, LLC
Stuart Huster, Lakota East Board President
Hugh Bell, Town of Winter Park, hbelle@wpgov.com

ELEVATION NOTE

THESE ELEVATIONS ARE GRAPHIC IN NATURE. THE ELEVATIONS ILLUSTRATE EXTERIOR IMAGE AND COLORS. DO NOT SCALE OFF ELEVATIONS FOR THIS PROJECT.

MATERIAL COLORS ARE TYPICAL FOR ALL ELEVATIONS REFER TO COLOR LEGEND, VERIFY ALL COLORS WITH OWNER

SEE BUILDING SECTIONS FOR ADDITIONAL INFORMATION.

MATERIAL LEGEND - SCHEME C

1	COMPOSITION SHINGLE ROOFING	OWENS CORNING (DRIFTWOOD)
2	SOFFIT RIM, RAILINGS, FASICA, LAMS	-SHERWIN WILLIAMS SUPER DECK (SW3542, CHARWOOD)
3	SLAT WALL HORZ. SIDING	-1X6 MOISTURE SHIELD VANTAGE & DECKING (WALNUT)
4	WINDOW CLADDING	-PELLA PROLINE (BROWN)
5	VERTICAL SIDING	-SHERWIN WILLIAMS SUPER DECK & FASCIA (SW3524, CHESTNUT)
6	HORIZONTAL SIDING	-SHERWIN WILLIAMS SUPER DECK (SW3504, WOOD RIDGE)
7	STONE CAPS	-TELLURIDE STONE (OK BLUE)
8	STEEL BEAMS, COLUMNS	-EXPOSED STEEL; NOT SHINY OR REFLECTIVE (MAX CLEAR COAT)
9	STONE VENEER BASE	-TELLURIDE STONE (MOUNTAIN ASH)

NOTE: MATERIALS ARE TYPICAL FOR ALL ELEVATIONS, REFER TO ASSOCIATED COLOR BOARD FOR ADDITIONAL INFORMATION

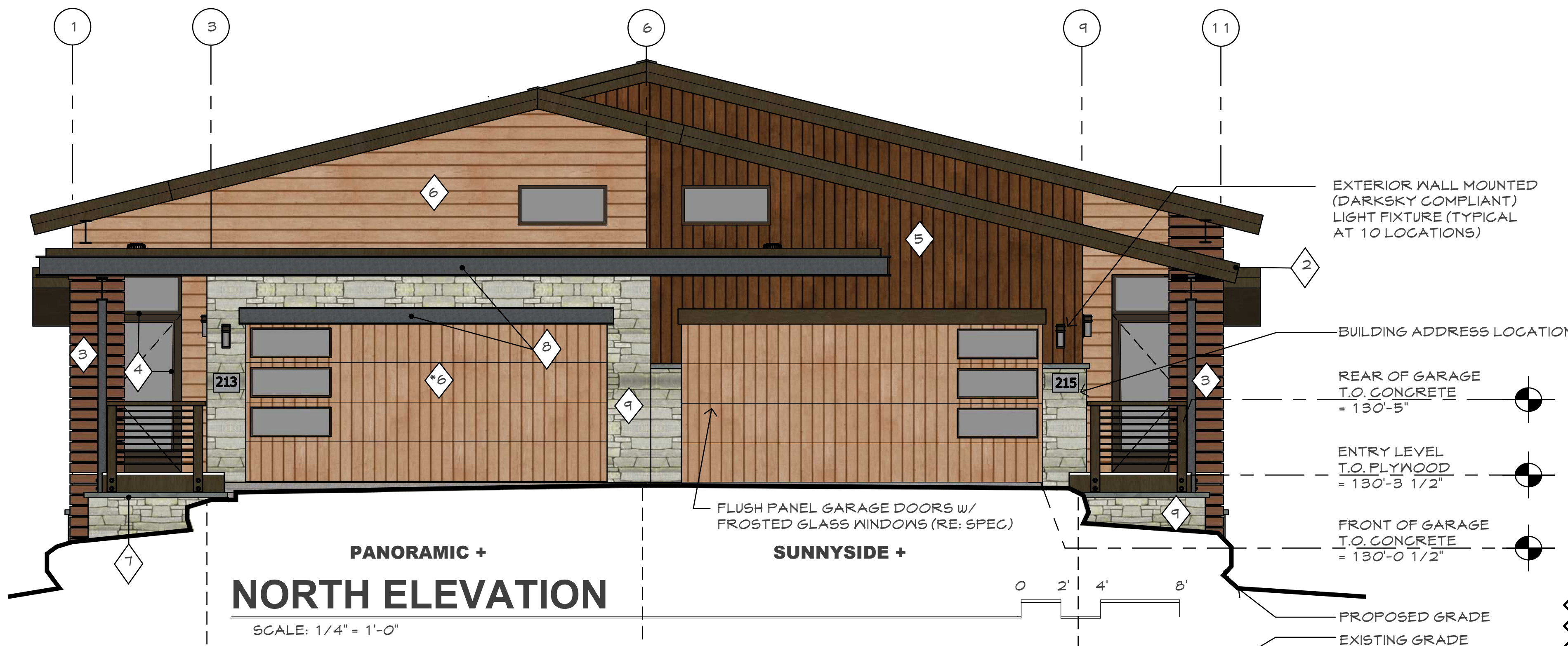
BUILDING HEIGHTS ARE PROVIDED PER TOWN OF WINTERPARK HEIGHT GUIDELINES (REFER TO EXAMPLES BELOW)

THIS BUILDING HAS GONE THROUGH THE VARIANCE PROCESS WITH THE TOWN OF WINTERPARK IN REGARDS TO THE BUILDING HEIGHT.

THE PROPOSED BUILDING HEIGHT HAS BEEN REVIEWED AND APPROVED BY THE DESIGN REVIEW COMMITTEE. THE 35'-0" AND 42'-0" HEIGHT RESTRICTIONS AT THE HIGHER ROOF PORTION WILL BE MEASURED FROM PROPOSED GRADE (AT RETAINING WALLS AS INDICATED AND DISCUSSED). ALL OTHER BUILDING HEIGHTS WILL BE MEASURED PER THE TOWN OF WINTER PARK HEIGHT GUIDELINES.

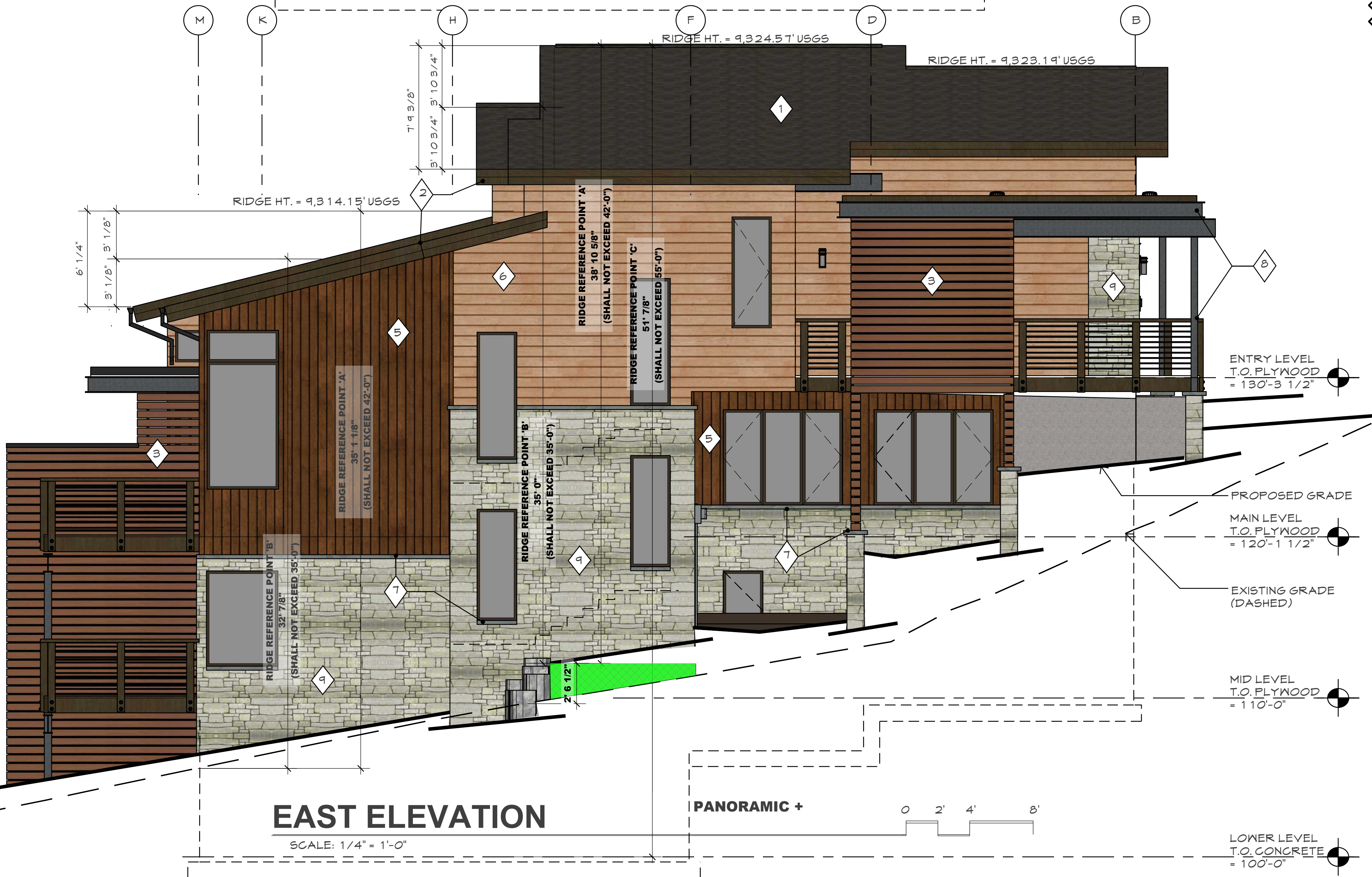
BUILDING HEIGHT

UNIT NUMBER	RIDGE POINT	HEIGHT ALLOWED	PROPOSED ELEVATION AS MEASURED FROM ELEVATION	
213 PANO-RAMIC +	A	42'-0"	9273.5	35'-1 1/8"
	B	35'-0"	9273.5	32'-0 7/8"
	A	42'-0"	9285.68	38'-10 5/8"
	B	35'-0"	9285.68	35'-0"
215 SUNNY SIDE +	A	42'-0"	9273.5	37'-1 3/4"
	B	35'-0"	9273.5	34'-1 1/2"
	A	42'-0"	9285.68	38'-10 3/4"
	B	35'-0"	9285.68	35'-0"
	C	55'-0"	9273.5	51'-0 7/8"



**PANORAMIC +
SUNNYSIDE +
NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



**PANORAMIC +
EAST ELEVATION**

SCALE: 1/4" = 1'-0"

JOB NO: 51901.10
DATE: 7/12/22
DRAWN BY: j pawlak
CHECKED BY: m hogan

2022 THIS DRAWING IS COPYRIGHTED AND SHALL NOT BE REPRODUCED WITHOUT ARCHITECT'S WRITTEN PERMISSION

DESIGN REVIEW SUBMITTAL: 7/12/22

bhh Partners
P.O. BOX 931 • 160 EAST ADAMS • BRECKENRIDGE, CO 80424 • (970) 455-6800

LAKOTA RESERVE - BUILDING 10
213 & 215 LAKOTA PARK DRIVE, TOWN OF WINTER PARK, COLORADO 80492

**BUILDING 10
A2.1**
BUILDING ELEVATIONS

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MATERIAL LEGEND - SCHEME C

1	COMPOSITION SHINGLE ROOFING	OWENS CORNING (DRIFTWOOD)
2	SOFFIT RIM, RAILINGS, FASICA, LAMS	-SHERWIN WILLIAMS SUPER DECK (SW3542, CHARWOOD)
3	SLAT WALL HORIZ. SIDING	-1X6 MOISTURE SHIELD VANTAGE & DECKING (WALNUT)
4	WINDOW CLADDING	-PELLA PROLINE (BROWN)
5	VERTICAL SIDING	-SHERWIN WILLIAMS SUPER DECK & FASCIA (SW3524, CHESTNUT)
6	HORIZONTAL SIDING	-SHERWIN WILLIAMS SUPER DECK (SW3504, WOOD RIDGE)
7	STONE CAPS	-TELLURIDE STONE (OK BLUE)
8	STEEL BEAMS, COLUMNS	-EXPOSED STEEL; NOT SHINY OR REFLECTIVE (MAX CLEAR COAT)
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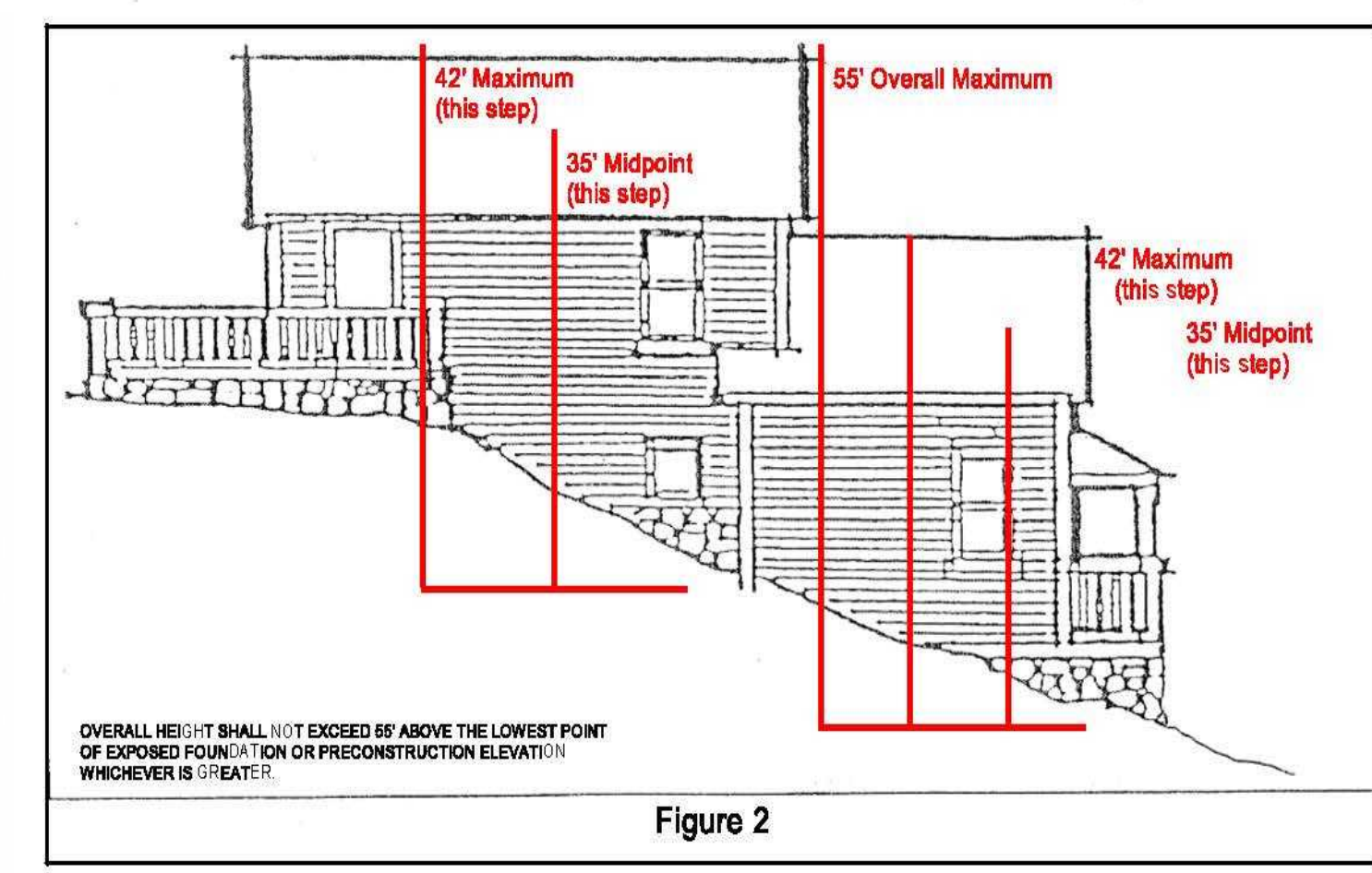
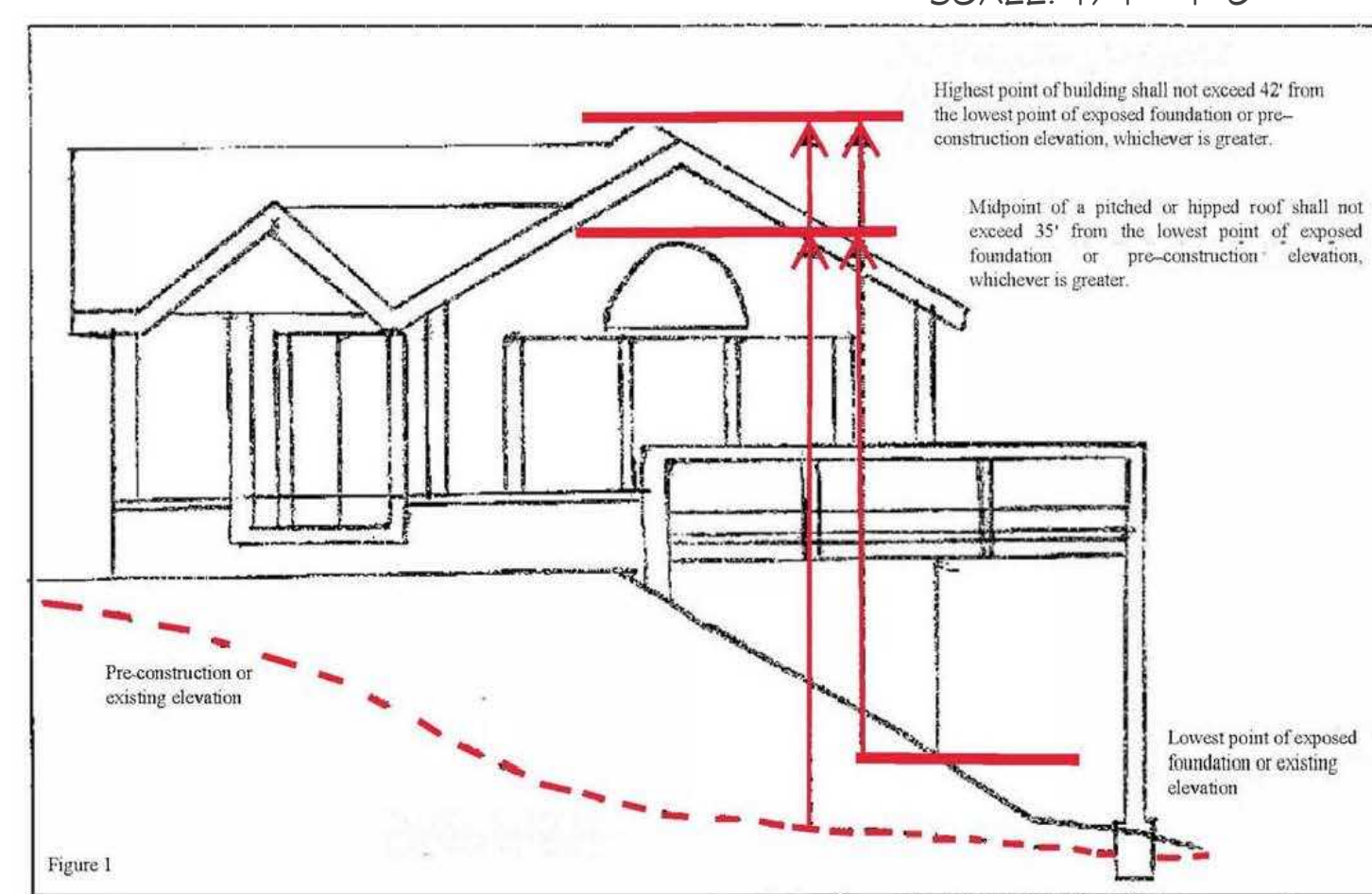
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215 SUNNY SIDE +	A	42'-0"	9273.5	37'-1 3/4"
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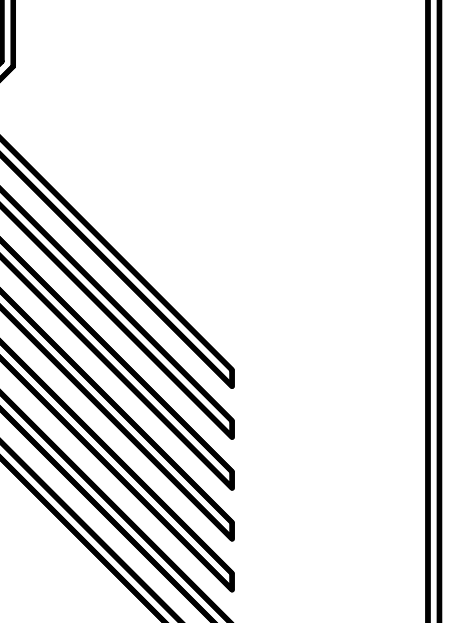


REVISIONS:

JOB NO: 51901.10
 DATE: 7/12/22
 DRAWN BY: j pawlak
 CHECKED BY: m hogan

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DESIGN REVIEW SUBMITTAL: 7/12/22



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LAKOTA RESERVE - BUILDING 10
 213 & 215 LAKOTA PARK DRIVE, TOWN OF WINTER PARK, COLORADO 80492

BUILDING 10
A2.2
 BUILDING ELEVATIONS

ELEVATION NOTE

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3	SLAT WALL HORIZ. SIDING	-1X6 MOISTURE SHIELD VANTAGE & DECKING (WALNUT)
4	WINDOW CLADDING	-PELLA PROLINE (BROWN)
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7	STONE CAPS	-TELLURIDE STONE (OK BLUE)
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NOTE: MATERIALS ARE TYPICAL FOR ALL ELEVATIONS, REFER TO ASSOCIATED COLOR BOARD FOR ADDITIONAL INFORMATION

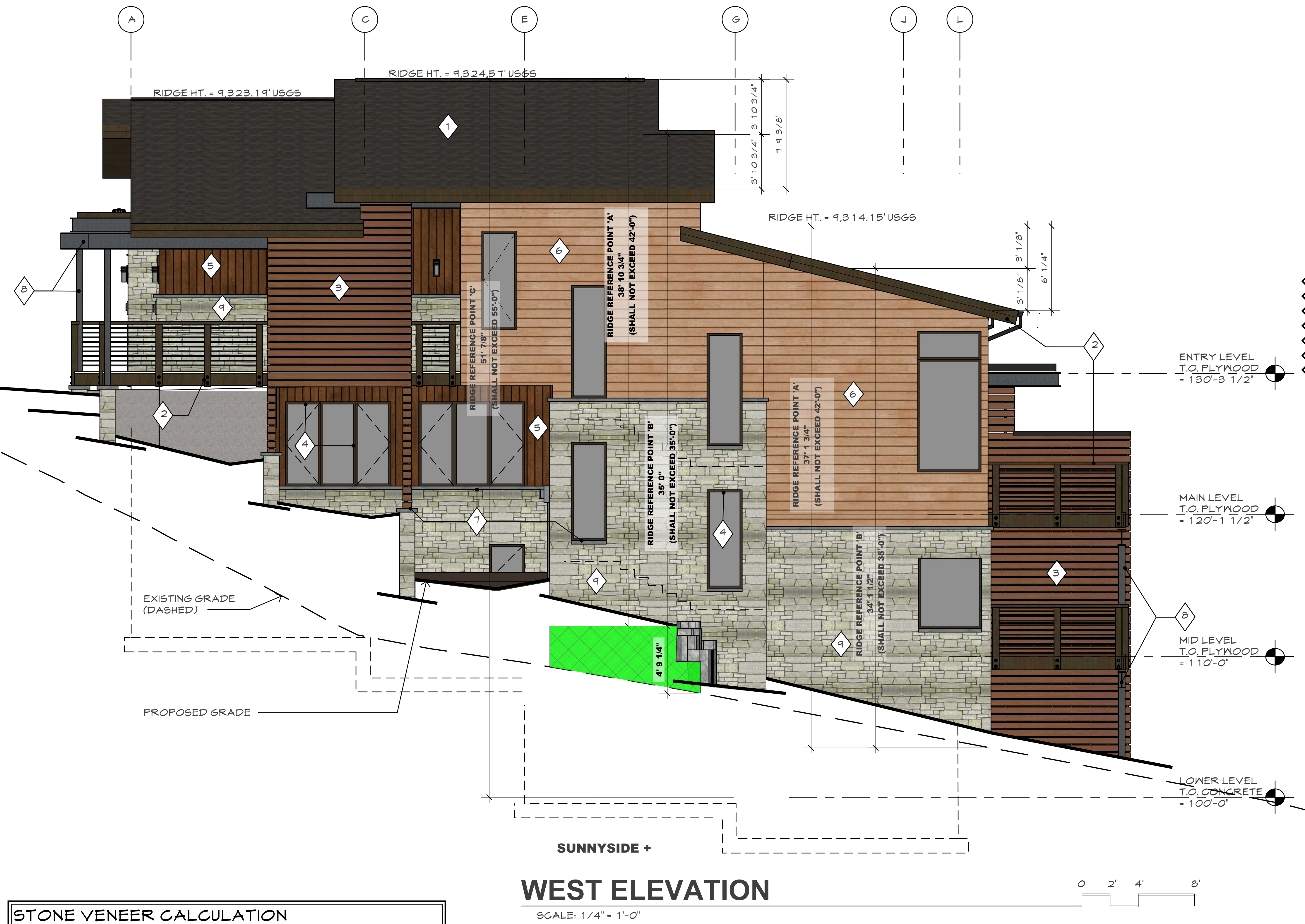
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	A	42'-0"	9285.68	38'-10 3/4"
	B	35'-0"	9285.68	35'-0"
	C	55'-0"	9273.5	51'-0 7/8"



STONE VENEER CALCULATION

UNIT NUMBER	AREA	NORTH ELEVATION	EAST ELEVATION	SOUTH ELEVATION	WEST ELEVATION
213 PANORAMIC +	WALL SURFACE	383 SF	1,275 SF	1,162 SF	162 SF
	STONE PROVIDED	164 SF	467 SF	314 SF	56 SF
215 SUNNYSIDE +	WALL SURFACE	342 SF	148 SF	1,118 SF	1,327 SF
	STONE PROVIDED	119 SF	31 SF	309 SF	616 SF

10% MINIMUM STONE VENEER IS REQUIRED PER DESIGN REVIEW GUIDELINES

JOB NO: 51901.10
 DATE: 7/12/22
 DRAWN BY: j pawlak
 CHECKED BY: m hogan

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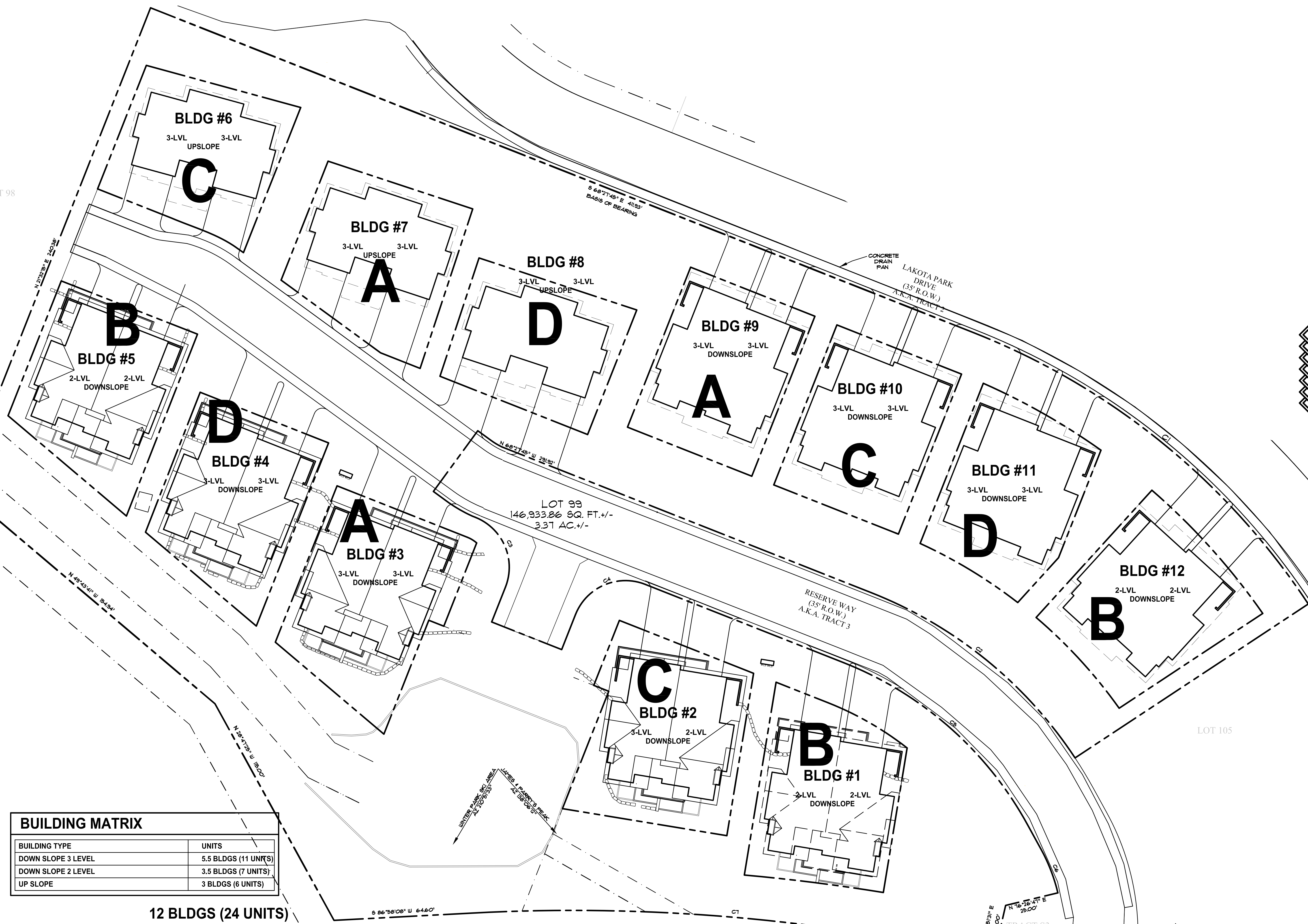
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LAKOTA RESERVE - BUILDING 10
 213 & 215 LAKOTA PARK DRIVE, TOWN OF WINTER PARK, COLORADO 80492

BUILDING 10
A2.3
 BUILDING ELEVATIONS

LOT 98



REVISIONS:

JOB NO: 519010
 DATE: 3/17/2020
 DRAWN BY: J FAWLAK
 CHECKED BY: M HOGAN

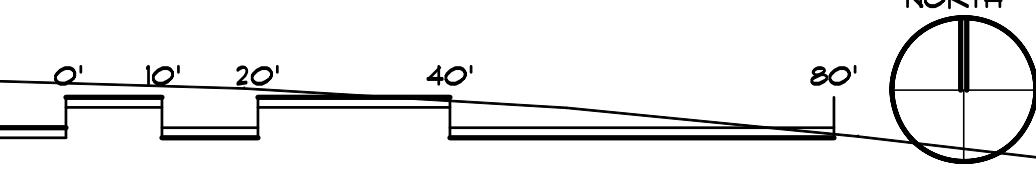
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BUILDING MATRIX	
BUILDING TYPE	UNITS
DOWN SLOPE 3 LEVEL	5.5 BLDGS (11 UNITS)
DOWN SLOPE 2 LEVEL	3.5 BLDGS (7 UNITS)
UP SLOPE	3 BLDGS (6 UNITS)

12 BLDGS (24 UNITS)

COLOR SCHEME

SCALE: 1" = 20'-0"



MH

ARROW TRAIL

bhh Partners
 P.O. BOX 931 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880

LAKOTA RESERVE
 RESERVE WAY, TOWN OF WINTERPARK, COLORADO

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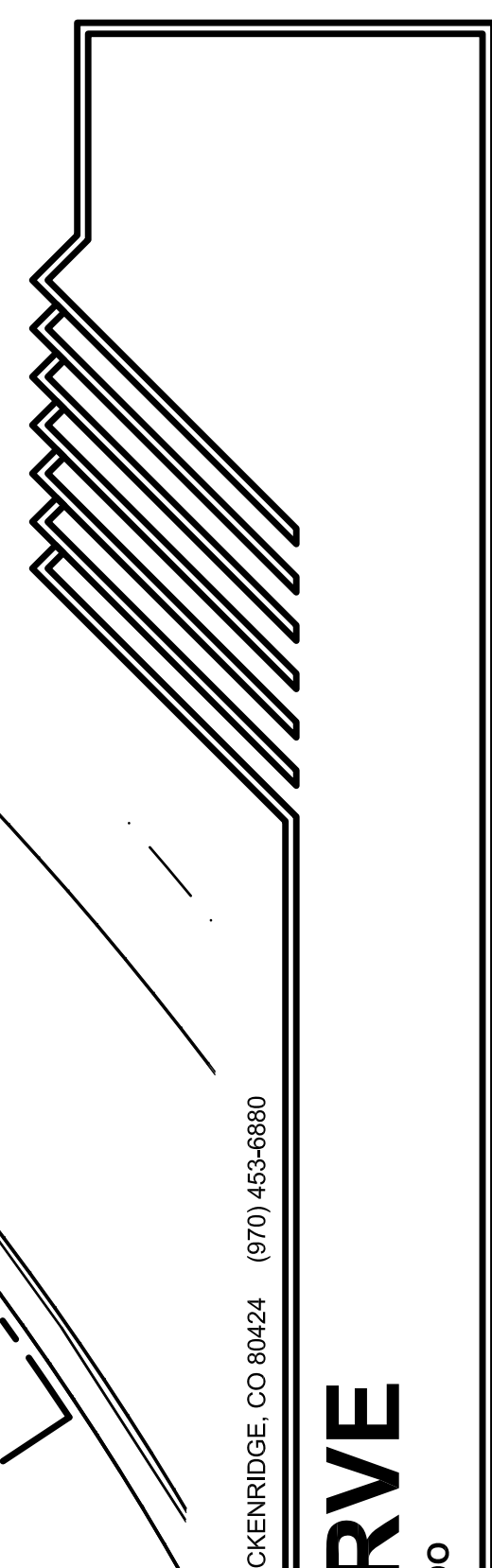
SHEET NUMBER:

SP1.1
 OVERALL SITE PLAN

LOT 98

LOT 99
 146,933.86 SQ. FT. +/-
 3.37 AC. +/-

LOT 105



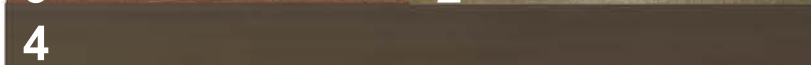
1) COMPOSITE ROOF
OWENS CORNING
TruDefination
DURATION
"DRIFTWOOD"



3) SCREEN WALLS /
SLAT WALL SYSTEM-
AND DECKS
1X6 'MOISTURE
SHIELD VANTAGE
(WALNUT)



2) GLU-LAMS, FASCIA,
SOFFIT RIM AND
RAILING
SHERWIN WILLIAMS
SEMI-TRANSPARENT
(SW 3541-HILL
COUNTRY)



4) PELLA PROLINE
'BROWN'

5) VERTICAL 1X6
SHIPLAP 'RE-SAWN'
CEDAR SIDING
SHERWIN WILLIAMS
SEMI-TRANSPARENT
(SW 3504-
WOOD RIDGE)



6) HORIZONTAL 1X8
SHIPLAP 'RE-SAWN'
CEDAR SIDING
SHERWIN WILLIAMS
SUPER DECK
(SW 3542-CHARWOOD)



7) STONE CAPS-
TELLURIDE STONE
'OK BLUE'

8) EXPOSED METAL
(NOT SHINY OR
REFLECTIVE)
PROVIDE CLEAR
COAT OR BULL
FROG WAX TO
PREVENT RUST



9) STONE VENEER
TELLURIDE STONE
HERITAGE SERIES
'MOUNTAIN ASH'



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P.O. BOX 2113, 560 ADAMS AVENUE SILVERTHORNE, CO 80498 (970) 513-1000

7/28/21
#51901

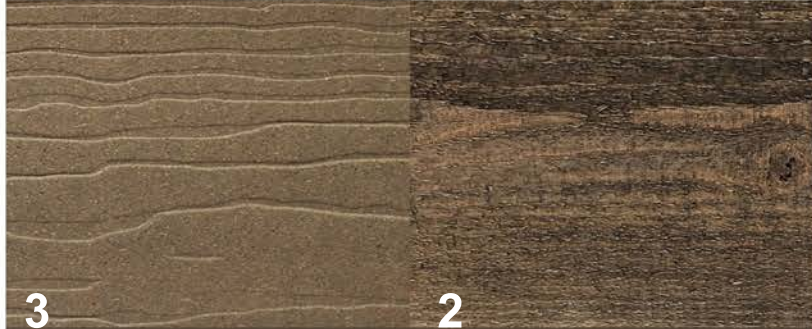
RESERVE COLOR OPTION A REVISED

RESERVE WAY, TOWN OF WINTERPARK, COLORADO 80482

1) COMPOSITE ROOF
OWENS CORNING
TruDefination
DURATION
"DRIFTWOOD"

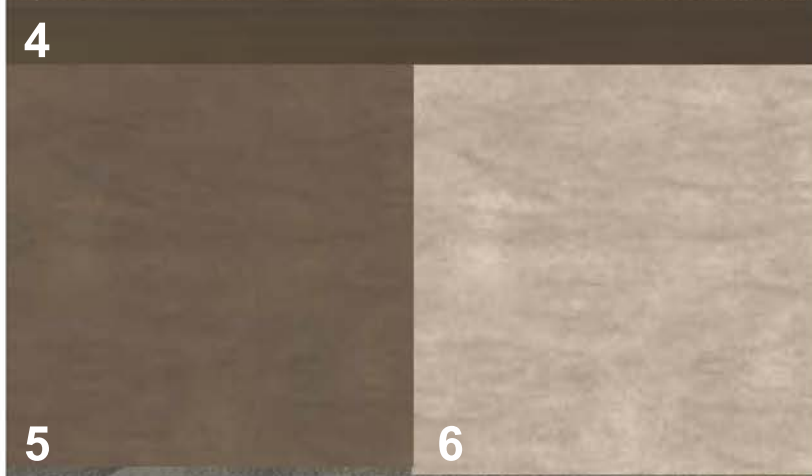


3) SCREEN WALLS /
SLAT WALL SYSTEM-
AND DECKS
1X6 'MOISTURE
SHIELD VANTAGE'
(EARTHTONE)



2) GLU-LAMS, FASCIA,
SOFFIT RIM AND
RAILING
SHERWIN WILLIAMS
SUPER DECK
(SW 3542-CHARWOOD)

5) VERTICAL 1X6
SHIPLAP 'RE-SAWN'
CEDAR SIDING
SHERWIN WILLIAMS
SUPER DECK
(SW 3531-BLUE
SHADOW)



4) PELLA PROLINE
'BROWN'

6) HORIZONTAL 1X8
SHIPLAP 'RE-SAWN'
CEDAR SIDING
SHERWIN WILLIAMS
SUPER DECK (SW
3540-MOUNTAIN ASH)

8) EXPOSED METAL
(NOT SHINY OR
REFLECTIVE)
PROVIDE CLEAR
COAT OR BULL
FROG WAX TO
PREVENT RUST



7) STONE CAPS-
TELLURIDE STONE
'OK BLUE'

9) STONE VENEER
TELLURIDE STONE
HERITAGE SERIES
'MOUNTAIN ASH'



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7/28/21
#51901

RESERVE COLOR OPTION B REVISED

RESERVE WAY, TOWN OF WINTERPARK, COLORADO 80482

1) COMPOSITE ROOF
OWENS CORNING
TruDefination
DURATION
"DRIFTWOOD"

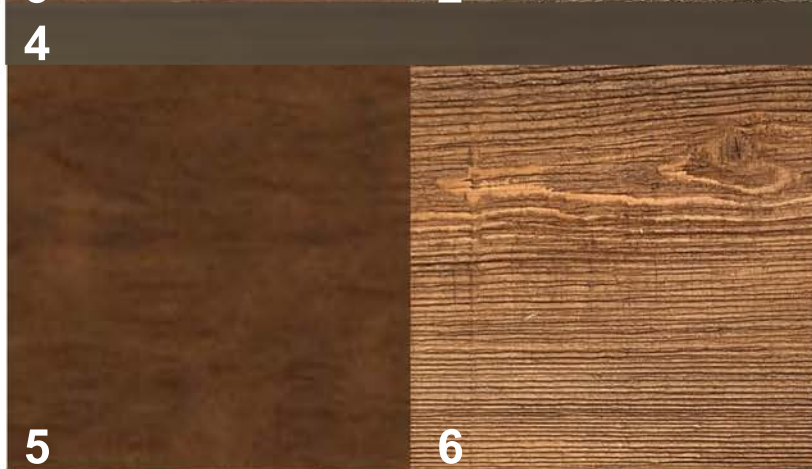


3) SCREEN WALLS /
SLAT WALL SYSTEM-
AND DECKS
1X6 'MOISTURE
SHIELD VANTAGE'
(WALNUT)



2) GLU-LAMS, FASCIA,
SOFFIT RIM AND
RAILING
SHERWIN WILLIAMS
SUPER DECK
(SW 3542 CHARWOOD)

5) VERTICAL 1X6
SHIPLAP 'RE-SAWN'
CEDAR SIDING
SHERWIN WILLIAMS
SEMI-TRANSPARENT
(SW 3524
CHESTNUT)



4) PELLA PROLINE
'BROWN'

6) HORIZONTAL 1X8 SHI-
PLAP 'RE-SAWN' CEDAR
SIDING
SHERWIN WILLIAMS
SEMI-TRANSPARENT
(SW 3504-WOOD RIDGE)



7) STONE CAPS-
TELLURIDE STONE
'OK BLUE'

8) EXPOSED METAL
(NOT SHINY OR
REFLECTIVE)
PROVIDE CLEAR
COAT OR BULL
FROG WAX TO
PREVENT RUST



9) STONE VENEER
TELLURIDE STONE
HERITAGE SERIES
'MOUNTAIN ASH'



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7/28/21
#51901

RESERVE COLOR OPTION C REVISED

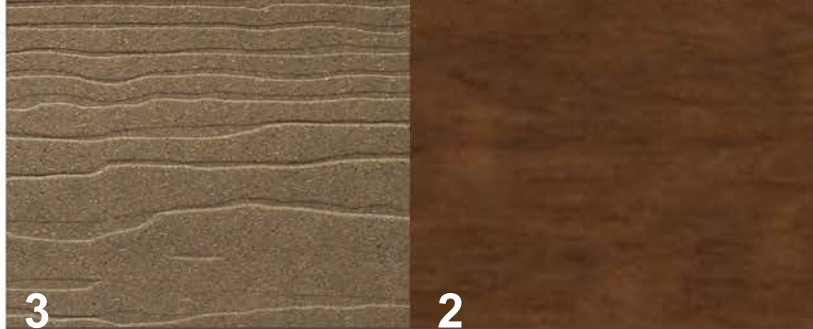
RESERVE WAY, TOWN OF WINTERPARK, COLORADO 80482

1) COMPOSITE ROOF
OWENS CORNING
TruDefination
DURATION
"DRIFTWOOD"



1

3) SCREEN WALLS /
SLAT WALL SYSTEM-
AND DECKS
1X6 'MOISTURE
SHIELD VANTAGE'
(EARTHSTONE)



3

2

2) GLU-LAMS, FASCIA,
SOFFIT RIM AND
RAILING
SHERWIN WILLIAMS
SUPER DECK
(SW 3524-CHESTNUT)

4

4) PELLA PROLINE
'BROWN'

5) HORIZONTAL 1X6
SHIPLAP 'RE-SAWN'
CEDAR SIDING
SHERWIN WILLIAMS
SEMI-TRANSPARENT
(SW 3541-HARBOR
MIST)



5

6

6) VERTICAL 1X8
SHIPLAP 'RE-SAWN'
CEDAR SIDING
SHERWIN WILLIAMS
SUPER DECK
(SW 3540-MOUNTAIN
ASH)

7

7) STONE CAPS-
TELLURIDE STONE
'OK BLUE'



8) EXPOSED METAL
(NOT SHINY OR
REFLECTIVE)
PROVIDE CLEAR
COAT OR BULL
FROG WAX TO
PREVENT RUST



8



9

9) STONE VENEER
TELLURIDE STONE
HERITAGE SERIES
'MOUNTAIN ASH'

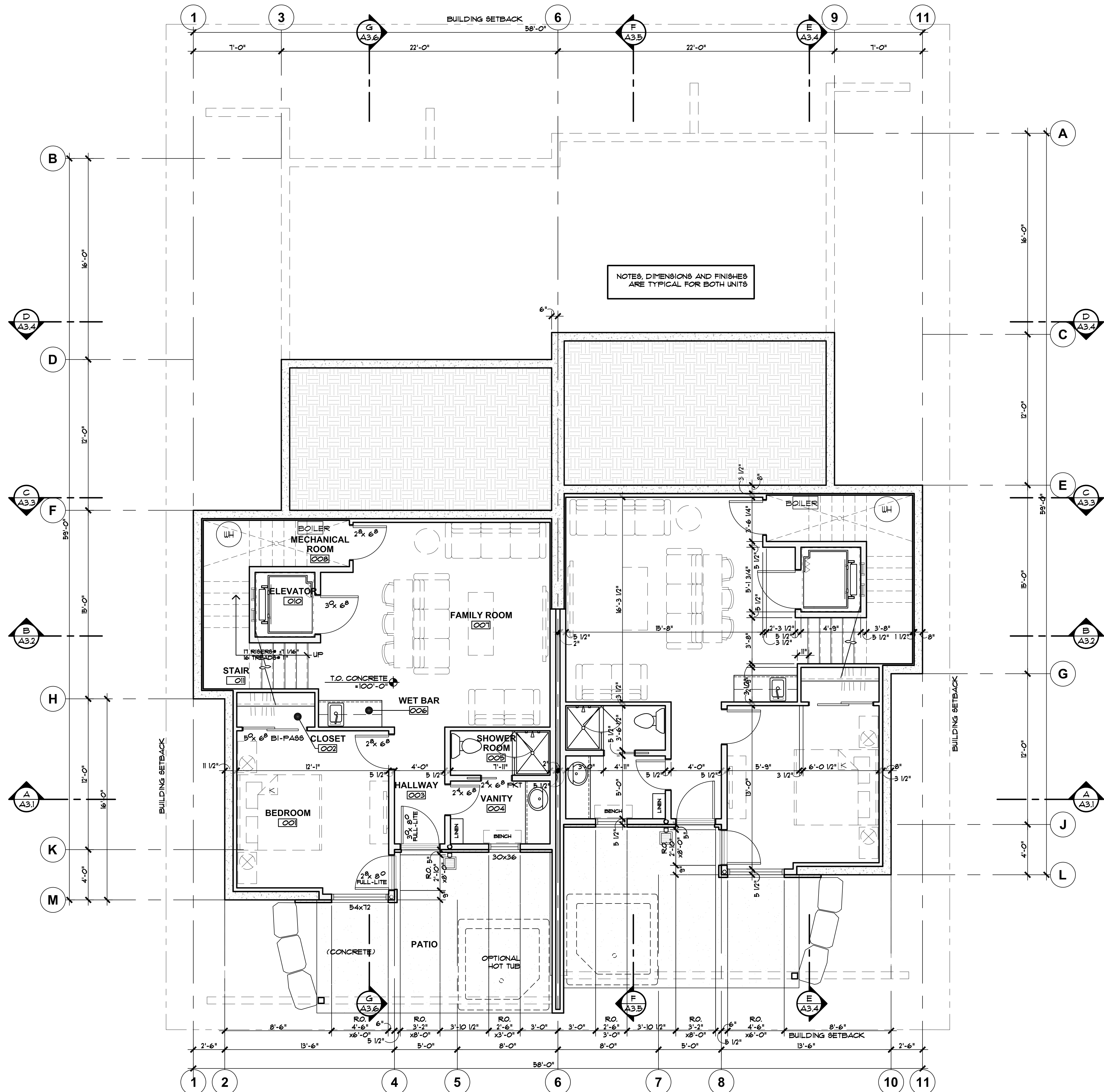


P.O BOX 931, 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880
P.O. BOX 2113, 560 ADAMS AVENUE SILVERTHORNE, CO 80498 (970) 513-1000

7/28/21
#51901

RESERVE COLOR OPTION D REVISED

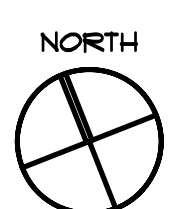
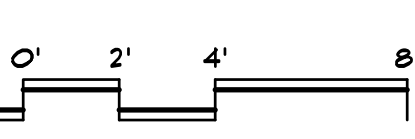
RESERVE WAY, TOWN OF WINTERPARK, COLORADO 80482



LOWER LEVEL PLAN

SCALE: 1/4" = 1'-0"

149 SF - FINISHED
62 SF - UNFINISHED
811 SF - TOTAL



REVISIONS:

JOB NO: 5180.10
DATE: 7/2/22
DRAWN BY: JDP
CHECKED BY: MPH

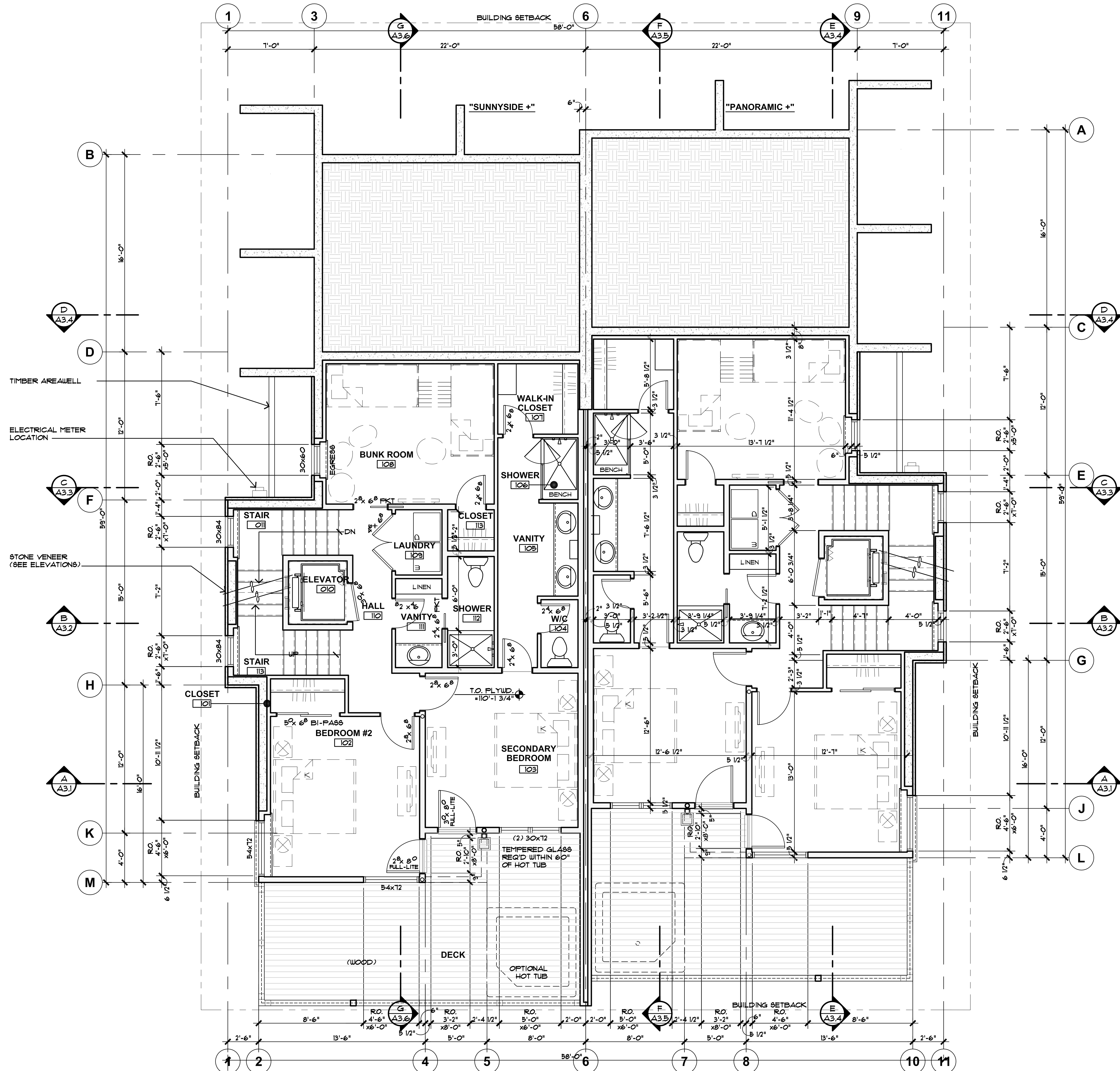
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DESIGN REVIEW SUBMITTAL:
1/2/22

bhh Partners
P.O. BOX 931 160 EAST ADAMS
BRECKENRIDGE, CO 80424 (970) 453-6880

LAKOTA RESERVE - BUILDING 10
213 AND 215, LAKOTA PARK DRIVE, TOWN OF WINTER PARK, COLORADO

© 2022
SHEET NUMBER:
BUILDING 10
A1.0
LOWER LEVEL PLAN



MID LEVEL PLAN

SCALE: 1/4" = 1'-0"

REVISIONS:

JOB NO: 5180.10
 DATE: 7/2/22
 DRAWN BY: JDP
 CHECKED BY: MPH

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DESIGN REVIEW SUBMITTAL
 7/2/22

bhh Partners
 P.O. BOX 931 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880

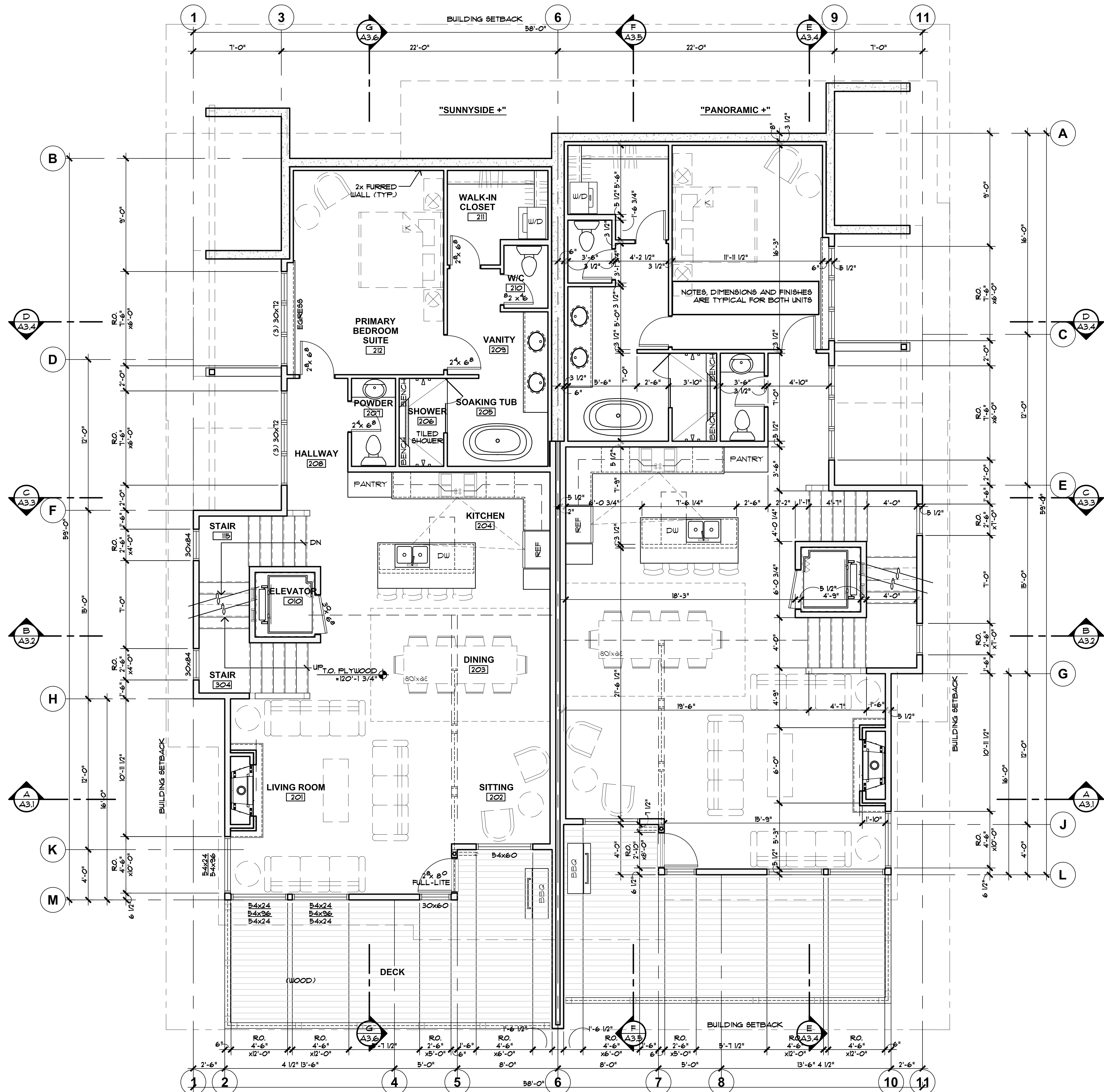
LAKOTA RESERVE - BUILDING 10
 213 AND 215, LAKOTA PARK DRIVE, TOWN OF WINTER PARK, COLORADO

© 2022

SHEET NUMBER:

BUILDING 10
A1.1
 MID LEVEL PLAN

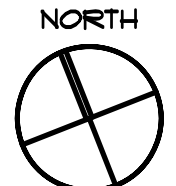
NORTH



MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"

1321 SF - FINISHED
1321 SF - TOTAL



REVISIONS:
JOB NO: 5180.10
DATE: 7/2/22
DRAWN BY: JDP
CHECKED BY: MPH
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DESIGN REVIEW SUBMITTAL
1/2/22

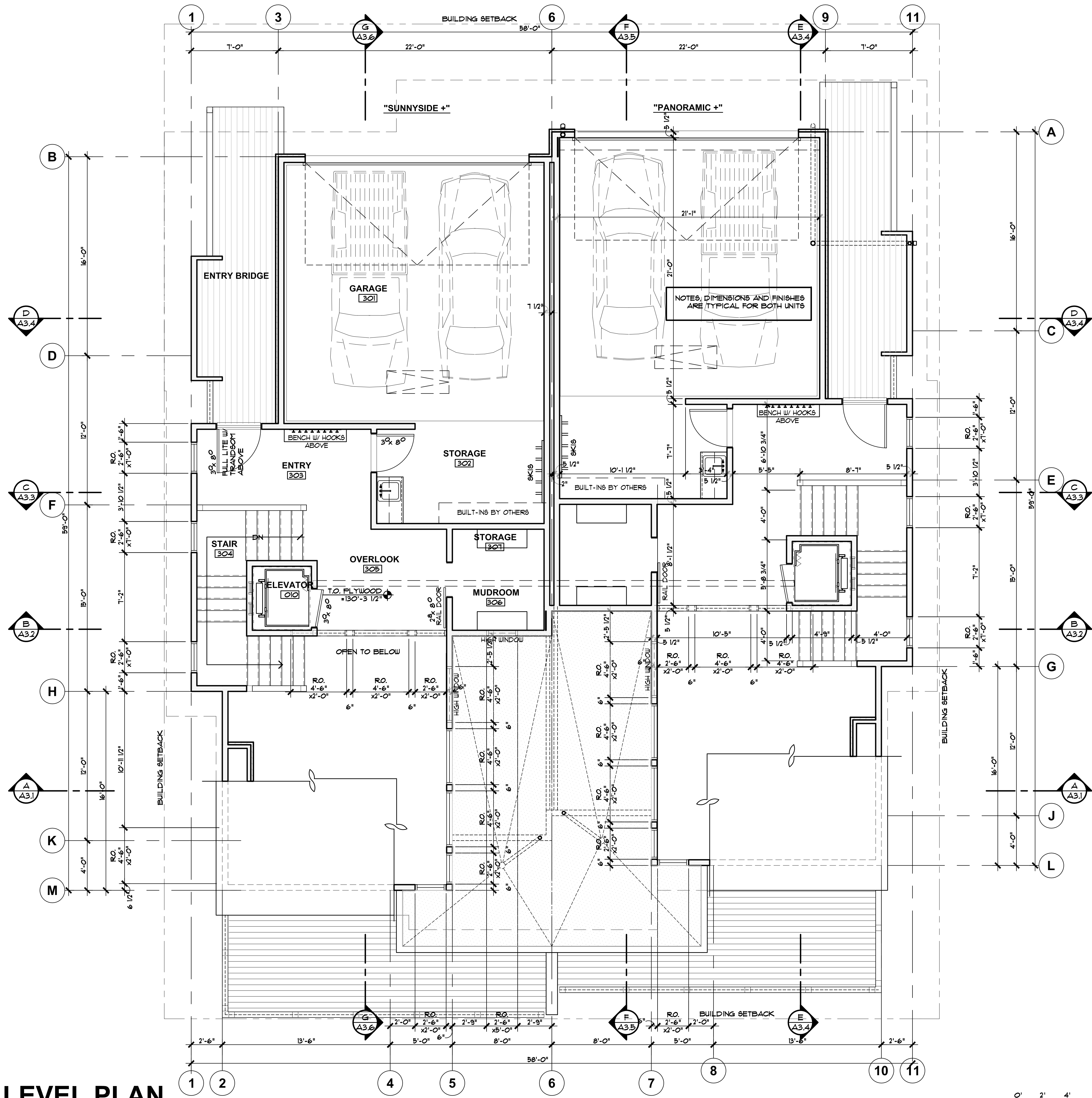
bhh Partners
P.O. BOX 931 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880

LAKOTA RESERVE - BUILDING 10
213 AND 215, LAKOTA PARK DRIVE, TOWN OF WINTER PARK, COLORADO

© 2022
SHEET NUMBER:
BUILDING 10
A1.2
MAIN LEVEL PLAN

ENTRY LEVEL PLAN

SCALE: 1/4" = 1'-0"



REVISIONS:

JOB NO: 5180.10
 DATE: 7/22/22
 DRAWN BY: JDP
 CHECKED BY: MPH

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DESIGN REVIEW SUBMITTAL
 1/2/22

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 BRECKENRIDGE, CO 80424 (970) 453-6880

LAKOTA RESERVE - BUILDING 10

213 AND 215, LAKOTA PARK DRIVE, TOWN OF WINTER PARK, COLORADO

© 2022
 SHEET NUMBER:
BUILDING 10
A1.3
 ENTRY LEVEL PLAN

MAINTENANCE NOTE:

MAINTENANCE NOTE:
THE OWNER HAS BEEN ADVISED THAT ALL ROOF AND DECK SURFACES MUST BE MAINTAINED RELATIVELY FREE OF SNOW & ICE.

ROOFING NOTE:

REFER TO SPECIFICATIONS. PROVIDE ROOF PRIMER, ROOF MEMBRANE AND ALL ROOFING PER SPECIFICATION REQUIREMENTS. PROVIDE "WR. GRACE" MANUFACTURER CERTIFICATION LETTER STATING THAT ALL MEMBRANES HAVE BEEN INSTALLED IN COMPLETE COMPLIANCE WITH ALL MANUFACTURER'S REQUIREMENTS.

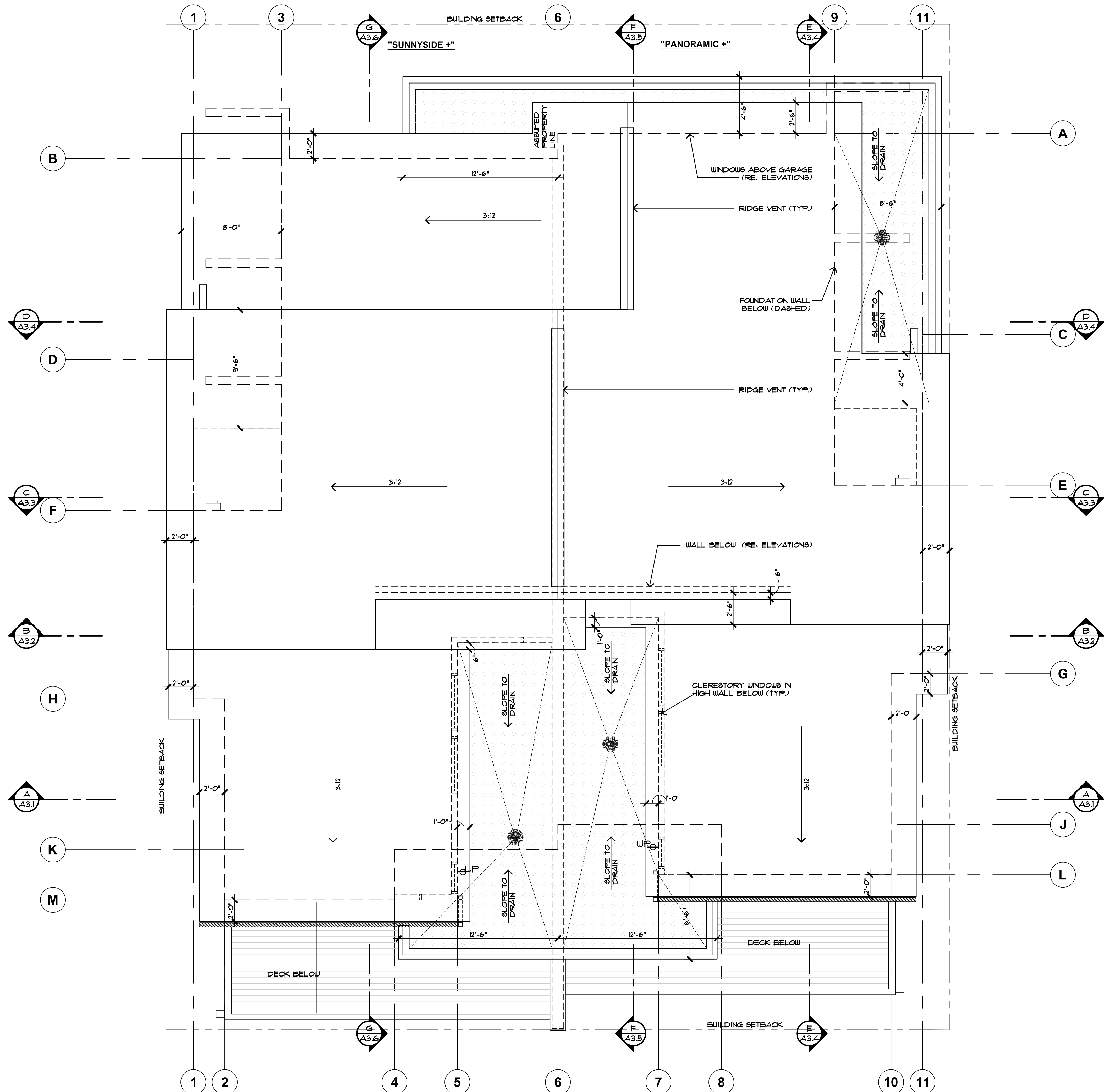
ROOF DRAINAGE:
ALL ROOFS AND DOWNSPOUTS TO DISCHARGE WATER TO RIP RAP AREAS AND NOT TO PAVED, WALKS OR PATIO AREAS. COORDINATE WITH CIVIL AND SOILS ENGINEER FOR DETAILED SITE DRAINAGE. SLOPE ALL GRADES AWAY FROM BUILDING PER SPECS AND GENERAL NOTES.

COLD ROOF NOTE:

THIS PROJECT INCLUDES A "COLD ROOF" DESIGN. PROVIDE INSULATION BAFFLES AT ALL RAFTER SPACES AND HOLD DOWN VALLEY FRAMING TO ENSURE AIRFLOW ABOVE ALL VALLEYS. THIS INCLUDES FLUSH VALLEYS (SEE DETAIL). IF NECESSARY DRILL HOLES FOR VENTILATION AS APPROVED BY THE STRUCTURAL ENGINEER. THIS INCLUDES BEAMS AND ALL AREAS THAT RESTRICT AIR FLOW FROM SOFFIT VENTS UP TO RIDGE VENTS. PROVIDE 1" DIAMETER HOLES @ 8" O.C. IN THESE AREAS. RETAIN 1 1/2" OF BEAM ABOVE VENTILATION HOLES. VERIFY WITH ENGINEER.

ROOF NOTES:

1. SEE SHEET 9P11 FOR BUILDING HEIGHT CALCULATIONS.
2. PROVIDE HEAT TAPE @ HEATED GUTTERS & DOWNSPOUTS.
3. PAINT ALL EXPOSED PIPING EXTENDING THROUGH ROOF TO MATCH ROOF.
4. PROVIDE VALLEY FLASHING AT ALL VALLEYS
5. OVERHANG DIMENSIONS ARE TO END OF RAFTER/TRUSSSES - SEE DETAILS
6. REFER TO PLAN FOR ALL ROOF OVERHANGS
7. PROVIDE KICK-OUT FLASHING AT ALL EAVE/WALL JUNCTURES.
8. PROVIDE ADDITIONAL SOFFIT OUTLETS FOR HEAT TAPE AT HEATED GUTTERS & SEASONAL LIGHTING - LOCATE PER OWNER INPUT.



ROOF PLAN

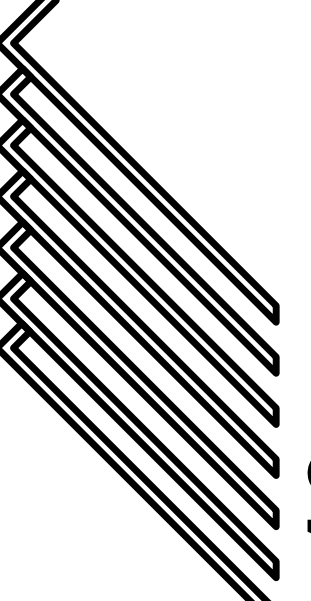
SCALE: 1/4" = 1'-0"

REVISIONS:

JOB NO:	51801.10
DATE:	7/12/22
DRAWN BY:	JDP
CHECKED BY:	MPH

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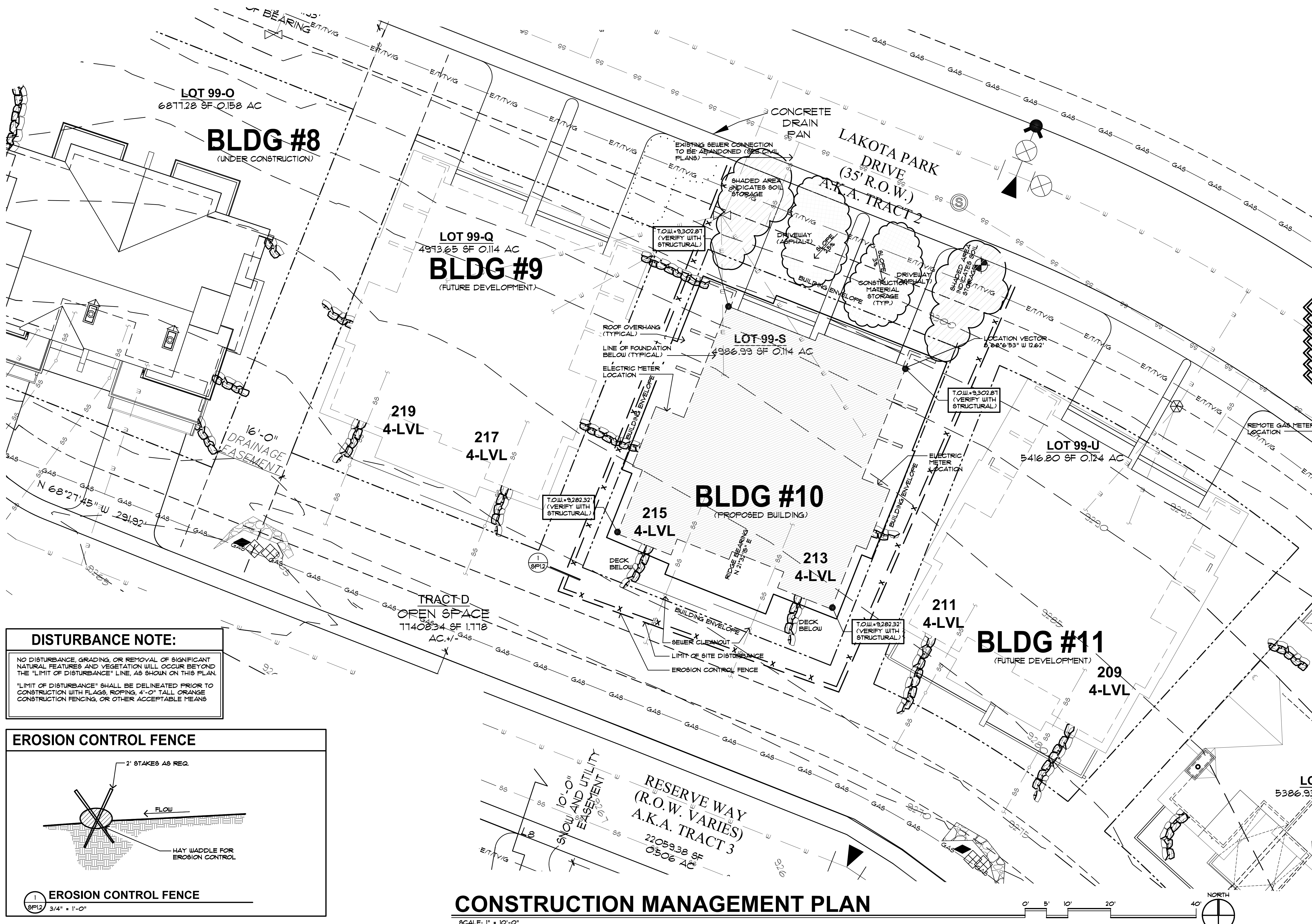
DESIGN REVIEW SUBMITTAL:
7/12/22



LAKOTA RESERVE - BUILDING 10
213 AND 215, LAKOTA PARK DRIVE, TOWN OF WINTER PARK, COLORADO

bh Partners
P.O. BOX 931 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880

© 2022
SHEET NUMBER:
BUILDING 10
A1.4
ENTRY LEVEL PLAN



LOT 99-O
6811.28 SF 0.158 AC

BLDG #8
(UNDER CONSTRUCTION)

LOT 99-Q
4913.65 SF 0.114 AC

BLDG #9
(FUTURE DEVELOPMENT)

LOT 99-S
4986.99 SF 0.114 AC

BLDG #10
(PROPOSED BUILDING)

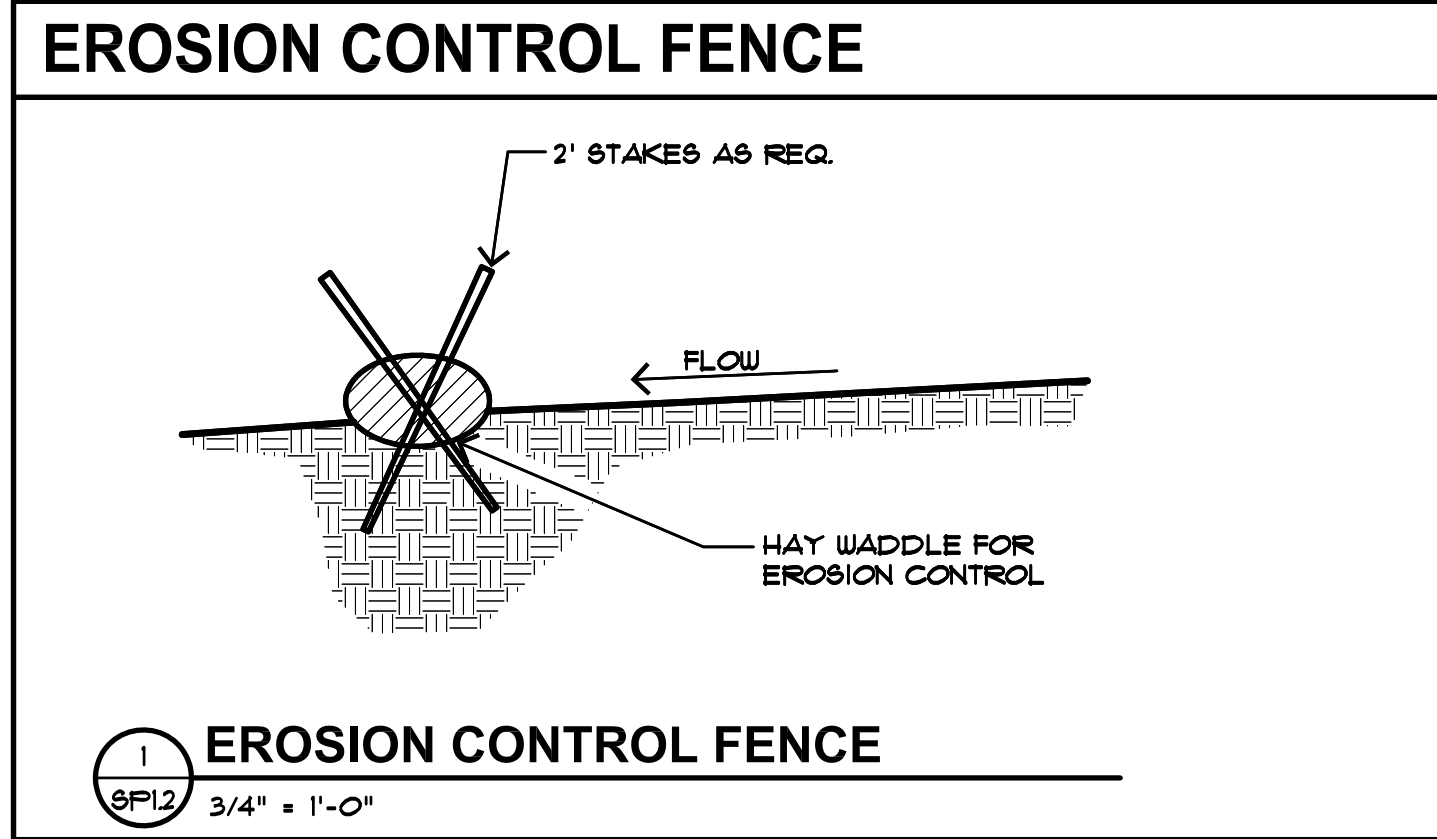
LOT 99-U
5416.80 SF 0.124 AC

BLDG #11
(FUTURE DEVELOPMENT)

TRACT D
OPEN SPACE
11408.34 SF 1.118 AC

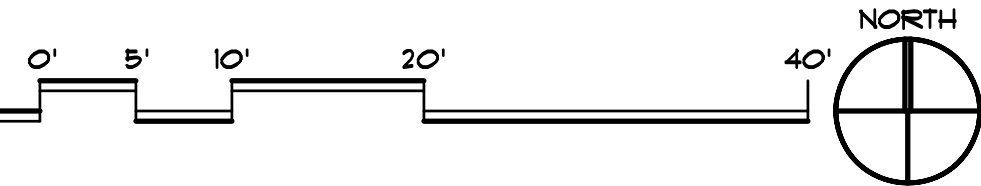
RESERVE WAY
(R.O.W. VARIES)
A.K.A. TRACT 3
22059.38 SF 0.506 AC

DISTURBANCE NOTE:
NO DISTURBANCE, GRADING, OR REMOVAL OF SIGNIFICANT NATURAL FEATURES AND VEGETATION WILL OCCUR BEYOND THE "LIMIT OF DISTURBANCE" LINE, AS SHOWN ON THIS PLAN.
"LIMIT OF DISTURBANCE" SHALL BE DELINEATED PRIOR TO CONSTRUCTION WITH FLAGS, ROPING, 4'-0" TALL ORANGE CONSTRUCTION FENCING, OR OTHER ACCEPTABLE MEANS



CONSTRUCTION MANAGEMENT PLAN

SCALE: 1" = 10'-0"



REVISIONS:

JOB NO: 51801.0
DATE: 7/12/22
DRAWN BY: J.PAULAK
CHECKED BY: M.HOGAN

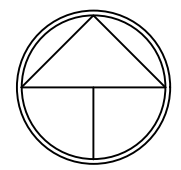
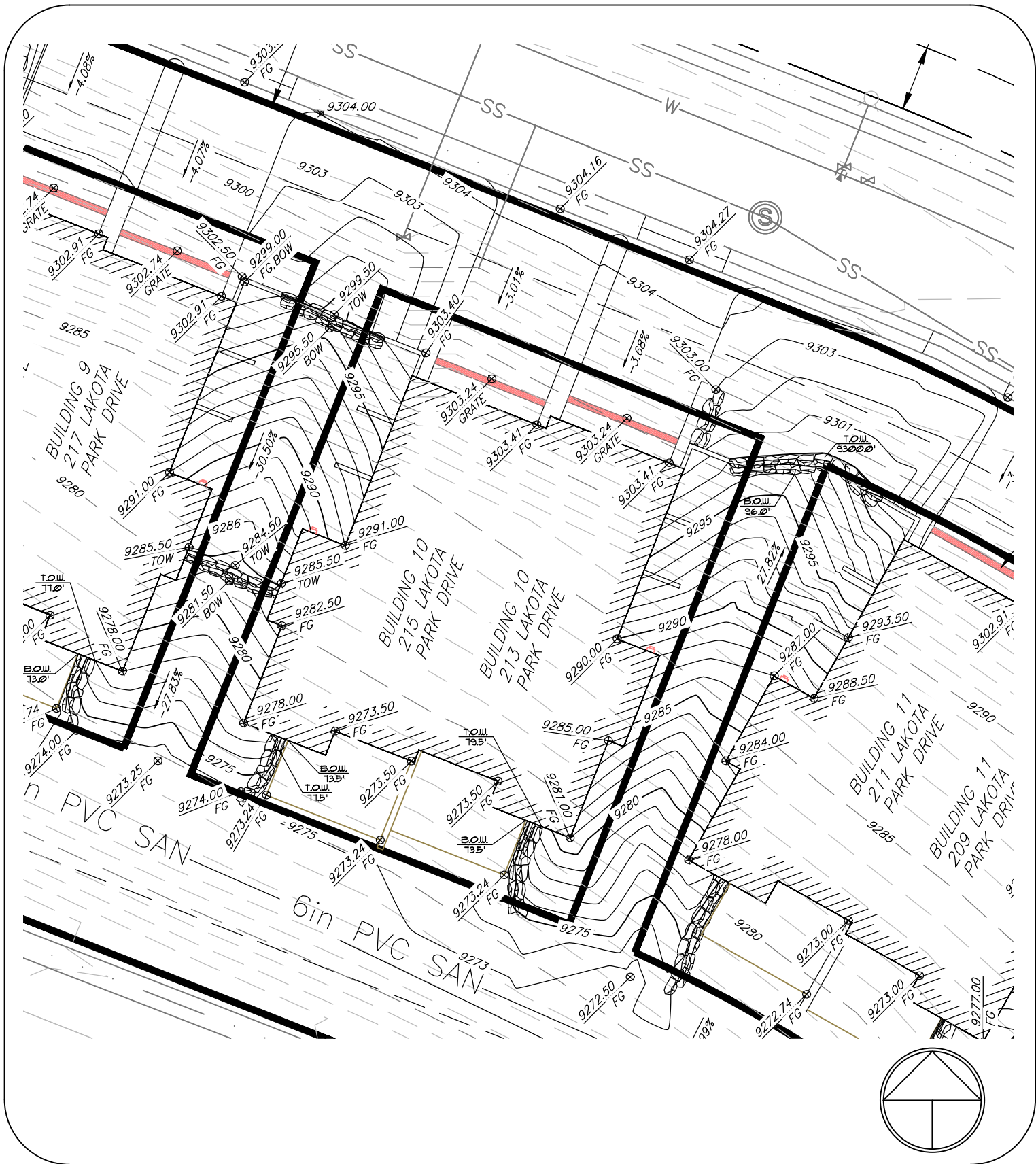
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DESIGN REVIEW SUBMITTAL:
1/2/22

bh Partners
P.O. BOX 931 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 463-6880

LAKOTA RESERVE - BUILDING 10
213 AND 215, LAKOTA PARK DRIVE, TOWN OF WINTER PARK, COLORADO

© 2022
SHEET NUMBER:
**BUILDING 10
CMP**
CONSTRUCTION
MANAGEMENT PLAN



Project:
LAK: 1923.00

Date:
7/11/22

Scale:
1"=20'

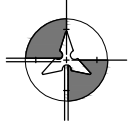
Designed By:
MBW

LAKOTA RESERVE

RESERVE BUILDING 10
PRELIM. GRADING

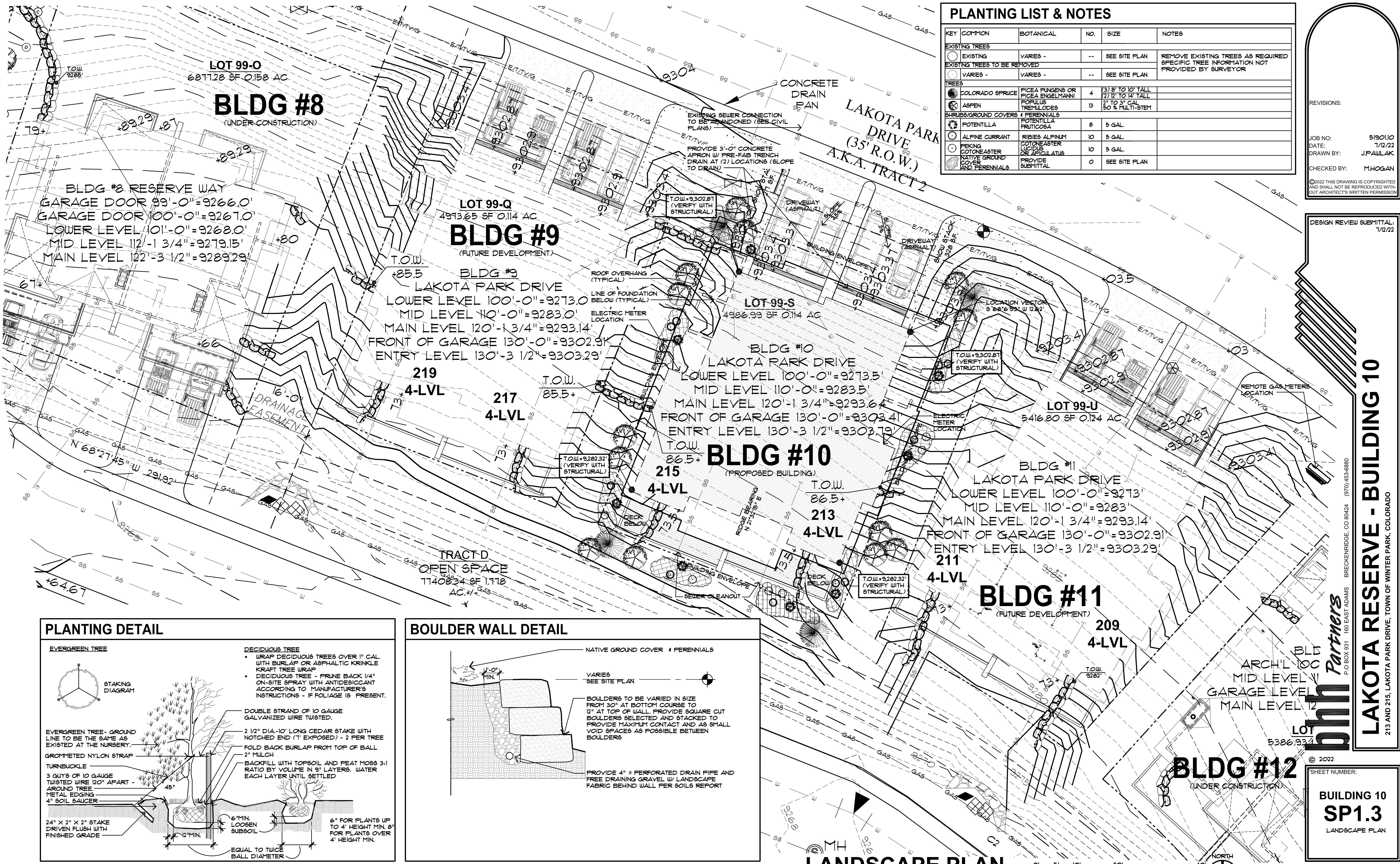
WOHNRADE CIVIL ENGINEERS, INC.

11582 Colony Row
Broomfield, Colorado, 80021
Phone: (720)259-0965, Fax: (720)259-1519



1
Sheet

1
Sheets



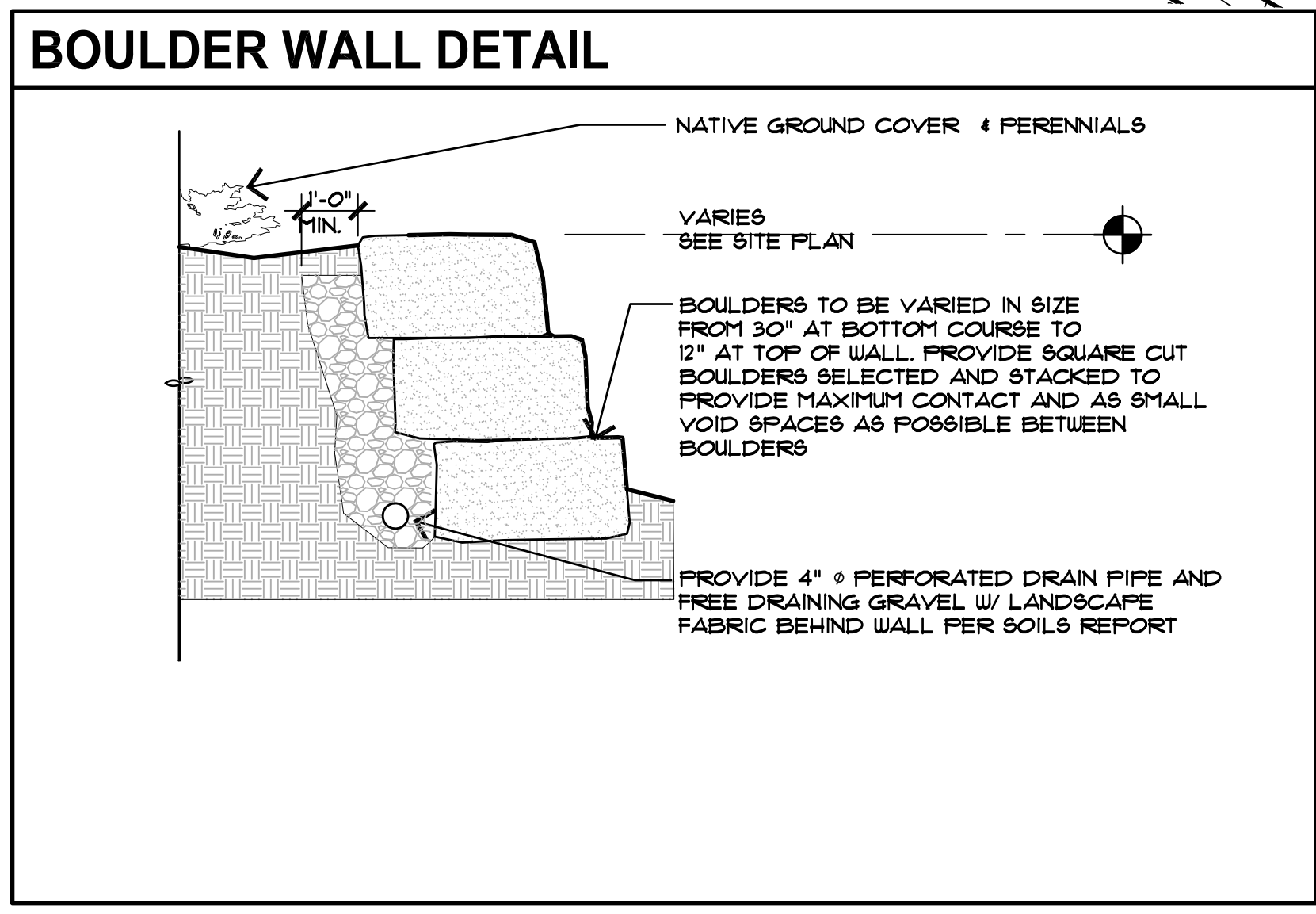
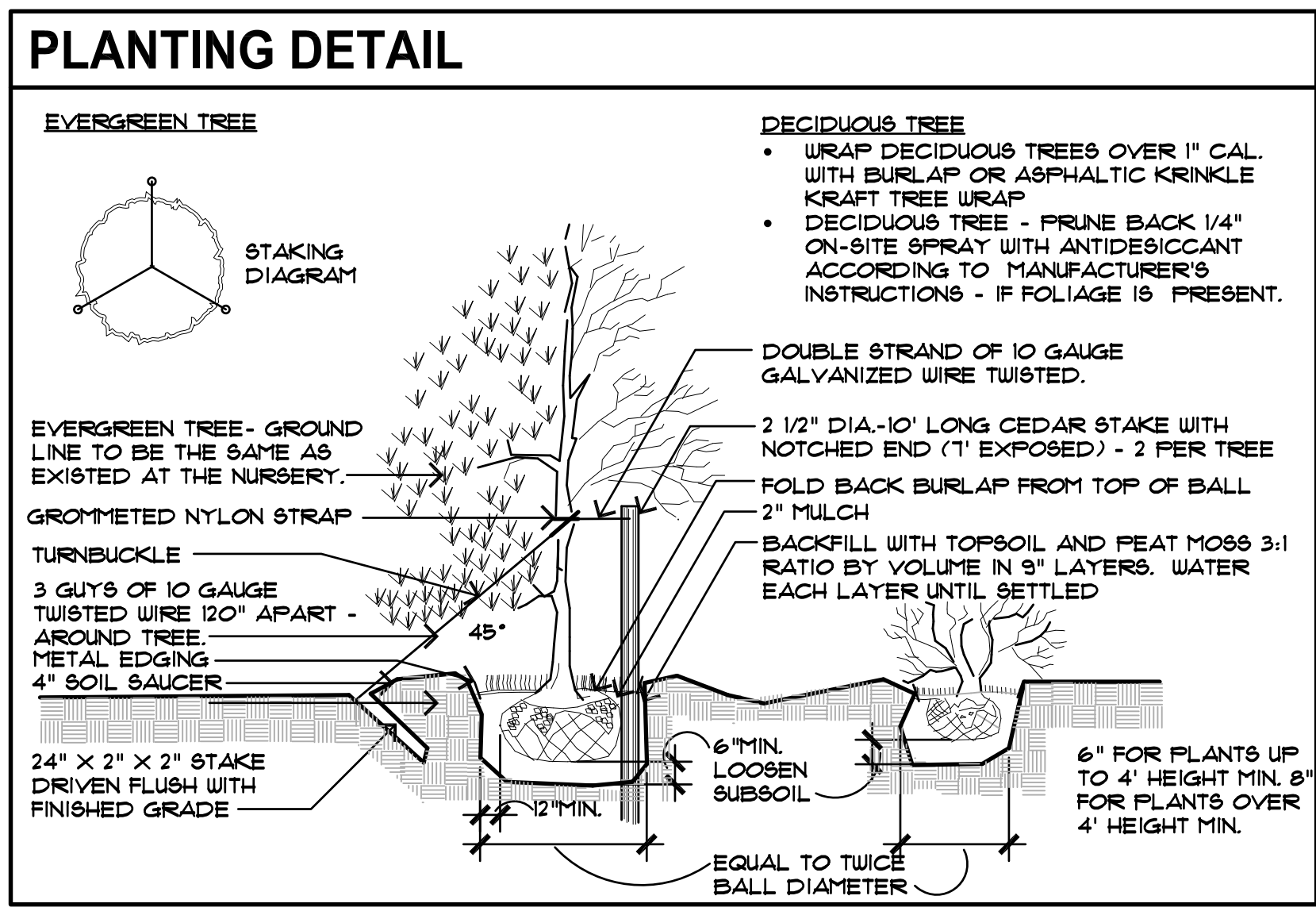
PLANTING LIST & NOTES

KEY	COMMON	BOTANICAL	NO.	SIZE	NOTES
EXISTING TREES					
○	EXISTING	VARIABLES -	--	SEE SITE PLAN	REMOVE EXISTING TREES AS REQUIRED
○	EXISTING TREES TO BE REMOVED	VARIABLES -	--	SEE SITE PLAN	SPECIFIC TREE INFORMATION NOT PROVIDED BY SURVEYOR
○	VARIABLES -	VARIABLES -	--	SEE SITE PLAN	
TREES					
●	COLORADO SPRUCE	PICEA FENSIS OR PICEA ENGELMANNI	4	(3) 8' TO 10' TALL (1) 12' TO 14' TALL	
●	ASPEN	POPULUS TREMULOIDES	13	2" TO 3" CAL 50% MULTI-STEM	
SHRUBS/GROUND COVERS					
○	POTENTILLA	POTENTILLA FRUTICOSA	8	5 GAL.	
○	ALPINE CURRANT	RIBES ALPINUM	8	5 GAL.	
○	PEKING COTONEASTER	COTONEASTER LUCIDUS	10	5 GAL.	
○	NATIVE GROUND COVER AND PERENNIALS	VARIOUS SUBMITTALS	0	SEE SITE PLAN	

REVISIONS:

JOB NO: 5180110
 DATE: 7/12/22
 DRAWN BY: J.PAULAK
 CHECKED BY: M.HOGAN

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LANDSCAPE PLAN

SCALE: 1" = 10'-0"

SEE CIVIL PLANS FOR GRADING, DRAINAGE, AND UTILITY INFORMATION

DESIGN REVIEW SUBMITTAL: 7/12/22

John Partners
 P.O. BOX 931 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880

LAKOTA RESERVE - BUILDING 10
 213 AND 215, LAKOTA PARK DRIVE, TOWN OF WINTER PARK, COLORADO

© 2022

SHEET NUMBER:
BUILDING 10
SP1.3
 LANDSCAPE PLAN



BUILDING NO.	LOWER LEVEL	MID. LEVEL	MAIN LEVEL	GARAGE LEVEL
1	9259.35	N/A	9269.50	9269.00
2	9247.35	9257.35	9267.50	9267.00
3	9246.00	9256.00	9266.00	9265.50
4	9249.60	9259.60	9269.75	9269.50
5	9262.90	N/A	9273.05	9272.80
6	9275.00	9286.15	9296.29	9273.00-9274.00
7	9270.50	9283.65	9293.70	9270.00-9271.00
8	9268.00	9279.15	9289.29	9266.00-9267.00

- GENERAL GRADING NOTES:**
- MAXIMUM SLOPE ON DRIVEWAYS= 5.0% (TYP).
 - SLOPE PAVED SURFACES A MINIMUM OF 2.0% AWAY FROM THE BUILDING. SLOPE VEGETATED SURFACES A MINIMUM OF 5.0% AWAY FROM THE BUILDING FOR THE FIRST 10'.
 - THE TOPOGRAPHIC SURVEY HAS BEEN PROVIDED BY OTHERS. WOHNRADÉ CIVIL ENGINEERS, INC. ASSUMES NO RESPONSIBILITY FOR VERIFYING THE ACCURACY OF THIS INFORMATION.
 - ** DRIVEWAY DRAINS TOWARDS THE BUILDING RATHER THAN OUT TO THE STREET. SEE ARCHITECTURAL PLANS FOR TRENCH GRATE DETAIL.

LEGEND

- 12in PVC W — PROPOSED WATER MAIN
- PROPOSED GATE VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED THRUST RESTRAINT
- 0.75in TYPE K — PROPOSED WATER SERVICE
- 8in PVC SAN — PROPOSED SEWER MAIN
- 6in PVC SAN — PROPOSED SEWER SERVICE
- 18in RCP STRM — PROPOSED STORM SEWER OR CULVERT
- 18in RCP STRM — PROPOSED STORM SEWER W/ INLET
- PROPOSED SWALE
- PROPERTY BOUNDARY
- IRR — PROPOSED NON-POTABLE WATER
- SS — EXISTING SEWER MAIN
- W — EXISTING WATER MAIN
- EXISTING FIRE HYDRANT
- EXISTING POWER POLE
- EXISTING POWER POLE W/ GUY WIRE
- UE — EXISTING UNDERGROUND ELECTRIC
- G — EXISTING UNDERGROUND GAS
- CATV — EXISTING UNDERGROUND CABLE LINES
- OHP — EXISTING POWER LINES
- T — EXISTING TELEPHONE LINES
- EXISTING TELEPHONE PEDESTAL
- EXISTING STREET LIGHT
- EXISTING POWER VAULT
- EXISTING STORM SEWER AND INLET
- EXISTING STREET SIGN
- X — EXISTING FENCE
- EXISTING MAILBOX
- EXISTING SPOT ELEVATION
- 4650.00 — PROPOSED SPOT ELEVATION
- 5267.38 FL — PROPOSED SPOT ELEVATION
- IP — ROCK SOCK INLET PROTECTION
- IP — CULVERT INLET PROTECTION
- SCL — SEDIMENT CONTROL LOG (9" DIA.)
- SF — SILT FENCE
- OP — ROCK RIPRAP OUTLET PROTECTION
- PS — PERMANENT SEEDING AND MULCH (SEE GENERAL NOTES SHEET FOR SEED SPECIFICATION)
- VTC — VEHICLE TRACKING CONTROL
- CWA — CONCRETE WASHOUT AREA
- ASPHALT PAVING

MATCHLINE SHEET 8

ALL UTILITY NOTIFICATION CENTER OF COLORADO

Know what's below. Call before you dig.

ALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE WORKING OF UNDERGROUND MEMBER UTILITIES.

No.	Revisions	By:	Date:
1	RESERVE BLDGS 3 & 4 SPOT ELEV'S	MBW	8/7/2020
3	NORTHWOODS BLDG 3 GRADING	MBW	10/6/2020
4	NORTHWOODS BLDG 3 GRADING	MBW	12/14/2020
7	ADD DRIVEWAY SLOPES BLDGS 6-7	MBW	3/23/2021
9	27' EASEMENT- RESERVE LOT LINES	MBW	5/11/2021
10	ADD DRIVEWAY SLOPES BLDG 8	YSG	8/31/2021

LAKOTA RESERVE AND NORTHWOODS @ LAKOTA WINTER PARK, COLORADO GRADING AND EROSION CONTROL PLAN

WOHNRADÉ CIVIL ENGINEERS, INC.

11502 Colony Row
Broomfield, Colorado 80027
Phone: (720)258-1519

Project: LAK-1923.00
Date: 3/11/2021
Scale: 1/30'
Designed By: YSG
Reviewed By: MBW

9 Sheet
18 Sheets

LOT 99-K
2,221 SF, 0.005 AC.
502 RESERVE WAY
ARCH'L 100'-0" x 9274.0'
MAIN LEVEL 122'-3 1/2" + 9296.29'

LOT 99-L
2,662.17 SF, 0.006 AC.
500 RESERVE WAY
ARCH'L 99'-0" x 9273.0'
MAIN LEVEL 122'-3 1/2" + 9296.29'

LOT 99-N
3,059.14 SF, 0.011 AC.
400 RESERVE WAY
ARCH'L 99'-0" x 9270.0'
MAIN LEVEL 122'-3 1/2" + 9293.29'

LOT 99-P
3,522.25 SF, 0.008 AC.
300 RESERVE WAY
ARCH'L 100'-0" x 9261.0'
MAIN LEVEL 122'-3 1/2" + 9289.29'

LOT 99-R
2,480.16 SF, 0.006 AC.
211 LAKOTA PARK DRIVE
LOWER LEVEL ARCH'L 100'-0" x 9273.0'
MID LEVEL 110'-0" + 9283.0'
MAIN LEVEL 120'-1 3/4" + 9293.14'
GARAGE DOOR 130'-0" x 9302.91'
ENTRY LEVEL 130'-3 1/2" + 9303.29'

LOT 99-T
2,493.55 SF, 0.007 AC.
213 LAKOTA PARK DRIVE
LOWER LEVEL ARCH'L 100'-0" x 9273.5'
MID LEVEL 110'-0" + 9283.5'
MAIN LEVEL 120'-1 3/4" + 9293.64'
GARAGE DOOR 130'-0" x 9303.41'
ENTRY LEVEL 130'-3 1/2" + 9303.19'

LOT 99-V
2,832.16 SF, 0.006 AC.
209 LAKOTA PARK DRIVE
LOWER LEVEL ARCH'L 100'-0" x 9273.0'
MID LEVEL 110'-0" + 9283.0'
MAIN LEVEL 120'-1 3/4" + 9293.14'
GARAGE DOOR 130'-0" x 9302.91'
ENTRY LEVEL 130'-3 1/2" + 9303.29'

LOT 99-W
2,496.43 SF, 0.007 AC.
201 LAKOTA PARK DRIVE
LOWER LEVEL ARCH'L 100'-0" x 9273.35'
MID LEVEL 110'-0" + 9283.35'
GARAGE DOOR 130'-0" x 9302.91'
MAIN LEVEL 120'-1 3/4" + 9293.5'

LOT 99-Q
2,493.43 SF, 0.007 AC.
219 LAKOTA PARK DRIVE
LOWER LEVEL ARCH'L 100'-0" x 9273.5'
MID LEVEL 110'-0" + 9283.5'
MAIN LEVEL 120'-1 3/4" + 9293.14'
GARAGE DOOR 130'-0" x 9302.91'
ENTRY LEVEL 120'-3 1/2" + 9303.29'

LOT 99-S
2,493.44 SF, 0.007 AC.
215 LAKOTA PARK DRIVE
LOWER LEVEL ARCH'L 100'-0" x 9273.5'
MID LEVEL 110'-0" + 9283.5'
MAIN LEVEL 120'-1 3/4" + 9293.64'
GARAGE DOOR 130'-0" x 9302.91'
ENTRY LEVEL 130'-3 1/2" + 9303.19'

LOT 99-U
2,584.04 SF, 0.009 AC.
211 LAKOTA PARK DRIVE
LOWER LEVEL ARCH'L 100'-0" x 9273.0'
MID LEVEL 110'-0" + 9283.0'
MAIN LEVEL 120'-1 3/4" + 9293.14'
GARAGE DOOR 130'-0" x 9302.91'
ENTRY LEVEL 130'-3 1/2" + 9303.29'

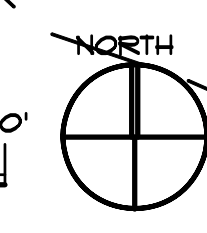
LOT 99-X
2,830.5 SF, 0.006 AC.
205 LAKOTA PARK DRIVE
LOWER LEVEL ARCH'L 100'-0" x 9273.35'
MID LEVEL 110'-0" + 9283.35'
GARAGE DOOR 130'-0" x 9302.91'
MAIN LEVEL 120'-1 3/4" + 9293.5'

BUILDING MATRIX	
BUILDING TYPE	UNITS
DOWN SLOPE 4 LEVEL	3 BLDGS (6 UNITS)
DOWN SLOPE 3 LEVEL	3.5 BLDGS (7 UNITS)
DOWN SLOPE 2 LEVEL	2.5 BLDGS (5 UNITS)
UP SLOPE	3 BLDGS (6 UNITS)

12 BLDGS (24 UNITS)

OVERALL SITE PLAN

SCALE: 1" = 20'-0"



REVISIONS:
JOB NO: 51801.10
DATE: 7/12/22
DRAWN BY: J PAULAK
CHECKED BY: M HOGAN
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DESIGN REVIEW SUBMITTAL: 1/2/22

bh Partners

LAKOTA RESERVE - BUILDING 10

213 AND 215, LAKOTA PARK DRIVE, TOWN OF WINTER PARK, COLORADO

© 2022
SHEET NUMBER:
BUILDING 10
SP1.1
OVERALL SITE PLAN

SITE NOTES

- ELECTRIC, CABLE T.V. AND TELEPHONE UNDERGROUND IN COMMON TRENCH
- VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND
- TOPOGRAPHIC INFORMATION OBTAINED FROM TIM SHENK LAND SURVEYING LLC, JOB# 18001
- PROVIDE POSITIVE DRAINAGE AT BUILDING PERIMETER (SLOPE AWAY FROM BUILDING AT 1/2 MIN)
- REFER TO FOUNDATION PLAN FOR FOUNDATION DRAIN LOCATION AND SLOPE. DRAINS TO BE SLOPED TO DAYLIGHT TO NATURAL TRENCH
- FLAG ALL TREES FOR OWNER PRIOR TO THINNING OR REMOVING
- PROTECT ALL REMAINING TREES WITH SNOW FENCE OR OTHER APPROVED BARRIER DURING CONSTRUCTION
- PROVIDE 6" DIA. STONE RIP RAP OVER WEED BARRIER FABRIC AT EAVES AND VALLEY DRIP LOCATIONS
- STAKE HOUSE LOCATION FOR OWNER, ARCHITECT, AND ARCHITECTURAL REVIEW BOARD PRIOR TO ANY WORK
- GENERAL CONTRACTOR TO REVIEW & COMPLY WITH ALL SUBDIVISION CONDITIONS. COPIES OF CONDITIONS ARE AVAILABLE FROM ARCHITECT
- DRIVEWAY SHOWN AS MAX. 25% SLOPE FOR FIRST 20' FROM ROAD EDGE OF PAVEMENT OR AS REQUIRED.
- TREES TO BE REMOVED TO ALLOW 10' BETWEEN CANOPIES WITH EXCEPTION OF CLUSTERS TO BE APPROVED BY T.O.W.P.

CONTOUR LEGEND

EXISTING CONTOUR	9.316'
PROPOSED CONTOUR	9.310'
SPOT GRADE	+9.314
ARROW INDICATES DIRECTION OF SURFACE DRAINAGE	

CIVIL DESIGN NOTE

NOTE: THIS SITE PLAN IS DIAGRAMATIC. SEE CIVIL PLANS FOR GRADING, DRAINAGE, AND UTILITY WORK. ALL REMAINING WALLS (HEIGHTS AND LOCATIONS) TO BE CONFIRMED WITH CIVIL PLANS.

LOT 99 SUBDIVIDED

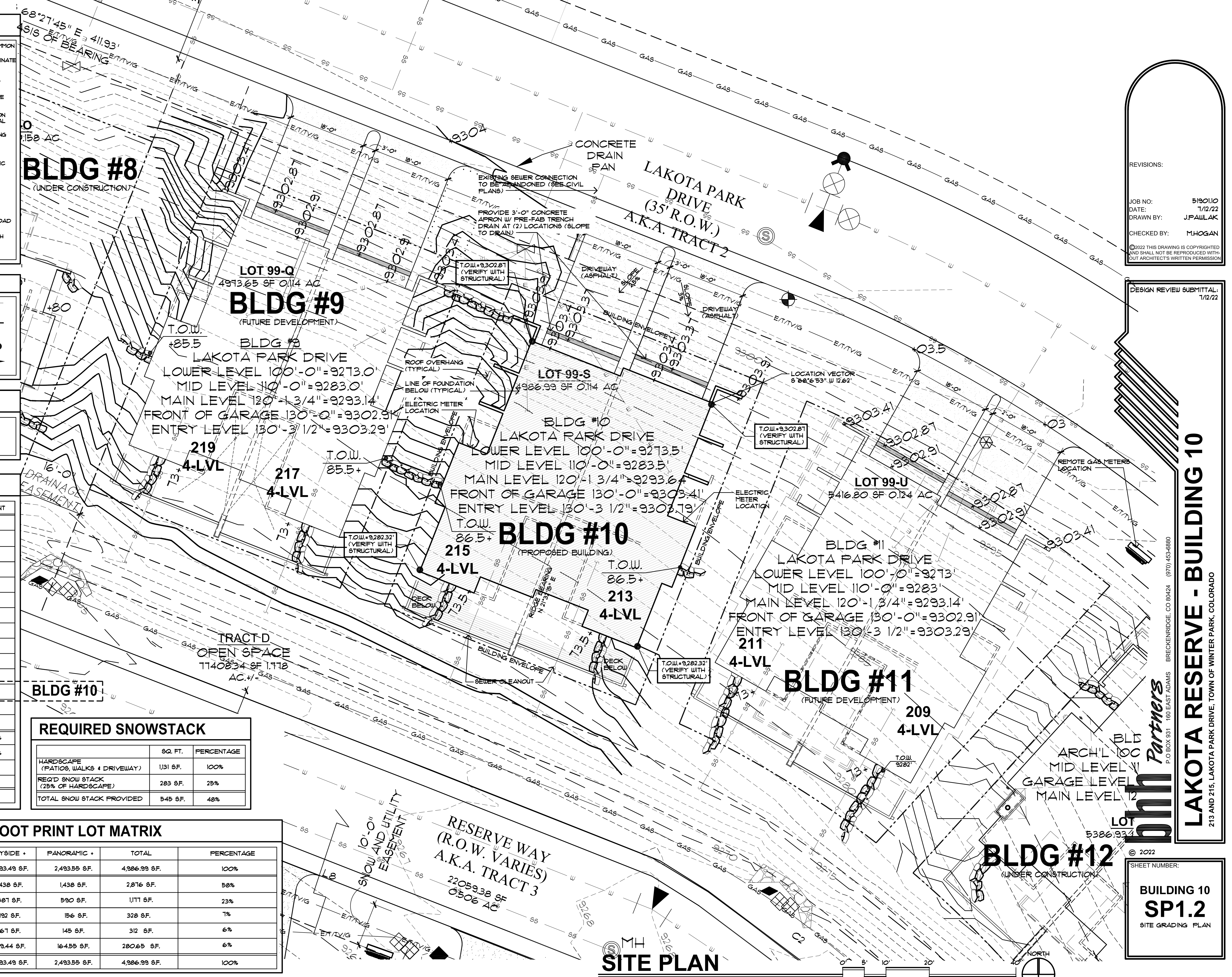
LOT	LOT SIZE (SF)	ACRES	PERCENT
LOT 'A'	2,349.59 SF.	.054 AC	1.41%
LOT 'B'	2,326.50 SF.	.061 AC	1.15%
LOT 'C'	3,381.63 SF.	.078 AC	1.65%
LOT 'D'	4,082.01 SF.	.094 AC	1.91%
LOT 'E'	5,883.44 SF.	.135 AC	3.53%
LOT 'G'	5,174.54 SF.	.119 AC	3.11%
LOT 'H'	5,334.66 SF.	.124 AC	3.24%
LOT 'K'	4,889.11 SF.	.112 AC	2.93%
LOT 'M'	6,131.48 SF.	.141 AC	3.68%
LOT 'O'	6,871.28 SF.	.158 AC	4.13%
LOT 'Q'	4,973.65 SF.	.114 AC	2.98%
LOT 'S'	4,986.99 SF.	.114 AC	2.98%
LOT 'U'	5,416.80 SF.	.124 AC	3.23%
LOT 'W'	5,386.93 SF.	.124 AC	3.23%
MULTI-FAMILY LOTS	66,116 SF.	1.522 AC	39.16%
TRACT D OPEN SPACE	11,408 SF.	1.118 AC	39.16%
RESERVE WAY TRACT 3	22,059 SF.	5.06 AC	13.22%
TRACT 3A	956 SF.	.022 AC	.51%
TOTAL	166,539 SF.	3.828 AC	100%

REQUIRED SNOWSTACK

	SQ. FT.	PERCENTAGE
HARDSCAPE (PATIOS, WALKS & DRIVEWAY)	1,131 SF.	100%
REQ'D SNOW STACK (25% OF HARDSCAPE)	283 SF.	25%
TOTAL SNOW STACK PROVIDED	545 SF.	48%

SITE DATA - BUILDING #10 FOOT PRINT LOT MATRIX

	SUNNYSIDE +	PANORAMIC +	TOTAL	PERCENTAGE
LOT AREA	2,493.49 SF.	2,493.55 SF.	4,986.99 SF.	100%
BUILDING FOOTPRINT	1,438 SF.	1,438 SF.	2,876 SF.	58%
ROOF OVERHANGS	581 SF.	590 SF.	1,171 SF.	23%
PAVING HARDSCAPES	132 SF.	156 SF.	328 SF.	7%
PATIO HARDSCAPES AND DECKS	167 SF.	145 SF.	312 SF.	6%
OPEN SPACE	109.44 SF.	164.55 SF.	280.65 SF.	6%
TOTAL	2,493.49 SF.	2,493.55 SF.	4,986.99 SF.	100%



REVISIONS:
 JOB NO: 51801.10
 DATE: 7/12/22
 DRAWN BY: J.P. PAULAK
 CHECKED BY: M. HOGAN
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DESIGN REVIEW SUBMITTAL: 1/2/22

LAKOTA RESERVE - BUILDING 10
 213 AND 215, LAKOTA PARK DRIVE, TOWN OF WINTER PARK, COLORADO

© 2022
 SHEET NUMBER:
BUILDING 10 SP1.2
 SITE GRADING PLAN

SITE PLAN

SCALE: 1" = 10'-0"

SEE CIVIL PLANS FOR GRADING, DRAINAGE, AND UTILITY INFORMATION



ARIA

MEDIUM WALL MOUNT LANTERN

2304BK

Aria is a contemporary style that effortlessly complements the facade of any exterior. Its modern shape in durable aluminum is enhanced by a stainless steel mesh shade. Aria's high style and low maintenance comes standard Dark Sky compliant.

FINISH: Black

WIDTH: 5.3"

HEIGHT: 18.5"

LIGHT SOURCE: Socket

WATTAGE: 1-100w Med.

HINKLEY

HINKLEY
33000 Pin Oak Parkway
Avon Lake, OH 44012

PHONE: (440) 653-5500
Toll Free: 1 (800) 446-5539

hinkley.com



MEMO

TO Planning Commission
FROM Hugh Bell, Planner
THROUGH James Shockey, Community Development Director
DATE July 26, 2022
RE Minor Site Planning Application – Lot 99-Q, Reserve at Lakota Park Subdivision – 217 and 219 Lakota Park Drive (PLN22-071)

Applicant: Todd Mohr on behalf of Windham Project Services Ltd.

Owner: PMWP Development Company

Architect: BHH Partners, Planners, and Architects

Zoning: R-2 (Multiple Family) with P-D underlay

Authority:

Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Planning Commission considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park. Design approval is required before building permit issuance.

Variance:

No administrative variance requests are included with the application. A Board of Adjustment (BOA) variance request was approved on June 14, 2022 allowing applicant to increase maximum midpoint building height from 35'-0" to 40'-9" and to increase maximum overall building height from 42'-0" to 44'-7".

Architectural:

New single-family attached home on vacant land with four (4) garage spaces and a building footprint of 2,876 sq. ft.

Title Commitment:

Satisfactory.

Homeowner's Association Review:

Satisfactory. The Lakota East Owners Association provided approval in a letter dated July 18, 2022.

Material and Color:

Satisfactory.

Outdoor Lighting:

Unsatisfactory. One (1) fixture is proposed but does not contain the International Dark Sky Association (IDA) approval stamp. The Correlated Color Temperature (CCT) is not indicated but it shall not exceed 3,000 Kelvin. Lumens are not indicated but the entire property shall not exceed 5,100 lumens, and each fixture shall not exceed 850 lumens. Photometric plans are not required for single-family homes.

Fixture Name	Proposed # of Fixtures	Proposed Lumens	Proposed CCT
Hinkley Aria Medium Wall Mount Lantern	10	?	?

- In accordance with Article 3.K, *Outdoor Lighting* from the UDC, Applicant shall submit specification sheet for all proposed outdoor lighting fixtures, which shall be IDA approved, shall not exceed 850 lumens per fixture, and whose bulb CCT shall not exceed 3,000K.

Accessory Dwelling Unit (ADU):

N/A. No ADU is contemplated.

Site Plan:

Satisfactory.

Floorplans:

Satisfactory.

Building Elevations:

Satisfactory.

Setbacks:

Satisfactory. As referenced in Ordinance 356 for Tract G, since this lot is in R-2 (P-D), the setbacks from right-of-way edge or private access easements to buildings are: 20' front setback (for front-loaded garage structures), 5' side setbacks (three feet (3') are added to each required side yard for each story above the first story of any building) and 15' rear setback.

Building Coverage:

Satisfactory. Proposed building coverage is ~94% but per Note 27 from the Reserve Final Plat (Reception No. 2020011191) building coverage is calculated across the entire Reserve Subdivision. Area of all multifamily lots in the Reserve Subdivision comprise 40.85%, but because each lot is not covered entirely by dwelling units and improvements, the building coverage ratio is less than 40%.

Building Height:

Satisfactory. See "Variance" above.

Parking:

Satisfactory. Four (4) off-street parking spaces are provided per DU, which exceeds the two (2) space minimum.

Bufferyards and Revegetation:

Partially satisfactory. This property is subject to Bufferyard requirements in accordance with § 3-I-5, *Bufferyards*. All proposed species comply with Article 7.A, *Recommended Plant List*.

Snow storage does not encroach into trees or shrubs.

Bufferyard Requirements								
	Evergreens Required	Evergreens Provided	Deciduous Required	Deciduous Provided	Shrubs Required	Shrubs Provided	Height of Berm	Deficiency
N Boundary – Lakota Park Drive, “Residential Collector” road classification Bufferyard C – 62 linear ft	4.9	2	4.9	5	12.4	6	-	3 Evergreen Trees 6 Shrubs
S Boundary – Reserve Way, “Residential Collector” road classification Bufferyard C – 62 linear ft	4.9	2	4.9	7	12.4	6	-	3 Evergreen Trees 6 Shrubs
E Boundary – Adj. R-2 lot Bufferyard B – 80 linear ft	3.2	2	3.2	7	16	10	-	1 Evergreen Tree 6 Shrubs
W Boundary – Adj. R-2 lot Bufferyard B – 80 linear ft	3.2	2	3.2	4	16	4	-	1 Evergreen Tree 12 Shrubs

- Applicant shall add required plantings to bufferyards outlined in table or shall submit a BOA Variance Request to staff prior to Certificate of Occupancy issuance.
- Any disturbed areas on the site shall be revegetated with the seed mix recommended by the Grand County Natural Resource Conservation Service, which mix composition is described in § 7.4 of the Standards and Specifications for Design and Construction.

Snow Storage:

Satisfactory. 287 sq. ft. (25%) are required and 385 sq. ft. are provided. UDC, § 3-H-5, *Parking Design Standards* requires that a minimum of 25% of all driving surfaces, including gravel shoulders, parking areas, and pedestrian walkways is designated for snow storage.

Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:

Satisfactory.

- Approved drainage and erosion control shall be in place prior to and throughout site preparation and construction and through successful revegetation.

Driveway:

Satisfactory. Maximum slope is 4.5% which is beneath 5%, which is the maximum permitted for the first 24’ of the driveway.

- A stabilized construction entrance shall be installed prior to ground disturbance.

Utility Review: N/A

Wetlands: N/A

Inspection:

Building Division staff have not performed a Pre-Disturbance inspection of the property.

- No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Staff Recommendation:

Staff recommends the Planning Commission approve the Minor Site Planning Application for Lot 99-Q, Reserve at Lakota Park Subdivision – 217 and 219 Lakota Park Drive (PLN22-071) with the following conditions:

1. In accordance with Article 3.K, Outdoor Lighting from the UDC, Applicant shall submit specification sheet for all proposed outdoor lighting fixtures, which shall be IDA approved, shall not exceed 850 lumens per fixture, and whose bulb CCT shall not exceed 3,000K.
2. Applicant shall add required plantings to bufferyards outlined in table or shall submit a BOA Variance Request to staff prior to Certificate of Occupancy issuance.
3. Any disturbed areas on the site shall be revegetated with the seed mix recommended by the Grand County Natural Resource Conservation Service, which mix composition is described in § 7.4 of the Standards and Specifications for Design and Construction
4. Approved drainage and erosion control shall be in place prior to and throughout site preparation and construction and through successful revegetation.
5. A stabilized construction entrance shall be installed prior to ground disturbance.
6. No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Required Permits:

- ✓ Building Permit
- ✓ Driveway Permit
- ✓ SFD/Duplex Deposit Agreement



**SINGLE-FAMILY/TWO-FAMILY ATTACHED (DUPLEX)
DESIGN REVIEW SUBMITTAL CHECKLIST**

This application lists the content and format of the submittal requirements to initiate the Design Review process. **An incomplete application will not be accepted.** A meeting with the Planning Commission is part of the design review process.

ABSOLUTELY NO WORK, INCLUDING TREE REMOVAL, IS TO COMMENCE ON A SITE/LOT UNTIL YOU HAVE RECEIVED APPROVAL FROM THE TOWN PLANNER.

Applications must be received by Town staff no later than two weeks prior to the Planning Commission meeting. The Commission meets on the second and fourth Tuesday of the month at 8 a.m.

Property Address &/or Legal Description: 217 & 219 Lakota Park Drive, Winter Park, Colorado 80482
Lot 99-Q, Final Plat, Reserve at Lakota Park Subdivision

Property Owner: PM Winter Park LLC

Applicant (if other than property owner): Windham Project Services Ltd.

Phone: 303-681-7527 Phone 2: _____ Email: tmohr@windhamltd.com

Applicant's Certification Statement: I, Todd H. Mohr, as Applicant and duly representative of the owner, hereby certify that the information included upon the attached Elevation, Landscape, Site, and Grading Plans are true and accurate; and that the development of the site will occur in accordance with the Plan.

Signature

July 4, 2022
Date

Staff Use Only

Approval Statement: The attached Elevation, Landscape, Site, and Grading Plans have been reviewed by the Planning Division who find that:

- Design Review Fee, \$100: Check # _____ Date Rec'd _____ Initials _____
- Deposit Agreement, \$2,000 deposit: Check # _____ Date Rec'd _____ Initials _____
- Driveway Permit Deposit, \$1,000 deposit: Check # _____ Date Rec'd _____ Initials _____
- Driveway Permit Fee, \$50: Check # _____ Date Rec'd _____ Initials _____
- The Applicant is permitted to proceed to Building Permit review.
- Subject to the following conditions the Applicant is permitted to proceed to Building Permit review:

DENIED, based upon the following reasons:

Town Staff

Date

If you have questions, please call the Planning Division at (970)726-8081, ext. 5

July 4, 2022

Ms. Irene Kilburn
Building & Planning Technician
Town of Winter Park - Community Development
50 Vasquez Road
Winter Park, Colorado 80482

RE: PLN22-047
Design Review Re-Submittal

A. Proposed Project

217 & 219 Lakota Park Drive
Winter Park, Colorado 80482
Lot 99-Q, Final Plat, Reserve at Lakota Park Subdivision

B. Contact Information for Project Participants

1. Owner PMWP Development Company 5490 Nuthatch Road Parker, CO 80134 Matt Schlaepfer: 303-931-0708 matt.schlaepfer@gcgfinancial.com	2. Applicant/ Owner's Representative Windham Project Services Ltd. 7762 Prairie Lake Trail Parker, Colorado 80134 Todd Mohr: 303-681-7527 tmohr@windhamltd.com
3. Homeowner's Association Lakota East HOA c/o Allegiant Management LLC P.O. Box 66 Winter Park, Colorado 80482 Stuart Huster: 970-531-2345 shuster@cbmp.com	4. General Contractor/ Project Manager Big Valley Construction, LLC P.O. Box 1879 Granby, Colorado 80446 Rob Neiberger: 970-887-1533 robn@bigvalleyconstruction.com
5. Architect BHH Partners, Planners & Architects 160 East Adams Breckenridge, Colorado 80424 Marc Hogan: 970-453-6880 mhogan@bhpartners.com	6. Engineer Ascent Group - Structural Engineering 79050 U.S. Highway 40, Unit 1C Winter Park, CO 80482 Jared Veenstra: 303-865-4978 j.veenstra@ascentgrp.com
7. Surveyor Tim Shenk Land Surveying P.O. Box 1670 Granby, Colorado 80446 Tim Shenk: 970-887-1046 tshenk@tslsi.com	8. Land Planner None

C. Legal Description of Site

Lot 99-Q, Final Plat, Reserve at Lakota Park Subdivision
Reception #2020011191
Section 11, Township 2 South, Range 75 West, of the 6th P.M.
Town of Winter Park, County of Grand, State of Colorado

D. Variances Granted by the Board of Adjustment

In its variance application (dated May 10, 2022), PMWP requested that for compliance purposes the height of 217 & 219 Lakota Park Drive (Reserve Building 9) be measured from the planned finished grades of each property

Conversely, if the 217 & 219 Lakota Park Drive (Reserve Building 9) height were to be measured from the currently existing property grade, PMWP requested an overall height not to exceed 43'-7" for the intermediate roof step along the easterly side elevation (217 Lakota Park Drive). This represents a 1'-7" variance from the 42'-0" dimension when measured from the point of existing grade (Reference Point A) and accordingly, requested a midpoint height not to exceed 39'-8" for the intermediate roof step representing a 4'-8" variance from the 35'-0" dimension when measured from the point of existing grade (Reference Point B).

As for the building's westerly side elevation (219 Lakota Park Drive), PMWP requested an overall height not to exceed 44'-7" for the intermediate roof step and a midpoint height not to exceed 40'-9". This represents an overall variance of 2'-7" (Reference Point A) and a midpoint variance of 5'-9" (Reference Point B) when measured from the points of existing grade.

The Town of Winter Park Board of Adjustments granted PMWP's variance at its meeting of Tuesday, June 14, 2022.

E. Zone District

P-D R-2

F. Setback Distances

Front = to or >20'
Rear = to or >20'
Sides vary but will be = to or >11' in accordance with provision that side setbacks will be at least five feet (5') with three feet (3') being added to each required side yard for each story above the first story of any building.

G. Parking

As required by zoning district. 4 garaged spaces per building plus drive. Each duplex unit has a 2-car garage as shown on plan

H. Calculated Building Coverage Ratio Table

Please refer to Reserve Building 9 Site Plan (Sheet SP1.1) and land use table prepared by Tim Shenk Land Surveying on Final Plat, Reserve at Lakota Park Subdivision (Reception No. 2020011191).

- 1. Lot size: 0.114 acres, 4,973.65 square ft.
- 2. Building footprint: 2,876 square ft.
- 3. Drive, sidewalks, and parking areas: 1,113 square ft.

Additional open space exists between building envelopes and around lots. Area of all residential lots in the Reserve development is 40.85% of the total platted area. Each building however does not cover 100% of the total platted area for each lot which taken together results in a building coverage ratio which is less than 40% in accordance with Town Code.

I. Calculated Building Height – measured from points of granted variances

Lot 99-Q (future Lot 99-R) – 217 Lakota Park Drive

Please reference sheet A2.1 & A2.2

- Ridge Reference Point A: East Elevation - 36'-8 7/8" (shall not exceed 42'-0")
East Elevation - 38'-10 3/4" (shall not exceed 42'-0")
- Ridge Reference Point B: East Elevation - 33'-11 5/8" (shall not exceed 35'-0")
East Elevation - 35'-0" (shall not exceed 35'-0")
- Ridge Reference Point C: East Elevation - 51'-0 7/8" (shall not exceed 55'-0")

Lot 99-Q – 219 Lakota Park Drive

Please reference sheet A2.2 & A2.3

- Ridge Reference Point A: West Elevation - 37'-8 1/4" (shall not exceed 42'-0")
West Elevation - 38'-10 3/4" (shall not exceed 42'-0")
- Ridge Reference Point B: West Elevation - 34'-8" (shall not exceed 35'-0")
West Elevation - 35'-0" (shall not exceed 35'-0")
- Ridge Reference Point C: West Elevation - 51'-0 7/8" (shall not exceed 55'-0")

J. Exterior Building Materials and Colors

Please refer to Reserve Color Board A for Building #9.

- 1. Foundation: Cast in place concrete with stone veneer in places
Telluride Stone – Heritage Series – Mountain Ash
- 2. Siding:
Horizontal Siding – Wood Source Siding Products (cedar) – 1x8 Shiplap
Sherwin Williams Super Deck Semi Transparent Stain (SW 3542 – Charwood)
Vertical Siding – Wood Source Siding Products (cedar) – 1x6 Shiplap
Sherwin Williams Semi Transparent Stain (SW 3504 – Wood Ridge)
- 3. Rock/ Masonry:

Stone Veneer – Telluride Stone – Heritage Series – Mountain Ash

Stone Caps – Telluride Stone – Oklahoma Blue

4. Fascia, Soffit, Trim & Railing: Wood Source Products - fir
Sherwin Williams Super Deck (SW 3541 Hill Country)
5. Windows: Pella – Lifestyle Series – Brown
Glass Type: Low-e non reflective
6. Exposed Metal: Not shiny or reflective. Mixture of 75% Permalac Satin w/ 25%
Urban Bronze Color.
7. Roof: Composite Shingle – Owens Corning TruDefinition Duration – Driftwood
8. Slat Wall & Decking: Moisture Shield Vantage – Driftwood



July 18, 2022

PMWP Development Company
Windham Project Svc Ltd
Mr. Todd Mohr
Via Email
tmohr@windhamltd.com

RE: Lakota East Owners Association
Building 9, Lot 99
217 and 219 Reserve Way
Winter Park, CO

Dear Mr. Mohr,

Congratulations! The Lakota East (Park) Owners Association Board of Directors has approved the submittal for Lot 99-Q.

This letter will serve as notice to the Town of Winter Park that you are approved and ready to apply for building permits to begin construction. Please notify Allegiant Management when construction commences.

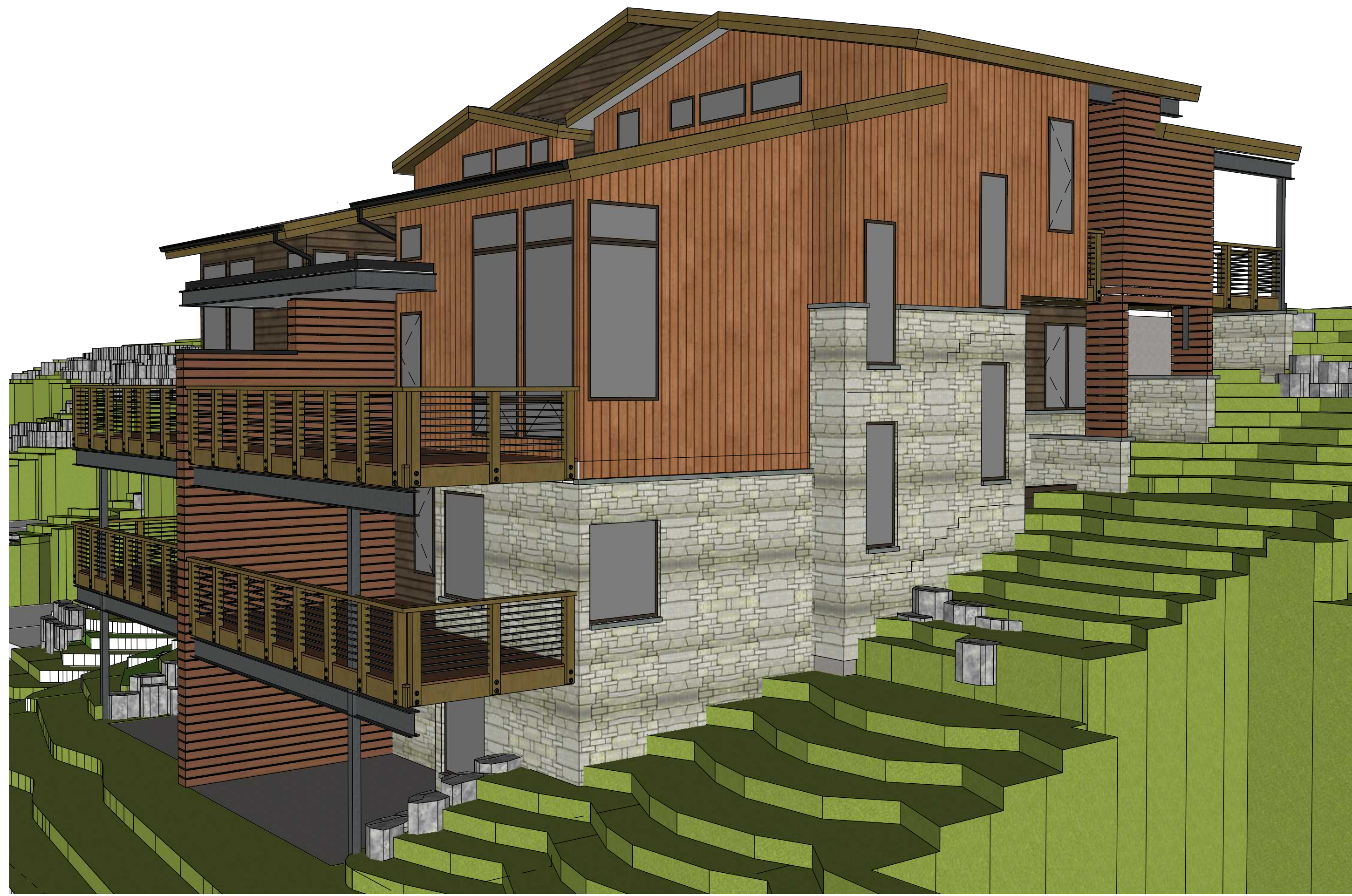
Please contact me with any questions.

Sincerely,

Michelle Franz

Michelle Franz, CMCA®
Senior Property Manager
mfranz@allegiantmgmt.com
970-722-1102

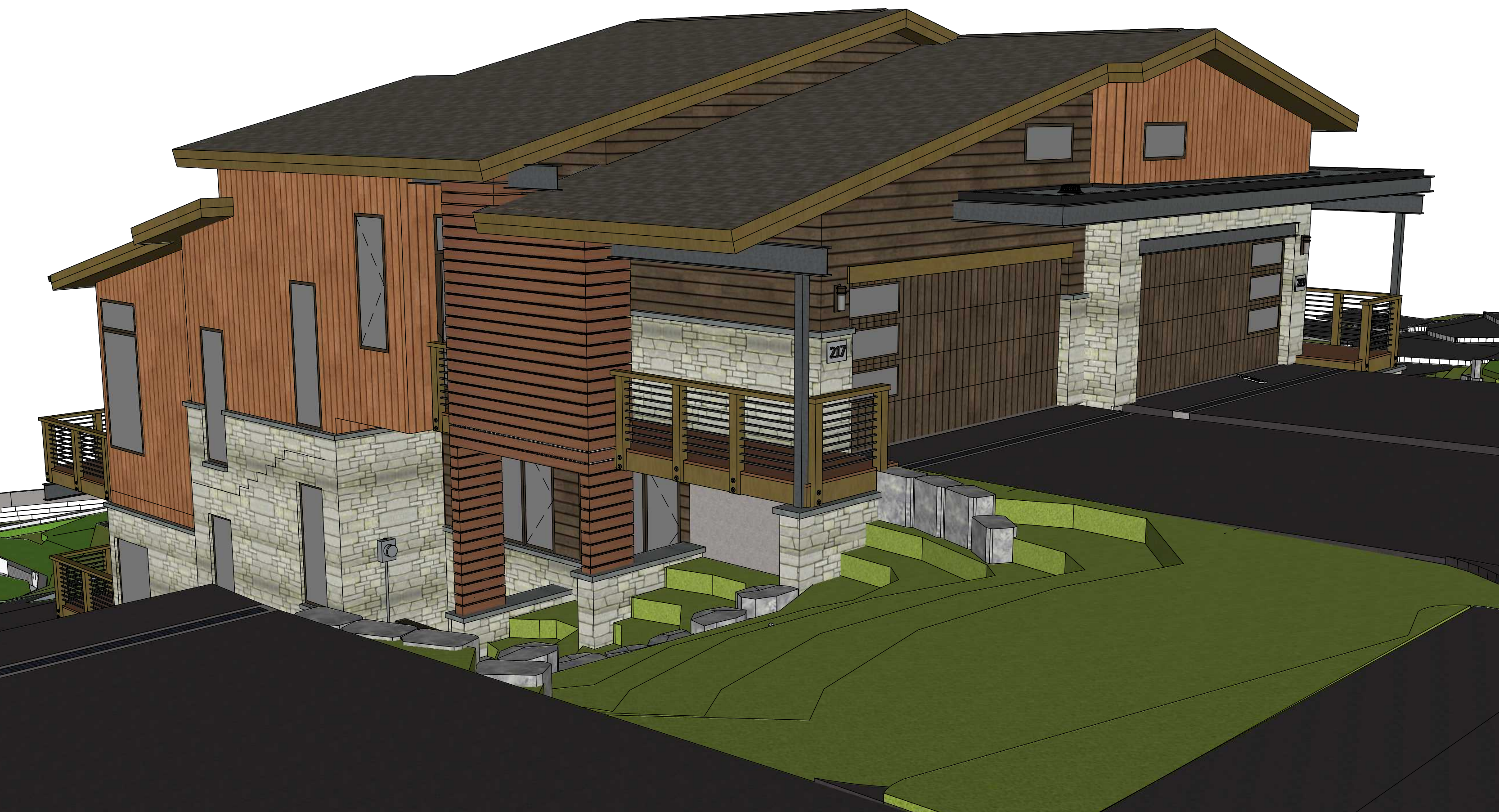
Copy to: Permits@wpgov.com
Erica Fransen, Allegiant Management, LLC
Stuart Huster, Lakota East Board President
Hugh Bell, Town of Winter Park, hbell@wpgov.com



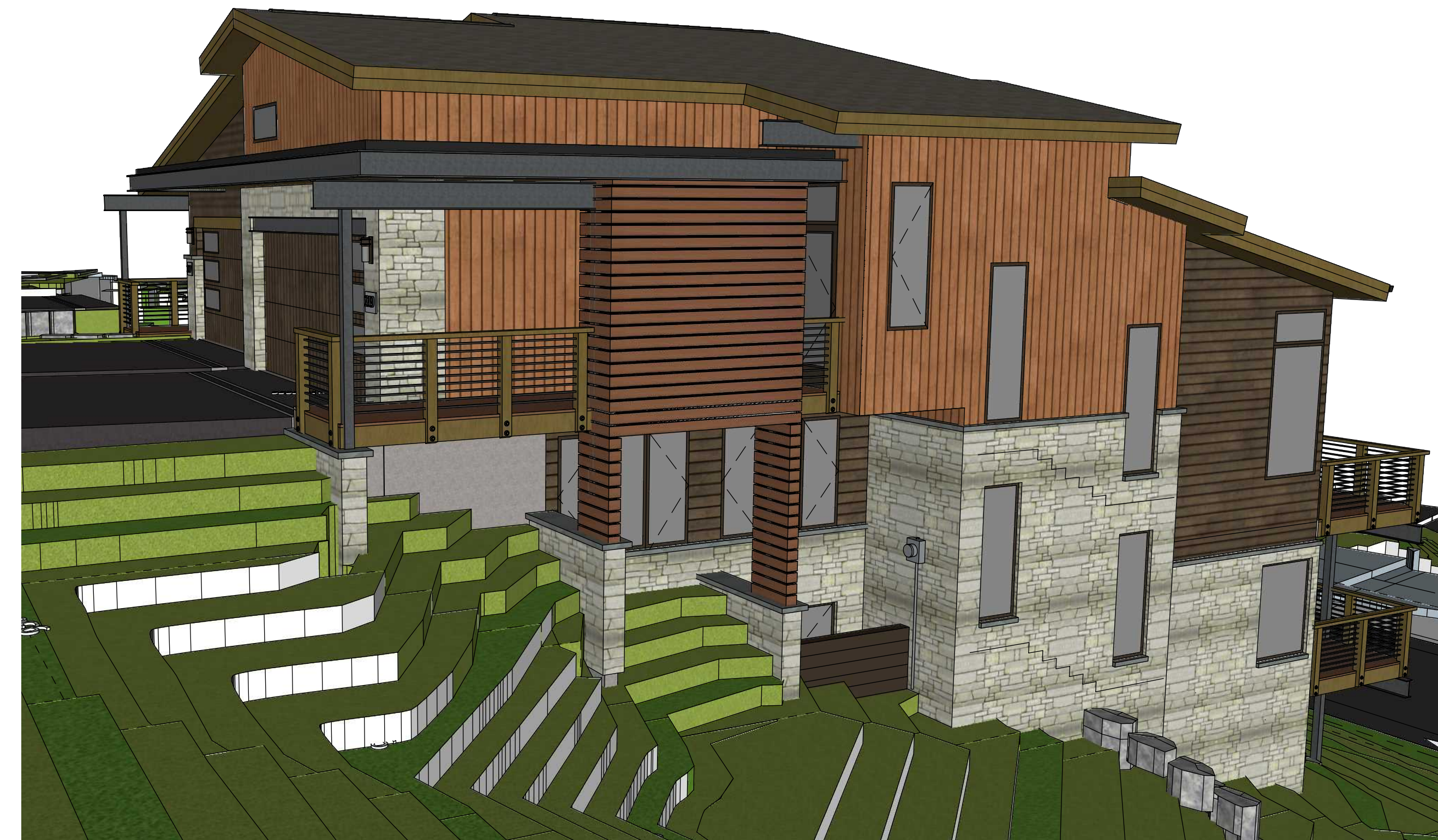
SOUTHEAST PERSPECTIVE



SOUTHWEST PERSPECTIVE



NORTHEAST PERSPECTIVE



NORTHWEST PERSPECTIVE

REVISIONS:

JOB NO: 51901.9
 DATE: 6/28/22
 DRAWN BY: j pawlak
 CHECKED BY: m hogan

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DESIGN REVIEW SUBMITTAL:
 6/28/22

bhh Partners
 P.O. BOX 931 180 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 455-6800

LAKOTA RESERVE - BUILDING 9
 2114 219 LAKOTA PARK DRIVE, TOWN OF WINTER PARK, COLORADO 80412

BUILDING 9
A2.0
 BUILDING
 PERSPECTIVES

ELEVATION NOTE

THESE ELEVATIONS ARE GRAPHIC IN NATURE. THE ELEVATIONS ILLUSTRATE EXTERIOR IMAGE AND COLORS. DO NOT SCALE OFF ELEVATIONS FOR THIS PROJECT.

MATERIAL COLORS ARE TYPICAL FOR ALL ELEVATIONS REFER TO COLOR LEGEND, VERIFY ALL COLORS WITH OWNER

SEE BUILDING SECTIONS FOR ADDITIONAL INFORMATION.

MATERIAL LEGEND - SCHEME A

1	COMPOSITION SHINGLE ROOFING	-OWENS CORNING (DRIFTWOOD)
2	SOFFIT RIM, RAILINGS, FASICA, LAMS	-SHERWIN WILLIAMS SEMI TRANSPARENT (SW3541, HILL COUNTRY)
3	SLAT WALL HORZ. SIDING	-MOISTURE SHIELD VANTAGE & DECKING (WALNUT)
4	WINDOW CLADDING	-PELLA PROLINE (BROWN)
5	VERTICAL SIDING	-SHERWIN WILLIAMS SUPER DECK & FASCIA (SW3504, WOOD RIDGE)
6	HORIZONTAL SIDING	-SHERWIN WILLIAMS SUPER DECK (SW3542, CHARWOOD)
7	STONE CAPS	-TELLURIDE STONE (OK BLUE)
8	STEEL BEAMS, COLUMNS	-EXPOSED STEEL; NOT SHINY OR REFLECTIVE (MAX CLEAR COAT)
9	STONE VENEER BASE	-TELLURIDE STONE (MOUNTAIN ASH)

NOTE: MATERIALS ARE TYPICAL FOR ALL ELEVATIONS, REFER TO ASSOCIATED COLOR BOARD FOR ADDITIONAL INFORMATION

BUILDING HEIGHTS ARE PROVIDED PER TOWN OF WINTERPARK HEIGHT GUIDELINES (REFER TO EXAMPLES BELOW)

THIS BUILDING HAS GONE THROUGH THE VARIANCE PROCESS WITH THE TOWN OF WINTERPARK IN REGARDS TO THE BUILDING HEIGHT.

THE PROPOSED BUILDING HEIGHT HAS BEEN REVIEWED AND APPROVED BY THE DESIGN REVIEW COMMITTEE. THE 35'-0" AND 42'-0" HEIGHT RESTRICTIONS AT THE HIGHER ROOF PORTION WILL BE MEASURED FROM PROPOSED GRADE (AT RETAINING WALLS AS INDICATED AND DISCUSSED). ALL OTHER BUILDING HEIGHTS WILL BE MEASURED PER THE TOWN OF WINTER PARK HEIGHT GUIDELINES.

BUILDING HEIGHT

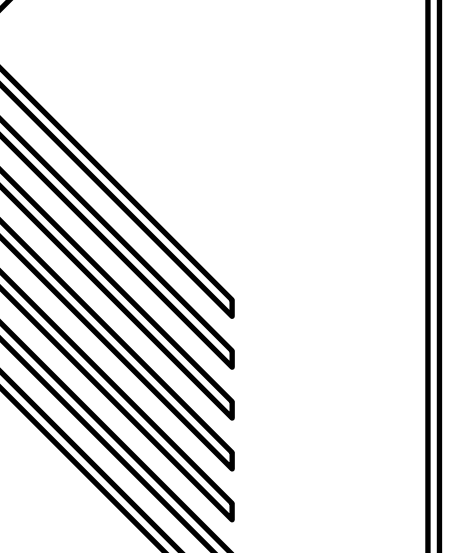
UNIT NUMBER	RIDGE POINT	HEIGHT ALLOWED	PROPOSED ELEVATION AS MEASURED FROM ELEVATION
217 PANORAMIC +	A	42'-0"	9276.87 36'-8 7/8"
	B	35'-0"	9276.87 33'-11 5/8"
	A	42'-0"	9285.11 38'-10 3/4"
	B	35'-0"	9285.11 35'-0"
	C	55'-0"	9276.87 51'-0 7/8"
219 SUNNY SIDE +	A	42'-0"	9275.93 37'-8 1/4"
	B	35'-0"	9275.93 34'-8"
	A	42'-0"	9275 38'-10 3/4"
	B	35'-0"	9275 35'-0"
	C	55'-0"	9275.93 51'-0 7/8"



JOB NO: 51901.9
DATE: 6/28/22
DRAWN BY: j pawlak
CHECKED BY: m hogan

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DESIGN REVIEW SUBMITTAL: 6/28/22



bhh Partners
P.O. BOX 931 • 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 455-6800

LAKOTA RESERVE - BUILDING 9
217 & 219 LAKOTA PARK DRIVE, TOWN OF WINTER PARK, COLORADO 80492

BUILDING 9
A2.1
BUILDING ELEVATIONS

ELEVATION NOTE

THESE ELEVATIONS ARE GRAPHIC IN NATURE. THE ELEVATIONS ILLUSTRATE EXTERIOR IMAGE AND COLORS. DO NOT SCALE OFF ELEVATIONS FOR THIS PROJECT.

MATERIAL COLORS ARE TYPICAL FOR ALL ELEVATIONS REFER TO COLOR LEGEND, VERIFY ALL COLORS WITH OWNER

SEE BUILDING SECTIONS FOR ADDITIONAL INFORMATION.

MATERIAL LEGEND - SCHEME A

1	COMPOSITION SHINGLE ROOFING	-OWENS CORNING (DRIFTWOOD)
2	SOFFIT RIM, RAILINGS, FASICA, LAMS	-SHERWIN WILLIAMS SEMI TRANSPARENT (SW3541, HILL COUNTRY)
3	SLAT WALL HORIZ. SIDING	-MOISTURE SHIELD VANTAGE & DECKING (WALNUT)
4	WINDOW CLADDING	-PELLA PROLINE (BROWN)
5	VERTICAL SIDING	-SHERWIN WILLIAMS SUPER DECK & FASCIA (SW3504, WOOD RIDGE)
6	HORIZONTAL SIDING	-SHERWIN WILLIAMS SUPER DECK (SW3542, CHARWOOD)
7	STONE CAPS	-TELLURIDE STONE (OK BLUE)
8	STEEL BEAMS, COLUMNS	-EXPOSED STEEL; NOT SHINY OR REFLECTIVE (MAX CLEAR COAT)
9	STONE VENEER BASE	-TELLURIDE STONE (MOUNTAIN ASH)

NOTE: MATERIALS ARE TYPICAL FOR ALL ELEVATIONS, REFER TO ASSOCIATED COLOR BOARD FOR ADDITIONAL INFORMATION

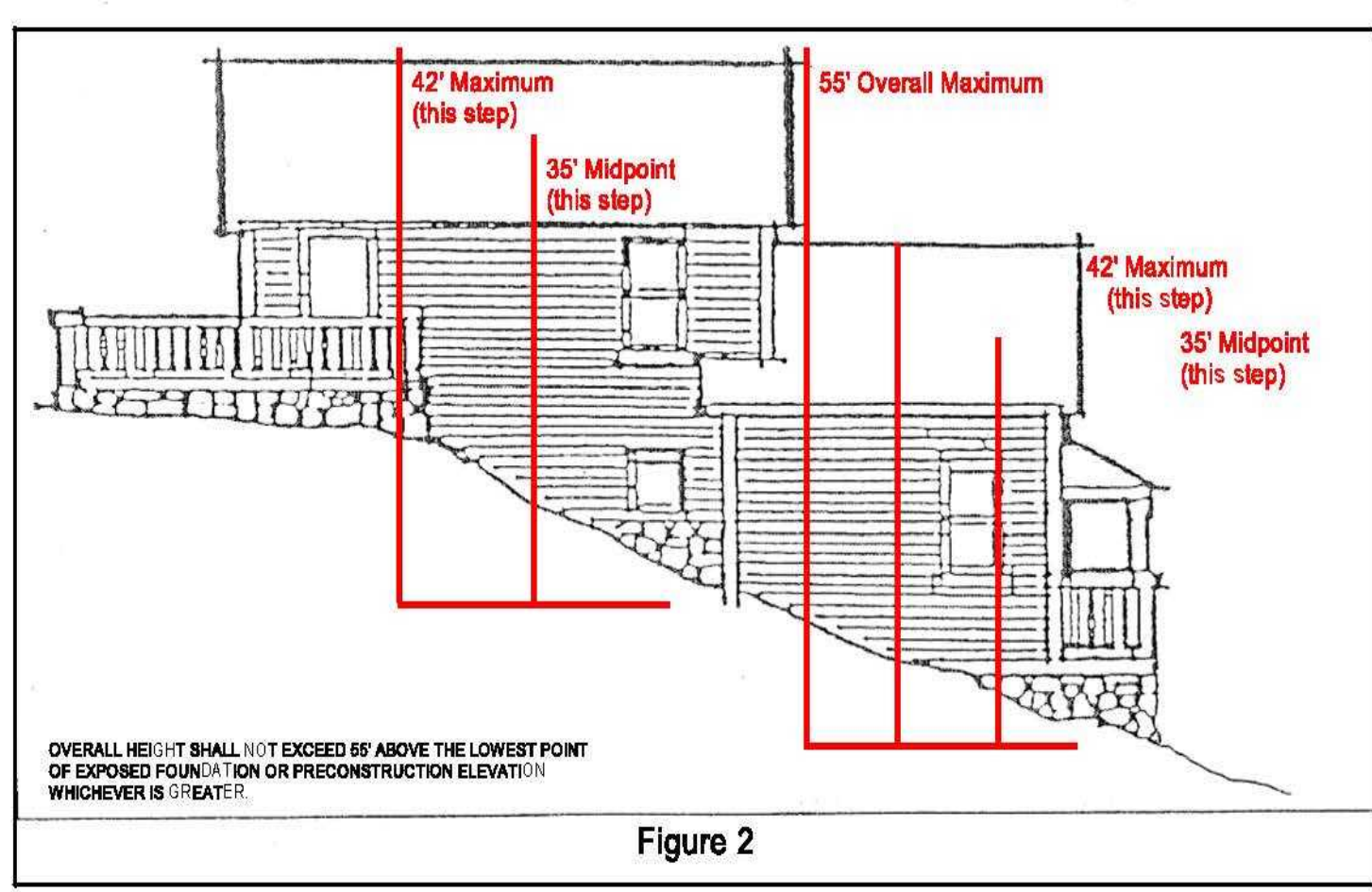
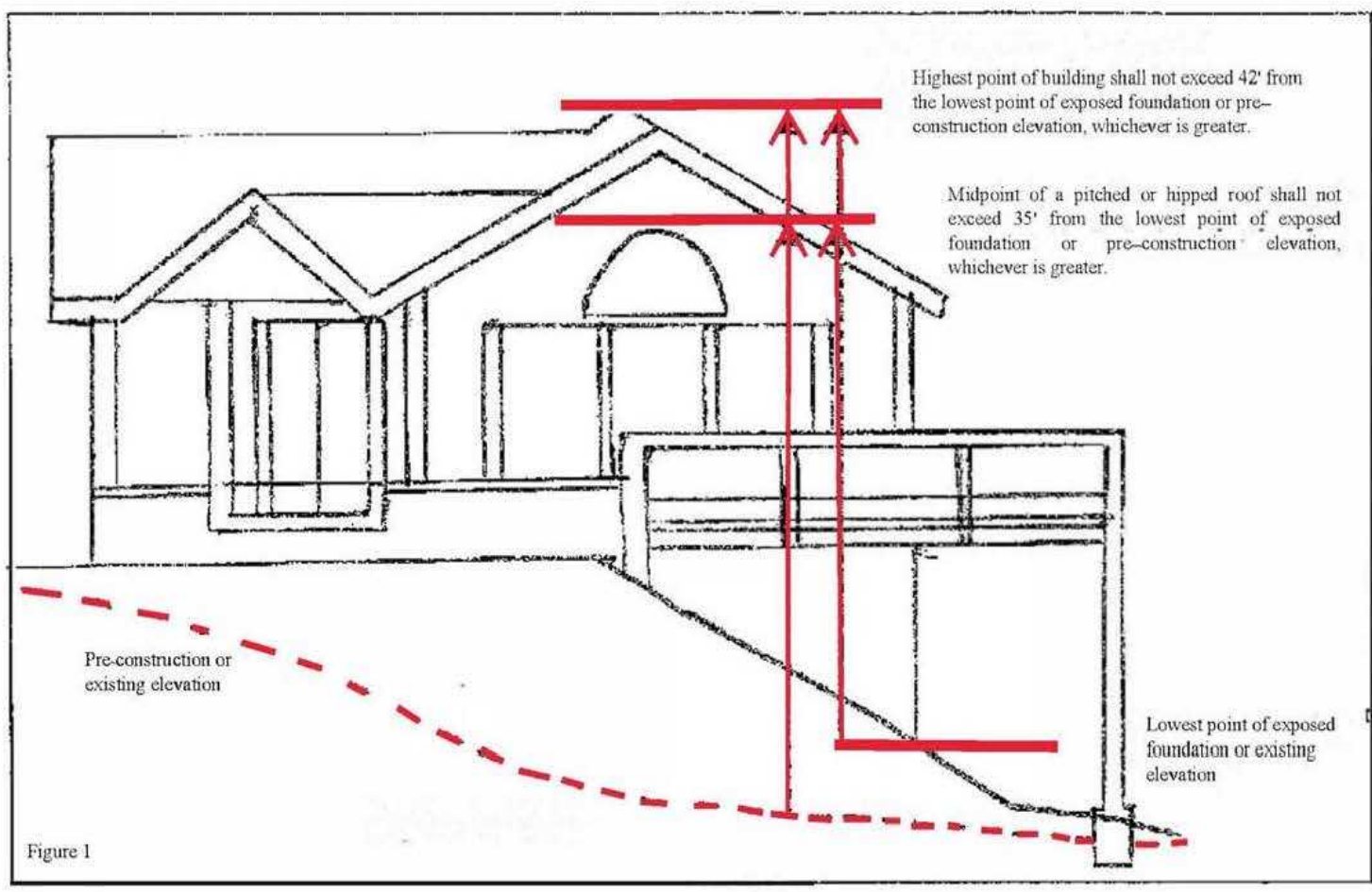
BUILDING HEIGHTS ARE PROVIDED PER TOWN OF WINTERPARK HEIGHT GUIDELINES (REFER TO EXAMPLES BELOW)

THIS BUILDING HAS GONE THROUGH THE VARIANCE PROCESS WITH THE TOWN OF WINTERPARK IN REGARDS TO THE BUILDING HEIGHT.

THE PROPOSED BUILDING HEIGHT HAS BEEN REVIEWED AND APPROVED BY THE DESIGN REVIEW COMMITTEE. THE 35'-0" AND 42'-0" HEIGHT RESTRICTIONS AT THE HIGHER ROOF PORTION WILL BE MEASURED FROM PROPOSED GRADE (AT RETAINING WALLS AS INDICATED AND DISCUSSED). ALL OTHER BUILDING HEIGHTS WILL BE MEASURED PER THE TOWN OF WINTER PARK HEIGHT GUIDELINES.

BUILDING HEIGHT

UNIT NUMBER	RIDGE POINT	HEIGHT ALLOWED	PROPOSED ELEVATION AS MEASURED FROM ELEVATION	
217 PANO-RAMIC +	A	42'-0"	9276.87	36'-8 7/8"
	B	35'-0"	9276.87	33'-11 5/8"
	A	42'-0"	9285.11	38'-10 3/4"
	B	35'-0"	9285.11	35'-0"
219 SUNNY SIDE +	A	42'-0"	9275.93	37'-8 1/4"
	B	35'-0"	9275.93	34'-8"
	A	42'-0"	9275	38'-10 3/4"
	B	35'-0"	9275	35'-0"
	C	55'-0"	9275.93	51'-0 7/8"

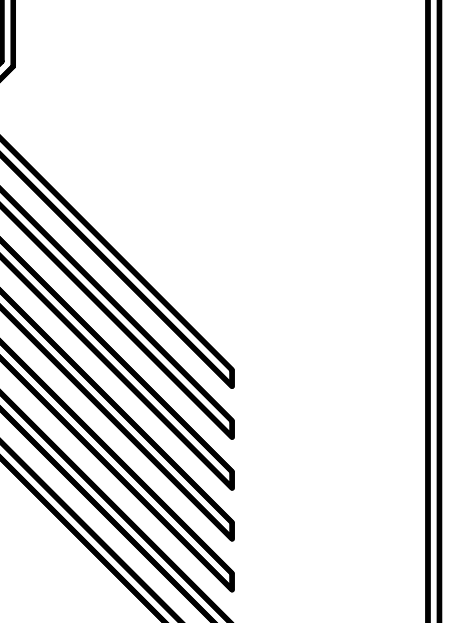


REVISIONS:

JOB NO: 51901.9
 DATE: 6/28/22
 DRAWN BY: j pawlak
 CHECKED BY: m hogan

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DESIGN REVIEW SUBMITTAL: 6/28/22



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LAKOTA RESERVE - BUILDING 9
 217 & 219 LAKOTA PARK DRIVE, TOWN OF WINTER PARK, COLORADO 80492

BUILDING 9
A2.2
 BUILDING ELEVATIONS

ELEVATION NOTE

THESE ELEVATIONS ARE GRAPHIC IN NATURE. THE ELEVATIONS ILLUSTRATE EXTERIOR IMAGE AND COLORS. DO NOT SCALE OFF ELEVATIONS FOR THIS PROJECT.

MATERIAL COLORS ARE TYPICAL FOR ALL ELEVATIONS REFER TO COLOR LEGEND, VERIFY ALL COLORS WITH OWNER

SEE BUILDING SECTIONS FOR ADDITIONAL INFORMATION.

MATERIAL LEGEND - SCHEME A

1	COMPOSITION SHINGLE ROOFING	-OWENS CORNING (DRIFTWOOD)
2	SOFFIT RIM, RAILINGS, FASICA, LAMS	-SHERWIN WILLIAMS SEMI TRANSPARENT (SW3541, HILL COUNTRY)
3	SLAT WALL HORZ. SIDING	-MOISTURE SHIELD VANTAGE & DECKING (WALNUT)
4	WINDOW CLADDING	-PELLA PROLINE (BROWN)
5	VERTICAL SIDING	-SHERWIN WILLIAMS SUPER DECK & FASCIA (SW3504, WOOD RIDGE)
6	HORIZONTAL SIDING	-SHERWIN WILLIAMS SUPER DECK (SW3542, CHARWOOD)
7	STONE CAPS	-TELLURIDE STONE (OK BLUE)
8	STEEL BEAMS, COLUMNS	-EXPOSED STEEL; NOT SHINY OR REFLECTIVE (MAX CLEAR COAT)
9	STONE VENEER BASE	-TELLURIDE STONE (MOUNTAIN ASH)

NOTE: MATERIALS ARE TYPICAL FOR ALL ELEVATIONS, REFER TO ASSOCIATED COLOR BOARD FOR ADDITIONAL INFORMATION

BUILDING HEIGHTS ARE PROVIDED PER TOWN OF WINTERPARK HEIGHT GUIDELINES (REFER TO EXAMPLES BELOW)

THIS BUILDING HAS GONE THROUGH THE VARIANCE PROCESS WITH THE TOWN OF WINTERPARK IN REGARDS TO THE BUILDING HEIGHT.

THE PROPOSED BUILDING HEIGHT HAS BEEN REVIEWED AND APPROVED BY THE DESIGN REVIEW COMMITTEE. THE 35'-0" AND 42'-0" HEIGHT RESTRICTIONS AT THE HIGHER ROOF PORTION WILL BE MEASURED FROM PROPOSED GRADE (AT RETAINING WALLS AS INDICATED AND DISCUSSED). ALL OTHER BUILDING HEIGHTS WILL BE MEASURED PER THE TOWN OF WINTER PARK HEIGHT GUIDELINES.

BUILDING HEIGHT

UNIT NUMBER	RIDGE POINT	HEIGHT ALLOWED	PROPOSED ELEVATION AS MEASURED FROM ELEVATION
217 PANORAMIC +	A	42'-0"	9276.87 36'-8 7/8"
	B	35'-0"	9276.87 33'-11 5/8"
	A	42'-0"	9285.11 38'-10 3/4"
	B	35'-0"	9285.11 35'-0"
	C	55'-0"	9276.87 51'-0 7/8"
219 SUNNYSIDE +	A	42'-0"	9275.93 37'-8 1/4"
	B	35'-0"	9275.93 34'-8"
	A	42'-0"	9275 38'-10 3/4"
	B	35'-0"	9275 35'-0"
	C	55'-0"	9275.93 51'-0 7/8"

STONE VENEER CALCULATION

UNIT NUMBER	AREA	NORTH ELEVATION	EAST ELEVATION	SOUTH ELEVATION	WEST ELEVATION
217 PANORAMIC +	WALL SURFACE	371 SF	1,279 SF	809 SF	162 SF
	STONE PROVIDED	125 SF	582 SF	312 SF	31 SF
219 SUNNYSIDE +	WALL SURFACE	483 SF	169 SF	789 SF	1,337 SF
	STONE PROVIDED	181 SF	56 SF	315 SF	511 SF

10% MINIMUM STONE VENEER IS REQUIRED PER DESIGN REVIEW GUIDELINES



WEST ELEVATION
SCALE: 1/4" = 1'-0"

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CHECKED BY: m hogan

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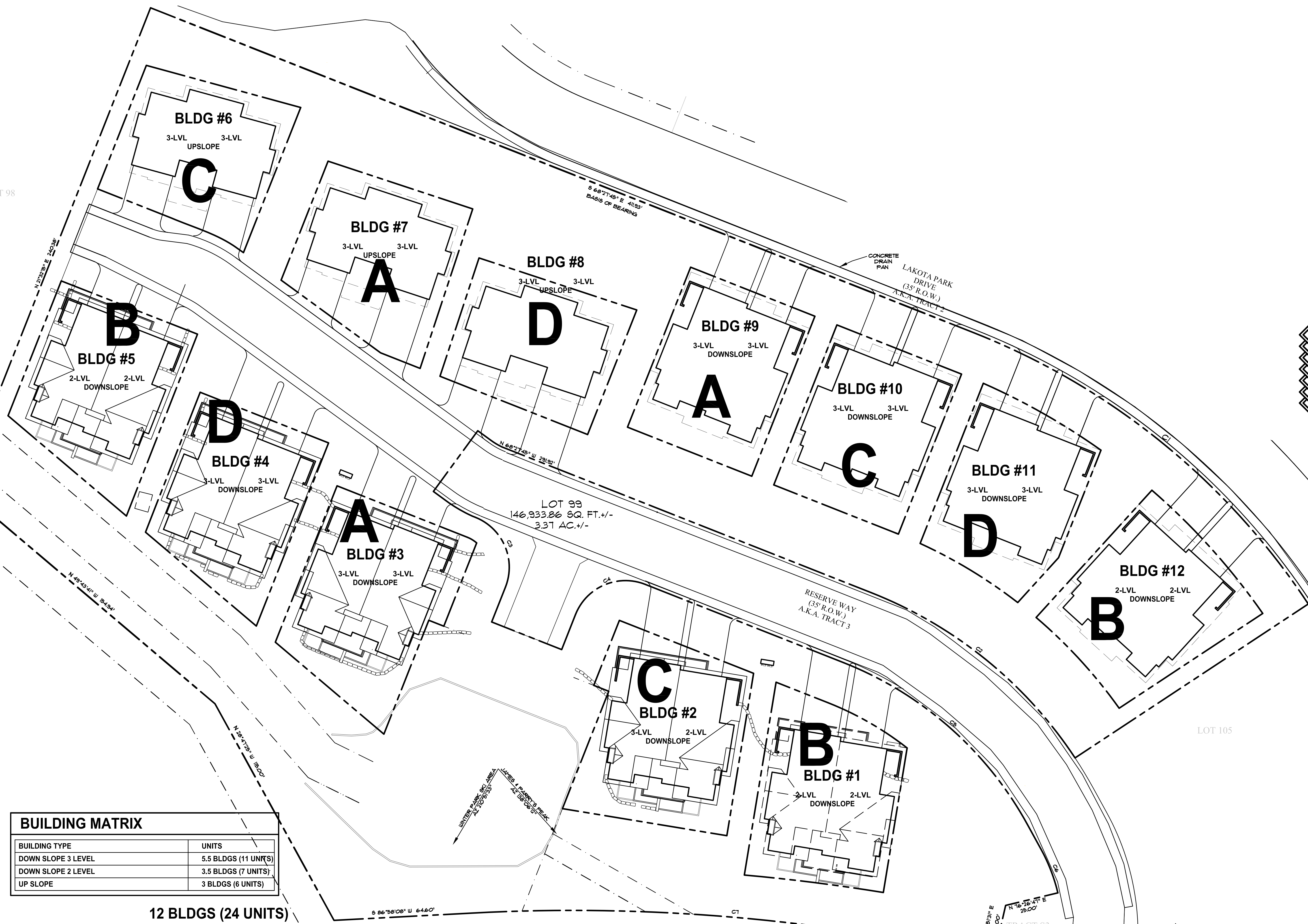
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LAKOTA RESERVE - BUILDING 9
217 & 219 LAKOTA PARK DRIVE, TOWN OF WINTER PARK, COLORADO 80492

BUILDING 9
A2.3
BUILDING ELEVATIONS

LOT 98



REVISIONS:

JOB NO: 519010
 DATE: 3/17/2020
 DRAWN BY: J FAWLAK
 CHECKED BY: M HOGAN

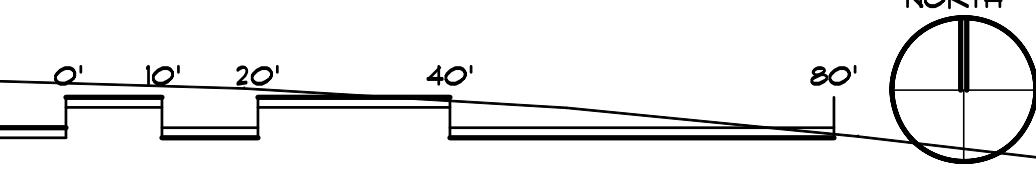
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BUILDING MATRIX	
BUILDING TYPE	UNITS
DOWN SLOPE 3 LEVEL	5.5 BLDGS (11 UNITS)
DOWN SLOPE 2 LEVEL	3.5 BLDGS (7 UNITS)
UP SLOPE	3 BLDGS (6 UNITS)

12 BLDGS (24 UNITS)

COLOR SCHEME

SCALE: 1" = 20'-0"



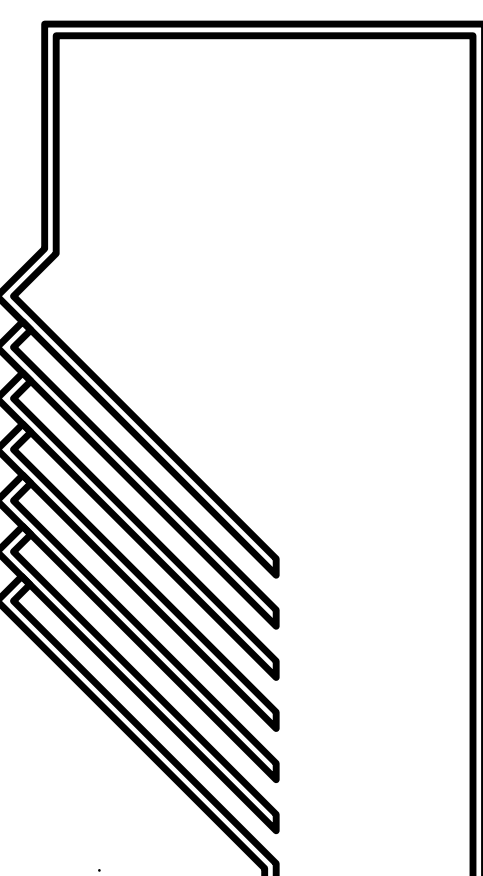
MH

ARROW TRAIL

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LAKOTA RESERVE
 RESERVE WAY, TOWN OF WINTERPARK, COLORADO

© 2020
 SHEET NUMBER:
SP1.1
 OVERALL SITE PLAN



LOT 99
 146,933.86 SQ. FT. +/-
 3.37 AC. +/-

LOT 105

TRACT S2

TRACT S3

RESERVE WAY
 (35' R.O.W.)
 A.K.A. TRACT 3

LAKOTA PARK DRIVE
 (35' R.O.W.)
 A.K.A. TRACT 2

8 68°21'48" E 411.93'
 BASIS OF BEARING

N 68°21'48" W 281.92'

N 49°43'41" W 184.84'

N 28°41'28" W 116.00'

8 86°58'08" W 644.60'

WINTER PARK SKI AREA
 42° 10' 30" S 331'

JANES FERRIS PEAK
 112° 18' 00" W 217'

N 17°51'31" E 25.00'
 N 76°28'47" E 25.00'

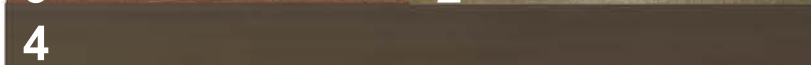
1) COMPOSITE ROOF
OWENS CORNING
TruDefination
DURATION
"DRIFTWOOD"



3) SCREEN WALLS /
SLAT WALL SYSTEM-
AND DECKS
1X6 'MOISTURE
SHIELD VANTAGE
(WALNUT)



2) GLU-LAMS, FASCIA,
SOFFIT RIM AND
RAILING
SHERWIN WILLIAMS
SEMI-TRANSPARENT
(SW 3541-HILL
COUNTRY)



4) PELLA PROLINE
'BROWN'

5) VERTICAL 1X6
SHIPLAP 'RE-SAWN'
CEDAR SIDING
SHERWIN WILLIAMS
SEMI-TRANSPARENT
(SW 3504-
WOOD RIDGE)



6) HORIZONTAL 1X8
SHIPLAP 'RE-SAWN'
CEDAR SIDING
SHERWIN WILLIAMS
SUPER DECK
(SW 3542-CHARWOOD)



7) STONE CAPS-
TELLURIDE STONE
'OK BLUE'

8) EXPOSED METAL
(NOT SHINY OR
REFLECTIVE)
PROVIDE CLEAR
COAT OR BULL
FROG WAX TO
PREVENT RUST



9) STONE VENEER
TELLURIDE STONE
HERITAGE SERIES
'MOUNTAIN ASH'



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7/28/21
#51901

RESERVE COLOR OPTION A REVISED

RESERVE WAY, TOWN OF WINTERPARK, COLORADO 80482

1) COMPOSITE ROOF
OWENS CORNING
TruDefination
DURATION
"DRIFTWOOD"



1

3) SCREEN WALLS /
SLAT WALL SYSTEM-
AND DECKS
1X6 'MOISTURE
SHIELD VANTAGE'
(EARTHTONE)



3

2

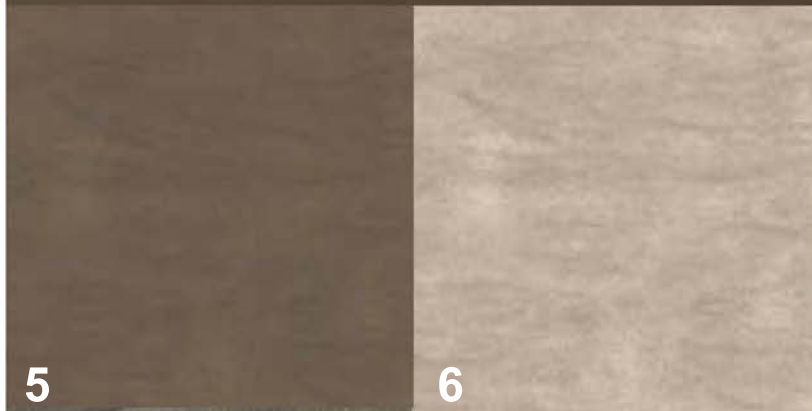
2) GLU-LAMS, FASCIA,
SOFFIT RIM AND
RAILING
SHERWIN WILLIAMS
SUPER DECK
(SW 3542-CHARWOOD)



4

4) PELLA PROLINE
'BROWN'

5) VERTICAL 1X6
SHIPLAP 'RE-SAWN'
CEDAR SIDING
SHERWIN WILLIAMS
SUPER DECK
(SW 3531-BLUE
SHADOW)



5

6

6) HORIZONTAL 1X8
SHIPLAP 'RE-SAWN'
CEDAR SIDING
SHERWIN WILLIAMS
SUPER DECK (SW
3540-MOUNTAIN ASH)



7

7) STONE CAPS-
TELLURIDE STONE
'OK BLUE'

8) EXPOSED METAL
(NOT SHINY OR
REFLECTIVE)
PROVIDE CLEAR
COAT OR BULL
FROG WAX TO
PREVENT RUST



8

9

9) STONE VENEER
TELLURIDE STONE
HERITAGE SERIES
'MOUNTAIN ASH'



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7/28/21
#51901

RESERVE COLOR OPTION B REVISED

RESERVE WAY, TOWN OF WINTERPARK, COLORADO 80482

1) COMPOSITE ROOF
OWENS CORNING
TruDefination
DURATION
"DRIFTWOOD"

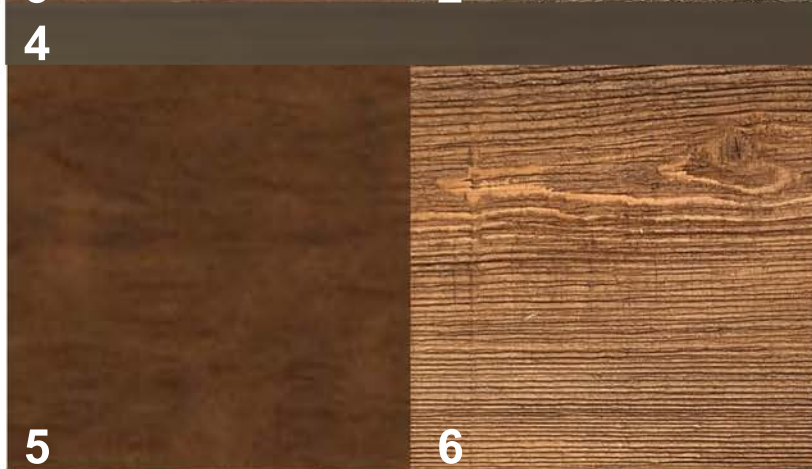


3) SCREEN WALLS /
SLAT WALL SYSTEM-
AND DECKS
1X6 'MOISTURE
SHIELD VANTAGE'
(WALNUT)



2) GLU-LAMS, FASCIA,
SOFFIT RIM AND
RAILING
SHERWIN WILLIAMS
SUPER DECK
(SW 3542 CHARWOOD)

5) VERTICAL 1X6
SHIPLAP 'RE-SAWN'
CEDAR SIDING
SHERWIN WILLIAMS
SEMI-TRANSPARENT
(SW 3524
CHESTNUT)



4) PELLA PROLINE
'BROWN'

6) HORIZONTAL 1X8 SHI-
PLAP 'RE-SAWN' CEDAR
SIDING
SHERWIN WILLIAMS
SEMI-TRANSPARENT
(SW 3504-WOOD RIDGE)



7) STONE CAPS-
TELLURIDE STONE
'OK BLUE'

8) EXPOSED METAL
(NOT SHINY OR
REFLECTIVE)
PROVIDE CLEAR
COAT OR BULL
FROG WAX TO
PREVENT RUST



9) STONE VENEER
TELLURIDE STONE
HERITAGE SERIES
'MOUNTAIN ASH'



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#51901

RESERVE COLOR OPTION C REVISED

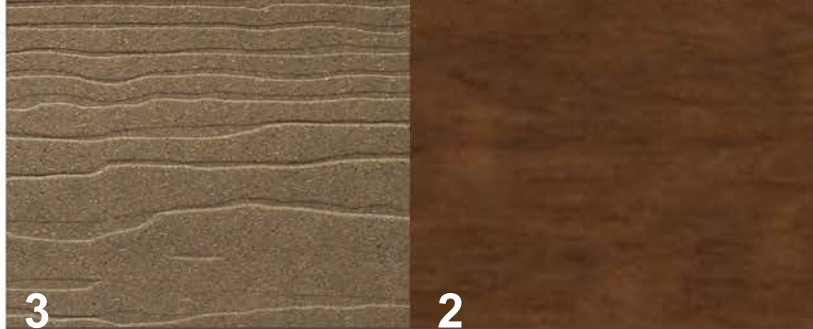
RESERVE WAY, TOWN OF WINTERPARK, COLORADO 80482

1) COMPOSITE ROOF
OWENS CORNING
TruDefination
DURATION
"DRIFTWOOD"



1

3) SCREEN WALLS /
SLAT WALL SYSTEM-
AND DECKS
1X6 'MOISTURE
SHIELD VANTAGE'
(EARTHSTONE)



3

2

2) GLU-LAMS, FASCIA,
SOFFIT RIM AND
RAILING
SHERWIN WILLIAMS
SUPER DECK
(SW 3524-CHESTNUT)

4

4) PELLA PROLINE
'BROWN'

5) HORIZONTAL 1X6
SHIPLAP 'RE-SAWN'
CEDAR SIDING
SHERWIN WILLIAMS
SEMI-TRANSPARENT
(SW 3541-HARBOR
MIST)



5

6

6) VERTICAL 1X8
SHIPLAP 'RE-SAWN'
CEDAR SIDING
SHERWIN WILLIAMS
SUPER DECK
(SW 3540-MOUNTAIN
ASH)

7

7) STONE CAPS-
TELLURIDE STONE
'OK BLUE'



8) EXPOSED METAL
(NOT SHINY OR
REFLECTIVE)
PROVIDE CLEAR
COAT OR BULL
FROG WAX TO
PREVENT RUST



8



9

9) STONE VENEER
TELLURIDE STONE
HERITAGE SERIES
'MOUNTAIN ASH'

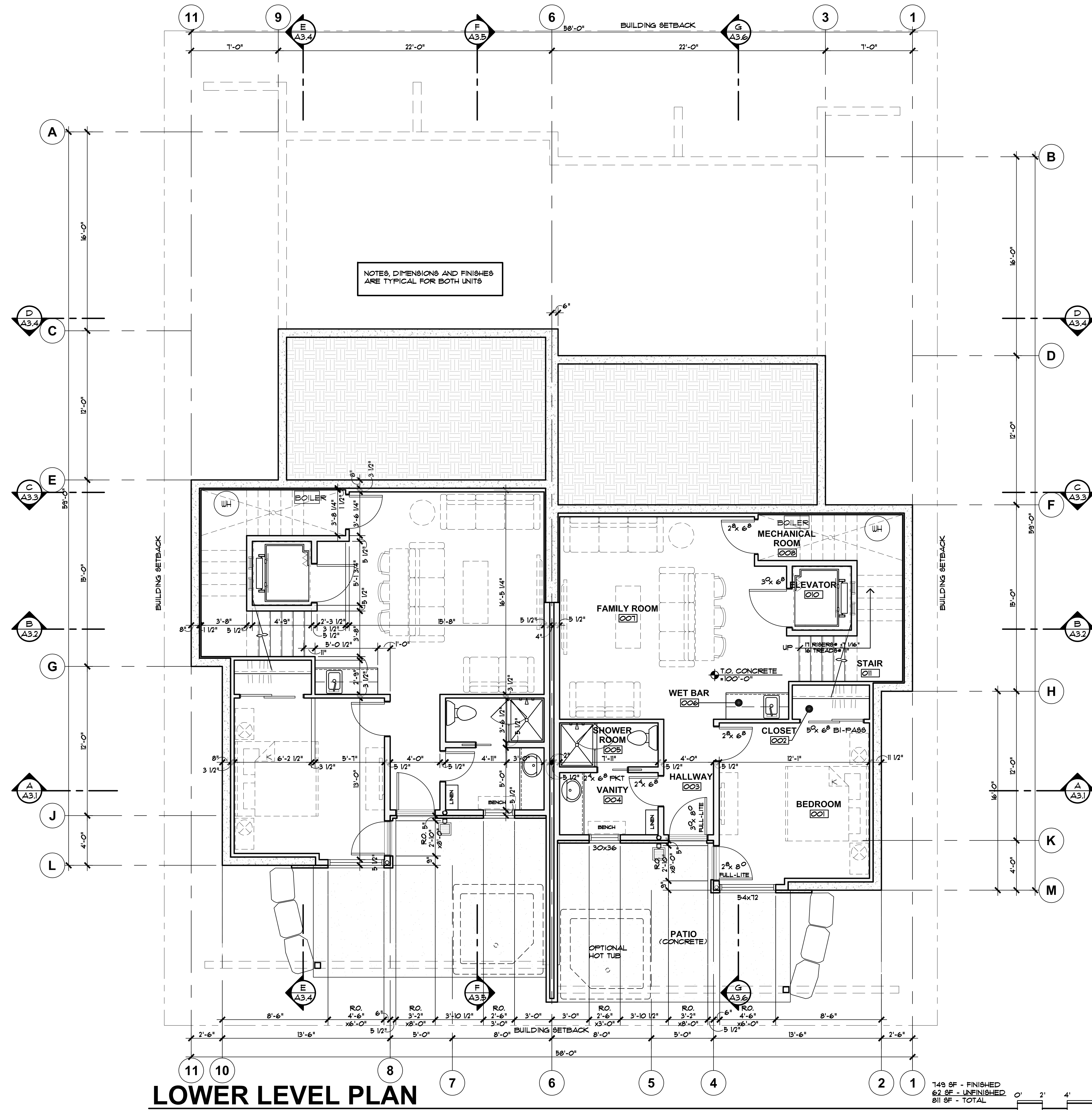


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RESERVE COLOR OPTION D REVISED

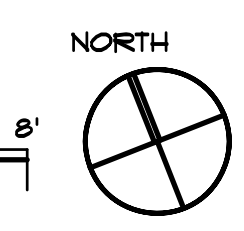
RESERVE WAY, TOWN OF WINTERPARK, COLORADO 80482



LOWER LEVEL PLAN

SCALE: 1/4" = 1'-0"

149 SF - FINISHED
62 SF - UNFINISHED
811 SF - TOTAL



REVISIONS:

JOB NO: 519019
DATE: 6/28/2022
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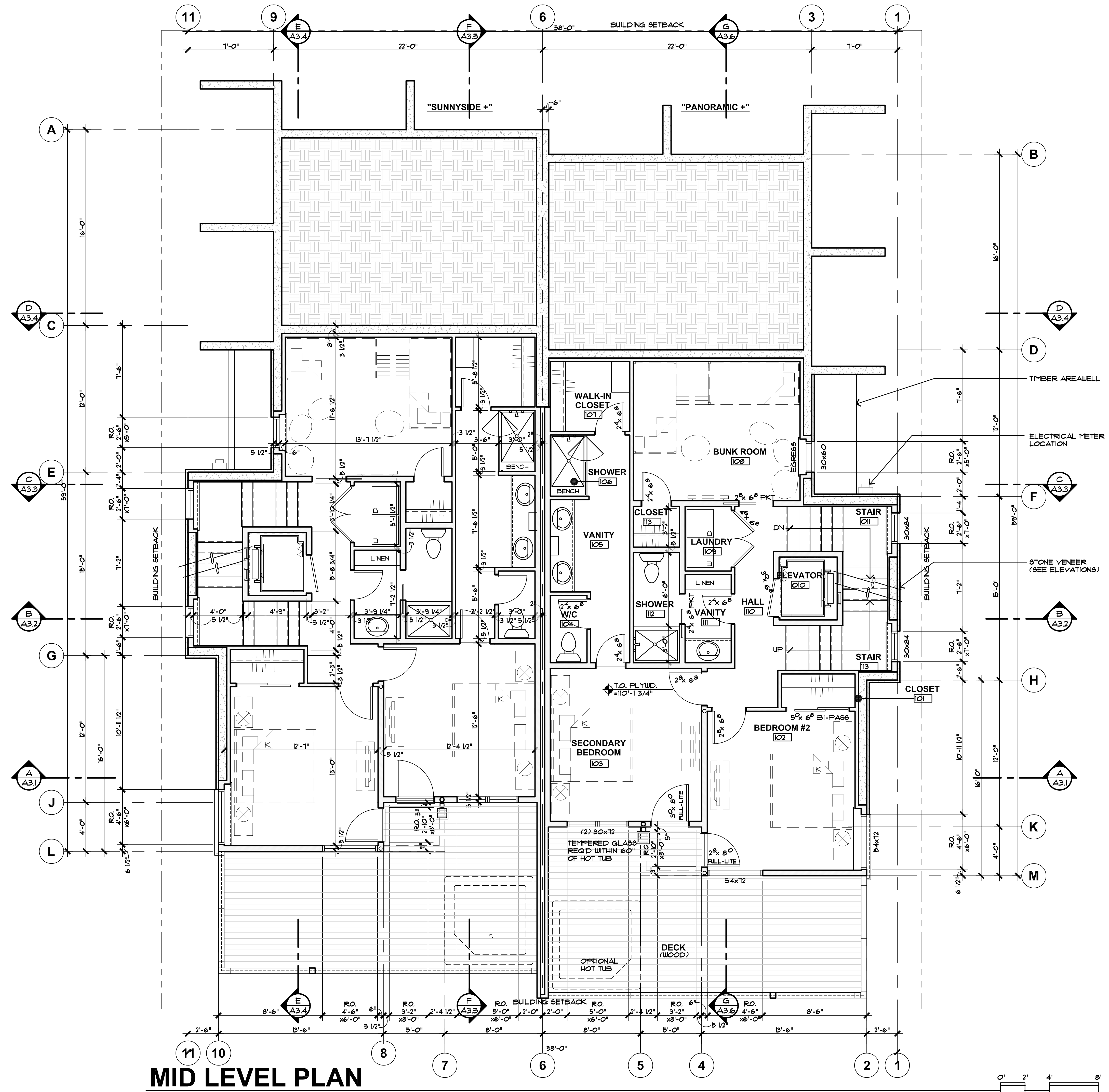
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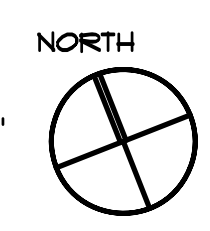
LAKOTA RESERVE - BUILDING 9
217 & 219 LAKOTA PARK DRIVE, TOWN OF WINTERPARK, COLORADO

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SHEET NUMBER:
BUILDING 9
A1.0
LOWER LEVEL PLAN



MID LEVEL PLAN

SCALE: 1/4" = 1'-0"



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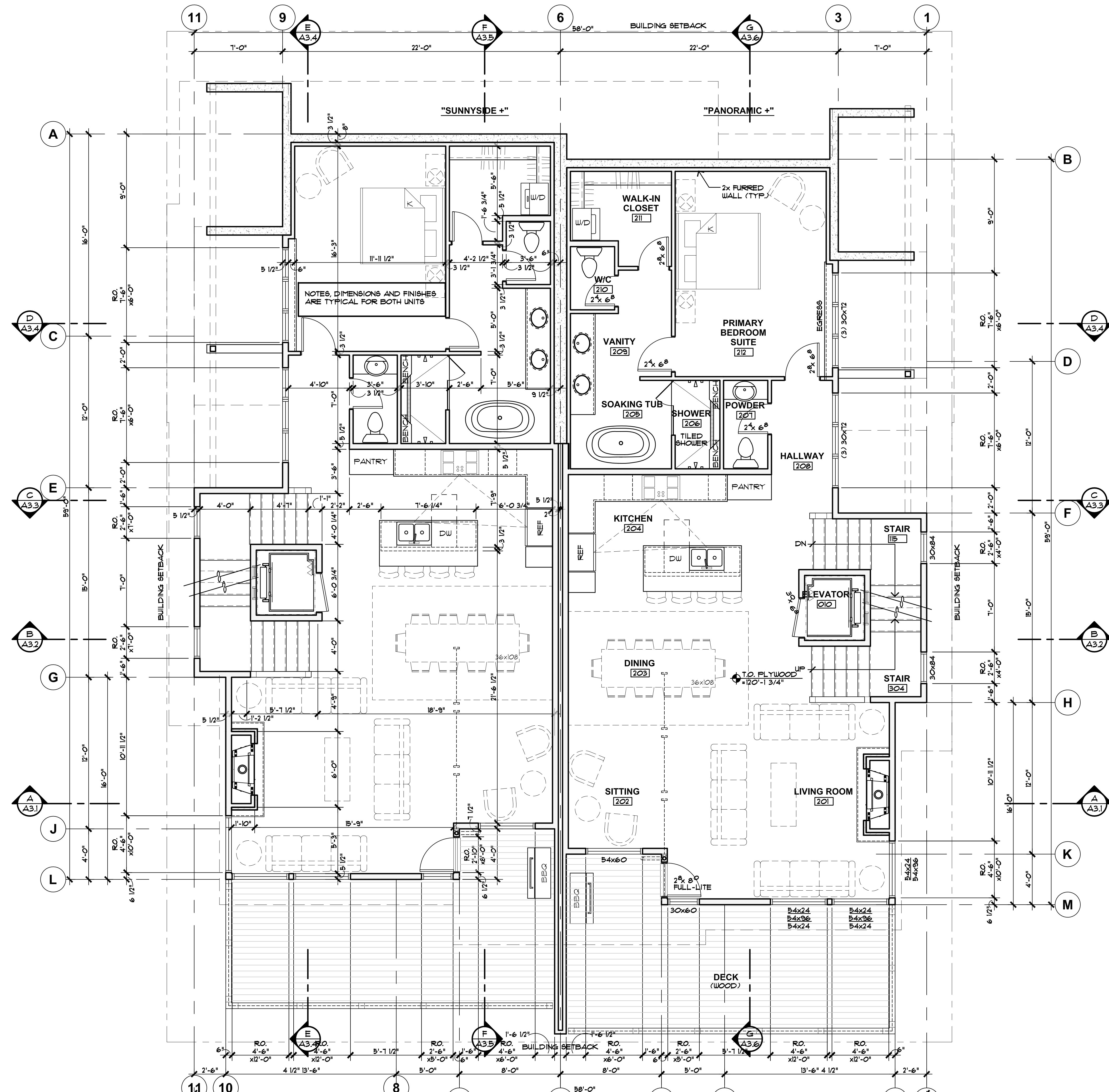
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LAKOTA RESERVE - BUILDING 9
 217 & 219 LAKOTA PARK DRIVE, TOWN OF WINTERPARK, COLORADO

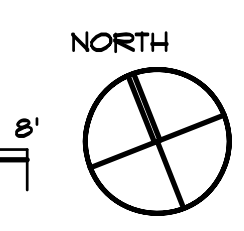
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 SHEET NUMBER:
BUILDING 9
A1.1
 MID LEVEL PLAN



MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"

1321 SF - FINISHED
1321 SF - TOTAL



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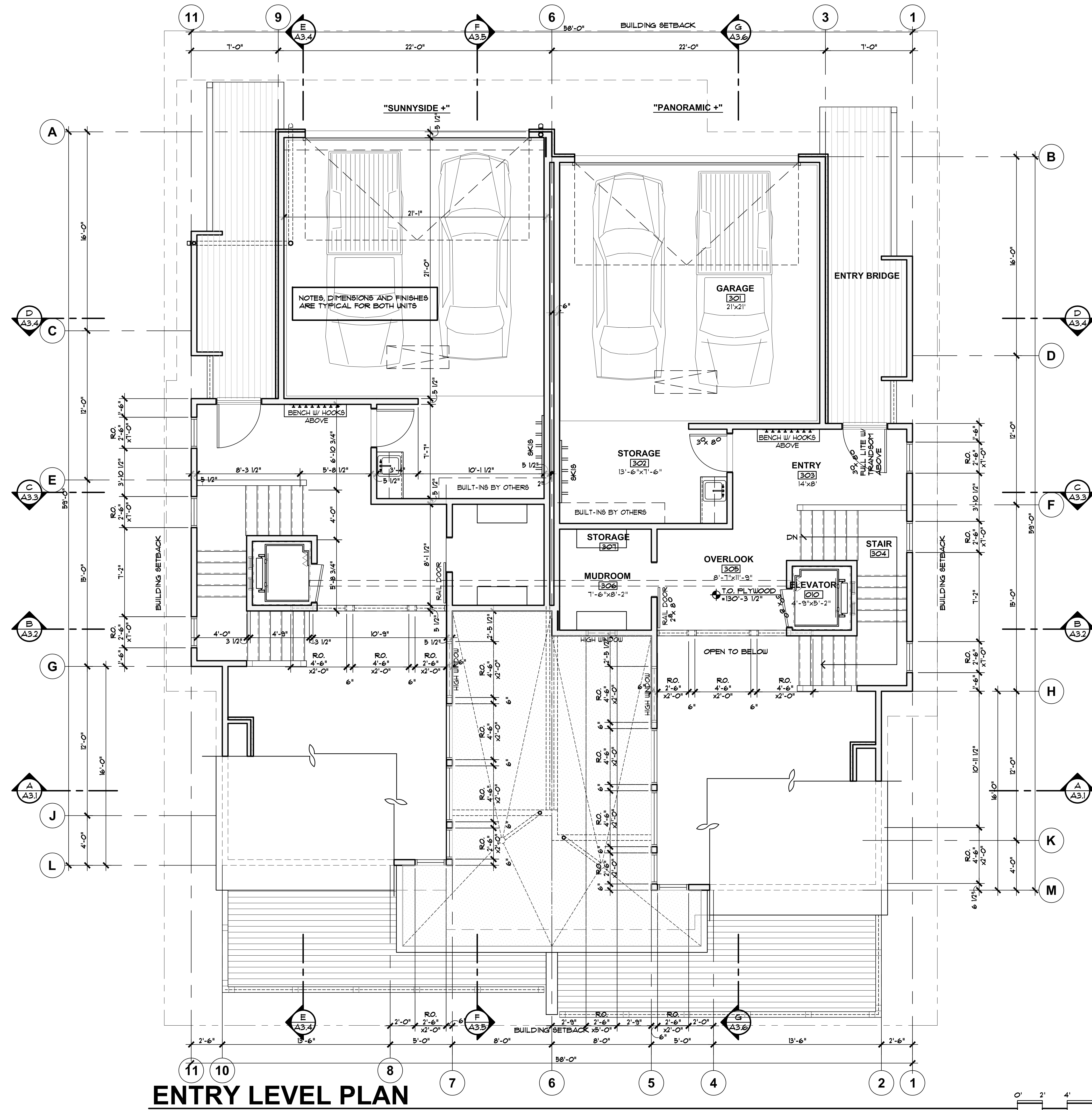
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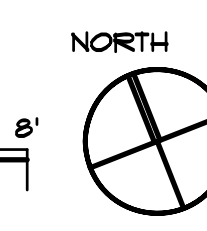
LAKOTA RESERVE - BUILDING 9
217 & 219 LAKOTA PARK DRIVE, TOWN OF WINTERPARK, COLORADO

© 2022
SHEET NUMBER:
BUILDING 9
A1.2
MAIN LEVEL PLAN



ENTRY LEVEL PLAN

SCALE: 1/4" = 1'-0"



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LAKOTA RESERVE - BUILDING 9
 217 & 219 LAKOTA PARK DRIVE, TOWN OF WINTERPARK, COLORADO

© 2022
 SHEET NUMBER:
BUILDING 9
A1.3
 ENTRY LEVEL PLAN

MAINTENANCE NOTE:

MAINTENANCE NOTE:
THE OWNER HAS BEEN ADVISED THAT ALL ROOF AND DECK SURFACES MUST BE MAINTAINED RELATIVELY FREE OF SNOW & ICE.

ROOFING NOTE:

REFER TO SPECIFICATIONS. PROVIDE ROOF PRIMER, ROOF MEMBRANE AND ALL ROOFING PER SPECIFICATION REQUIREMENTS. PROVIDE "WR. GRACE" MANUFACTURER CERTIFICATION LETTER STATING THAT ALL MEMBRANES HAVE BEEN INSTALLED IN COMPLETE COMPLIANCE WITH ALL MANUFACTURER'S REQUIREMENTS.

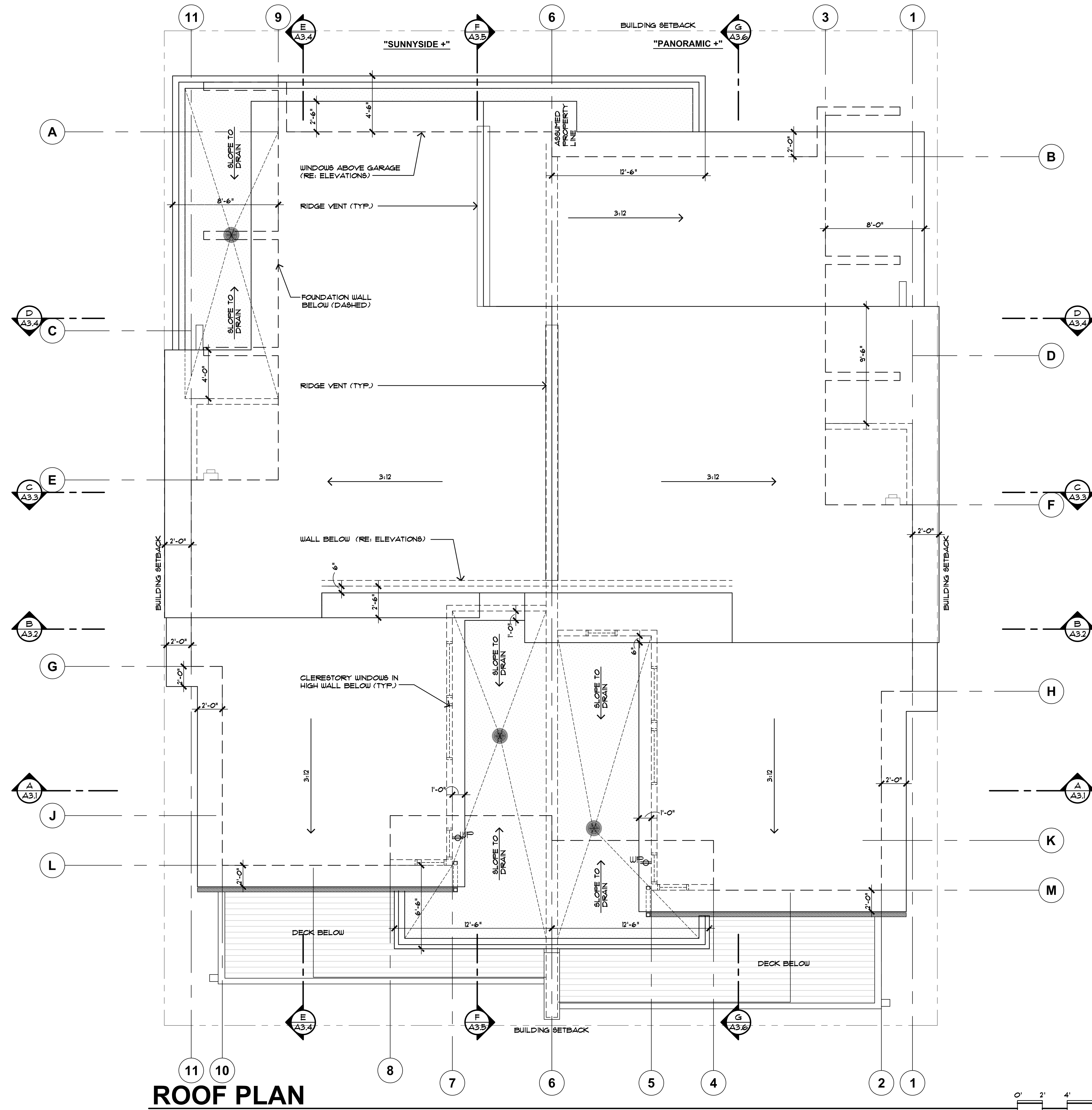
ROOF DRAINAGE:
ALL ROOFS AND DOWNSPOUTS TO DISCHARGE WATER TO RIP RAP AREAS AND NOT TO PAVED, WALKS OR PATIO AREAS. COORDINATE WITH CIVIL AND SOILS ENGINEER FOR DETAILED SITE DRAINAGE. SLOPE ALL GRADES AWAY FROM BUILDING PER SPECS AND GENERAL NOTES.

COLD ROOF NOTE:

THIS PROJECT INCLUDES A "COLD ROOF" DESIGN. PROVIDE INSULATION BAFFLES AT ALL RAFTER SPACES AND HOLD DOWN VALLEY FRAMING TO ENSURE AIRFLOW ABOVE ALL VALLEYS. THIS INCLUDES FLUSH VALLEYS (SEE DETAIL). IF NECESSARY DRILL HOLES FOR VENTILATION AS APPROVED BY THE STRUCTURAL ENGINEER. THIS INCLUDES BEAMS AND ALL AREAS THAT RESTRICT AIR FLOW FROM SOFFIT VENTS UP TO RIDGE VENTS. PROVIDE 1" DIAMETER HOLES @ 8" O.C. IN THESE AREAS. RETAIN 1 1/2" OF BEAM ABOVE VENTILATION HOLES. VERIFY WITH ENGINEER.

ROOF NOTES:

1. SEE SHEET 9P11 FOR BUILDING HEIGHT CALCULATIONS.
2. PROVIDE HEAT TAPE @ HEATED GUTTERS & DOWNSPOUTS.
3. PAINT ALL EXPOSED PIPING EXTENDING THROUGH ROOF TO MATCH ROOF.
4. PROVIDE VALLEY FLASHING AT ALL VALLEYS
5. OVERHANG DIMENSIONS ARE TO END OF RAFTER/TRUSSES - SEE DETAILS
6. REFER TO PLAN FOR ALL ROOF OVERHANGS
7. PROVIDE KICK-OUT FLASHING AT ALL EAVE/WALL JUNCTURES.
8. PROVIDE ADDITIONAL SOFFIT OUTLETS FOR HEAT TAPE AT HEATED GUTTERS & SEASONAL LIGHTING - LOCATE PER OWNER INPUT.



ROOF PLAN

SCALE: 1/4" = 1'-0"

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DESIGN REVIEW SUBMITTAL:
06/28/22

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LAKOTA RESERVE - BUILDING 9
217 & 219 LAKOTA PARK DRIVE, TOWN OF WINTERPARK, COLORADO

© 2022
SHEET NUMBER:
BUILDING 9
A1.4
ENTRY LEVEL PLAN

THE LAKOTA RESERVE



VIEW OF BUILDING 9 FROM RESERVE WAY

BID ALTERNATES

- ALTERNATE NO. 1 - FOUNDATION WATERPROOFING
- ALTERNATE NO. 2 - EXTERIOR STONEWORK
- ALTERNATE NO. 3 - EXTERIOR DECKING
- ALTERNATE NO. 4 - GARAGE ATTIC STORAGE TRUSS
- ALTERNATE NO. 5 - ALTERNATE GARAGE FLOOR CONSTRUCTION
- ALTERNATE NO. 6 - ALTERNATE INSULATION SYSTEMS
- ALTERNATE NO. 7 - SEALANT PACKAGE
- ALTERNATE NO. 8 - COMPOSITION ROOFING
- ALTERNATE NO. 9 - BALLASTED FLAT ROOF
- ALTERNATE NO. 10 - EPOXY FLOOR
- ALTERNATE NO. 11 - WOOD FLOORING
- ALTERNATE NO. 12 - AFFLIANCE UPGRADES
- ALTERNATE NO. 13 - ERV/HRV SYSTEM
- ALTERNATE NO. 14 - MAKE UP AIR UNIT
- ALTERNATE NO. 15 - COPPER PIPING/ PEX PIPING
- ALTERNATE NO. 16 - EMERGENCY WATER SHUTOFF SYSTEM
- ALTERNATE NO. 17 - PROGRAMMABLE LIGHTING
- ALTERNATE NO. 18 - WIRELESS SATELLITE DISH
- ALTERNATE NO. 19 - SECURITY SYSTEM
- ALTERNATE NO. 20 - SOUND SYSTEM
- ALTERNATE NO. 21 - SOLAR PV SYSTEM
- ALTERNATE NO. 22 - ENVIRONMENTAL PRODUCTS

FIRE SPRINKLER SYSTEM

SPRINKLER SYSTEM REQUIRED PER TOWN OF WINTER PARK FOR EACH UNIT.
 PROVIDE NFPA 13 D AUTOMATIC FIRE SPRINKLER SYSTEM FOR EACH UNIT.
 PROVIDE SIDE WALL HEADS TO GREATEST EXTENT POSSIBLE.
 PROVIDE SUBMITTAL FOR AUTOMATIC FIRE SPRINKLER SYSTEM.
 SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

CODE INFORMATION

THIS PROJECT IS GOVERNED BY THE 2015 INTERNATIONAL RESIDENTIAL CODE AS AMENDED AND ADOPTED BY THE TOWN OF WINTER PARK, COLORADO.

SPRINKLER SYSTEM REQUIRED PER TOWN OF WINTER PARK OCCUPANCY - R3 RESIDENTIAL

TYPE OF CONSTRUCTION - TYPE V-B

ALLOWABLE FLOOR AREA - R3 OCCUPANCY WITH TYPE V-B CONSTRUCTION ALLOWS UNLIMITED FLOOR AREA

HEIGHT AND NUMBER OF STORIES - LOWER LEVEL IS CLASSIFIED AS BASEMENT. R3 OCCUPANCY WITH TYPE V-B CONSTRUCTION ALLOWS 3-STORY HEIGHTS

PARTY WALL CONSTRUCTION - SEE DETAILS SHEET A43
 TWO HOUR UL RATED SHAFT WALL SYSTEM PROVIDED IN LIEU OF TWO 1-HOUR RATED WALLS. SHAFT WALL TO EXTEND FROM LOWER LEVEL CONCRETE FOUNDATION TO UNDERSIDE OF ROOF DECK. 5/8" X DRYWALL OR FIRE RETARDANT PLYWOOD TO BE PROVIDED WITHIN 4' OF BOTH SIDES OF PARTY WALL.

ASSUMED PROPERTY LINE - THE ASSUMED PROPERTY LINE IS SHOWN ON THE BUILDING FLOOR PLANS. ACTUAL PROPERTY LINE TO BE SURVEYED AFTER FOUNDATION INSTALLATION. NO WINDOW OR DOOR OPENINGS ARE AFFECTED BY THE ASSUMED PROPERTY LINE.

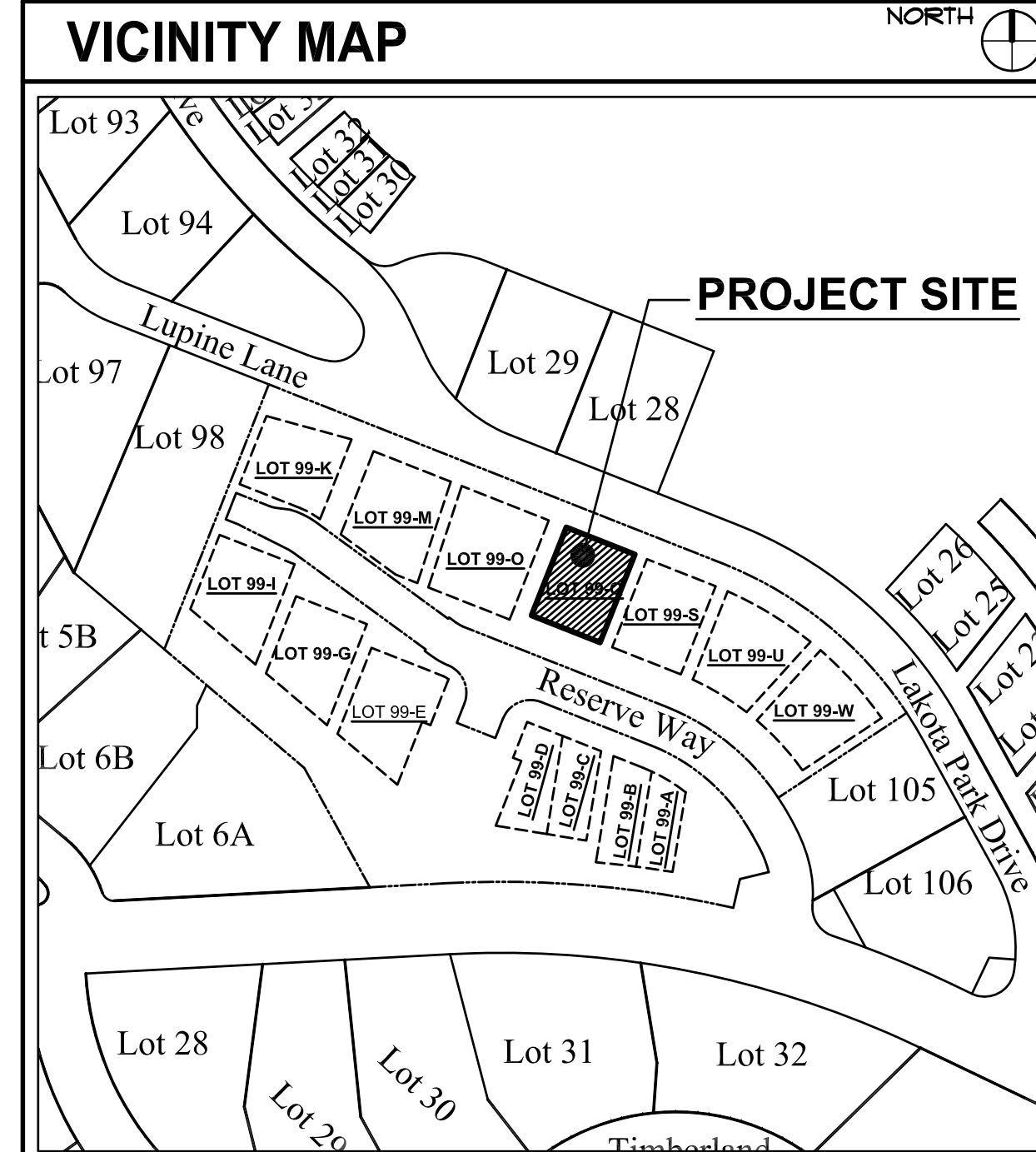
INSULATION REQUIREMENTS - SEE SHEET A31 AND PROJECT SPECIFICATIONS FOR BUILDING ENVELOPE INSULATION REQUIREMENTS.

ADDITIONAL CODE INFORMATION -
 36" MIN GUARD RAILS HEIGHTS, HANDRAILS TO 34"-38" ABOVE STAIR NOSING, STAIR RISERS TO BE 1-3/4" MAX, TREADS TO BE 10-1/2" MIN DEPTH TO MEET ALL CODE REQUIREMENTS.

EGRESS WINDOWS SHALL BE PROVIDED AT ALL SLEEPING ROOMS.

GENERAL NOTES

- 1) **COPYRIGHT:**
 All plans, designs, and concepts shown in these drawings are the exclusive property of BHH Partners, Planners and Architects, AIA/A/P/C, and shall not be used, disclosed, or reproduced for any purpose whatsoever without the Architect's written permission.
- 2) **CODES:**
 The project is governed by the applicable building code as adopted by the jurisdiction of record in Colorado. Code compliance is mandatory. The drawings and specifications shall not permit work that does not conform to these codes. The General Contractor and Subcontractors shall be responsible for establishing all applicable codes and obtaining all permits and required approvals. Building areas are shown for code purposes only and shall be recalculated for any other purposes.
- 3) **FIELD VERIFICATION:**
 Verify all dimensions, conditions, and utility locations on the job site prior to beginning any work or ordering any material. Notify Architect of any conflicts or discrepancies in the drawings immediately.
- 4) **DIMENSIONS:**
 Written dimensions always take precedence over scaled dimensions. DO NOT SCALE DRAWINGS. Verify all dimensions shown prior to beginning any work and notify Architect of any conflicts or discrepancies for interpretation or clarification. Plan dimensions are to the face of framing members, face of wood furring or face of concrete walls unless otherwise noted. Section or elevation dimensions are to top of concrete, top of plywood, or top of wall plates or beams unless otherwise noted.
- 5) **DISCREPANCIES:**
 The Owner has requested the Architect to provide detailed architectural and engineering services. In the event additional details or guidance is needed by the Contractor for construction of any aspect of this project, he shall immediately notify the Architect. Failure to give simple notice shall relieve the Architect of responsibility. Do not proceed in areas of discrepancy until all such discrepancies have been fully resolved with written direction from the Architect.
- 6) **DUTY OF COOPERATION:**
 Release of these plans contemplates further cooperation among the Owner, his Contractor, and the Architect. Design and construction are complex. Although the Architect and his Consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect, and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences.
- 7) **CHANGES TO THE WORK:**
 Any items described herein that impact project budget or time shall be requested from the Contractor via a written change order request prior to such work. Performance of such work without approval by change order indicates General Contractor's acknowledgment of no increase in contract sum or time. Changes from the plans or specifications made without consent of the Architect are unauthorized and shall relieve the Architect of responsibility for any and all consequences resulting from such changes.
- 8) **WORKMANSHIP:**
 It is the intent and meaning of these drawings that the Contractor and each Subcontractor provide all labor, materials, transportation, supplies, equipment, etc. to obtain a complete job within the recognized standards of the industry.
- 9) **SUBSTITUTIONS:**
 Substitution of "equal" products will be acceptable with Architect's written approval. See specifications.
- 10) **CONSTRUCTION SAFETY:**
 These drawings do not include the necessary components for construction safety. The General Contractor shall provide for the safety, care of utilities and adjacent properties during construction, and shall comply with state and federal safety regulations.
- 11) **EXCAVATION PROCEDURES:**
 Upon completion of any excavation, the Owner shall retain a soils engineer to inspect the excavation and provide written approval. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.
- 12) **FIELD CUTTING OF STRUCTURAL MEMBERS:**
 The General Contractor and Subcontractors shall field coordinate and obtain approval from Engineer/Architect in order to determine the adequacy of foundation design. See specifications. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.
- 13) **WEATHER CONDITIONS:**
 The Owner has been advised that due to harsh winter conditions, roof and deck surfaces must be maintained reasonably free of ice and snow to ensure minimal problems with these surfaces. All roofing, roofing membranes, and waterproofing shall be approved in writing by product manufacturer (UR-Grace for bitumens, etc.) prior to proceeding with any work. Failure to provide these written approvals removes all responsibility for the work from the Architect.
- 14) **BUILDING AREA:**
 Building areas are shown for code purposes only and shall be recalculated for any other use.
- 15) **PROJECT STAKING:**
 The general contractor shall verify all existing grades and stake all building corners and the driveway location for Owner/Architect and Jurisdiction approval prior to beginning any site clearing.
- 16) **SITE DISTURBANCE:**
 It is the responsibility of the contractor to protect the existing trees to remain and adjacent properties from damage during construction. Provide protective fencing throughout construction.
- 17) **PROJECT GRADES:**
 The general contractor shall check and verify all grades including paved area slopes prior to pouring any foundations. Survey work should be verified in detail. See numbers 5 and 6.
- 18) **EXTERIOR MATERIAL MOCK UP:**
 The General Contractor shall provide a mock up of all exterior materials for review by the Owner, Architect and Lakota Design Review Committee. The mock up shall be provided and signed off in writing prior to any exterior stain or exterior finish work. The sample shall include fascia, trim, window cladding and all other exterior finishes including a 3'-0"x3'-0" (min) sample of exterior stonework if applicable. This mock up shall be retained on site until the final punch.
- 19) **3D MODELING:**
 This project has been digitally modeled in 3d software. The digital model is provided for reference purposes only. Transmission of digital model files constitutes a warranty by the party transmitting files to the party receiving files that the transmitting party is the copyright owner of the digital data. Unless otherwise agreed in writing, any use of, transmission of, or reliance on the model is at the receiving party's risk. The contractor shall notify the architect of questions or coordination issues between the contract documents and digital model.



LEGAL DESCRIPTION

LOT 99 LAKOTA PARK SUBDIVISION, EXEMPTION No. 6 TOWNSHIP 2 SOUTH, RANGE 15 WEST, OF THE 6TH PM.

217 & 219 LAKOTA PARK DRIVE WINTER PARK, COLORADO 80482

AREA CALCS - BUILDING 9

	UNFIN.	FINISHED	TOTAL
'PANORAMIC +'			
LOWER	62 SF	749 SF	811 SF
MID	0 SF	935 SF	935 SF
MAIN	0 SF	1,321 SF	1,321 SF
ENTRY	594 SF	276 SF	870 SF
TOTAL	656 SF	3,287 SF	3,943 SF
'SUNNYSIDE +'			
LOWER	62 SF	749 SF	811 SF
MID	0 SF	935 SF	935 SF
MAIN	0 SF	1,321 SF	1,321 SF
ENTRY	594 SF	276 SF	870 SF
TOTAL	656 SF	3,287 SF	3,943 SF
GRAND TOTAL	1,312 SF	6,574 SF	7,886 SF

NOTE: SQUARE FOOTAGES ARE CALCULATED FOR CODE PURPOSES ONLY AND SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES.

FLOOR ELEVATIONS

	U.S.G.S.	ARCHITECTURAL
LOWER - T.O. CONCRETE	9,273.0'	100'-0"
MID - T.O. CONCRETE	9,283.0'	110'-0"
MAIN - T.O. PLYWOOD	9,293.14'	120'-1 3/4"
T.O.C. @ GARAGE DOOR	9,302.91'	130'-0"
ENTRY - T.O. PLYWOOD	9,303.29'	130'-3 1/2"
T.O.C. @ REAR OF GARAGE	9,303.41'	130'-5"

PROJECT RENDERING

SEE SHEET A2.0, A2.1, AND A2.2 FOR REVISED EXTERIOR DESIGN. THIS RENDERING IS DIAGRAMMATIC.

SHEET INDEX

T11	TITLE SHEET & GENERAL NOTES
SURVEY	RECORDED PLAT FROM TIM SHENK
SP11	OVERALL SITE PLAN
SP12	ENLARGED SITE PLAN
SP13	LANDSCAPE PLAN
CMF	CONSTRUCTION MANAGEMENT PLAN
A1.0	LOWER LEVEL FLOOR PLAN
A1.1	MID LEVEL FLOOR PLAN
A1.2	MAIN LEVEL FLOOR PLAN
A1.3	ENTRY LEVEL FLOOR PLAN
A1.4	ROOF PLAN
A2.0	BUILDING PERSPECTIVES
A2.1	BUILDING ELEVATIONS
A2.2	BUILDING ELEVATIONS
A2.3	BUILDING ELEVATIONS

REALTOR:	SURVEYOR:	SOILS ENGINEER:	STRUCT. ENGINEER:	CONTRACTOR:	OWNERS REP.:	ARCHITECT:	OWNER:	
STU HUSTER 910-591-2345 cell 910-126-0123 stuster@cbmp.com	DENNIS BAFFELL 910-591-9200 cell 910-126-0123 debaffell@cbmp.com	TIM SHENK LAND SURVEYING, INC. PO BOX 1610 GRANDBY, CO 80446 910-881-1046 tshenk@telsa1.com	KUMAR & ASSOCIATES, INC. 13050 US. HWY 40, UNIT 10 LIPAN STREET DENVER, CO 80223 (303) 742-9100 kcdenver@kumarusa.com	ASCENT STRUCTURAL ENGINEERING 13050 US. HWY 40, UNIT 10 WINTER PARK, COLORADO 80482 303-865-4978	BIG VALLEY CONSTRUCTION LLC 62943 US. HWY 40, UNIT 10 PO BOX 1819 GRANBY, COLORADO 80446 910-881-1933	WINDHAM PROJECT SERVICES LTD. 160 EAST ADAMS STREET P.O. BOX 931 BRECKENRIDGE, CO 80424 303-681-1521 tmoir@windhamsltd.com	BHH Partners, Planners and Architects 13050 US. HWY 40, UNIT 10 PO BOX 931 BRECKENRIDGE, CO 80424 (910) 453-6880 mhogan@bhpartners.com	PMUP DEVELOPMENT 5450 NUTCRACK ROAD PARKER, CO 80134 (303) 931-0108

REVISIONS:

JOB NO: B19019
 DATE: 6/28/2022
 DRAWN BY: J PAWLAK
 CHECKED BY: M HOGAN

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DESIGN REVIEW SUBMITTAL:
06/28/22

bhh Partners
 P.O. BOX 931 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880

LAKOTA RESERVE - BUILDING 9
 217 & 219 LAKOTA PARK DRIVE, TOWN OF WINTERPARK, COLORADO

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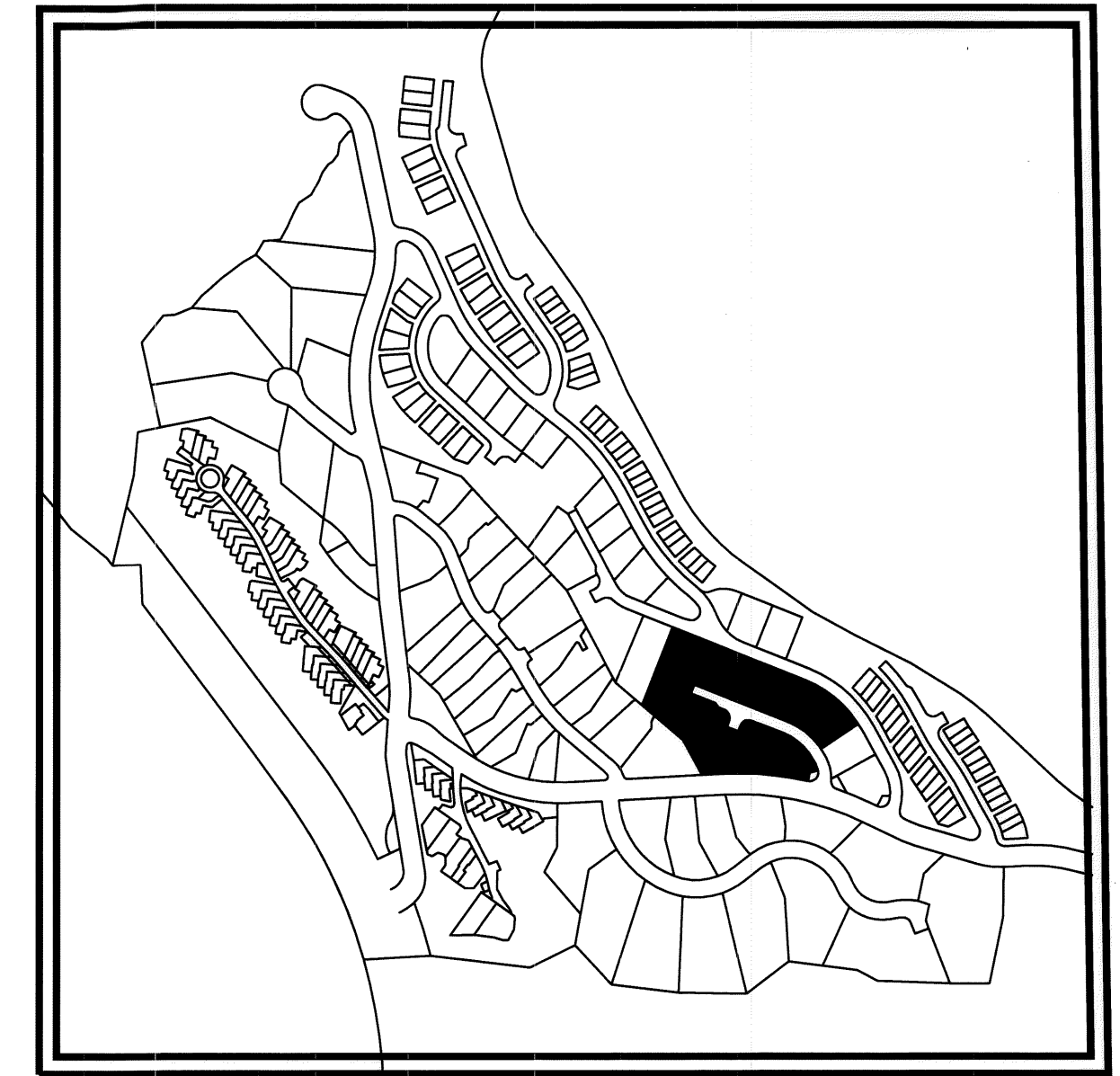
SHEET NUMBER:

BUILDING 9
T1.1

TITLE SHEET, GENERAL NOTES, SCHEDULES & INFORMATION

FINAL PLAT, THE RESERVE AT LAKOTA PARK SUBDIVISION

BEING A REPLAT OF LOT 99 AND TRACTS 3 & 3A
OF LAKOTA PARK SUBDIVISION EXEMPTION NO. 6, RECEPTION NO. 2020003111
SECTION 11, TOWNSHIP 2 SOUTH, RANGE 75 WEST, OF THE 6TH P.M.
TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO
OWNERSHIP VESTED IN PM WINTER PARK LLC AT RECEPTION NO. 2014003956
OWNERSHIP VESTED IN LAKOTA EAST OWNERS ASSOCIATION AT RECEPTION NO. 2008000687



VICINITY MAP
SCALE 1:500

CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	203.33	332.51	35°02'09"	S 50°56'40" E	200.18
C2	123.83	202.51	35°02'09"	N 50°56'40" W	121.91
C3	6.34	34.00	10°45'41"	S 59°13'07" E	6.36
C4	13.56	66.00	11°46'13"	S 59°43'23" E	13.53
C5	39.27	25.00	90°00'00"	S 23°27'45" E	35.36
C6	39.27	25.00	90°00'00"	N 66°32'15" E	35.36
C7	115.98	167.51	39°40'19"	S 48°37'35" E	113.68
C8	244.06	880.03	15°53'22"	N 85°05'10" W	243.27
C9	82.21	312.51	15°04'18"	S 58°37'09" E	81.97
C10	77.30	312.51	14°10'17"	S 41°58'43" E	77.10
C11	57.37	232.51	14°08'13"	N 42°28'00" W	57.22
C12	53.20	232.51	13°06'37"	N 58°48'20" W	53.09
C13	11.58	232.51	0°23'23"	S 68°16'03" E	11.58
C14	17.97	70.00	14°42'24"	S 81°11'28" E	17.92
C15	5.10	15.00	19°28'28"	S 58°43'32" E	5.07
C16	42.47	147.50	116°29'53"	S 60°13'09" E	42.33
C17	65.19	900.03	4°09'00"	N 82°50'06" W	65.18
C18	24.43	66.00	21°12'23"	N 64°26'28" W	24.28
C19	5.23	21.00	14°16'42"	N 75°36'06" W	5.22
C20	4.81	34.00	8°06'32"	S 57°53'52" E	4.81
C21	34.07	900.03	2°10'09"	S 86°41'50" E	34.07
C22	16.44	900.03	1°02'48"	N 88°18'19" W	16.44

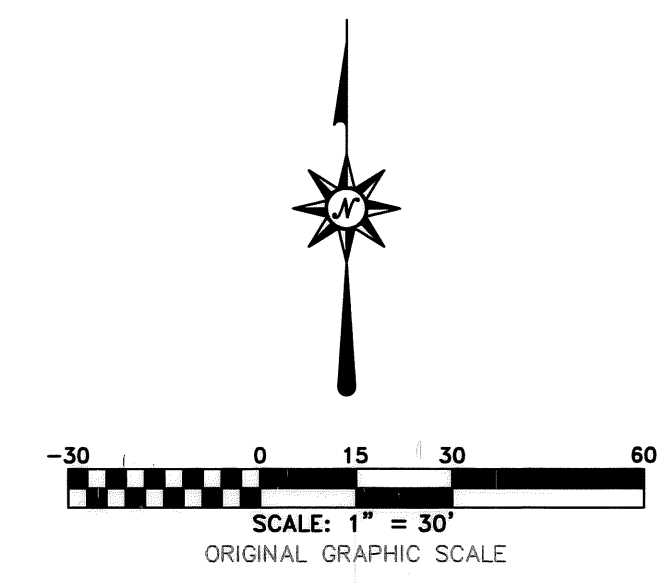
LINE TABLE

LINE	BEARING	DISTANCE
L1	S 04°12'18" W	128.85
L2	S 61°39'13" E	21.15
L3	S 68°27'45" E	9.95
L4	S 68°27'45" E	16.00
L5	S 68°27'45" E	11.00
L6	S 67°08'35" E	11.00
L7	S 50°04'27" E	11.01
L8	N 68°27'45" E	119.77
L9	N 32°58'48" E	40.33
L10	S 49°43'41" E	11.63
L11	S 49°43'41" E	11.62
L12	S 68°16'03" E	11.04
L13	N 58°22'17" W	59.65
L14	S 68°27'45" W	26.05
L15	N 68°27'45" W	17.50
L16	S 21°32'15" W	32.50
L17	S 21°32'15" W	41.64
L18	N 68°27'45" W	17.50
L19	N 20°48'01" E	11.42
L20	N 20°48'01" E	11.58
L21	INTENTIONALLY DELETED	
L22	S 21°32'15" W	17.50
L23	N 21°32'15" E	17.50
L24	N 82°44'27" W	7.84
L25	S 68°27'45" W	50.64
L26	S 21°32'15" W	24.00
L27	S 68°27'45" E	11.25
L28	N 82°44'27" W	13.97

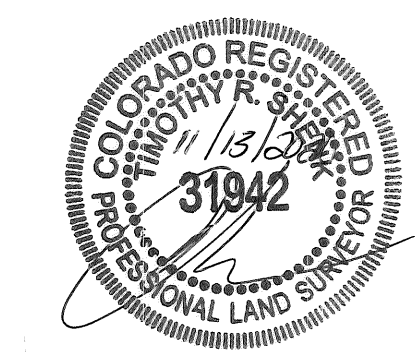
- LEGEND**
- ◆ - SET 18" LONG #5 REBAR WITH ALUMINUM CAP PLS#31942
 - ⊕ - FOUND BRASS CAP
 - ⊖ - FOUND #5 REBAR
 - - FOUND #5 REBAR W/ PLASTIC CAP, PLS #22097

LAND USE TABLE:

	ACRES	%
TOTAL:	3.813	100.00%
(14) MULTI-FAMILY RESIDENTIAL LOTS:		
LOT 99-A	.054	1.42%
LOT 99-B	.067	1.76%
LOT 99-C	.078	2.05%
LOT 99-D	.094	2.46%
LOT 99-E	.135	3.54%
LOT 99-G	.119	3.12%
LOT 99-I	.124	3.25%
LOT 99-K	.112	2.94%
LOT 99-M	.141	3.70%
LOT 99-O	.158	4.14%
LOT 99-Q	.114	2.99%
LOT 99-S	.114	2.99%
LOT 99-U	.124	3.25%
LOT 99-W	.124	3.25%
TOTAL MULTI-FAMILY RESIDENTIAL LOTS	1.558	40.85%
OPEN SPACE:		
TRACT D	1.728	45.32%
ROADWAY TRACTS:		
RESERVE WAY-TRACT 3	.505	13.24%
TRACT 3-A	.022	0.58%
SNOW STORAGE:		
TOTAL OF ROADWAY TRACTS	.527	100.00%
SNOW STORAGE EASEMENT	.408	77.42%
PARKING:		
OFF STREET PARKING STALLS PROVIDED		48



2020011191



TIM SHENK
LAND SURVEYING INC.
P.O. BOX 1670
GRANBY, CO 80446
(970) 887-1046

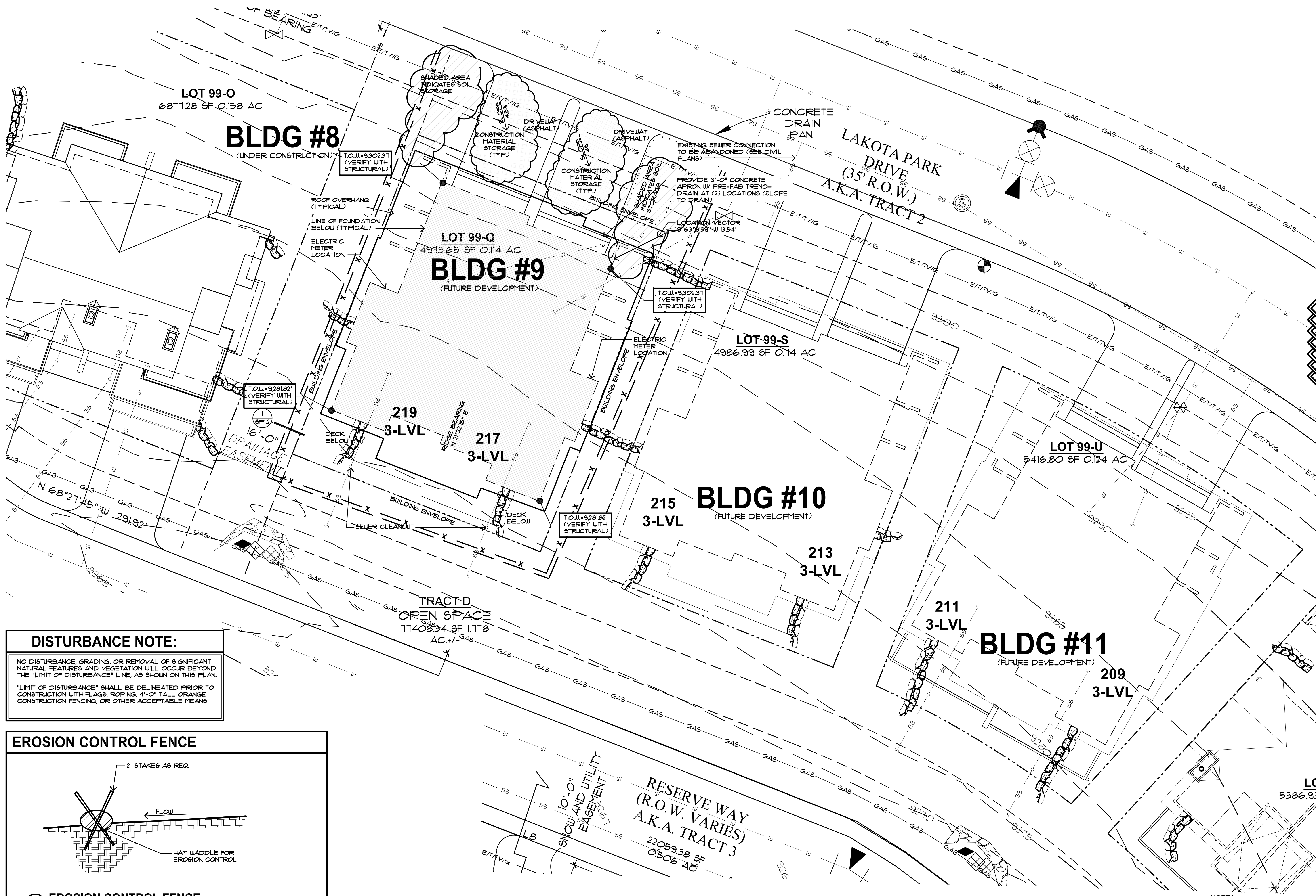
STATE OF COLORADO
County of GRAND
Filed for record this 18th day of November 2020 at 9:38 o'clock A.M.
Recorded in Book _____ Page _____
Deputy

FINAL PLAT,
THE RESERVE AT LAKOTA PARK SUBDIVISION
S-11, T-2-S, R-75-W, 6TH P.M.
TOWN OF WINTER PARK, COUNTY OF GRAND,
STATE OF COLORADO

SHEET 2 OF 2

DWG: 18007.RESERVE FINAL PLAT.18 SH2
CRD: 18007.36

JOB: 18007 DATE: 11/13/2020 DRAWN BY: CT



REVISIONS:

JOB NO: 519019
 DATE: 6/28/2022
 DRAWN BY: J.FAULAK
 CHECKED BY: M.HOGAN

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DESIGN REVIEW SUBMITTAL:
 06/28/22

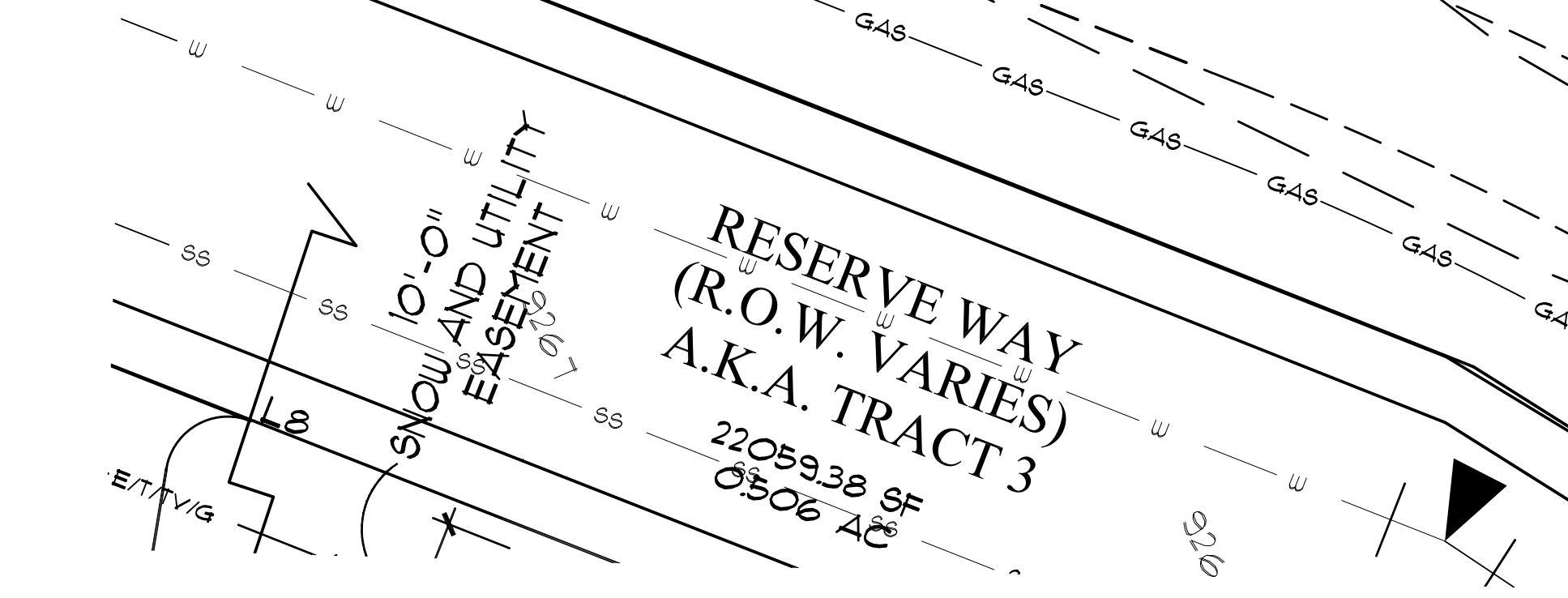
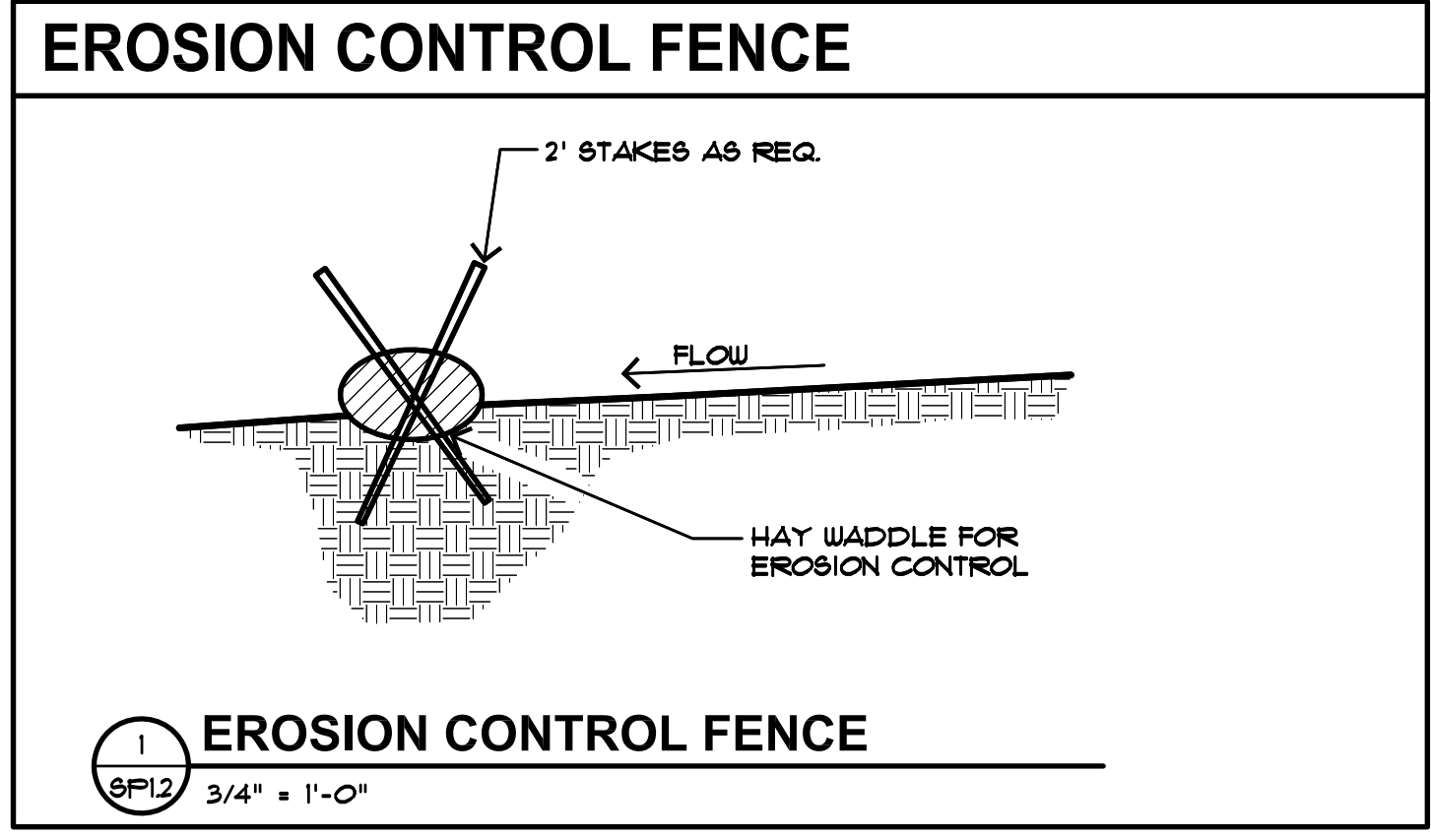
bhh Partners
 P.O. BOX 931 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880

LAKOTA RESERVE - BUILDING 9
 217 & 219 LAKOTA PARK DRIVE, TOWN OF WINTERPARK, COLORADO

DISTURBANCE NOTE:

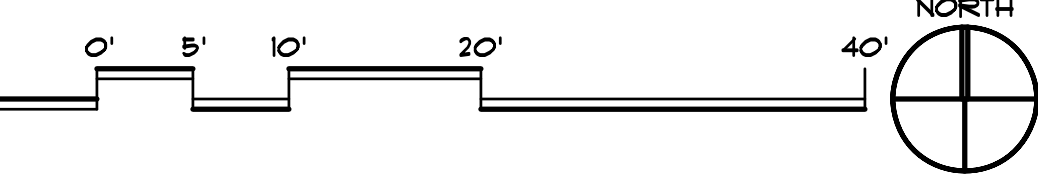
NO DISTURBANCE, GRADING, OR REMOVAL OF SIGNIFICANT NATURAL FEATURES AND VEGETATION WILL OCCUR BEYOND THE "LIMIT OF DISTURBANCE" LINE, AS SHOWN ON THIS PLAN.

"LIMIT OF DISTURBANCE" SHALL BE DELINEATED PRIOR TO CONSTRUCTION WITH FLAGS, ROPING, 4'-0" TALL ORANGE CONSTRUCTION FENCING, OR OTHER ACCEPTABLE MEANS

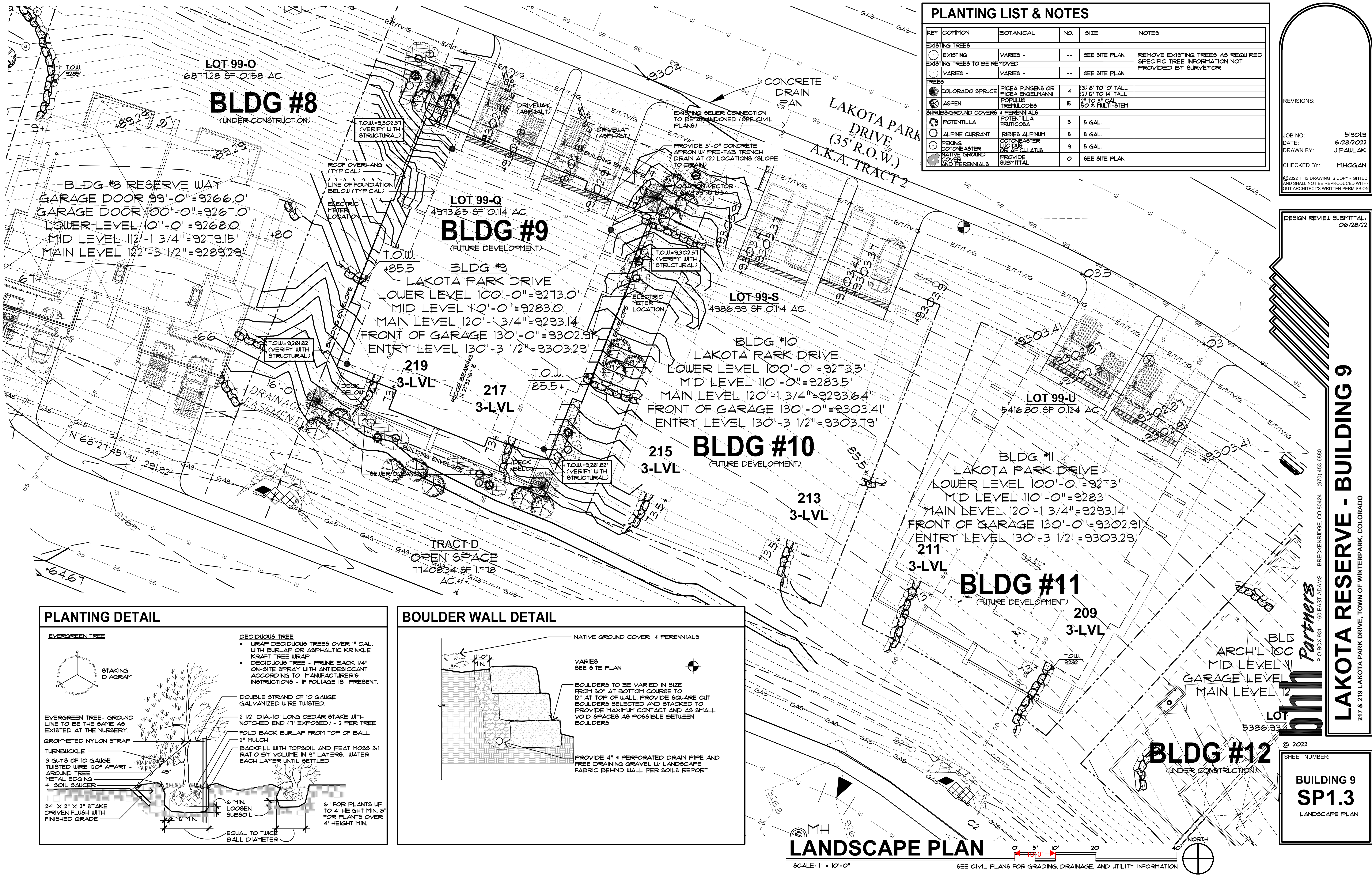


CONSTRUCTION MANAGEMENT PLAN

SCALE: 1" = 10'-0"



SHEET NUMBER:
**BUILDING 9
 CMP**
 CONSTRUCTION
 MANAGEMENT PLAN



PLANTING LIST & NOTES

KEY	COMMON	BOTANICAL	NO.	SIZE	NOTES
○	EXISTING				
○	EXISTING TREES				
○	EXISTING TREES TO BE REMOVED				
○	VARIABLES				
○	VARIABLES				
○	TREES				
○	COLORADO SPRUCE	PICEA FENSIS OR PICEA ENGELMANNI	4	(3) 8' TO 12' TALL (2) 12' TO 14' TALL	
○	ASPEN	POPULUS TREMULOIDES	15	2" TO 3" CAL 50% MULTI-STEM	
○	SHRUBS/GROUND COVERS				
○	POTENTILLA	POTENTILLA FRUTICOSA	5	5 GAL.	
○	ALPINE CURRANT	RIBES ALPINUM	5	5 GAL.	
○	PEKING COTONEASTER	COTONEASTER LUCIDUS	9	5 GAL.	
○	NATIVE GROUND COVER AND PERENNIALS	PERENNIALS	0	SEE SITE PLAN	

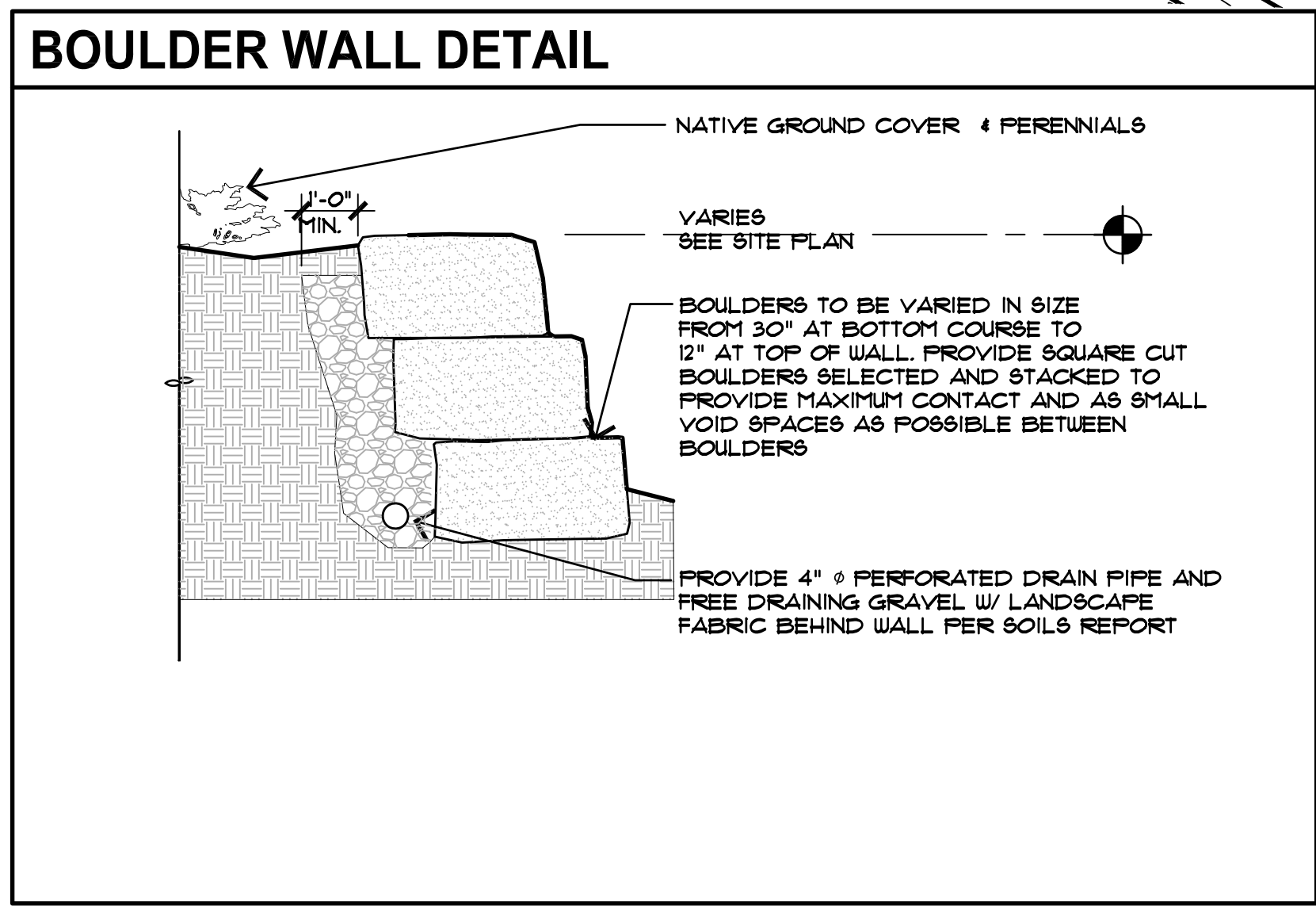
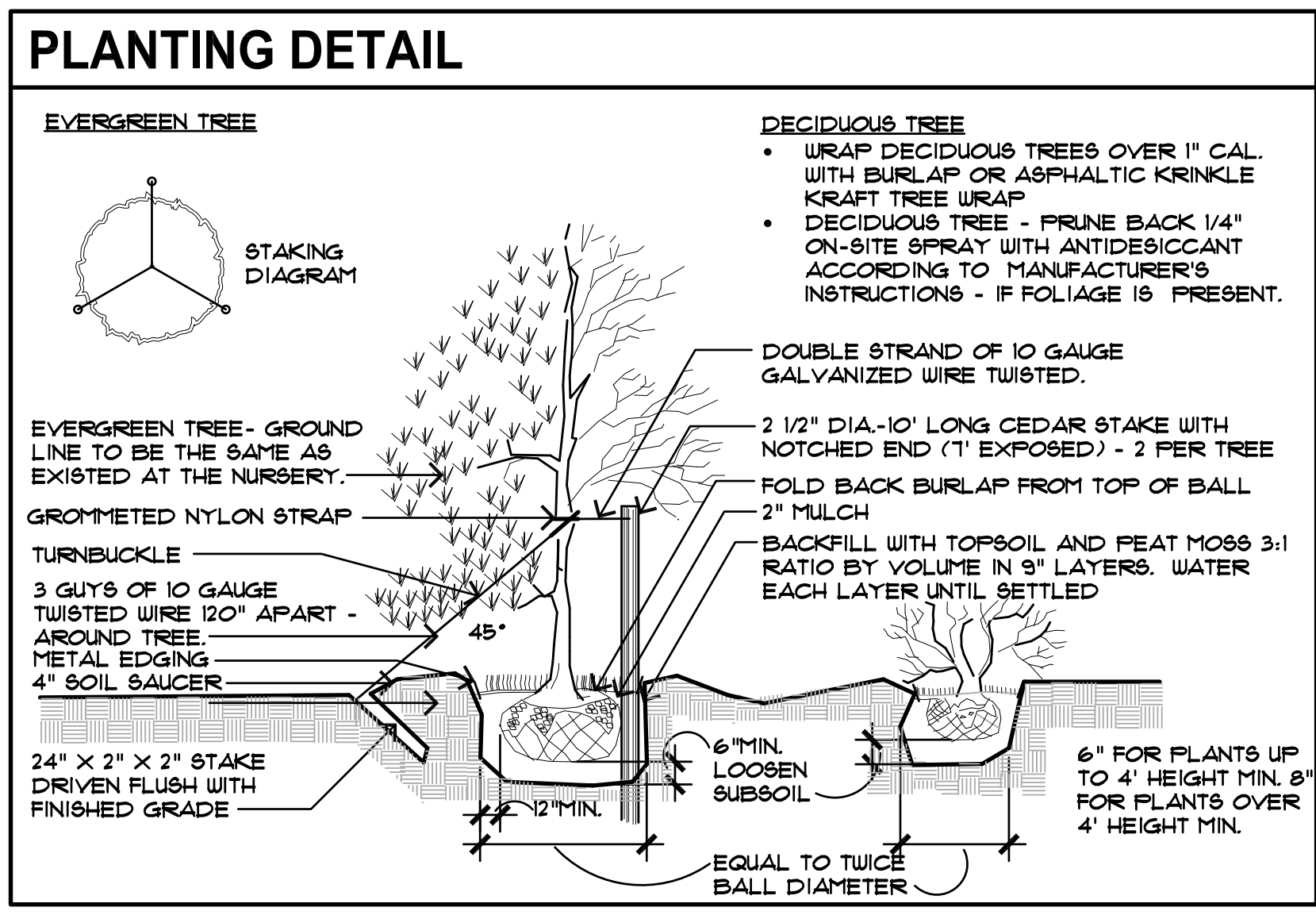
REVISIONS:

JOB NO: 519019
 DATE: 6/28/2022
 DRAWN BY: J.P. LAULAK
 CHECKED BY: M.HOGAN

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DESIGN REVIEW SUBMITTAL: 06/28/22

John Partners
 P.O. BOX 931 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880
LAKOTA RESERVE - BUILDING 9
 217 & 219 LAKOTA PARK DRIVE, TOWN OF WINTERPARK, COLORADO



LANDSCAPE PLAN

SCALE: 1" = 10'-0"

SEE CIVIL PLANS FOR GRADING, DRAINAGE, AND UTILITY INFORMATION

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SHEET NUMBER:

BUILDING 9
SP1.3
 LANDSCAPE PLAN



BUILDING NO.	LOWER LEVEL	MID. LEVEL	MAIN LEVEL	GARAGE LEVEL
1	9259.35	N/A	9269.50	9269.00
2	9247.35	9257.35	9267.50	9267.00
3	9246.00	9256.00	9266.00	9265.50
4	9249.60	9259.60	9269.75	9269.50
5	9262.90	N/A	9273.05	9272.80
6	9275.00	9286.15	9296.29	9273.00-9274.00
7	9270.50	9283.65	9293.70	9270.00-9271.00
8	9268.00	9279.15	9289.29	9266.00-9267.00

- GENERAL GRADING NOTES:**
- MAXIMUM SLOPE ON DRIVEWAYS= 5.0% (TYP).
 - SLOPE PAVED SURFACES A MINIMUM OF 2.0% AWAY FROM THE BUILDING. SLOPE VEGETATED SURFACES A MINIMUM OF 5.0% AWAY FROM THE BUILDING FOR THE FIRST 10'.
 - THE TOPOGRAPHIC SURVEY HAS BEEN PROVIDED BY OTHERS. WOHNRADÉ CIVIL ENGINEERS, INC. ASSUMES NO RESPONSIBILITY FOR VERIFYING THE ACCURACY OF THIS INFORMATION.
 - ** DRIVEWAY DRAINS TOWARDS THE BUILDING RATHER THAN OUT TO THE STREET. SEE ARCHITECTURAL PLANS FOR TRENCH GRATE DETAIL.

- LEGEND**
- 12in PVC W — PROPOSED WATER MAIN
 - PROPOSED GATE VALVE
 - PROPOSED FIRE HYDRANT
 - PROPOSED THRUST RESTRAINT
 - 0.75in TYPE K — PROPOSED WATER SERVICE
 - 8in PVC SAN — PROPOSED SEWER MAIN
 - 6in PVC SAN — PROPOSED SEWER SERVICE
 - 18in RCP STRM — PROPOSED STORM SEWER OR CULVERT
 - 18in RCP STRM — PROPOSED STORM SEWER W/ INLET
 - PROPOSED SWALE
 - PROPERTY BOUNDARY
 - IRR — IRR — PROPOSED NON-POTABLE WATER
 - SS — SS — EXISTING SEWER MAIN
 - W — W — EXISTING WATER MAIN
 - EXISTING FIRE HYDRANT
 - EXISTING POWER POLE
 - EXISTING POWER POLE W/ GUY WIRE
 - UE — UE — EXISTING UNDERGROUND ELECTRIC
 - G — G — EXISTING UNDERGROUND GAS
 - CATV — CATV — EXISTING UNDERGROUND CABLE LINES
 - OHP — OHP — EXISTING POWER LINES
 - T — T — EXISTING TELEPHONE LINES
 - EXISTING TELEPHONE PEDESTAL
 - EXISTING STREET LIGHT
 - EXISTING POWER VAULT
 - EXISTING STORM SEWER AND INLET
 - EXISTING STREET SIGN
 - X — X — EXISTING FENCE
 - EXISTING MAILBOX
 - EXISTING SPOT ELEVATION
 - 4650.00 — PROPOSED SPOT ELEVATION
 - 5267.38 FL — PROPOSED SPOT ELEVATION
 - IP — ROCK SOCK INLET PROTECTION
 - IP — CULVERT INLET PROTECTION
 - SCL — SEDIMENT CONTROL LOG (9" DIA.)
 - SF — SF — SILT FENCE
 - OP — ROCK RIPRAP OUTLET PROTECTION
 - PS — PERMANENT SEEDING AND MULCH (SEE GENERAL NOTES SHEET FOR SEED SPECIFICATION)
 - VTC — VEHICLE TRACKING CONTROL
 - CWA — CONCRETE WASHOUT AREA
 - ASPHALT PAVING

MATCHLINE SHEET 8

ALL UTILITY NOTIFICATION CENTER OF COLORADO

Know what's below. Call before you dig.

ALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE WORKING OF UNDERGROUND MEMBER UTILITIES.

No.	Revisions	By:	Date:
1	RESERVE BLDGS 3 & 4 SPOT ELEV'S	MBW	8/7/2020
3	NORTHWOODS BLDG 3 GRADING	MBW	10/6/2020
4	NORTHWOODS BLDG 3 GRADING	MBW	12/14/2020
7	ADD DRIVEWAY SLOPES BLDGS 6-7	MBW	3/23/2021
9	27' EASEMENT- RESERVE LOT LINES	MBW	5/11/2021
10	ADD DRIVEWAY SLOPES BLDG 8	YSG	8/31/2021

LAKOTA RESERVE AND NORTHWOODS @ LAKOTA WINTER PARK, COLORADO GRADING AND EROSION CONTROL PLAN

WOHNRADÉ CIVIL ENGINEERS, INC.

11502 Colony Row
Broomfield, Colorado 80027
Phone: (720)258-1519

Project: LAK-1923.00
Date: 3/11/2021
Scale: 1:30
Designed By: YSG
Reviewed By: MBW

9 Sheet
18 Sheets

LOT 99-K
2,221 SF, 0.05 AC.
502 RESERVE WAY
ARCH'L 100'-0" x 92'14.0"
MAIN LEVEL 122'-3 1/2" x 92'56.29"

LOT 99-L
2,662.17 SF, 0.06 AC.
500 RESERVE WAY
ARCH'L 99'-0" x 92'13.0"
MAIN LEVEL 122'-3 1/2" x 92'56.29"

LOT 99-N
3,059.14 SF, 0.07 AC.
400 RESERVE WAY
ARCH'L 99'-0" x 92'10.0"
MAIN LEVEL 122'-3 1/2" x 92'53.29"

LOT 99-P
3,522.25 SF, 0.08 AC.
300 RESERVE WAY
ARCH'L 100'-0" x 92'6.0"
MAIN LEVEL 122'-3 1/2" x 92'59.29"

LOT 99-R
2,480.16 SF, 0.065 AC.
217 LAKOTA PARK DRIVE
LOWER LEVEL ARCH'L 100'-0" x 92'13.0"
MID LEVEL 110'-0" x 92'83.0"
MAIN LEVEL 120'-1 3/4" x 92'53.14"
GARAGE DOOR 130'-0" x 93'02.91"
ENTRY LEVEL 130'-3 1/2" x 93'03.29"

LOT 99-V
2,832.16 SF, 0.065 AC.
209 LAKOTA PARK DRIVE
LOWER LEVEL ARCH'L 100'-0" x 92'13.0"
MID LEVEL 110'-0" x 92'83.0"
MAIN LEVEL 120'-1 3/4" x 92'53.14"
GARAGE DOOR 130'-0" x 93'02.91"
ENTRY LEVEL 130'-3 1/2" x 93'03.29"

LOT 99-W
2,496.43 SF, 0.051 AC.
201 LAKOTA PARK DRIVE
LOWER LEVEL ARCH'L 100'-0" x 92'13.35"
MID LEVEL 110'-0" x 92'83.35"
GARAGE LEVEL 119'-1 3/4" x 92'99.0"
MAIN LEVEL 120'-1 3/4" x 92'99.5"

LOT 99-Q
2,493.43 SF, 0.051 AC.
219 LAKOTA PARK DRIVE
LOWER LEVEL ARCH'L 100'-0" x 92'13.35"
MID LEVEL 110'-0" x 92'83.35"
MAIN LEVEL 120'-1 3/4" x 92'93.14"
GARAGE DOOR 130'-0" x 93'02.91"
ENTRY LEVEL 120'-3 1/2" x 93'03.29"

LOT 99-U
2,584.04 SF, 0.059 AC.
217 LAKOTA PARK DRIVE
LOWER LEVEL ARCH'L 100'-0" x 92'13.35"
MID LEVEL 110'-0" x 92'83.35"
MAIN LEVEL 120'-1 3/4" x 92'93.14"
GARAGE DOOR 130'-0" x 93'02.91"
ENTRY LEVEL 130'-3 1/2" x 93'03.29"

LOT 99-X
2,830.5 SF, 0.066 AC.
205 LAKOTA PARK DRIVE
LOWER LEVEL ARCH'L 100'-0" x 92'13.35"
MID LEVEL 110'-0" x 92'83.35"
GARAGE LEVEL 119'-1 3/4" x 92'99.0"
MAIN LEVEL 120'-1 3/4" x 92'99.5"

BUILDING MATRIX	
BUILDING TYPE	UNITS
DOWN SLOPE 3 LEVEL	6.5 BLDGS (13 UNITS)
DOWN SLOPE 2 LEVEL	2.5 BLDGS (5 UNITS)
UP SLOPE	3 BLDGS (6 UNITS)

12 BLDGS (24 UNITS)

OVERALL SITE PLAN
SCALE: 1" = 20'-0"

REVISIONS:
JOB NO: 519019
DATE: 6/28/2022
DRAWN BY: J PAULAK
CHECKED BY: M HOGAN
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DESIGN REVIEW SUBMITTAL
06/28/22

bhh Partners
P.O. BOX 931 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880
LAKOTA RESERVE - BUILDING 9
217 & 219 LAKOTA PARK DRIVE, TOWN OF WINTERPARK, COLORADO

© 2022
SHEET NUMBER:
BUILDING 9
SP1.1
OVERALL SITE PLAN

SITE NOTES

- ELECTRIC, CABLE T.V. AND TELEPHONE UNDERGROUND IN COMMON TRENCH
- VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND
- TOPOGRAPHIC INFORMATION OBTAINED FROM TIM SHENK LAND SURVEYING LLC. JOB# 18001
- PROVIDE POSITIVE DRAINAGE AT BUILDING PERIMETER (SLOPE AWAY FROM BUILDING AT 1/2" MIN)
- REFER TO FOUNDATION PLAN FOR FOUNDATION DRAIN LOCATION AND SLOPE. DRAINS TO BE SLOPED TO DAYLIGHT OR NATURAL TRENCH
- FLAG ALL TREES FOR OWNER PRIOR TO THINNING OR REMOVING
- PROTECT ALL REMAINING TREES WITH SNOW FENCE OR OTHER APPROVED BARRIER DURING CONSTRUCTION
- PROVIDE 6" DIA. STONE RIP RAP OVER WEED BARRIER FABRIC AT EAVES AND VALLEY DRIP LOCATIONS
- STAKE HOUSE LOCATION FOR OWNER, ARCHITECT, AND ARCHITECTURAL REVIEW BOARD PRIOR TO ANY WORK
- GENERAL CONTRACTOR TO REVIEW & COMPLY WITH ALL SUBDIVISION CONDITIONS. COPIES OF CONDITIONS ARE AVAILABLE FROM ARCHITECT
- DRIVEWAY SHOWN AS MAX. 25% SLOPE FOR FIRST 20' FROM ROAD EDGE OF PAVEMENT OR AS REQUIRED.
- TREES TO BE REMOVED TO ALLOW 10' BETWEEN CANOPIES WITH EXCEPTION OF CLUSTERS TO BE APPROVED BY T.O.W.P.

CONTOUR LEGEND

EXISTING CONTOUR	9.316'
PROPOSED CONTOUR	9.310'
SPOT GRADE	+9.314
ARROW INDICATES DIRECTION OF SURFACE DRAINAGE	

CIVIL DESIGN NOTE

NOTE: THIS SITE PLAN IS DIAGRAMATIC. SEE CIVIL PLANS FOR GRADING, DRAINAGE, AND UTILITY WORK. ALL RETAINING WALLS (HEIGHTS AND LOCATIONS) TO BE CONFIRMED WITH CIVIL PLANS.

LOT 99 SUBDIVIDED

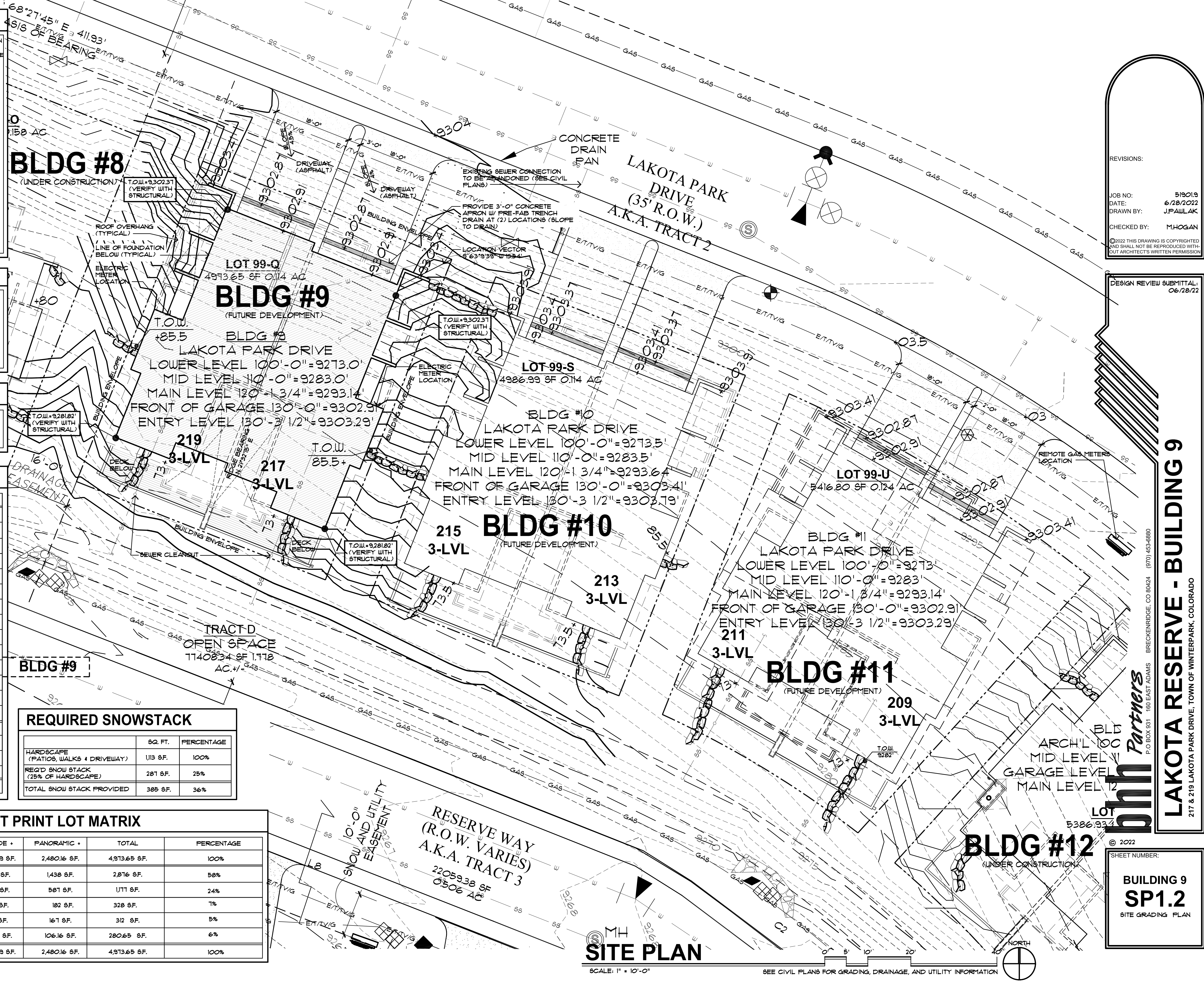
LOT	LOT SIZE (SF.)	ACRES	PERCENT
LOT 'A'	2,349.59 SF.	.054 AC	1.41%
LOT 'B'	2,926.50 SF.	.067 AC	1.75%
LOT 'C'	3,381.63 SF.	.078 AC	1.65%
LOT 'D'	4,082.07 SF.	.094 AC	1.91%
LOT 'E'	5,883.44 SF.	.135 AC	3.53%
LOT 'G'	5,174.54 SF.	.119 AC	3.11%
LOT 'I'	5,394.66 SF.	.124 AC	3.24%
LOT 'K'	4,889.17 SF.	.112 AC	2.93%
LOT 'M'	6,137.48 SF.	.141 AC	3.68%
LOT 'O'	6,871.28 SF.	.158 AC	4.13%
LOT 'Q'	4,973.65 SF.	.114 AC	2.98%
LOT 'S'	4,986.99 SF.	.114 AC	2.98%
LOT 'U'	5,416.80 SF.	.124 AC	3.23%
LOT 'W'	5,386.93 SF.	.124 AC	3.23%
MULTI-FAMILY LOTS	66,116 SF.	1.522 AC	39.76%
TRACT D OPEN SPACE	17,408 SF.	1.178 AC	39.76%
RESERVE WAY TRACT 3	22,059 SF.	5.06 AC	13.22%
TRACT 3A	956 SF.	.022 AC	.51%
TOTAL	166,593 SF.	3.828 AC	100%

REQUIRED SNOWSTACK

	SQ. FT.	PERCENTAGE
HARDSCAPE (PATIOS, WALKS & DRIVEWAY)	1113 SF.	100%
REQ'D SNOW STACK (25% OF HARDSCAPE)	287 SF.	25%
TOTAL SNOW STACK PROVIDED	385 SF.	36%

SITE DATA - BUILDING #9 FOOT PRINT LOT MATRIX

	SUNNYSIDE +	PANORAMIC +	TOTAL	PERCENTAGE
LOT AREA	2,493.49 SF.	2,480.16 SF.	4,973.65 SF.	100%
BUILDING FOOTPRINT	1,438 SF.	1,438 SF.	2,876 SF.	58%
ROOF OVERHANGS	590 SF.	587 SF.	1,177 SF.	24%
PAVING HARDSCAPES	146 SF.	182 SF.	328 SF.	7%
PATIO HARDSCAPES AND DECKS	145 SF.	167 SF.	312 SF.	5%
OPEN SPACE	17,449 SF.	10,616 SF.	28,065 SF.	6%
TOTAL	2,493.49 SF.	2,480.16 SF.	4,973.65 SF.	100%



REVISIONS:
 JOB NO: 519019
 DATE: 6/28/2022
 DRAWN BY: J.P. LAWLAK
 CHECKED BY: M. HOGAN
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DESIGN REVIEW SUBMITTAL:
 06/28/22

John Partners
 BRECKENRIDGE, CO 80424 (970) 453-6880
 P.O. BOX 931 160 EAST ADAMS
LAKOTA RESERVE - BUILDING 9
 217 & 219 LAKOTA PARK DRIVE, TOWN OF WINTERPARK, COLORADO

© 2022
 SHEET NUMBER:
BUILDING 9
SP1.2
 SITE GRADING PLAN

SITE PLAN

SCALE: 1" = 10'-0"

SEE CIVIL PLANS FOR GRADING, DRAINAGE, AND UTILITY INFORMATION



ARIA

MEDIUM WALL MOUNT LANTERN

2304BK

Aria is a contemporary style that effortlessly complements the facade of any exterior. Its modern shape in durable aluminum is enhanced by a stainless steel mesh shade. Aria's high style and low maintenance comes standard Dark Sky compliant.

FINISH: Black

WIDTH: 5.3"

HEIGHT: 18.5"

LIGHT SOURCE: Socket

WATTAGE: 1-100w Med.

HINKLEY

HINKLEY
33000 Pin Oak Parkway
Avon Lake, OH 44012

PHONE: (440) 653-5500
Toll Free: 1 (800) 446-5539

hinkley.com