



**TOWN OF WINTER PARK
PLANNING COMMISSION
Tuesday, August 9, 2022 8:00 AM**

A G E N D A

- I. **Meeting Call to Order**
- II. **Roll Call of Commission Members**
- III. **Town Hall Meeting** (time for anyone from the public to speak about items not on the agenda)
- IV. **Minutes:** July 26, 2022
- V. **Conflicts of Interest**
- VI. **Action Items:**
 - A. 8:05am CONTINUANCE: PUBLIC HEARING: Final Development Plan – Cooper Creek Village, Cooper Creek North, and Cooper Creek South (PLN21-082)
 - B. 9:30am Minor Site Planning Application – Lot 5, Bridger Cache Subdivision – 244 Bridger Trail (PLN22-073)
- VII. **Planning Commission Items for Discussion**
- VIII: **Director's Report**

If members of the public wish to attend the meeting digitally the link is below. The meeting will continue in person regardless of technical difficulties with Zoom.

Times on the agenda are approximate and only intended as a guide for the Planning Commission. Order of agenda items are subject to change.

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**TOWN OF WINTER PARK
PLANNING COMMISSION
Tuesday, July 26, 2022 8:00 AM**

MINUTE

- I. **Meeting Call to Order.** The Planning Commission meeting starts at 8:00 am.
- II. **Roll Call of Commission Members.** Roll Call indicated present Chairman Brad Holzwarth, Commissioners Doug Robbins, Mike Davlin, Angela Sandstrom, Roger Kish, Dave Barker and Jonathan Larson. Community Development Director James Shockey and Town Planner Hugh Bell are also present.
- III. **Town Hall Meeting** (time for anyone from the public to speak about items not on the agenda). No one comes forward.
- IV. **Minutes:** July 12, 2022. Commissioner Davlin makes a motion to approve the minutes. Commissioner Robbins seconds. The minutes are approved 7, 0.
- V. **Conflicts of Interest.** No one comes forward.
- VI. **Action Items:**
 - A. **PUBLIC HEARING:** Special Use Permit Request – 1097 Winter Park Drive – Blackjack Cannabis (PLN22-077)

Town Planner Hugh Bell begins his presentation by sharing the contents of the Staff Report on the screen. This information has been also sent to the Commissioners by email. Planner Bell gives a brief summary of this Special Use Permit Request and the items listed on the Staff Report. Planner Bell reads the criteria that are applicable to this case. There is also mention of the notification process and the comments received. Finally, Planner Bell goes over the Staff Recommendations listed on the Staff Report.

The Planning Commission ask about the ordinance and the zoning. The Planning Commission and the Staff have a brief discussion about this.

The applicant, Mr. Trevor McGarvey comes forward on behalf of the owner. Mr. Garvey gives a short background of the application process. He also mentions the advantages of this Special Use Permit will bring to the Town and adjacent business. Mr. McGarvey then talks about the parking requirements and how they are planning on provided the proper number of parking spaces. Mr. Garvey also talks about the details for the proposed signage, landscaping, irrigation and security. Mr. McGarvey also acknowledges that there is some opposition to this Special Use Application.

The Planning Commission ask the applicant to clarify the use of the existing building. The Planning Commission ask the Staff what would be approved . Mr. Austin Flanagan, the Town's legal counsel, comes forward and clarifies the approval of the lot versus the building. There is no plan to use the old building.

The Public Comment is open. Ms. Jennifer Drake comes forward. She states that she is a registered independent. Ms. Drake makes comments about technical points and the ski area. She states that this proposal might pose conflict with the Town plan; she has concerns about parking. Then, she also makes a comment about compatibility and the residential character of the area. She also has concerns about

location.

Mr. Marcel Savoie comes forward. Mr. Savoie also has concerns about parking. He talks about how some people use the area to storage building materials. Mr. Savoie says that it is difficult how the parking and the traffic will be managed without the final plans.

Mr. Sky Foulkes comes forward. He agrees with what the previous people have talked about. He adds the proximity to natural environment and Federal land is factor to be considered.

Mr. Steve Hickory comes forward. He states that this Special Use Request should not be approved at all. Mr. Hickory talks about the use he and his family make of the area. He talks about a hotel development nearby and he does not agree with the Special Use Request. Mr. Hickory also mentions the parking issue. He says that a study was sent to the Commission that talks about the impact of this type of business in a residential area.

Mr. Kurt Colehower comes forward. Mr. Colehower thinks that this is a bad idea. He basically agrees with the previous members of the public have stated before. Mr. talks about the type of population that lives in this area which are mainly made of families. Then, Mr. Hall Colehower also mentions a letter he sent to the Staff. Finally, he mentions that the fact that the applicant is proposing a state-of-the art security system, gives him pause.

Mr. Jordan Dominguez comes forward. Mr. Dominguez also agrees about the parking guidelines, traffic flow and snow storage. He also mentions how some short term residents that are not allowed to smoke in the short term dwellings, might go outside and smoke in areas where children might be present. Finally, he considers that the design of the building is not compatible with the residential character of the neighborhood.

Mr. Marc Bonaca comes forward. Mr. Bonaca talks about the traffic issues that might impact pedestrians and bicycle riders in terms of safety. He points out that there are not benefits for the residents of the neighborhood. He also talks about his concerns about parking and character compatibility. Finally, he also expresses concerns about safety and how this might mean that adjacent residents might need to install security systems as well.

Mr. Lance Wood comes forward. Mr. Wood says that the safety might be negatively affected. He also talks about how this impact the property value. He also talks about how the children should be protected.

The public comment period is closed at this point.

Mr. Trevor McGarvey comes forward. Mr. McGarvey talks about the zoning and how the applicant was not able to find any other areas for this business. Mr. McGarvey talks about how the security system is a requirement. They do not anticipate any break ins or similar situations. Mr. McGarvey then talks about parking and the use of the easement nearby. Mr. McGarvey says they will take a deeper look at this issue. Then, Mr. McGarvey talks about the character of the neighborhood. He also mentions the operation hours and the business plan. Mr. McGarvey also talks about the option of customers to park in other areas and get to the business on foot. Finally, he mentions that are not schools or rehabilitation facilities nearby. Mr. McGarvey mentions how this application is in compliance with the Town guidelines. Finally, Mr. McGarvey will go back and address the traffic concerns that the public has brought up.

The Planning Commission has a discussion about the antecedents for similar requests. Mr. Flanagan comes forward and gives a short outline of this type of permits in the past. Director Shockey clarifies

some time restrictions for Special Use Permits. The Planning Commission and the Staff have a conversation about the proximity to Federal land. Mr. Flanagan says that the Planning Commission can decide about this based on their analysis. The Planning Commission points out that marijuana is still illegal on a Federal level.

The Planning Commission has a discussion about the number and type of licenses that would be granted. The Commission has a discussion about this Special Use Request and its relation to the Imagine Winter Park Plan. The Planning Commission have a conversation about how this application might be premature. The members of the Commission says that the parking might be an issue due to the parking requirements.

The members of the Commission have a further discussion about how they need more information (signage, parking, traffic flow and hours of operation among others) to make a decision. Director Shockey says that there are still more steps to be addressed in the future. The Planning Commission has a discussion about, based on the information presented today, they cannot make an informed decision.

The Planning Commission has a discussion about some of the concerns from the public about the legality of this type of business. The Planning Commission wonders if the decision from the Town Council to allow this type of business in that area was convenient. The Planning Commission asks if there is a way to defer this and send this to Town Council for review. The Commission and the Staff have further discussion about this topic.

Commissioner Barker makes a motion to deny this Special Use Permit Request due to its conflict with the Town of Winter Park Plan, lack of compatibility, lack of important information and that there should be an alternative location available better suited for this use. Commissioner Larson seconds. The Special Use Permit Request is recommended for denial 5, 2. Commissioners Kish and Davlin vote nay. This will be forwarded to the Council for its review.

B. CONTINUANCE: PUBLIC HEARING: Final Development Plan – Cooper Creek Village, Cooper Creek North, and Cooper Creek South (PLN21-082)

Director Shockey begins his presentation. This is a continuance for this Final Development Plan. Director Shockey has a Power Point presentation. Director Shockey has a series of questions for the Planning Commission to answer. Director Shockey asks the questions and each one of the Commissioners answers.

Director Shockey then begins with the Power Point presentation. The presentation displays a chart that explains the general process and the current state of the Final Development Plan for Cooper Creek Village. The next slide shows the information about the properties involved. Director Shockey goes over the next slide that contains a map. Director Shockey goes back to the questions and ask the Planning Commission members if they have any concerns. Director Shockey resumes his presentation. The slides on the Power Point presentation have information about the site characteristics, the land use planned areas (zoning), Land Use Table and Density.

The Planning Commission and the Staff go over the map in more detail. They talk about buffering, zoning and existing buildings. Director Shockey continues with his presentation. The next slides contain information about building height, parking/public parking garage, public roads, public road improvements and open space and trails. Finally, Director Shockey informs to the Commission the items they need to provide feedback to.

The Planning Commission and the Staff have a discussion about the zoning, density, land area, not jurisdictional wetlands and CPW recommendations.

The applicant, Mr. Charlie Johnson comes forward. Mr. Johnson has a presentation for the Commission and the public. Mr. Johnson talks about the vision the Town of Winter Park and the Resort have in mind for the future. Mr. Johnson talks about the multi-modal transportation and mobility plan which includes the gondola, the community trails plan, the strategic economic development plan, housing needs assessment, Three-Mile Plan, Imagine Winter Park adopted in 2019, Downtown Master Plan adopted in 2020, mobility, Winter Park Resort Master Plan, gondola alignment and the Resort Master Plan. Mr. Johnson continues his presentation by talking about the key components of this proposal. Finally, Mr. Johnson has a slide that summarizes his presentation.

Then, Mr. Jeffrey Vogel comes forward and talks about the technical aspects of this proposal. Mr. Vogel has a series of slides that contain maps and graphics that show more details about this Final Development Plan. Mr. Vogel talks about the type of mixed use this area can develop in the future. Mr. Vogel goes in more detail about the zoning guidelines. Mr. Vogel continues by describing the Land Use Plan they have outlined making emphasis on the areas that residential and commercial use could be allowed. Mr. Vogel then talks about some details about the gondola, hotel and lodging facilities. Mr. Vogel then explains in more detail a slide that contains information about the multi-modal circulation plan. Mr. Vogel also mentions some feedback they have received from the Fire Department related to point of access for emergency vehicles. Mr. Vogel continues with his presentation by explaining in detail the technical aspects of this proposal. The applicants make a clarification about the proposed building height in relation to the Crestview Condominium building. Mr. Vogel shows different pictures that illustrate how the buildings would look like from different points of view. There is also a shadow study in some of the slides. Finally, Mr. Vogel mentions the wildlife assessment report.

The Planning Commission asks the applicant about the conversation they had with the Fire Department about the cul-de-sac. Mr. Vogel provides some details about the dimensions. The applicant talks about the impact on the adjacent wetlands. The Commission and Mr. Vogel have a further conversation about this topic. The applicant and the Commission talk about the funding as well. Director Shockey makes some clarifications about this topic. Another topic being discussed has to do with traffic specially on the weekends. The Commission then ask about the open space before the purchase. Mr. Vogel says that there are no guarantees about this but there are documents that can be outlined. Mr. Johnson adds some comments that confirm what Mr. Vogel said. The Commission ask about the executive session the applicant held recently. Mr. Vogel replies that one of the main concerns has to do with community housing, height, the bridge on the railroad. Mr. Flanagan interjects and says that they would prefer to stay away from confidential information. Mr. Flanagan says that although he was not present in those executive sessions, he states that nothing was decided. Mr. Flanagan says that the result of those session are available to the public.

The Commission and the applicants have further discussion about this topic. Other items that are discussed are the parcel and parking requirements. The applicants are proposing a total five (5) metro districts. Mr. Johnson goes into more detail about this.

The Commission, the Staff and the applicants have a discussion about the parking requirements in more detail. They have a conversation about the use of the parking garage. The Planning Commission asks the applicants to provide more information about this item. The Commission, the Staff and the applicants have a short conversation about the proposed hotels and if the applicants have looked into other alternatives to achieve their goals in terms of height. The applicants say that their proposed height makes sense to them. The applicants talk about provisions for height in other areas in Town. The Commission asks about the density in relation to the proposed height by the applicant. Mr. Vogel says that this has been a challenge for them to calculate the number of hotel units and the number of residential units. Mr.

Vogel will provide more information.

The public comment period is open at this point.

Ms. Cathleen Ratschkowsky. Ms. Ratschkowsky says that she has concerns about some parts the developer might stretch to its advantage without taking into account adjacent properties. Ms. Ratschkowsky thinks that there are some contradictions in some of the points of the developer's proposal. Ms. Ratschkowsky also talks about the road that would be built and how it might have a negative impact in the wildlife and the wetlands.

Mr. Marcel Savoie comes forward. Mr. Savoie talks about his involvement in the past with previous developers. Mr. Savoie says that he has concerns about how this plan would fit into the Town. He states that there is not enough available land.

Ms. Susan Keck comes forward. Ms. Keck states her concerns about this proposed plan in terms of the impact in the area, traffic, the bridge and access.

Mr. Randall Reaugh comes forward. Mr. Reaugh thanks the applicants for their presentation. Mr. Reaugh has concerns about traffic specially on Timber Drive. He proposes not to approve higher densities until the traffic is being addressed in more detail. He also thinks that are people that have a conflict of interest.

Mr. Douglas McKinney comes forward. Mr. McKinney says he likes what has been done around in Town. Mr. McKinney has concerns about traffic and parking. Mr. McKinney talks about that there are already issues about parking and accessibility. He would like to see more information about these items. Finally, Mr. McKinney says that the current parking building gets full already and he also mentions that the proposed height might be too much.

Ms. Rebecca Sharpe comes forward. She also would like to have more information from the applicant for future meetings. Ms. Sharpe mentions a letter she sent to the Staff back in April. Ms. Sharpe does not agree with the DC zoning. She has concerns about too much flexibility about this. Finally, Ms. Sharpe expresses her concern about the loss of open space.

Mr. George Sharpe comes forward. He agrees with it has been said before. Mr. Sharpe adds some comments about the open space, wildlife and buffer areas.

Ms. Priscilla Kirouac moves forward. Ms. Kirouac biggest concern is water sources. Ms. Kirouac also mentions the short term rentals and how this might affect the local housing.

Mr. Richard (last name was not clear on the attendance form) mentions the letters that the Staff received and he wonders if those letters were read.

Mr. Fernando (last name was not clear on the attendance form) comes forward and expresses his concerns about zoning, parking requirements and how the current parking facilities get full pretty fast. Finally, he talks about traffic and traffic flow.

Mr. Ryan (last name was not clear on the attendance form) states that he although he lives in Fraser, he has three business in Winter Park. He talks about the traffic and adds that this might be a good opportunity. Finally, he would leave to the Commission to discuss the height and the density.

Mr. 250 Arapahoe. Mr. ... talks about the heavy traffic concerns he has.

Mr. Luke Braly comes forward. He says that he agrees with his neighbors' comments about zoning and traffic. He considered that this needs to be done carefully and in accordance with the Town Code. Mr. Braly also talks about height variances granted and denied in the past. He proposes to take a look at the individual buildings when the time comes.

Ms. Barbara Tria comes forward on Zoom. She acknowledges the work the Planning Commission and the Town Council have accomplished. She has concerns about accessibility to the back yard behind the Crestview condominiums and how this proposed plan might affect future improvements the owners want to do in the future to the condominium building. She also mentions safety concerns and snow management.

Mr. P. B. Jones comes forward. Mr. Jones talks about some conversations he has had with his neighbors about the difference between attainable and affordable housing. Mr. Jones also talks about his concerns about access and density.

The public comment period is closed at this point.

The Commission clarifies that the comments from the public that were sent by email are included in the electronic packet which is available to the public.

The applicants come forward one more time. Mr. Vogel elaborates more about the access with the help of the map on the screen. Mr. Vogel talks about the zoning and how in residential zones no commercial use will be allowed. Mr. Vogel mentions that the water item is being discussed with the County. Mr. Johnson talks about the short/long term rentals. Mr. Johnson says that one of their goals is to be a funding source for the Town workforce. Mr. Johnson also talks about water access and the non-existence of guarantees.

The Commission talks about how the future meetings will be handled in terms of public comment and the information that applicant needs to prepare to address the public concerns.

Commissioner Kish makes a motion to continue this Final Development Plan for August 9th, 2022 so the applicant can prepare more material to inform the Commission and the public. Commissioner Barker seconds. The Final Development Plan is approved to be continued for August 9th, 2022, 7, 0.

At this point Commissioner Larson leaves the meeting (12:20 pm).

- C. Single-Family Attached Design Review Applications – Unit G1, G2, H1, H2, I1, I2, J1, J2, K1, and K2, Whistlestop Townhomes, Subdivision Exemption No. 3 – 105, 115, 125, 135, 145, 155, 165, 175, 185, 195 Whistlestop Circle (Uphill Units) (PLN21-114, PLN21-116, PLN21-117, PLN21-118, PLN21-119, and PLN21-122)

Planner Bell states Staff is recommending approval of the Single-Family Attached Design Review Applications with the outlined conditions included in the Staff Report.

The Commission asks some questions to the Staff about the scope and the retaining wall. The Commission and the Staff have a brief discussion about the UDC in relation to this Design Review application. The Commission asks the Staff has the information they need to move forward. Planner Bell says that he feels comfortable approving this administratively.

The Commission asks the Staff about snow storage and trash management. Director Shockey confirms there are shared trash enclosures, one on the north side and one on the south side. The conversation goes back to the retaining wall and the exposed concrete and finish of the retaining wall between the buildings. The applicant Mr. Jarrod Ashida says that the material will match.

Commissioner Kish makes a motion to approve this Single-Family Attached Design Review with Staff recommendations with the addition of the finish for the retaining walls to match the adjacent buildings. Commissioner Davlin seconds. The Single-Family Attached Design Review is approved 6, 0.

- D. Minor Site Planning Application – Lot 28, Hideaway Village South Subdivision – 206 Arapahoe Road (PLN22-072)

Planner Bell states that Staff is recommending approval with the conditions included in the Staff Report.

The applicant is not present.

Commissioner Kish asks about the road adjacent to the driveway and its purpose. Director Shockey explains it's an old access road for the condos behind the property and it's since been abandoned.. Director Shockey provides the Commission with details about the configuration of the road. The Staff and the Commission look at the site plan, setbacks, and the easements.

Commissioner Davlin makes a motion to approve this Minor Site Planning Application with Staff recommendations. Commissioner Sandstrom seconds. The Minor Site Planning Application is approved 6, 0.

- E. Minor Site Planning Application – Lot 99-S, Reserve at Lakota Park Subdivision – 213 and 215 Lakota Park Drive (PLN22-075)

Planner Bell says that there are only two (2) non-standard conditions to be met. Planner Bell states that the Staff is recommending approval of the Minor Site Planning Application with the conditions included in the Staff Report.

The Commission and the Staff have a brief conversation about the bufferyard requirements. Director Shockey explains the reason why this condition was included. In anticipation of the amendment to the UDC – this will allow staff time to draft new landscaping regulations for single-family attached and detached homes, and to submit a Text Amendment to the Planning Commission and Town Council for their review.

The applicant, Mr. Todd Mohr, comes forward. Mr. Mohr has a question about the bufferyard conditions. Mr. Mohr disagrees with the lighting condition because he states the fixture is indeed compliant with the UDC. He also disagrees with the landscaping condition to add additional plants. Director Shockey explains to Mr. Mohr that staff agrees the new UDC landscaping regulations are burdensome for single-family attached and detached homes and that staff will be proposing a Text Amendment to fix that. Mr. Mohr says he has sent some additional information to the Staff.

Commissioner Robbins makes a motion to approve this Minor Site Planning Application with Staff recommendations. Commissioner Barker seconds. The Minor Site Planning Application is approved 6, 0.

- F. Minor Site Planning Application – Lot 99-Q, Reserve at Lakota Park Subdivision – 217

and 219 Lakota Park Drive (PLN22-071)

Planner Bell states that the Staff is recommending approval of the Minor Site Planning Application with the conditions included in the Staff Report.

The applicant, Mr. Todd Mohr is present. Mr. Mohr does not have a presentation or any questions for the Planning Commission.

Commissioner Robbins makes a motion to approve this Minor Site Planning Application with Staff recommendations. Commissioner Davlin seconds. The Minor Site Planning Application is approved 6, 0.

VII. Planning Commission Items for Discussion

There are no items to be discussed.

VIII: Director's Report

Director Shockey states that there are no items to be discussed.

Upon a previously approved motion, the Planning Commission meeting is adjourned at 12:41 pm.



MEMO

TO Planning Commission
FROM James Shockey, Community Development Director
DATE August 9, 2022
RE PUBLIC HEARING CONTINUED: Final Development Plan (FDP) - Cooper Creek Village, Cooper Creek North, and Cooper Creek South (PLN21-082)

The Planning Commission continued the public hearing from July 26 to August 9, 2022. Changes to the staff report are noted in red.

General Information:

JAC Colorado II, LLC (the "Applicant") has applied to create a Final Development Plan ("FDP") to zone 53 acres of property currently eligible for annexation pursuant to Town Council Resolutions 1916 through 1926, which established the property eligible for annexation to the Town and determined all requirements of law have been met, including the requirements of C.R.S. §§ 31-12-104 and 31-12-105. The property consists of two vacant parcels in unincorporated Grand County. The parcels are located south of Town Hall and are bordered on the north by Idlewild Subdivision, the east by Beaver Village Condominiums, the south by USFS land, and the west by Hideaway Village South. The Union Pacific Railroad divides the two parcels. The parcels, if annexed, will be incorporated into the Town as 11 separate annexations that will be legally considered 11 super lots for future development. The parcels are referred to as Cooper Creek Village (CCV) in the FDP.

In addition, JAC Colorado II, LLC, Cooper Creek WP, LLC, Station WP, LLC and Winter Park Tower, LLC (the "Applicant") have applied to rezone 10 parcels totaling 5.65 acres already within Town limits. Nine parcels are located north of Town Hall and public parking garage and include the Cooper Creek Shopping Center, the clock tower building and the associated parking lots. These parcels are referred to as Cooper Creek North (CCN) in the FDP. One parcel is located south of Vasquez Road adjacent to Winter Park Station/Crestview Place Condominiums and currently consists of a paved parking lot. This parcel is referred to as Cooper Creek South (CCS) in the FDP.

The Applicant is proposing to create one FDP to regulate the CCV, CCN, and CCS parcels. The properties are proposed to have a Planned Development overlay with underlying base zone districts.

Authority

Pursuant to § 7-7-5 of the Winter Park Town Code (the "Code"), the Planning Commission shall consider the application within sixty (60) days after the date of submittal to the Town planner. After consideration, the Planning Commission shall, in writing and by resolution, either approve the application as presented, approve the application subject to specified conditions, or disapprove it.

This staff report includes comments from Town staff that should be considered during the hearing and possibly incorporated into the Planning Commission's written recommendation to Town Council.

Analysis

The full FDP, with the roadway report, utility study, drainage report, etc., can be viewed at this [link](#). Included with this staff report are two redlined documents, a Vested Rights Agreement and the portion of the FDP that will be recorded with the Vested Rights Agreement.

The Planning Commission must evaluate the application against the design standards in § 7-7-5 of the Code. The staff report has been broken into the following sections: site characteristics, development standards, public and private road standards, and public dedications.

Site Characteristics

The CCV parcel consists of approximately 53 acres of high alpine terrain, ranging from 8,800 to 9,110 feet above sea level. There are significant slopes (greater than 30%) on the parcel as well as gentler slopes of less than 20%.

The CCS parcel consists of 1.85 acres of mixed terrain with a developed parking lot on the parcel adjacent to Vasquez Road.

The CCN parcel consists of 3.8 acres of mostly flat terrain with improved structures, gravel parking lots and vacant wooded land.

The natural characteristics of each parcel is described below:

Geological Hazard Areas: The Applicant submitted a Phase I Geotechnical Engineering Report (Olsson, Inc., October 15, 2020) that was reviewed by Colorado Geological Survey

(CGS) in a letter dated June 21, 2022. CGS agreed with the findings in the report that no obvious signs of slope instability or landslides were observed on the parcel and nothing in the report would preclude development on the site if recommendations from Olsson are adhered to.

Slopes in Excess of 30%: There are numerous slopes that are in excess of 30% on CCV parcel (planning areas – WPA-7, EPA-6, SPA-4, SPA-3, NPA-2) and in portions of CCS’s planning area PA-1. Typically, these areas are not suitable for development as it could require a considerable amount of cut and fill in order to build on the site. CGS recommends that development on slopes 30% or greater be avoided and preserved as open space.

The FDP states that “development will be limited on steep slopes that exceed 30%” and during “the time of platting, the Applicant will demonstrate that areas with steep slopes have been avoided to the greatest extent possible”. Staff recommends this statement be deleted from the FDP and the applicant follow the Hillside, Ridgelines and Topographic Features section (§ 3-C-2) established in the UDC.

The applicant has amended the FDP to reference the UDC standards.

Wetlands: The Conceptual Grading Plan identifies wetlands on the CCV parcel. Jurisdictional wetlands, administered by the US Army Corps of Engineers, exist in the southern portion of the site. Non-jurisdictional wetlands, administered by the Town, exist in the northwestern portion of the site. The Conceptual Grading Plan identifies most of the jurisdictional wetlands as areas of non-disturbance other than one road crossing. A portion of the non-jurisdictional wetlands are proposed to be disturbed for residential development, road crossings and the ski-back trail.

Colorado Geological Survey reviewed the jurisdictional wetlands as it relates to slope stability and recommended no development within this drainage. Other than one road crossing, no other development is proposed within the drainage.

The FDP states “impacts to jurisdictional wetlands will be processed and approved with the regulations outlined by the United States Army Corps of Engineers”. The FDP does not state how non-jurisdictional wetlands will be processed. Staff recommends this statement be modified in the FDP, so the Applicant follows both the US Army Corps of Engineers requirements and those in the Wetlands section (§ 3-C-3-4) of the UDC.

§ 5-4 of the Vested Rights and Development Guide was added to address non-jurisdictional wetlands. It states, “Areas of the FDP Properties which constitute “wetlands” (as that term may be defined in the Corps of Engineers Wetlands Delineation Manual dated January 1987) that are not subject to jurisdiction under the Clean Water Act, shall not be developed except in conjunction with required 1:1 mitigation reasonably approved by the Town. Notwithstanding the foregoing, however, any roads, service routes and utilities crossing such non-jurisdictional wetland areas shall be permitted without mitigation, and will be located within a dedicated access and utility easement determined at the time of final subdivision platting.” Staff recommends trails be added to the exemption list to account for the ski back trail and will request “service routes” be defined in the definition section of the FDP.

Ridgelines and Areas of Visual Sensitivity: The majority of the proposed development is located on the lower reaches of the hillsides and ridgeline development is unlikely due to the steep slopes west of the proposed areas of grading. The FDP does not address ridgelines and areas of visual sensitivity so it will revert to the Hillsides, Ridgelines and Topographic Features section (§ 3-C-2) established in the UDC.

Natural Resources Assessment: The FDP includes an assessment that was prepared by ERO Resources in June 2007. At the time of the report, it was determined the CCV parcel did not contain potential habitat for species listed as federally threatened, endangered, or candidates for listing. The parcel did contain potential habitat for boreal toad, a state endangered species, and the northern leopard frog and wood frog, state species of special concern. The report recommends if any work is planned within the wetlands, coordination with the CDOW would be necessary. At the time of the report there were no migratory bird nests observed but if new nests are found on the parcel, construction activities should be restricted during breeding season.

The FDP includes a Wildlife Mitigation section that discusses the 2007 report and provides recommendations and mitigation directives and considerations. The Applicant will be amending this section to include language requiring an updated master resource assessment prior to any future platting. Since this development will take place over the next 20 years, individual assessments will be provided to supplement the master resource assessment at time of platting.

§ 8-2-4 of the Vested Rights and Development Guide was amended to add requirements for a wildlife report with each future plat. Staff has added additional language to clarify the

requirements for the report and the conclusions that must be made to consider the report adequate for protection of wildlife.

Development Standards

Zoning / Land Use/Planning Areas

CCV Parcel: The 2021 Three Mile Plan states if the CCV parcel were to be “annexed into the Town, appropriate zoning for this parcel would be Planned Development to allow for a flexible design that includes a mix of residential and open space. The northern parcel should be considered for mixed use zoning due to its proximity to the downtown while the southern parcel should remain primarily residential due to its surrounding uses”. The proposed zoning for CCV will be Planned Development (PD) with base zone districts Destination Center District (D-C) and Residential Commercial Service District (R-C). The base zone districts are the highest and most intense zone districts permitted in Town. The purpose of these districts can be viewed in the UDC at this [link](#). The proposed zoning is in conformance with the 2021 Three Mile Plan.

The zone boundaries are defined by planning areas as outlined in the Proposed Zoning map. Planning areas EPA-5, NPA-1 and NPA-2 are proposed as PD-D-C which allows for a more intensive commercial component complimenting the existing D-C zoning in the downtown area. NPA-1, adjacent to Idlewild Meadows, a single-family zoned neighborhood will be restricted to single-family attached and detached only. The remaining planning areas will be zoned PD-R-C.

CCN and CCS: The proposed rezoning will be Planned Development with base zoning Destination Center District (D-C). The proposed rezoning is consistent with other properties in the downtown.

The FDP further breaks down each planning area with specific variations from the base zone district to make each area more compatible at a micro level as described below in the Land Use Table. The Applicant is requesting to increase or decrease the planning areas by up to ten percent without requiring an amendment to the FDP. Staff supports this request if language is added requiring an exemption plat be approved through the Town prior to transfer.

Land Use Table

The FDP is divided into three land use types: residential, mixed use, and public open space. Each land use type has a broad list of uses outlined in the FDP that were taken from the

[Use Tables](#) in the UDC. The Applicant has modified each land use type to meet the intent and context of the properties. Staff recommends revising the land use table to ensure conformance with Town Code.

The Land Use Summary table incorporated staff’s recommendations. Only one edit remains, and it concerns if a “Home Occupation” should be considered a Limited Use or a Special Use. It is currently labeled as a Special Use.

Density

The FDP proposes a total of 875 dwelling units, 720 accommodation units (hotel units) and 115,000 square feet of commercial space.

Parcel	Dwelling Units	Accommodation Units	Commercial Space
CCV	650	200	15,000
CCS and CCN	225	520	100,000

Each planning area has a maximum density and a maximum number of units that can be constructed. The maximum density within each planning area in the CCV parcel is consistent with the base zoning. The CCS and CCN parcels are proposing a maximum density of 40 units per acre compared to 28 units per acre as the parcels are currently zoned in the D-C District. This equates to an increase of 70 dwelling units over what is currently permitted on these properties.

The Applicant is requesting the ability to transfer up to 30 percent of permitted density within a planning area to other planning areas without an amendment to the FDP. In previous agreements, the Town has permitted density transfers up to 10 percent without having to amend the FDP. Staff recommends it be changed to 10 percent and language be added requiring a density transfer chart be provided to the Town for administrative approval.

The applicant has amended the FDP to reduce the transfer from 30 percent to 10 percent.

The Land Use Summary table will need to be amended as noted in the redlines.

The Land Use Summary table has been amended.

Specific Development Standards

The FDP proposes to create unique standards for Slope Preservation and Grading, Pedestrian Sidewalks, Retaining Walls, Wetlands and Accessory Dwelling Units. Staff recommends the FDP refer to the UDC instead of creating standards just for these properties with exception of retaining walls. Staff supports the Applicant's request to have separate standards and will be revising this section of the FDP. CCV parcels have steep terrain that will require special consideration for retaining walls along roadways, the ski-back trail, and possibly individual structures.

The applicant has amended the FDP to remove all unique standards, including retaining wall heights. The UDC will govern.

Setbacks

The Dimensional Standards Table outlines setbacks, minimum lot size and maximum building height for each planning area. The setbacks are consistent with the proposed base zoning. Staff recommends the Applicant add provisions for corner lot setbacks.

Note 15 under the Dimensional Standards table outlines setbacks for corner lots.

Building Height

The FDP is proposing building heights ranging from 40 feet for single-family attached and detached structures to 55 feet for multi-family and commercial structures. The Applicant proposes increasing building height to 75 feet for accommodation units in CCS and CCN. The maximum building height adjacent to right-of-way or adjacent property will be 40' and then increase at a 45-degree plane to a maximum height of 75 feet. The building must contain a minimum of 60 percent accommodation units to qualify for the additional height.

Building Coverage

Building coverage is calculated as follows:

- Planning areas that contain attached single-family dwelling and multifamily (townhomes, condominiums, apartments) shall have a 60% maximum building coverage requirement. Individual lots shall not be required to meet building coverage requirements
- Planning areas that contain detached single-family dwellings on lots less than 10,000 sq. ft. shall have a maximum building coverage of 40%. Individual lots shall not be required to meet building coverage requirements.

- Planning areas that contain detached single-family dwellings on lots greater than 10,000 sq. ft. shall have a maximum building coverage of 50% on each individual lot. The planning area shall not be required to meet building coverage requirements.

The FDP does not have provisions for commercial use. The UDC will govern.

Landscape Buffers

The FDP will incorporate UDC standards. For planning area NPA-1 the Applicant is proposing to create a 30-foot landscape buffer to minimize impacts to the existing single-family homes on Idlewild Lane. The Applicant has not indicated the bufferyard classification they are proposing and that should be indicated in the FDP.

Note 13 under the Dimensional Standards table states the bufferyard classification Type C will be used. This will require 8 evergreen trees, 8 deciduous trees, and 30 shrubs be installed every 100 feet. It will require the landscaping be installed on a 3-foot berm.

Design Standards

The FDP will incorporate UDC standards.

Parking Requirements

The FDP will incorporate UDC standards. The Applicant is requesting to amend the Parking Garage Agreement (Reception No. 2021004361) between the Town and Cooper Creek WP, LLC for parking at the Cooper Creek Square Shopping Center. Currently the Town allocates 215 parking spaces within the public parking garage for the Shopping Center. The Applicant is requesting to use those parking spaces for future development in CCV, CCS and CCN and not exclusively for just the Shopping Center. Doing so would require an amendment to the Parking Garage Agreement, which staff recommends should be amended separately from the FDP.

The applicant has agreed to amend the Parking Garage Agreement separately from the FDP.

Public and Private Road Dedication

CCV Parcel

The Applicant submitted a Roadway Report which includes a conceptual plan of the road system. The parcel is proposed to connect to Vasquez Road and Timber Drive with internal public roads.

The FDP is proposing the Town will own and maintain Road 1 and Road 2. Road 1 connects with Vasquez Road and travels south across the railroad tracks to the far southeast end of the parcel. Road 2 connects Road 1 to Timber Drive. All other internal roads are proposed to remain private.

Road 1 and Road 2 are proposed to be dedicated to the Town upon recording of a final plat and then turned over to the Town for maintenance after the following occurs - the two-year warranty period has expired, certificates of occupancy (whether temporary or final) have been obtained for no less than twenty-five percent (25%) of the DUs and sufficient contiguous portions of Road 1 and/or Road 2 have been completed to allow for continuous access to the road.

The Roadway Report has been created as a substitute for the Town standards. The Report has been reviewed by the Town Engineer and is currently being amended based on their recommendations. If appropriately amended, Town staff will support the Roadway Report in lieu of generally applicable Town standards.

A revised Roadway Report has been submitted and is being reviewed by the Town Engineer.

At the July 26 Planning Commission meeting, the Commission requested further information on maximum density permitted on each side of the tracks if the bridge over the railroad was not constructed. The applicant is proposing to classify the roads as "local" meaning up to 1,000 daily vehicle trips on the roadways. This would permit up to 200 multi-family dwelling units or 120 single-family dwelling units on each side of the railroad, given East Grand Fire District approves this. Staff recommends the road classification be "local low-volume" (<450 daily trips) which permits up to 90 multi-family dwelling units or 56 single-family dwelling units on each side of the railroad. Timber Drive is classified as a local low-volume road so Road 2 would match that classification.

Public Dedications – Open Space and Trails

Open Space

Public open space will consist of the ski-back trail that will traverse the parcel from the southwest to the northeast. The ski-back trail will be a minimum of 20' wide with additional widths for cuts, fills and/or retaining walls.

Private open space will be provided throughout the parcels and be dedicated to the Master Association at the time of final plat. No additional public open space dedications or payment in lieu thereof shall be required based on the public open space proposed.

Trails

The Applicant is proposing a trail network throughout the development, connecting existing trails into the National Forest and to the proposed ski-back trail. In addition to the ski-back trail, the FDP proposes to dedicate a singletrack trail from the ski-back to Ice Hill Trail in the National Forest. The Town would be responsible for construction of the singletrack trail. The Open Space and Trail Plan provides a visual description of the trails.

Compliance with Imagine Winter Park Comprehensive Plan

The Comprehensive Plan, Imagine Winter Park, is divided into four vision themes that guide future development. The outline below highlights various strategies that relate to this FDP:

- Our Character and Our Culture
 - CC Strategy 1.1: Maintain a healthy balance of commercial development that can provide a multitude of services both for local residents and for guests.
 - CC Strategy 1.3: Ensure that the built environment continues to be seamlessly integrated with mountain and recreational amenities (e.g. connections to trails, integration with the Fraser River, bikeable paths, etc.).
 - CC Strategy 1.5: Strengthen the sense of connection between Downtown and the Resort.
 - CC Strategy 2.1: Incorporate public places into future development
 - CC Strategy 3.1: Work with developers to provide recreational and cultural amenities that benefit both residents and guests alike.
 - CC Strategy 4.1: Include a mix of housing to support a variety of household compositions and income levels.

- Our Global and Local Connectivity
 - CO Strategy 1.2: Provide enhanced connections between the Resort and Downtown such as a ski back trail, a direct gondola, and circulator bus routes.

- CO Strategy 3.1: Use policies and incentives to prioritize and direct new, mixed use development within the Vasquez Road Node.
- Our World-Class Outdoor Recreation
 - OR Strategy 1.4: Maintain trailhead and forest access points and easements within and through residential and commercial developments. This access can be as simple as signage and a hiker/biker/horse width easement.
 - OR Strategy 3.8: Capitalize on and enhance existing recreational facilities
- Our Healthy and Thriving Environment
 - EN Strategy 1.5: Protect the viability of natural wetlands and watercourses as a key component of our natural and built environments.
 - EN Strategy 2.3: Protect the integrity of significant wildlife habitat and movement corridors.
 - EN Strategy 3.1: Encourage density in appropriate locations and clustering of development to maximize open space.

Review Agency Comments

- **CDOT**

Brian Killian, Access Program Manager for Region 3 Traffic and Safety, responded to the referral in an email dated May 17, 2022. In this email he stated the Applicant has been working with CDOT and that individual traffic studies will be required as the properties are platted. See attached email for details.

- **Colorado Geological Survey**

Amy Crandall, Engineering Geologist, responded to the referral in a letter dated June 21, 2022. In this letter she expressed that the project could be developed as proposed provided Olsson's geotechnical recommendations are adhered to. See attached letter for details.

The applicant provided a response letter that has been included in the packet.

- **East Grand Fire Protection District No. 4**

Dennis Soles, Fire Marshal, responded to the referral in a letter dated June 15, 2022. In this letter he expressed a number of items that will require further review at time of platting. See attached letter for details.

- **Grand County Water and Sanitation District No. 1**

JVA, consultant to the District, responded to the referral in a letter dated June 27, 2022. In this email they expressed concern with pressure availabilities in certain locations on the CCV parcel and the removal of the lift station that is proposed in the Master Utility Study. See attached letter for details. Revisions to the Master Utility Study will be required.

A revised Master Utility Study has been submitted and is being reviewed by Grand County Water and Sanitation District No. 1.

- **Mountain Parks Electric**

Jean Johnston, Senior Staking Engineer and ROW Specialist, responded to the referral in an email dated June 14, 2022. In this email she stated she provided separation requirements, so the Applicant has it for future platting. See attached email for details.

- **Town Engineer**

Cooper Karsh, Senior Engineer responded to the referral in a letter dated June 27, 2022. In this letter he outlined concerns with the Traffic Impact Study, Drainage Report, Utility Report and Roadway Study. See attached letter for details.

The applicant has provided a response letter and it is currently being reviewed by the Town Engineer.

- **Xcel Energy**

Kathleen Jacoby, Design Planner, responded to the referral in a letter that was undated. In this letter she expressed that provided the general guidelines for gas construction are adhered to, Xcel has no objections. See attached letter for details.

Public Notification

This FDP request has had proper public notification pursuant to § 7-7-5 of the Town Code. A Public Notice was published in the Middle Park Times on June 15, 2022, providing notification of the meeting and requesting comments. Mailings were sent to property owners adjacent to the parcels on June 15, 2022.

42 comments have been received as of August 4, 2022 and are attached.

Other Items

Single-Family Equivalent (SFE) Restrictions: The FDP will have a maximum water and sewer tap allocation of 682 SFE's for the CCV parcels and 333 SFE's for CCS and CCN parcels. This maximum allocation is in addition to what is already allocated to the parcels.

Vested Rights: The Applicant proposes vested rights of 20 years with an additional 10 years if the bridge over the railroad tracks is constructed and dedicated to the Town. This term, and others, will be negotiated and memorialized in an annexation and development agreement between the Applicant and the Town. The annexation and development agreement will be subject to Town Council review and approval and falls within Town Council's discretion as part of the legislative annexation process.

Discussion Items

The Planning Commission should provide feedback on the following items:

1. ~~Steep Slopes / Wetlands — special regulations or UDC standards~~
2. ~~Retaining Walls — special regulations or UDC standards~~
3. ~~Natural Resource Assessment — future studies prior to platting~~
4. Density – increased density for CCS and CCN
5. Density Transfers – ~~30~~ 10% density transfer between planning areas
6. Building Height – additional height for accommodation units
7. ~~NPA-1 additional standards adjacent to Idlewild Meadows~~
8. Road classification – if bridge over the railroad is not constructed

Staff Recommendation

Staff recommends the Planning Commission recommend approval to the Town Council with the conditions outlined below, given that the Final Development Plan has been drafted to comply with the master planning documents governing future development and growth in the Town, including the Imagine Winter Park Comprehensive Plan, Downtown Master Plan, and the Three-Mile Plan.

1. The Vested Rights and Development Guide and FDP shall be amended as outlined in the attached documents and as required by staff and legal counsel.
2. The Roadway Report shall be amended as required by the Town Engineer.
3. The Master Utility Study be amended as required by Grand County Water and Sanitation District No. 1.

However, this is a decision for the Commission to make, and the Commission may choose to recommend approval or denial based on the testimony and evidence it hears. Two sample motions are included below for convenience only. They do not limit the evidence the Commission can rely on or the decision the Commission makes.

Sample Motion Recommending Approval:

I move to approve Resolution 1, Series 2022, recommending approval with conditions to Town Council finding the application meets the criteria required by Title 7 of the Town Code.

Sample Motion Recommending Denial:

I move to deny Resolution 1, Series 2022 and recommend denial to Town Council based on... *[walk through reasoning]*, finding the applicant has failed to meet the criteria required by Title 7 of the Town Code.

TOWN OF WINTER PARK
PLANNING COMMISSION
RESOLUTION NO. 1
SERIES OF 2022

A RESOLUTION OF THE PLANNING COMMISSION APPROVING A FINAL DEVELOPMENT PLAN ESTABLISHING A PLANNED DEVELOPMENT (P-D) DISTRICT OVERLAY FOR COOPER CREEK VILLAGE AND COOPER CREEK SQUARE

WHEREAS, JAC Colorado II has submitted a petition for annexation and as a part of such annexation is requesting the Town to zone two parcels totaling 53 acres (Exhibit A) to Planned Development District with underlying zoning of Destination Center District (PD-DC) and Residential Commercial Service District (PD-RC);

WHEREAS, JAC Colorado II, Cooper Creek WP, LLC, Station WP, LLC and Winter Park Tower, LLC petitioned the Town to rezone 10 parcels totaling 5.65 acres (Exhibit B) currently zoned Destination Center District (DC) to Planned Development District with underlying zoning of Destination Center District (PD-DC);

WHEREAS, in conformance with Title 7, Chapter 7 of the Winter Park Town Code, the Town of Winter Park Planning and Zoning Commission held a properly-noticed public hearing on July 12, 2022, July 26, 2022 and August 9, 2022;

WHEREAS, after taking public comment and hearing evidence about the Final Development Plan, the Planning and Zoning Commission shall approve said application as presented, approve said application with specified conditions, or disapprove the application; and

WHEREAS, after considering the recommendation from Town staff and any public comment, the Planning Commission finds and determines as provided below.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the Town of Winter Park, Colorado as follows:

1. Findings.

- a. The Planning Commission hereby finds and determines that the Cooper Creek Village, Cooper Creek Village and Cooper Creek Square Final Development Plan meets all the applicable criteria set forth in Title 7 of the Winter Park Town Code.
- b. The Planning Commission finds and determines the following as to the rezoning of Cooper Creek Square:
 - That the existing zoning was not an error at the time of adoption;
 - That the area has changed due to new growth trends;

- That there is an area and community need for the proposed rezone;
 - That the proposed rezoning is compatible with the surrounding area;
 - That there will be benefits derived by the community by granting the proposed zoning;
 - That the proposal is in conformance with the policies, intents, and requirements of the Town Code and Town Plan; and
 - That adequate facilities are available to serve the type and scope of the proposed development as identified in the Final Development Plan.
2. Decision. Based on the foregoing findings, the Planning Commission hereby recommends approval of the Cooper Creek Village and Cooper Creek Square Final Development with the following conditions:
1. The Vested Rights and Development Guide and FDP shall be amended as outlined in the documents provided to the applicant on August 9, 2022 and as required by staff and legal counsel.
 2. The Roadway Report shall be amended as required by the Town Engineer.
 3. The Master Utility Study be amended as required by Grand County Water and Sanitation District No. 1.

PASSED, ADOPTED AND APPROVED this 9th day of August, 2022.

TOWN OF WINTER PARK
PLANNING COMMISSION

Brad Holzwarth, Chairman

EXHIBIT A

Cooper Creek Village Property Pyne Properties (owned by JAC)

PARCEL 1:

A PARCEL OF LAND LOCATED IN THE WEST HALF OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF GRAND, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 33 AND CONSIDERING THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 33 TO BEAR NORTH 89°43'55" WEST WITH ALL BEARINGS CONTAINED HEREIN BEING RELATIVE THERETO; THENCE NORTH 34°37'40" WEST, A DISTANCE OF 2397.53 FEET TO A POINT ON THE EAST LINE OF LOT 15, IDLEWILD MEADOWS ACCORDING TO THE PLAT RECORDED AT RECEPTION NO. 93161 OF THE RECORDS OF THE GRAND COUNTY CLERK AND RECORDER, SAID POINT BEING ON THE NORTHERLY RIGHT-OF-WAY LINE OF THE DENVER AND RIO GRAND WESTERN RAILROAD, AND SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE ALONG THE BOUNDARY OF SAID IDLEWILD MEADOWS THE FOLLOWING THREE (3) COURSES:

- 1) THENCE NORTH 01°42'09" WEST, A DISTANCE OF 351.71 FEET;
- 2) THENCE SOUTH 89°59'21" EAST, A DISTANCE OF 629.93 FEET;
- 3) THENCE NORTH 01°45'38" WEST, A DISTANCE OF 107.65 FEET;

THENCE NORTH 00°08'49" EAST, A DISTANCE OF 458.06 FEET; THENCE SOUTH 89°22'40" EAST, A DISTANCE OF 224.12 FEET; THENCE SOUTH 02°42'40" EAST, A DISTANCE OF 97.97 FEET; THENCE SOUTH 89°22'01" EAST, A DISTANCE OF 313.37 FEET; THENCE SOUTH 00°09'18" EAST, A DISTANCE OF 172.95 FEET TO THE NORTHEAST CORNER OF BEAVER VILLAGE - FILING NO. 2 AT WINTER PARK ACCORDING TO THE PLAT RECORDED AT RECEPTION NO. 152923 OF THE RECORDS OF THE GRAND COUNTY CLERK AND RECORDER; THENCE ALONG THE BOUNDARY OF SAID BEAVER VILLAGE - FILING NO. 2 THE FOLLOWING THREE (3) COURSES:

- 1) THENCE NORTH 89°54'41" WEST, A DISTANCE OF 356.04 FEET;
- 2) THENCE SOUTH 11°15'24" WEST, A DISTANCE OF 382.14 FEET;
- 3) THENCE SOUTH 11°55'15" EAST, A DISTANCE OF 110.00 FEET TO A POINT ON THE BOUNDARY OF BEAVER VILLAGE - FILING NO. 3 AT WINTER PARK ACCORDING TO THE PLAT RECORDED AT RECEPTION NO. 169791 OF THE RECORDS OF THE GRAND COUNTY CLERK AND RECORDER; THENCE ALONG THE BOUNDARY OF SAID BEAVER VILLAGE - FILING NO. 3 THE FOLLOWING THREE (3) COURSES:

- 1) THENCE SOUTH 78°04'45" WEST, A DISTANCE OF 61.70 FEET TO A POINT OF CURVATURE;
- 2) THENCE ALONG THE ARC OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 54°00'00", A RADIUS OF 162.39 FEET, AND AN ARC LENGTH OF 153.05 FEET;
- 3) THENCE SOUTH 24°04'45" WEST, A DISTANCE OF 358.32 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF THE DENVER AND RIO GRAND WESTERN RAILROAD; THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE THE FOLLOWING TWO (2) COURSES:

- 1) THENCE NORTH 57°33'35" WEST, A DISTANCE OF 471.03 FEET;
- 2) THENCE ALONG THE ARCS OF A 100 FOOT INSIDE OFFSET TO A SEARLES SPIRAL CURVE TO THE RIGHT, THE CHORD OF WHICH BEARS NORTH 57°17'24" WEST, A DISTANCE OF 39.45 FEET TO THE POINT OF BEGINNING, COUNTY OF GRAND, STATE OF COLORADO.

LEGAL DESCRIPTION PREPARED BY JUSTIN C. SCHEITLER, COLORADO PLS NO. 38430, FOR AND ON BEHALF OF MANHARD CONSULTING, BY SURVEY CERTIFIED OCTOBER 15, 2018, UNDER JOB NO. WCJ.GCC001.00.

PARCEL 2:

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF GRAND, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 33 AND CONSIDERING THE WEST LINE OF SAID SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 33 TO BEAR NORTH 01°36'35" WEST, THE SAID SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER BEING A 2-1/2" 1933 USGLO BRASS CAP AND THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER BEING A 3" ALUMINUM CAP STAMPED "LS25971", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO; THENCE NORTH 01°36'35" WEST, ALONG SAID WEST LINE OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 33, A DISTANCE OF 1316.78 FEET TO THE NORTHWEST CORNER OF SAID SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 33; THENCE NORTH 01°50'40" WEST, ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SOUTHWEST QUARTER OF SECTION 33, A DISTANCE OF 399.07 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE UNION PACIFIC RAILROAD; THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE THE FOLLOWING FIVE (5) COURSES:

- 1) THENCE SOUTH 57°33'35" EAST, A DISTANCE OF 598.22 FEET TO A POINT OF SPIRAL CURVATURE;
- 2) THENCE ALONG THE ARCS OF A 100 FOOT INSIDE OFFSET TO A SEARLES SPIRAL CURVE TO THE RIGHT, THE CHORD OF WHICH BEARS SOUTH 57°13'42" EAST, A DISTANCE OF 130.25 FEET TO A POINT OF CURVATURE;
- 3) THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 24°38'00", A RADIUS OF 3719.82 FEET, AN ARC LENGTH OF 1599.28 FEET, AND A CHORD THAT BEARS SOUTH 44°14'35" EAST TO A POINT OF SPIRAL CURVATURE;
- 4) THENCE ALONG THE ARCS OF A 100 FOOT INSIDE OFFSET TO A SEARLES SPIRAL CURVE TO THE RIGHT, THE CHORD OF WHICH BEARS SOUTH 30°14'36" EAST, A DISTANCE OF 109.64 FEET TO A POINT OF CURVATURE;

5) THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 03°57'19", A RADIUS OF 1768.59 FEET, AN ARC LENGTH OF 122.09 FEET, AND A CHORD THAT BEARS SOUTH 27°26'56" EAST TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 33; THENCE NORTH 89°43'55" WEST, ALONG SAID SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 33, A DISTANCE OF 481.06 FEET TO THE SOUTHEAST CORNER OF SAID SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 33; THENCE NORTH 89°23'08" WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 33, A DISTANCE OF 1302.32 FEET TO THE POINT OF BEGINNING, COUNTY OF GRAND, STATE OF COLORADO.

Exhibit B

Cooper Creek South Parcel

WP Station Property (owned by SWP)

THAT PORTION OF WINTER PARK 90, ACCORDING TO THE PLAT RECORDED OCTOBER 26, 1983, AT RECEPTION NO. 209105, LYING WEST OF CRESTVIEW PLACE CONDOMINIUMS, ACCORDING TO THE PLAT RECORDED OCTOBER 16, 1990, AT RECEPTION NO. 288554. COUNTY OF GRAND, STATE OF COLORADO.

Cooper Creek North Parcels

Clock Tower Property (owned by WPT):

A TRACT OF LAND IN THE S1/2N1/2SE1/4NW1/4 OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS BEGINNING AT A POINT ON THE WESTERLY RIGHT OF WAY LINE OF U.S. HIGHWAY NO. 40, WHICH POINT IS 292.72 FEET NORTHWESTERLY MEASURED ALONG SAID RIGHT OF WAY LINE, FROM A POINT 19.10 FEET S 89° 58' W FROM THE SOUTHEAST CORNER OF THE SAID S1/2N1/2SE1/4NW1/4; THENCE NORTHWESTERLY ALONG SAID RIGHT OF WAY LINE, 66.78 FEET TO THE NORTHEAST CORNER OF A TRACT ON THE NORTH LINE OF AFORESAID SUBDIVISION; THENCE WESTERLY ALONG SAID SUBDIVISIONAL LINE FOR 150.0 FEET TO THE NORTHWEST CORNER OF THIS TRACT; THENCE SOUTHERLY AT RIGHT ANGLES TO THE PRECEDING COURSE FOR 73.60 FEET; THENCE N 62° 16' E, A DISTANCE OF 114.40 FEET MORE OR LESS, ALONG THE NORTHERLY LINE OF THE PETERSON TRACT TO THE POINT OF BEGINNING COUNTY OF GRAND, STATE OF COLORADO

DWPG Property (owned by JAC):

PARCEL A:

THAT PORTION OF THE S1/2N1/2SE1/4NW1/4 OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE 6TH P.M. DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST SOUTHEASTERLY CORNER OF SUBJECT PROPERTY BEING THE MOST NORTHERLY CORNER OF THAT TRACT OF LAND DESCRIBED IN DEED FROM HIDEAWAY, INC. TO FRITZ F. SHROETER, ET AL., RECORDED NOVEMBER 18, 1969, IN BOOK 162 AT PAGE 745 AND LYING ON THE WESTERLY RIGHT OF WAY LINE OF U.S. HIGHWAY 40 AND FROM WHENCE THE NORTH 1/4 CORNER OF SAID SECTION 33 BEARS N00°40'00"E, 1838.44 FEET; THENCE S68°00'00"W, ALONG THE NORTH LINE OF SAID TRACT DESCRIBED IN BOOK 162 AT PAGE 745, A DISTANCE OF 112.80 FEET; THENCE S89°58'00"W AND CONTINUING ALONG THE NORTH LINE OF SAID TRACT DESCRIBED IN BOOK 162 AT PAGE 745, A DISTANCE OF 109.40 FEET TO THE NORTHWEST CORNER THEREOF, ALSO BEING THE SOUTHEAST CORNER OF THAT TRACT OF LAND DESCRIBED IN DEED FROM VICTOR C. HUFFAKER AND ROMA LEE HUFFAKER TO LOUIS A DVONCH AND JULIE M. DVONCH RECORDED JANUARY 9, 1964, IN BOOK 146 AT PAGE 123; THENCE N0°02'00"W, ALONG THE EAST LINE OF SAID TRACT DESCRIBED IN BOOK 146 AT PAGE 123, A DISTANCE OF 114.75 FEET TO THE SOUTHWEST CORNER OF THAT TRACT OF LAND DESCRIBED IN DEED FROM RUSSELL C. BOWLBY AND NANCY E. BOWLBY TO REID A. WOODBURY AND VIRGINIA P. WOODBURY RECORDED JUNE 22, 1970, IN BOOK 171 AT PAGE 372; THENCE N89°58'00"E. ALONG THE SOUTH LINE OF SAID TRACT DESCRIBED IN BOOK 171 AT PAGE 372, A DISTANCE OF 73.60 FEET TO THE NORTHWEST CORNER OF THAT TRACT OF LAND DESCRIBED IN DEED FROM LEE J. PHILLIPS AND MARVINA S. PHILLIPS TO ROBERT E. PETERSEN AND ELVY M. PETERSEN RECORDED JANUARY 9, 1963, IN BOOK 142 AT PAGE 188; THENCE S21°48'00"E, ALONG THE WEST LINE OF SAID TRACT DESCRIBED IN BOOK 142 AT PAGE 188, A DISTANCE OF 47.00 FEET TO THE SOUTHWEST CORNER THEREOF; THENCE N70°01'00"E, ALONG THE SOUTHERLY LINE OF SAID TRACT DESCRIBED IN BOOK 142 AT PAGE 188, A DISTANCE OF 113.7 FEET TO THE SOUTHEAST CORNER THEREOF ALSO BEING THE WESTERLY RIGHT OF WAY LINE OF U.S. HIGHWAY 40; THENCE SOUTHEASTERLY ALONG SAID WESTERLY RIGHT OF WAY LINE OF U.S. HIGHWAY 40, A DISTANCE OF 72.70 FEET TO THE POINT OF BEGINNING. COUNTY OF GRAND, STATE OF COLORADO

PARCEL B:

LOTS 3 AND 4, DVONCH SUBDIVISION EXEMPTION, ACCORDING TO THE PLAT THEREOF FILED MAY 11, 1993, AT RECEPTION NO. 93004137 COUNTY OF GRAND, STATE OF COLORADO

Crary Property (owned by JAC):

LOT 5, DVONCH SUBDIVISION EXEMPTION, ACCORDING TO THE PLAT THEREOF RECORDED MAY 11, 1993 AT RECEPTION NO. 93004137 COUNTY OF GRAND, STATE OF COLORADO

Chalet Property (owned by JAC):

ALL THAT PORTION OF THE SOUTH 1/2 NORTH 1/2 SOUTHEAST 1/4 NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE 6TH P.M., DESCRIBED AS FOLLOWS:
COMMENCING AT A POINT FROM WHENCE THE SOUTHEAST CORNER OF SAID SOUTH 1/2 NORTH 1/2 SOUTHEAST 1/4 NORTHWEST 1/4 BEARS SOUTH 87 DEGREES 55 MINUTES EAST, 419.33 FEET; THENCE SOUTH 89 DEGREES 58 MINUTES 00 SECONDS WEST, PARALLEL WITH AND 15 FEET NORTH OF THE SOUTH LINE OF SAID SOUTH 1/2 SOUTHEAST 1/4 NORTHWEST 1/4, A DISTANCE OF 45 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89 DEGREES 58 MINUTES 00 SECONDS WEST, 75.00 FEET; THENCE NORTH 00 DEGREES 02 MINUTES 00 SECONDS WEST, 85.00 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 00 SECONDS EAST, 75.00 FEET; THENCE SOUTH 00 DEGREES 02 MINUTES 00 SECONDS EAST, 85.00 FEET TO THE POINT OF BEGINNING. COUNTY OF GRAND, STATE OF COLORADO

Cooper Creek Square (owned by CCWP):

PARCELS 1, 2 AND 3

A MINOR SUBDIVISION OF COOPER CREEK SQUARE, PARCELS 1, 2 AND 3, ACCORDING TO THE PLAT THEREOF
RECORDED FEBRUARY 9, 1998 AT RECEPTION NO. 98001103 COUNTY OF GRAND, STATE OF COLORADO

From: [Emily Caldwell](#)
To: [James Shockey](#)
Subject: Cooper Creek Village Development
Date: Tuesday, August 2, 2022 1:57:20 PM
Attachments: [image001.png](#)
[image002.png](#)

Mr. Shockey,

I am writing to express my support for the proposed Cooper Creek Village development project and entitlements the Applicant (JAC Colorado II, LLC) is requesting. I also encourage the Town to work with the Applicant and the Resort to make the gondola and public all-season trail connection a reality.

Cooper Creek Village has the potential to:

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Thank you!

Name: Emily Caldwell

Local Address: 353 Wolverine Way, Tabernash, CO 80478

Business: Big Trout Brewing Company, Inc., Winter Park, CO 80482

Sincerely,

Emily Caldwell
Big Trout Brewing Company, Inc.
(970) 363-7362
C: (303) 349-5213

www.bigtroutbrewing.com



From: [Thomas Caldwell](#)
To: [James Shockey](#)
Subject: Cooper Creek Village Development
Date: Tuesday, August 2, 2022 1:58:52 PM

Mr. Shockey,

I am writing to express my support for the proposed Cooper Creek Village development project and entitlements the Applicant (JAC Colorado II, LLC) is requesting. I also encourage the Town to work with the Applicant and the Resort to make the gondola and public all-season trail connection a reality.

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Thank you!

Name: Tom Caldwell

Local Address: 353 Wolverine Way, Tabernash, CO 80478

Business: Big Trout Brewing Company, Inc., Winter Park, CO 80482

Sincerely,

Tom Caldwell

Big Trout Brewing Company, Inc.

To: James Shockey – Director | Community Development
Via Email: jshockey@wpgov.com
Subject: Cooper Creek Village Development

Mr. Shockey,

I am writing to express my support for the proposed Cooper Creek Village development project and entitlements the Applicant (JAC Colorado II, LLC) is requesting. I also encourage the Town to work with the Applicant and the Resort to make the gondola and public all-season trail connection a reality.

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Thank you!

Mark A Hanna

Name: Mark Hanna

Local Address: 47 Cooper Creek Way

Business (if applicable): Real Estate Resource of Winter Park

To: James Shockey – Director | Community Development
Via Email: jshockey@wpgov.com
Subject: Cooper Creek Village Development

Mr. Shockey,

I am writing to express my support for the proposed Cooper Creek Village development project and entitlements the Applicant (JAC Colorado II, LLC) is requesting. I also encourage the Town to work with the Applicant and the Resort to make the gondola and public all-season trail connection a reality.

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Thank you!

Matt Dahlstrom
Rendezvous Resident

From: [Danielle Jardee](#)
To: [James Shockey](#); [Hugh Bell](#)
Subject: FW: Cooper Creek Village FDP
Date: Wednesday, August 3, 2022 3:55:03 PM

FYI

Danielle Jardee, CMC
Town Clerk | Town of Winter Park
50 Vasquez Rd. | P.O. Box 3327
Winter Park, CO 80482
970.726.8081 x208

-----Original Message-----

From: Robert and Mary Amann <theamanns@icloud.com>
Sent: Wednesday, August 03, 2022 3:08 PM
To: Danielle Jardee <djardee@wpgov.com>
Subject: Cooper Creek Village FDP

Dear Sirs/Madams,

We wish to express our concerns about the proposed Cooper Creek Village development and it's future impact on the Idlewild and Hideway Village South subdivisions. We have attended two recent Planning and Zoning hearings and do not believe that the project as presented will be beneficial to the community.

We do not believe that the changes to the density levels adjacent to the Idlewild neighborhood sufficiently address their concerns.

We are concerned that the proposed development of the tracts to the west of the railroad tracks south of Vasquez Road, with an access road joining Timber Drive, will become initially the only access for construction equipment to that tract, and ultimately the preferred access to that development to avoid what will surely be a traffic bottleneck at the proposed main entrance to the development on Vasquez Road, across from the transportation terminal. Timber Drive was not built for the amount of heavy construction vehicles needed to provide infrastructure development for the proposed project, and the proposed road connecting to Timber Drive is at a very sharp curve in the road, with limited visibility.

Much of the property in the tract west of the railroad tracks has steep, 30+degree slope, which cannot be developed without substantial alterations to the terrain, again creating increased construction traffic.

We would ask the Planning and Zoning Board and the Town Council to carefully consider the impact of this development on existing Winter Park neighborhoods. We would ask that you require the developers to find a different access point than the Timber Drive access, and require the developers to complete the proposed railroad overpass before commencing any improvements on the property to the west of the railroad tracks to protect the residential neighborhoods and roads from heavy construction traffic.

We also object to the proposed 75 foot building height requested for future hotel development, which in our opinion would change the appearance and flavor of the entire town.

Thank you for considering our opinions on the CCV Development project.

Sincerely,

Robert and Mary Amann
308 Timber Drive
Winter Park

Sent from my iPhone

To: James Shockey – Director | Community Development
Via Email: jshockey@wpgov.com
Subject: Cooper Creek Village Development

Mr. Shockey,

I am writing to express my support for the proposed Cooper Creek Village development project and entitlements the Applicant (JAC Colorado II, LLC) is requesting. I also encourage the Town to work with the Applicant and the Resort to make the gondola and public all-season trail connection a reality.

Cooper Creek Village has the potential to:

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I realize there are some concerns about community growth and the impact that brings, but when looking at the possibility of connecting the resort to downtown, this gives the community a great opportunity to grow into a more connected community. It is also encouraging that they will address some attainable housing options.

Thank you,

Jarrold Ashida
Whistlestop Townhomes, LLC



To: James Shockey – Director | Community Development
Subject: Cooper Creek Village Development
August 2nd, 2022

Mr. Shockey,

I am writing to express my support for the proposed Cooper Creek Village development project and entitlements the Applicant (JAC Colorado II, LLC) is requesting. I also encourage the Town to work with the Applicant and the Resort to make the gondola and public all-season trail connection a reality.

I can appreciate the challenge of listening to the dozens of residents express their concerns, while supporting the best path forward for Winter Park. In my experience, Winter Park planning is very thorough in their process of approving new subdivisions for the town. I am certain that when Cooper Creek is finalized and ready for construction, your team will have considered all the factors and balanced the final plat against the town charter.

With that being said, the Town must consider the overall benefits to the community and the entire valley at large over the relatively small contingent of local residents. The Cooper Creek Village brings many benefits to the community and even those who oppose the subdivision will benefit from all of the amenities that Cooper Creek Village will bring.

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Sincerely,
Steve White

105 Whistlestop Cir. Winter Park

A handwritten signature in black ink, appearing to be "Steve White". The signature is stylized and cursive, written over a horizontal line.

From: [Ken Boenish](#)
To: [James Shockey](#)
Subject: Cooper Creek Village Development
Date: Thursday, August 4, 2022 11:51:11 AM

Mr. Shockey,

I am writing to express my support for the proposed Cooper Creek Village development project and entitlements the Applicant (JAC Colorado II, LLC) is requesting. I also encourage the Town to work with the Applicant and the Resort to make the gondola and public all-season trail connection a reality.

I realize there is always a small but very vocal minority that is generally opposed to ALL development in our area, however, what they don't seem to realize is developments such as Cooper Creek Village are exactly what we need to ensure our community remains vibrant, new jobs are created and that we can increase our tax base in order to fund community services, infrastructure and amenities that benefit all.

Since tourism supports everyone who enjoys living and working in the Winter Park area, it's important that Winter Park becomes a world-class destination resort community that can compete with other destination alternatives.

Cooper Creek Village has the potential to:

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Thank you in advance for considering the view of a local business owner who has created many high-paying jobs and who is interested in creating additional opportunities for local residences.

Kind regards,

Ken

Ken Boenish
Owner | Managing Broker
The Real Estate Company - Mountain Division
78321 US HWY 40
Winter Park, Colorado 80482
M: 303-817-5369
O: 970-426-5500
[Our Reviews](#)
[TRECWP.com](#)

From: [Erin Bradley](#)
To: [James Shockey](#)
Subject: Gondola input
Date: Thursday, August 4, 2022 1:55:28 PM
Attachments: [image001.png](#)

Hello James,

My name is Erin Bradley, and I've been a full time resident of Winter Park since 2016, and a business owner in Cooper Creek Square for as long as I've lived here. (Formerly Fairway Independent Mortgage, across from the bookstore, and recently transitioned to Streamline Home Loans.)

As a resident, living off Vazquez Rd. we've been excited about the anticipation of the gondola project going in, as we really feel it will improve the accessibility from the town to the resort, and make the 2 feel more connected in general. We love that it's going in by the new transit center, as it improves resident and tourist ability to get from the town to the base, and vice versa. We've always felt it to be challenging for folks who come to visit, and stay at the resort accommodations at the base, because unless they have a car (and didn't come by train, or Home James for example,) they don't really get a chance to experience all that our downtown has to offer.

As a business owner, we're thrilled about this project! We feel it will really enhance foot traffic and visibility for all the businesses downtown, not just in Cooper Creek.

I hope you'll consider my vote a resounding YES for this project to be initiated and completed soon. It's so great to see our town growing in this way!

With Gratitude,

ERIN BRADLEY
Branch Manager
NMLS ID# 296513



Mobile: (303) 906-8038
Office: (720) 802-7131
Address: 47 Cooper Creek Way #226
Winter Park, CO 80482

erin.bradley@streamlinehl.com

****Stay informed about wire fraud****

The mortgage industry is being targeted by bad actors who are copying the email signatures of loan officers and then sending emails and text messages instructing people where to send their funds. The emails look genuine, but you can always tell a fake by looking at the sender of the email.

Here are the important points to know:

- Always verify the sender of the email. Mine will always show as erin.bradley@streamlinehl.com and nothing else.
- We will never instruct you to send us funds in an email or text message.
- We will never ask you to confirm receipt of an email or text message.
- Please call 702-213-4000 before taking any action to verify.

If you receive an email that appears to be from me please call our office immediately.

To: James Shockey – Director | Community Development
Via Email: jshockey@wpgov.com
Subject: Cooper Creek Village Development

Mr. Shockey,

I am writing to express my support for the proposed Cooper Creek Village development project and entitlements the Applicant (JAC Colorado II, LLC) is requesting. I also encourage the Town to work with the Applicant and the Resort to make the gondola and public all-season trail connection a reality.

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Thank you!

Name: Evan Harris
Local Address: 526 Baker Dr
Winter Park, CO 80428
Business (if applicable):

To: James Shockey – Director | Community Development
Via Email: jshockey@wpgov.com
Subject: Cooper Creek Village Development

Mr. Shockey,

I am writing to express my support for the proposed Cooper Creek Village development project and entitlements the Applicant (JAC Colorado II, LLC) is requesting. I also encourage the Town to work with the Applicant and the Resort to make the gondola and public all-season trail connection a reality.

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Thank you!

Jim Flint
1361 GCR 8

Albert C. White
P.O. Box 3110
Winter Park, Colorado 80482

August 4, 2022

BY E-MAIL (jshockey@wpgov.com)

Mr. James Shockey
Community Development Director
Town of Winter Park
P.O. Box 3327
Winter Park, Colorado 80482

Re: Cooper Creek Village and Cooper Creek Square Development

Dear Mr. Shockey,

I attended the July 26th Planning and Zoning Commission meeting to learn more about the plans for the Cooper Creek Village and Cooper Creek Square projects. I came away excited and energized by the many opportunities presented by Charlie Johnson and Jeff Vogel.

From the time I first arrived in Winter Park in the 70's, I knew that Winter Park had all the right qualities to be a world class resort provided that smart, forward-thinking investments in our community's infrastructure could be made. As a former Town hotel and ski shop owner and operator, a former Colorado Representative and Senator, and the former Director of the Colorado Tourism Office, I have a unique perspective on Winter Park's strengths and weaknesses as compared to other Colorado mountain resort towns.

It is no secret that the most successful mountain resort towns have an easily navigable transportation system that attracts quality development along the system's access points. A guest friendly transportation system in turn creates incredible opportunities to better serve residents, businesses and workers alike.

I was an initial investor in Winter Park Resort's base area village in the 90's due, in part, to the opportunities envisioned by a gondola connecting the Resort's base area to the downtown area near the Town's parking structure. For years the Town has waited patiently for an opportunity to put a plan in place that would make the gondola connection and related ski back trail a reality. Approval of the Cooper Creek Village and Cooper Creek Square projects as presented will move the Town a major step forward in the realization of this long-planned connection and put Winter Park's resort experience on par with the very best that Colorado and the Rocky Mountain West have to offer.

I was puzzled why some members of the Planning & Zoning Commission and the public chose to oppose some aspects of the Cooper Creek Village and Cooper Creek Square projects which, in my view, are the key aspects of any successful, transportation-oriented resort destination experience. For example, all successful Colorado mountain resort towns are anchored with one or more signature hotels that have at least 250-300 lodging rooms and related conference, dining and

Mr. James Shockey
Community Development Director
August 4, 2022

spa amenities. These hotels are major economic drivers, but they cannot be developed on small urban inholdings without allowing increased building heights. I am not a fan of tall, unappealing monolithic structures, but a 75' tall signature hotel with varied rooflines, pitches, materials and colors can be quite aesthetically attractive while still fitting into the Town core. The Cooper Creek Village and Cooper Creek Square final development plan allows ample opportunity for the Town to ensure that future site plans for any structure, including a 75' tall hotel placed in a strategically selected location near the gondola transportation system, fit comfortably within a walkable master-planned downtown area.

Beside the gondola connection and the many recreational trails offered to improve recreational opportunities originating from downtown, there are many other important benefits presented by the Cooper Creek Village and Cooper Creek Square plan. For example, the plan will establish a critical mass necessary to allow a full complement of diverse housing types and commercial businesses to better serve Winter Park's guests. Anticipated increases in the Town's tax base will make it possible for the Town to continue to improve its municipal services for residents and guests, and the dedication of both built housing product and a permanent transfer fee devoted to developing workforce housing is an important step toward alleviating this persistent Town problem.

This project has been thoughtfully planned and presented. I support the plan without qualification. Please encourage the Planning & Zoning Commission and Town Council to support this project too.

Sincerely,

Albert C. White

To: James Shockey – Director | Community Development
Via Email: jshockey@wpgov.com
Subject: Cooper Creek Village Development

Mr. Shockey,

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Thank you!

Name: Bryan Fitzgerald
Local Address: 78869 US-40 Winter Park CO
Business: Gravity Haus

From: [Drew Boland](#)
To: [James Shockey](#)
Subject: Cooper Creek Village Development
Date: Thursday, August 4, 2022 8:59:54 PM
Attachments: [Apply-Now-20220603_trans.png](#)
[ProperRate-LogoGR.png](#)
[mobile-2.png](#)
[phone-1.png](#)
[email-1.png](#)
[web-1.png](#)
[social_icon1-2.png](#)
[social_icon3-2.png](#)
[social_icon4-2.png](#)
[housing-1.png](#)

Mr. Shockey,

I am writing to express my support for the proposed Cooper Creek Village development project and entitlements the Applicant (JAC Colorado II, LLC) is requesting. I also encourage the Town to work with the Applicant and the Resort to make the gondola and public all-season trail connection a reality.

I have thoroughly read through the proposals and I believe this project has the potential to shape an incredibly dynamic future for the town of Winter Park. When we initially thought of looking at property in Winter Park my wife was reluctant. She loves the access to skiing and hiking and biking but she felt the town was lacking in culture and vitality. Her impression was that there was no real town center and that detracted from the character of the community that can be found in other mountain towns throughout the state. In talking with some friends and their neighbors in Winter Park we learned that there was a lot of proposed plans and changes that could have the potential to make Winter Park a truly special mountain town. Having now read through the Cooper Creek proposal we have gotten a glimpse of what that future can look like.

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All of these are factors that I believe could truly make Winter Park a very special place. I sincerely hope these will be taken into consideration. We are very excited to be a part of the Winter Park community and we hope it continues to evolve and thrive in the future.

Thank you for your time and consideration. Please do not hesitate to reach out to me directly with any questions or concerns.

Sincerely,

Andrew Boland
148 BEAVERS LODGE ROAD, WINTER PARK, CO 80482

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From: [Sara and Kevin Koster](#)
To: [James Shockey](#)
Subject: Concerns regarding Cooper Creek Village
Date: Monday, July 25, 2022 7:51:15 PM

To Winter Park Planning and Zoning, Winter Park Town Council, Town of Winter Park Staff;

I share many of the same density concerns (wildlife and ecological impacts, water use sustainability, etc) as others have voiced and believe that the proposed Cooper Creek Village development should be held to the UDC and the same criteria (on a per-lot basis) as individual lot owners in town. Beyond that, I would specifically like to address the proposed connection of Timber Drive into CCV. I feel the proposed design is a mistake that will negatively impact the existing neighborhood and create a dangerous roadway.

Many cities have struggled with mapping software logic prioritizing routes through once-quiet residential streets in the software's search for consistency. Today, Vasquez lacks consistency due to random train delays and in the future will be impacted by pedestrian-related delays around the gondola. For properties traditionally accessed via Vasquez, it is likely that mapping software or learned behavior will route users through CCV and up onto Timber Dr. In effect, Timber Dr will become an arterial street for the properties south and west of the new development to get to/from Hwy 40.

Timber Dr is a steep, narrow residential street, presumably designed to serve the limited number of homes on it. It is barely two lanes in summer and has no shoulders, curbs, or sidewalks. Bikers, walkers, runners, etc are all in the street. Visitors struggle to get up the hill in winter. Throughout the year, vehicle engines rev loudly going up the hill.

As proposed, the road would have a significantly steep uphill section on each side of the new intersection, creating a very noisy interconnect for the existing neighborhood. Visitors racing up the modern streets of CCV only to crest onto Timber Dr in winter will have quite the surprise.

In summary, in addition to the numerous other negative impacts of implementing this development plan as proposed, I think the interconnect between Timber Dr and CCV should be eliminated completely due to its negative impact on the existing neighborhood and its likelihood to create a dangerous roadway. At a minimum, the interconnect at Timber Dr and CCV should be gated for emergency personnel only.

Thanks,
K. Koster
491 Timber Dr

7/23/2022

RE: Copper Creek Development

From Tom Corrigan
84 Timber Drive
Winter Park, CO 80482
970-818-7676

To: Winter Park Planning & Zoning Commission & Town Council

While considering the Copper Creek Development Plan I would request you consider the following issues that are a concern to our property at 84 Timber Drive.

1. The access from Timber Drive as proposed would be used as the preferred quick exit/short cut for all of the residences above the railroad crossing whenever there was not a train already moving through the crossing. **Limiting the access on Timber Drive to emergency use** would limit the impact on the existing Idlewild Lane, Hideaway Village and Hideaway Village South neighborhoods. Overflow parking will also be a concern off Timber Drive if adequate parking for the density is not provided. Steep inclines and retaining walls on the Ski Back Trail will not discourage skiers from accessing the trail from unintended access points. Examples include the Corridor Run from Mary Jane to Winter Park Base.
2. There was discussion in the Three Mile Area Plan - Payne Property South report that water would be provided for development from the Timber Drive water line. **The water pressure on Timber Drive is already too low** to take a shower and run additional water at our house just above the proposed access from Road #2.
3. The town allocated water for 357 single family equivalents for the Payne Property South in 2008 Three Mile Area Plan. The proposed development is calling for over 520 Owner Accessory Units and 225 Dwelling Units. I have seen nothing addressing the proposed hotel site water requirements. This is 745 single family equivalents and is **more than double the 2008 anticipated future water needs.**
4. The development of a **75' high hotel in the EPA-5 area is completely out of proportion to the single-family nature of the Idlewild & Hideaway Village South area. 75' high structures are too high for our town.** This drastic change in zoning will encourage a new retail area competing with the Downtown Shopping District.
5. We use telescopes to star gaze at night and would be severely impacted by this dense of a development without **strict dark sky lighting enforcement.** I see the development in Grand Park and the proposed CCV looking more & more like Dillon on I70 which is truly a blight on the landscape.
6. **100,000 CSF located in the EPA-5 high density area of the proposed CCV is creating a new shopping district that competes directly with the existing Downtown Shopping District.** A new 50' maximum height hotel would provide some close by dining opportunity for the site and proposed transportation links, including sidewalks and bus service will bring guests to the Downtown District where they belong.
7. **I have serious doubts that the proposed transfer fee will cover all of the costs of this development.** It would appear that affordable housing, road, water and sewer improvements as well as typical services covered by building permit fees and use taxes will be covered by this transfer fee. Any costs that are waived today will ultimately be borne by the existing residents

of Winter Park. As this project will take up to 20 years to build out, more time for considerations brought up in public hearing should be allocated to protect our residents.

Thank you for considering public input on this important annexation issue. These decisions will affect the future development of Winter Park for decades.

Thank You,

Tom Corrigan
84 Timber Drive
Winter Park, CO

23 July 2022

To: Winter Park Planning and Zoning Commission and Town Council

Re: Cooper Creek Development Annexation Agreement and the FDP

I am addressing you as a concerned citizen and nearly 20 year resident of Winter Park. This proposed annexation and development is on too fast a track for our little town. What is proposed will substantially change the atmosphere and character of Winter Park, while nearly doubling the number of units. A change of this magnitude needs to be considered carefully.

The following are my comments and questions regarding specific sections of the proposed Annexation Agreement between the Town of Winter Park and JAC Colorado II, LLC et al. I will address broader issues at the end of my comments.

1. Section 3. Forest Management Plan. The only specified component of a plan is for pine beetle mitigation measures. As a large portion of the property was clear cut a few years ago, the majority of any mitigation has been completed. A forest management plan should, at a minimum, contain provision for the planting of and maintenance of a variety of native trees and shrubs, excluding lodgepole pine, to hedge against future pest and disease outbreaks. Also, I found no provision for required fire mitigation efforts in this urban-wildland development. Fire is a much more likely danger than dead pine trees. There should also be provision for protection of the wetland and for wildlife corridors. This property is currently used by moose, deer, fox, bear and other animals. What animals are present in the wetland?
2. Section 4.1. Maximum Level of Development. How was number of additional SFE's calculated (682 for the CCVP and 333 for CC South and North)? How many SFE's are already approved? I saw no cumulative total. It seems that the Town is committing GCWSD to services which it may not be able to meet. At what point in the development will the determination be made that there is sufficient water and sanitary sewer resources? We are in the midst of a long-term drought with no indication that it will end. Our water resources are already stretched. We will lose any battles with Denver Water Board over allocations. How would "dedications or cash payment in lieu of dedication by the Owners" be translated into wet water? When water is scarce, will the new development be cut off first or will long-time residents? I've seen that JVA weighed in on concerns about water pressure, but have seen nothing about the increase in the quantity of water, or the treatment of that water. GCSD's thoughts are missing from this discussion. Can our current facilities handle it? If not, who will pay for that?
3. Section 5.2. Required Major On-Site Public Improvements. As currently designed, both Road 1 and Road 2 will have major impacts on Timber Drive. For all practical purposes, since the two road intersect below a circle, people will be just as likely to use Road 2 as Road 1. The Agreement as much as recognizes this fact in 5.2.1.3.2 which states that Road 1 will be connected to Timber Drive. Timber Drive was neither designed nor constructed to handle the tremendous amount of traffic that will result. If access to

Timber Drive is not severely limited in some way, perhaps by a gate that only permits emergency vehicle access, there will be degradation not only of the road but of the neighborhood.

I live just above the proposed entry to Timber Drive. In the past week alone my car has been nearly hit by other vehicles at that curve three times! In wintertime, it is worse. Parking on the pull-off at the curve and on Timber Drive itself is already a problem, especially when it snows. Where are the skiers looking to use the ski down to access the gondola and ski back to their cars going to park *in reality*? People will park where easy and convenient for them, not where a map shows they should!

Who is going to pay for the improvements which will be needed on Timber Drive and Vasquez? What about pedestrian access? Timber Drive is not wide enough to both improve and add sidewalks.

4. 6.4.1. Affordable Housing Fees. This proposal is all together inadequate to make a dent in the substantial additional need for affordable housing which would be created by this development. The twenty-year limit for deed restriction on the CCWP Parcel will pass by very quickly. Does the Town assume that the need will DECREASE in 20 years? Only the developer benefits from this arrangement. Once the 20 years is up, the existing tenants will be evicted, and the units sold as condos at market rates. Allowing up to six bedrooms in a DU will ensure it will be valuable in 20 years! This is very short-term thinking on the part of the Town, but not the developer. Are there sufficient existing water taps for this aspect of the proposal?
5. 6.4.2.2. SPA-3 or SPA-4 Attainable Dwelling Units. Will ADUs be required to purchase one-third of a water tap as we were? Are these included in the total number of water taps required?
6. 6.4.2.4. Exception and Exclusions. Exempting deed restricted DUs, which presumably include those proposed at the existing Cooper Creek building, from the density limitations just increases the allowable density by 45 bedrooms plus 10% of the total platted density demand on our limited resources. Additionally, no Town permitting fees will be collected, another plus for the developer, and loss for the Town. How will the cost of building inspections be covered? A development should pay its own way.

With respect to the general concept of the development, it is too much and too dense. It will negatively impact our current downtown and small business owners. It creates a third commercial area, if one counts the businesses at the base of the area. Moreover, a 75 foot tall hotel will be the equivalent of a skyscraper in our Town. Other hotels manage to be profitable at a smaller scale. Why do we need such a large hotel? It certainly won't be a small business that runs it.

Granting such a drastic change in zoning is not in the Town's best interest. Each of the three parcels should be addressed separately, not as one. The Town and its citizens need to be able to make choices as time passes as to who and what we want to be. The lack of transparency

regarding the real overall density proposed (including affordable housing and ADU's) and the number of water and sewer taps required (including existing allocations) is disturbing. If there is a payment in lieu, a water tap will still be needed somewhere for that housing.

I understand that there is a recommendation that the meeting scheduled before the Planning Commission be continued until their next meeting. I would agree with that action. Moreover, there should be widespread coverage of this proposal. There was one meeting offered by the developer which was advertised, but which gave the residents all of two day' notice. It also did not include any contact information. The Planning Commission should consider giving a presentation to the public on this significant proposal before making a recommendation to the Town Council.

Thank you for your attention to these remarks.

Trude Kleess
84 Timber Drive
Winter Park CO 80482

Red 7/12/22
KSR

I have two questions for the Planning Commission and Town Council to address regarding the Cooper Creek Villages development and annexation:

First: Is the environment, and the flora and fauna being protected by the agreement?

During public comment for the ROAM development: scientists, wildlife biologists, Trout Unlimited, Colorado Parks and Wildlife and many Winter Park residents all expressed concern about the setbacks on the Fraser River and how a large development would effect the water quality and the migratory corridor for moose, elk and other wildlife, unfortunately; that development was allowed to infringe on the fragile riparian ecosystem. The 57 acres in the CCV development includes multiple drainages that run into the Fraser river and land that up to this point has been available to wildlife. Cooper Creek Villages is a huge development that will impact the native flora and fauna. Some of that flora and fauna is on the brink of extinction due to climate change. Are there any legal provisions to protect the riparian and migratory corridors in this development?

Secondly: Where is the water coming from for this new development?

80% of the water in the valley is already diverted to Front Range Communities. The Southwestern US is experiencing its driest period in over 1200 years and the Colorado River is over allocated so where is the water coming from to support this growth? Is there a dedicated and guaranteed source of water?

Thank you,
Priscilla Kirouac
151 Pine Cone Lane
WP, CO

From: [Cynthia McCoy](#)
To: [James Shockey](#)
Cc: [Nick Kutrumbos](#); [Keith Riesberg](#)
Subject: Letter to the Town of WP
Date: Tuesday, July 19, 2022 4:57:31 PM
Attachments: [image001.png](#)

Good afternoon Mayor Kutrumbos, Manager Riesberg, and Winter Park Town Board of Trustees and development team,

I understand a public hearing was set last week, and was unable to organize in time to prepare to attend or submit a letter.

I would like to respectfully ask that a portion of the area set for proposed gondola project south of Cooper Creek Square be preserved as open space, so that those who walk the trails there, and Frisbee golf players may continue to appreciate the beautiful forested area.

I understand development is inevitable there, and believe both development and remaining a Frisbee golf course (maybe redesigned with guidance from the Town of Winter Park if needed) can be achieved. An example is the Frisbee golf course at the YMCA of the Rockies, Snow Mountain Ranch, which runs below a zipline (which would have similar tower structures and cable line).

Respectfully,

Cynthia "Cyndi" McCoy
Executive Administrator, GC Board of County Commissioners / County Manager's Office
Office: 970-725-3100
Mobile: 970-531-3728
308 Byers Ave., P.O. Box 264
Hot Sulphur Springs, CO 80451



Grand County
Colorado

7/19/22

RE: Cooper Creek Development

From: Susan Keck

110 Arapaho Rd

Winter Park, CO

To: Winter Park Planning and Zoning Commission and Town Council,

In the Copper Creek Development plan, will you please consider a condition for an access/security gate where Cooper Creek Development meets Timber Drive? Since the new development will have its primary access from the new RR overpass and not from Timber Drive, it seems unnecessary for the traffic to flow through the Hideaway Village South neighborhood except in emergency and limited situations. Without any traffic control, there will be conflict with excessive car traffic on Arapaho and Vasquez Roads. The roads are narrow and the slope is enough that The Lift can't stop on the uphill at the corner of Arapaho and Timber Drive, let alone the rental cars that try to go up Timber Drive! There may be additional stress on Timber Drive from eager skiers parking on the roadway to ski down to the town gondola and ski back to their cars at the end of the day. (This already happens on Arapaho Rd) It would better serve that neighborhood to work on an alternative outlet to Highway 40 toward Winter Park Resort. (By Ice Hill/Serenity)

Also, please question the commercial zoning proposed for the hotel off of Timber Drive. It does not blend with the current residential area or, zoning and is far from the town center. The concerns are the impact on wildlife and wetlands along with heavy traffic and lack of parking. It would better serve the visitor and community to keep the hotel and commercial zoning in the town center where the visitor can walk through town. With a fully occupied hotel, will the lights at night from the rooms be dark sky compliant? Also, if you look at the surrounding neighborhoods of Hideaway Village South, Hideaway Village, Elk Run and Alpine Timbers there is a considerable amount of open space and trees to buffer and soften the landscape. There will still be plenty of homes and rentals in that meadow! Please consider residential zoning only in the area adjoining Timber Drive.

Thank you,

Susan Keck

From: [Darcy Schlichting](#)
To: [James Shockey](#)
Subject: Cooper Creek Development
Date: Tuesday, July 12, 2022 7:18:02 AM

Dear Mr. Shockey,

My husband and I are full time residents of Winter Park. We are concerned about the parameters of the proposed development at Cooper Creek. We reside at 21 E. Viking Drive

Although we are not directly impacted by the development, our concern is for the overall impact on the Vasquez Road area. The traffic impact, initially from the construction vehicles, and ultimately from the increase in daily traffic once the project is completed will adversely affect all the neighbors in the region.

Please consider the following:

1. Thoughtful development, not maximum density
2. Include large swaths of open space, to minimize the impact of the development on the environment and the wildlife
3. Add another access point from the town to the development to minimize traffic on Timber Drive and Idlewild.

Thank you for your consideration

Darcy and Dave Schlichting

From: [Rachel Lambden](#)
To: [James Shockey](#)
Cc: [Brian Lambden](#)
Subject: Cooper Creek Villages annexation
Date: Monday, July 11, 2022 9:26:06 PM

Hello James,

My family has owned a vacation home in Hideaway Village South for more than 20 years. My husband and I just moved here full time 3 months ago and are loving our quiet secluded trails. One of our favorites goes thru the forestry land that is currently being re-zoned.

The proposed density will destroy our surrounding open space, trails, wild flowers and views. The amount of anticipated traffic will create havoc. The nature of our backyard and character of our neighborhood will be irrevocably changed.

We do NOT Support the re-zoning as requested.

Thank you for your time in reading this,

Rachel and Brian Lambden

From: [Laura Belanger](#)
To: [James Shockey](#)
Cc: [John](#); [Renee Garcia](#); [Brian Nuel](#)
Subject: Regarding Cooper Creek Village and Cooper Creek Square - Final Development Plan Request (PLN21-082)
Date: Monday, July 11, 2022 8:36:28 PM

Dear Mr. Shockey and Planning and Zoning Commission Members,

We are writing to provide public comments on the annexation and proposed rezoning for Cooper Creek Village.

- 1. We support the annexation but urge you to deny the requested R-C zoning for the southern and western planning areas** - We are owners of 11-11 Beaver Village Condominiums which is immediately adjacent to and surrounded by the proposed Cooper Creek Village to our north, west and south. Our condominium complex has long enjoyed the quiet southwestern end of Winter Park and surrounding unincorporated areas which include the parcel in question which is currently zoned "open space, forestry". The proposed R-C zoning for planning areas located to the south and west of the core is on the opposite end of the zoning spectrum from current conditions and would completely destroy the character of the area that led us to purchase our condominium. We understand the desire to develop new housing and commercial space for the Town, and the benefits of the taxes that come with those. But while doing that, please do not forget about current property owners. A balanced approach that meets everyone's needs can be found. We do not oppose the development but believe it should be approached and zoned appropriately and thoughtfully to consider and reflect surrounding property characteristics. While high density development near the Town Center makes sense, please do not allow for 50- and 75-foot-tall buildings and extremely dense development in the planning areas located to the south and west of the core. Providing blanket R-C zoning now will essentially prevent any successful future opposition to extremely dense and tall development – as those would be in compliance with the approved zoning. We support the feathered density transition proposed by the Idlewild Meadows neighborhood and urge you to approve rezoning as they propose.
- 2. We are adjacent property owners and are extremely concerned that we did not receive notice of the proposed annexation and rezoning** – The proposed annexation and rezoning will have significant impacts on each and every one of Beaver Village Condominiums home owners, yet we were not notified of the July 12, 2022 meeting. The only reason we are aware of it is because the Idlewood Meadows neighborhood took it upon themselves to do what the project proponent and Town should have done and sent a letter notifying us of the proceedings – unfortunately with unreasonably short notice. With proper notice, the residents of Beaver Village Condominiums could have better reviewed the proposal and provided additional comments.
- 3. The traffic anticipated from the proposed development is unacceptable** – As the Planning and Zoning Commission knows, as well as anyone who lives in or visits Winter Park or the neighboring communities, traffic in and through Winter Park can already be very bad. While we know additional development and traffic will occur with new development, the daily external vehicle trips that would be generated by the proposed development are excessive and will form a serious bottleneck right at the entrance to town where all vehicles going to or through Winter Park must travel. People don't live in Winter Park to experience traffic jams, and we hope you will rezone the property in question accordingly to prevent further erosion of Winter Park's admirable and desirable mountain community characteristics.

As adjacent property owners to the parcel in question, we urge you to reject the proposed zoning for the proposed Cooper Creek Villages property and instead adopt thoughtful, less dense and less tall zoning appropriate to the characteristics of existing development in the area. We also ask that

you investigate why the residents of Beaver Village Condominiums did not receive notice of this rezoning application or the July 12, 2022 meeting and to provide proper notice and a future meeting opportunity to us, neighbors of the proposed development. Lastly, we hope you will consider your own and nearby communities' impacts from the additional traffic the development will have in determining appropriate zoning for the project.

Sincerely,

Laura Belanger, Renee Garcia, Brian Nuel, and John Rodgers

Owners of Beaver Village Condominiums, Unit 11-11

belanger.laura@gmail.com, renee_e_garcia@yahoo.com, brian.nuel@gmail.com, and rodgers.john@gmail.com

303-215-9122

From: [Jacqueline Seymour](#)
To: [James Shockey](#)
Subject: CCV Development
Date: Monday, July 11, 2022 8:19:11 PM

Dear Mr. Shockey,

I'm writing to share my concerns with the zoning of the Cooper Creek Villages development. It is my opinion that the zoning being requested is extremely relaxed and is not in the best interest of the community. The development of 875 residential units will nearly double the population of Winter Park. (at least 87.5%) This amount of growth is going to require a lot of infrastructure to support this amount of increase which intern will cost the taxpayers. My request is to tighten the zoning to a much more reduced number of residential units and/or single family homes.

Regarding the height of the structures the developer wishes to build (75') this would be detrimental to the small mountain town that Winter Park is today. Obstructing the beauty of the land around WPK with large Hotels and parking lots/structures is not environmentally friendly or a desirable view. (Don't loose the Spirit of the Wild that is Winter Park)

My concerns regarding the 100,000 sf shopping center is what will happen to small local businesses? Bringing in a mega shopping center is going to drive many of them out of business. Winter Park will become just like every other city or town along the front range with Super Shopping Center where everyone shops away from town. The downtown area is plagued with a a lot of empty store fronts and no activity. The town counsel will wonder one day what happened to their thriving little town.

Winter Park is a Mountain Town not a Metropolis. Save the multi family high rises for the big cities. Keep your businesses local. Don't kill your Small Town feel.

I hope you will truly consider the opinions of your local residents when voting on the annexation of CCV development project.

Best Regards,
Jacqueline Seymour

Sent from my iPad

From: [Richard](#)
To: [James Shockey](#)
Subject: 57 acre development
Date: Monday, July 11, 2022 7:57:21 PM

I was shocked when I heard at the last minute about this seemingly unthought through railroaded zoning change - why so little notice?? Do we need a petition - whole process smells bad - sounds like some inside dealing - no impact studies on traffic - bike / car interactions on Arapaho road , wildlife impacts etc etc - can an injunction happen ? It's TOO big - Too many units - smacks of developer greed!!

Richard George and Ann Tempest

Sent from my iPhone

From: [Bob Seymour](#)
To: [James Shockey](#)
Cc: [theseymours](#)
Subject: Proposed rezoning for Cooper Creek Village
Date: Monday, July 11, 2022 12:16:39 PM

Mr. James Shockey,

As I WP Property owner, I would like you to consider my input on this Proposal.

1) re zoning from "Open Space forestry" to DC. This type of action is not in line with the current character of the town of Winter Park.

While I am personally not a climate change activist, anytime you cut down forest to make way for a High Density Project such as this one, You are causing damage.

2) This Development will change the very Aesthetics of the town of WP from a comfortable and friendly town to an austere standoffish environment. Think Vail.

3) When we decided to own real estate in WP, we had many choices. WP won our decision BECAUSE of its warm inviting atmosphere.

4) It appears that this will add 14,491 daily vehicles to Vasquez Road traffic. Really, no one sees that as a problem?

Conclusion, This project needs to be scaled way back. 35' Height limit. Setbacks of at least 20'. Needs to blend with existing development or be denied rezoning.

Thanks for your time,

Bob Seymour
79114 US HWY 40
Winter Park, CO 80482
970-443-0152

From: [Mindy Trautman](#)
To: [James Shockey](#); [Keith Riesberg](#); [Nick Kutrumbos](#); [Jennifer Hughes](#); [Mike Periolat](#); [Riley McDonough](#); [Art Ferrari](#); [Jeremy Henn](#); [Rebecca Kaufman](#)
Cc: randall.reaugh@jm.com
Subject: Cooper Creek Villages/Annexation and Zoning Determination - Request for Lower Density/Height Zoning
Date: Sunday, July 10, 2022 5:28:36 PM

I respectfully request (implore) that the Town of Winter Park Planning & Zoning set the zoning determination for Cooper Creek Villages to NOT BE a Destination Center (DC).

As a property/homeowner at 284 Arapahoe Road for more than 27 years, I know how much Winter Park has changed. The density and increase in development has been unprecedented. Setting the Cooper Creek Villages area as DC would only contribute and exacerbate the following:

- Traffic Congestion
- Water Shortages
- Staffing Shortages
- Degradation of the vibe/look and feel of our town and valley
- Degradation of the quality of life for the surrounding neighborhoods

We came here and continue to come here because of the 'local' feel versus the mass produced feel. And although that is slowly being eroded, the density request from JAC Colorado will continue to just make us look and feel more like the chaos that is Steamboat, Summit County, Breckenridge and Vail. People come here BECAUSE we are not those other places.

In addition, the surrounding neighbors/neighborhoods will be negatively impacted, forever being changed by the volume of traffic/people and basic aesthetics. From those I've talked to - that even live here full-time, there doesn't seem to be much notice or communication coming from the town and the elected officials. Very convenient for the developer in their push for maximum density. And, the amount of green space being proposed is laughable. I'd appreciate getting information about how to better track this project and how to hear about subsequent meetings that will be available to the public.

Please consider lower density and height allowances that are more in line with the surrounding legacy neighborhoods and area and allow more time to receive input from concerned residents before making a final decision.

Thank you for your time and consideration in this very important matter.

Mindy Trautman

From: [Susan Keck](#)
To: [James Shockey](#)
Subject: Opposed to commercial zoning on Timber Drive
Date: Sunday, July 10, 2022 1:42:05 PM

Hi James,

RE: Cooper Creek Development

I oppose the commercial zoning proposed for the hotel off of Timber Drive. It does not blend with the current residential zoning and is far from the town center. My concerns are the impact on wildlife and wetlands along with heavy traffic and lack of parking. It would better serve the visitor and community to keep the hotel and commercial zoning in the town center.

Thank you,

Susan Keck

110 Arapaho Rd

Winter Park

March 22, 2022

Paul & Kristen Tourangeau
22 Idlewild Lane
40 Idlewild Lane
Winter Park, CO 80482

Town of Winter Park
Planning Division
50 Vasquez Road
PO Box 3327
Winter Park, CO 80482

Re: Homeowner Comments on Proposed Subject Planning/Zoning for Cooper Creek Village Development, Winter Park, Colorado

Ladies and Gentlemen:

Wetland habitat is disappearing too rapidly in this country, and every town and city should endeavor to preserve those that remain. The Town of Winter Park would be wise to protect all wetland habitats that exist within town boundaries, in addition to the waters which flow into the Fraser River. Wetland habitats are an extremely valuable environmental resource for the animals, plants, and microorganisms which rely on them, and are noteworthy for their positive impact on the water that flows through them. Development is greatly impacting our western rivers, and we need to preserve them in their natural states, which include the wetlands that feed them, rather than alter them to suit development.

As homeowners adjacent to and near the proposed Cooper Creek Village development project, we urge you to consider conditioning approval of the subject development to preserve the wetland habitat characteristics that have existed and presently exist in the area immediately to the south and east of Idlewild Lane.

Development is rampant in the West, and Grand County is no exception. Grand County has been slower to develop than other mountain counties, but significant growth is now at our doorstep. Now is the time to make decisions that will protect our community and our way of life into the future. We can put guardrails around development, but once development has consumed open space, that space is forever lost.

Idlewild Lane, in the town of Winter Park, has been largely unaltered since the late 1960's when my parents bought their tiny cabin at 40 Idlewild Lane from a Winter Park ski patrolman. In those days Beaver Village Condominiums had not been built, and as

kids we roamed through all that area to our hearts' content. The meadow, wetlands, and forest that are between Idlewild Lane and the Beaver Village property are beautiful and peaceful, and still provide a corridor for wildlife.

The neighborhood is almost an accidental example of current-day property development in which preservation of open space is a requirement. The difference is that the open space that currently exists on Idlewild Lane is *not* part of the Idlewild community. It is a portion of the proposed development you are considering.

If we could turn the clock back, perhaps it would have been best for the town of Hideaway Park to preserve all the wetlands that once existed from the Vasquez Creek flowing southeasterly toward the Fraser River. Back in those days no one thought about preservation - one only envisioned basic housing and commercial areas. There were small houses and little businesses along Highway 40. Ski Idlewild, Miller's Idlewild Inn, and Beaver's were the only "big" businesses in town.

At that time an affirmative plan or vision to preserve some of the important natural elements within the town limits did not exist, whereas today we do have a vision which is outlined in the Three Mile Area Plan. From page 5 of that plan under the section entitled, Water Availability:

Water availability is a concern with any annexation in the Town of Winter Park. The 2006 Town Plan considered the effects development could have on the Fraser River and its tributaries. The Town Plan stated that water available for municipal use should not impact the amount needed to support the Fraser River and as such any additional zoning entitlements should be planned that at full build-out of Winter Park, enough water will be available to keep healthy rivers and creeks in the Upper Fraser Valley. The 2019 Imagine Winter Park Town Plan reinforced this statement with a requirement that the Town maintain healthy stream flows for ecological, recreational, and scenic purposes.

Wetlands contribute a significant benefit to the health of water systems. Most of the homes on Idlewild Lane were built on these wetlands. By today's standards it would have been healthier for the Vasquez Creek/Fraser River system if development had been limited in this wetland area. However, the beneficial contributions of wetlands to our ecosystems were not well known at the time. Let us learn from the mistakes that other cities and towns have made by continuing to allow development with little regard for the preservation of open space. ***It is critical that we save what little open space we have left.*** That is the intention of the plans developed by the Town of Winter Park with its Three Mile Area Plan and the Imagine Winter Park Plan. Future residents and guests will thank those with the foresight to preserve open spaces within the heart of Winter Park.

Regarding the development of the gondola and the ski-back trail, the residents of Idlewild Lane have been assured that both projects are being undertaken to *reduce*

the amount of traffic in and around Winter Park. It is possible that there will be less parking needed at the ski area and fewer cars driving that direction, but we foresee that our street is at a real risk of becoming a parking lot for the gondola and our properties will become short cuts to the lift line. Additionally, the traffic on Vasquez Road will increase as people try to reach the base of the gondola or try to find parking nearby to access the gondola. Traffic will increase on Idlewild Lane, as well.

Development around the gondola line and the ski-back trail might lead to further parking and traffic problems in the subject development area and in Beaver Village, as residents, friends, and guests use parking areas in and around the proposed subject development area to access the gondola.

Snow removal and drainage are currently significant problems on Idlewild Lane. Additional development in the adjacent area will magnify the difficulties that we currently have by materially increasing the number of dwellings in a small area. The snow that normally would accumulate for the winter season in the meadow and the forest immediately south of Idlewild Lane will be plowed from a new road, driveways, and access areas around the dwellings. This snow will need to be plowed and removed – a process that will keep it from melting naturally into the waterways, and which will deplete the natural wetlands running along the bottom of the hill rising from the meadow and extending toward the Fraser River.

Please take the time to *carefully* consider each significant element associated with every project that impacts the Town of Winter Park. These considerations extend not only to number and type of units, architectural style, building construction, and tax revenue, but also to the effects of such development on the natural environment around us and within the town's boundaries. Most of us are here in Winter Park because we value the natural beauty at our doorstep.

Therefore, as homeowners adjacent to and near the Cooper Creek Village development project, we urge you to consider conditioning approval of the subject development to preserve the wetland habitat characteristics that have existed and presently exist in the area immediately to the south and east of Idlewild Lane.

We also ask you to carefully consider the tremendous impact that the development of a gondola, a residential access road, and a ski back trail will have on parking and on snow removal and storage in our neighborhood and in the adjacent subject development, as well as its impact on Vasquez Road, a major artery for the Town of Winter Park.

s/Kristen and Paul Tourangeau

July 8, 2022

Wayne & Ortrud Fowler
22 Idlewild Lane
40 Idlewild Lane
Winter Park, CO 80482

Town of Winter Park
Planning Division
50 Vasquez Road
PO Box 3327
Winter Park, CO 80482

Re: Proposed Gondola and Cooper Creek Village Development Projects

Ladies and Gentlemen:

It is our understanding that Winter Park Resort plans to locate a gondola base loading area just south of the current town administration building and adjacent parking structure and the neighboring business area.

We write this letter to object to locating the gondola base in the proposed site for the following reasons:

- 1) The existing parking structure is too small to accommodate the required parking that the gondola would demand.
- 2) The increase in automobile traffic and automobile parking would be a major burden on the current residential and business concerns in the greater Idlewild Lane area.
- 3) Locating the gondola base near the town administration building and parking structure would have a major impact on snow removal storage, as this is where most of the removed snow from the adjacent areas is currently stored.
- 4) Although parking on residential streets in Winter Park, such as Idlewild Lane, is not allowed, the lack of parking at the gondola base would encourage illegal parking on all residential streets near the gondola base.

Regarding the development of Cooper Creek Village as it affects the Idlewild Lane neighborhood, we believe that the meadow in the interior of the Idlewild subdivision should be preserved in its current state. It should be left as an open space for the enjoyment of the residents of Winter Park and as a wildlife corridor.

We in the Idlewild area made a sacrifice to help create the Town of Winter Park, which allowed Winter Park Resort to be able to impose taxes on ski area visitors and on the services and goods they need. This is enough of a burden on us -- those who aided the creation of the ski area as a taxing entity. We have already shouldered our part for the ski area and the town.

So put the base of the gondola in a more suitable location. We offer to meet with the Town Council to assist in finding a new and better location for the gondola base.

Sincerely,

Wayne J. and Ortrud M. Fowler

From: randall.reaugh
To: [James Shockey](#); [Keith Riesberg](#); [Nick Kutrumbos](#); [Jennifer Hughes](#); [Mike Periolat](#); [Riley McDonough](#); [Art Ferrari](#); [Jeremy Henn](#)
Cc: scottchisholm@highsofttech.com
Subject: Cooper Creek Village
Date: Monday, July 11, 2022 9:07:07 AM

I am writing this message to express my strong opposition to the zoning of the Cooper Creek Village as a Destination Center with the resulting development densities and height restrictions allowed under that designation.

I am not opposed to the development of this property. However, any development should be in line with the character of the surrounding neighborhoods and the Town of Winter Park. Moving this land from an open space to a maximum density to maximize financial return is inappropriate.

I am a longtime homeowner on Arapahoe Road. This development, as proposed, is the exact opposite of what attracted me to the valley 30 years ago. This will have a significant negative effect on our neighborhoods. Squeezing in 875 multi-family, single family attached units and a 400 room hotel is just one more step to converting Winter Park to the look, feel and chaos of Summit County.

I am requesting that this development not be allowed to proceed under the current development plan. There should be large buffer zones from adjoining neighborhoods, reductions in allowable densities, expanded use of single family detached homes, and reasonable open space.

There seems to be a very apparent lack of transparency concerning this project. I spoke to 5 of my neighbors this weekend and none of them were aware of the scale of this development or that a zooming meeting is to be held on the 12th. I only became aware through a casual conversation with one neighbor. Is there not a requirement to post proposed zoning change signage at the property? I would hope that the Town of Winter Park would want to fulfill its responsibility to fully communicate all pending processes concerning a project of this scale.

I further request that any Town of Winter Park representatives who themselves or who have family members that benefit from this property development, or the sale of real estate, recuse themselves from decisions on this matter as that is clearly a conflict of interest.

I can be reached at 303-638-2733.

Sincerely, Randy Reaugh.

July 8, 2022

JAC Colorado II
747 Sheridan Blvd
Lakewood, CO 80214

Re: Cooper Creek Village & Cooper Creek Square Final Development Plan

Dear Mr. Johnson,

On behalf of the Crestview Place HOA Board and homeowners, although we are on board with the development plan overall, I would like to identify two areas of significant concern associated with the proposed Cooper Creek Final Village & Cooper Creek Square Final Development Plan ("Current Plan"). The areas of concern relate to parking and trash removal, and potentially other, to be identified, specifics.

Crestview Place Condominiums includes 39 residential condominium units ("Crestview") and two floors of commercial condominium units ("Winter Park Station"). The Crestview Place Condominiums are located immediately east of the proposed Cooper Creek South Parcel CCS PA-1.

Parking

Parking requirements for both Crestview and Winter Park Station are satisfied by a combination of shared parking garage, two levels of uncovered surface parking known as "Parcel B", and two spots in the town garage. Parcel B appears to be part of the development plan as part of CCS PA-1 (also identified as SN PA-1).

In the Current Plan, Exhibit B page 6 discusses parking but fails to provide for how the residential parking requirements for Crestview Place Condominiums will be addressed once Parcel B is developed and those outdoor parking spots are no longer available.

Trash Removal

Dumpsters for all Crestview and Winter Park Station occupants are located on the surface parking lot. This is the only location possible on the property for dumpsters which can be accessed by trash trucks. While we recognize this is not the most pressing issue of a project of this scale, the development of Parcel B does have some additional factors that need to be considered.

Overall

Crestview is one of the current buildings, not commonly owned by WC Johnson, that will be hugely impacted by the Current Plan, yet the building is not identified in any of the drawings like Winter Park Station or Snowblaze is, and no plan for addressing the lost residential parking or dumpster locations has been presented. It is also unclear how close the new road will be to the building and the impacts of that since Parcel B appears to be identified as both CCS PA-1 and SN PA-1 and the location of the road is different based on which version you are looking at.

There is conflicting information within the Current Plan relative to CCS PA-1. Exhibit C page 6, Final Development Plan prepared by Vogel & Associated has a portion of CCS PA-1 on the east side of the proposed new street. The parcel on the east side of the proposed new street is adjacent to the Crestview property. The Cooper Creek – Annexation exhibit prepared by TKE Civil and Structural Engineering has SN-PA-1 on the west side of the proposed new street and no planning area on the east side of the proposed new street.

On behalf of all 39 Crestview residential owners, the Crestview Place Condominium Residential Board of Directors recommends the following: The Final Development Plan should recognize and provide for an adequate amount of parking to meet the needs of Crestview and Winter Park Station and future development plans for Parcel B shall address the dumpster situation. We will have a board representative and homeowners at both the Planning Commission meeting on July 12th and the Town Council meeting on August 16th and are available to schedule a time to discuss this with you personally as well.

Respectfully,

/Steve Kane/

Steve Kane
Crestview HOA President

cc: James Shockey, AICP, Community Development Director, Town of Winter Park

From: [Rebecca Sharpe](#)
To: [Keith Riesberg](#); [Alisha Janes](#); [Danielle Jardee](#); [James Shockey](#); [Hugh Bell](#); [Irene Kilburn](#); [Tom Hawkinson](#); [Nick Kutrumbos](#); [Mike Periolat](#); [Art Ferrari](#); [Jeremy Henn](#); [Jennifer Hughes](#); [Rebecca Kaufman](#); [Riley McDonough](#)
Subject: Voicing my concerns regarding the Cooper Creek Village Development
Date: Monday, April 25, 2022 9:10:43 AM
Attachments: [image.png](#)

To the Town of Winter Park staff and Winter Park Town Council (please forward to Winter Park Planning & Zoning),

I am writing this letter to express my concerns with the Cooper Creek Village development, specifically with regard to the Imagine Winter Park Master Plan.

I'll open by saying that I find it very concerning that the land owner is listed as being on the "Steering Committee" of the Imagine Winter Park Master Plan. Is this not, inherently, a conflict of interest?

The plan was created in 2017 and much has transpired since then, including the approval, partial completion and completion of numerous other developments and catastrophic wildfires. When was the plan last reviewed? The plan itself states on page 1-6, "For the Town Plan to remain effective, it must be regularly reviewed and amended to address current standards, goals and strategies, and future needs, as well as to provide additional social, economic, and environmental sustainability elements. Furthermore, it is essential that the Town Plan remains current with changing local, regional, and global conditions."

I would also like to note the multiple conflicts with this plan as they pertain to the development:

-

Page 50 - [MOUNTAIN LIFESTYLE] An authentic mountain community with a culture defined by and fundamentally linked to its surrounding natural, wild environment.
Page 59 - [Our incomparable national forest] “ The community should protect wildlife, habitat, movement corridors, and scenic vistas. When development occurs it should be sized, located, and designed to avoid or limit impacts to wildlife and the natural environment.” EN Strategy 2.3 “Protect the integrity of significant wildlife habitat & movement corridors.

- Visitors come to Winter Park to enjoy the natural environment and to view wildlife. Additional development will only disturb, if not, drive away wildlife. In NPA-1 specifically, and in the bordering Idlewild Meadows, various species are seen frequently including moose, deer, bears, marmots, snowshoe hare, foxes, coyote, and pine marten.
- See the CPW slide below pertaining to the Moose habitat that this property encompasses. You can see that the property in question covers the Moose Winter Range and Moose Priority Habitat.
- Wildlife, especially moose, use riverbeds to move in the winter due to the lack of deep snow. The CPW has noted that the Vasquez Creek is a “crucial habitat

movement” area for moose. The Cooper Creek Village development is adjacent to Vasquez Creek and will have a significant impact on this crucial movement habitat.

- The CPW has also noted a decline in wildlife in Summit and Eagle Counties because of over development.

●

Page 57 - [A HEALTHY HEADWATERS COMMUNITY] A conservation-oriented community that recognizes the role water plays in the natural environment and ability to grow in a responsible and sustainable way. Page 58 - EN strategy 1.5: Protect the viability of natural wetlands and watercourses as a key component of our natural and built environments.

- Existing wetlands that the proposed development encompasses and specifically in NPA-1, will be heavily impacted. When questioned about the impact of the wetlands in NPA-1 in the Cooper Creek development Open House session on March 10th, the developer stated that 1) the wetlands in NPA-1 would "only have a road built over them" 2) that the homes on Idlewild Lane were already built on wetlands and 3) that they were not jurisdictional wetlands. Clearly this developer is not interested in "Protecting the viability of natural wetlands and watercourses as a key component of our natural and built environments."
- Potential impact on Vasquez Creek. Sedimentation issues in the Fraser River have already been found. While causation is under review, these issues are likely related to surrounding development. (See: [The indicator species vs. development: How construction runoff is muddying fish habitat.](#))

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Page 61 - [SUSTAINABILITY] A COMMUNITY THAT OPERATES IN WAYS THAT ARE GOOD FOR PEOPLE AND THE PLANET. “In order to provide the quality of life that residents and guests in Winter Park expect and desire, it is crucial that the Town create and maintain conditions under which humans and nature can exist in productive harmony, that allow us to meet the social, economic, and environmental needs of both present and future generations. This will mean reducing our environmental footprint by conserving energy and water, reducing waste, increasing recycling, and addressing climate change.

- Wildlife will be displaced and will not return.
- A multi year buildout with construction vehicles, constant running engines, tree removal, and wetlands destruction will not reduce environmental footprint.
- More development means more people, which in turn leads to excessive energy and water use, along with more waste (both construction and household). A lack

of water in the west is already becoming an issue due to the current drought and overpopulation.

•

Page 60 - [Living with our environment] EN Strategy 3.1 Encourage density in appropriate locations and clustering of development to maximize open space, EN Strategy 3.3: Work to become a Dark Sky Community. EN Strategy 3.4: Proactively plan for disasters and implement mitigation and resilience measures to reduce community vulnerability (e.g. requiring firebreaks) EN Strategy 3.8 Implement policies that reduce conflicts between wildlife and domesticated animals.

- The development of NPA-1, which directly borders the Idlewild Meadows neighborhood would, in effect, remove the only open space that this neighborhood has to their avail.
- The lives of the residents of Idlewild lane will be greatly impacted due to the proximity of the planned development bordering the neighborhood. Years of construction disruption will make it impossible to live in, work in or enjoy our homes.
- With the addition of hundreds of new homes and new roads on these parcels, any new indoor and outdoor lighting, car headlights, and street lights will all lead to light pollution and eliminate any hope of maintaining a “dark sky community”. Not to mention potential lighting of a ski-back. Walk down Idlewild Lane after dark on a clear night and you'll be amazed how brilliant the stars are currently.
- The East Troublesome fire was a major event for Grand County and evacuations were in place. There are 2 ways to enter and exit Winter Park. When another wildfire occurs (and they will occur), evacuations and extractions will be difficult even with the current population. Neighborhoods below the Vasquez Road camping areas are in constant fear of wildfires started by campers in that area. With additional development and density, ensuing traffic jams could become catastrophic.
- As stated previously, many species frequent the Idlewild Meadows neighborhood. An increase in 2nd homeowner occupation would clearly increase conflicts between wildlife and domesticated animals.

I appreciated the opportunity to hear from current Town Council members as well as candidates for council prior to the election. What I heard was that transparency, residents having a voice, developers being held accountable, quality of life, preserving wildlife corridors and wetlands, the burden being placed upon the community due to new development, sustainability, and climate change were all priorities and/or concerns. I heard the Imagine Winter Park and 3 Mile plans mentioned numerous times. What I also heard, however, was that we can't tell people what to do with their own property. So I'm finding it difficult to

understand the value in a plan if it's not adhered to or enforceable in the face of developers?

Finally, on the topic of transparency, we know that closed door meetings were held with the land owner/developer. Our neighborhood would like to not only understand what transpired at those meetings but also be afforded the opportunity to speak with council, with no time limits placed upon our commentary.

Thank you for listening,

Rebecca Sharpe

190 Idlewild Lane

Resource:



Luke Braly
60 Idlewild Ln. Winter Park CO. 80482

Cell: (303) 817-9848
Email: luke.braly@fticonsulting.com

Winter Park Zoning Department
Winter Park Town Hall – 50 Vasquez Road

Dear Winter Park Zoning Department Members:

I am writing to express my concerns about the currently proposed zoning request for the annexation of the Cooper Creek Village Property, specifically as it relates to the annexation of NPA-1 and NPA-2 as detailed in the Cooper Creek Village & Cooper Creek Square Final Development Plan (Exhibit A). The proposed zoning for the annexation of these parcels is “D-C: Destination Center” (Exhibit B). The proposed zoning for the annexation is inappropriate for the following reasons:

- 1.) **Lack of Zoning Precedent for D-C Next to Residential:** There are no other properties in Winter Park that have existing R-1: Single-Family Residential zoning with D-C zoning adjacent to it.
 - a. **R-1:** Per Town’s Zoning Districts and use Standards, R-1’s character is **Low Density Residential** and the purpose of the district is “Single-family **detached** residential neighborhoods on moderately sized lots, including provision for varying sized lots, including provision for varying lot areas and widths, home siting, and **by-right cluster development to preserve resources, protect sensitive lands, and accommodate natural topography.**” [**emphasis added**]
 - b. **D-C:** The purpose of this district is to provide: “A planned mixture of **high density** and upper-floor residential and **commercial uses** in horizontal and vertical formats that are arranged to create walkable pedestrian environment. [**emphasis added**]

Exhibit A shows the planned development for NPA-1 is “Residential” which suggests that D-C zoning would be inappropriate if residential is the intended use. It has been explained by the developer that the D-C zoning would include an R-1 “overlay.” If the planned development is residential, there is no reason for an unnecessary overlay of R-1 on top of a D-C zoning designation. R-1 or Open Space would be the most practical zoning designation for this property and would be consistent with already established zoning precedent.

Further, NPA-1 and NPA-2 existing zoning is Open Space, Forestry, Agriculture and Recreational Zone District. Per Town’s Zoning Districts and use Standards, the purpose of this type of district is to provide for “Preservation of the US Forest Service Property; protection of the Fraser River and associated creeks and their wetland and riparian areas; provision of agricultural areas and uses; and expanding upon the recreational amenities and assets of Town.” Converting from the current land use to D-C is a dramatic and unnecessary zoning change. When residents of Idlewild purchased their property, they had a reasonable expectation that this zoning would remain in place. At a minimum, there was a reasonable expectation if an annexation occurred, reasonable zoning standards would be utilized.

- 2.) **Proposed Height Variances for 3 Buildings Surrounding Cooper Creek:** Granting a variance for the three 75-foot buildings around Cooper Creek Square do not meet the criteria of §7-8-1. Specifically, §7-8-1 C #6 states:

“The proposed variation ***will not impair an adequate supply of light and air to adjacent property or substantially increase the congestion in the public streets*** or increase the danger of fire or endanger the public safety or substantially diminish or impair property values within the neighbor.” *[emphasis added]*

Another important criterion in assessing a variance includes: ***The variance, if granted, will not alter the essential character of the locality.*** *[emphasis added]*

None of the above would justify a variance by the Town of Winter Park Board of Adjustments. Numerous precedence has been established on variance requests to increase height “would alter the essential character of the area and would be detrimental to the surrounding property.”

- 3.) **Wetlands Concerns and Lack of Open Space in Land Use Plan:** Parcel 1 contains ecological sensitive “non-jurisdictional” wetlands. There is no proposed Open Space in NPA-1 or NPA-2 that will protect these sensitive areas that are utilized by wildlife as a corridor / sanctuary. The developer may argue that the 5.5 acres of Open Space in PA-9 satisfy this requirement, however, the actual open space goes through NPA-1 is a fraction of the open space and is being offered as it is needed for a ski back. This space is inadequate for preserving space for wildlife and recommend that the Colorado Division of Wildlife (CDW) be consulted on their recommendation for the amount of land that should be preserved for wildlife. Hopefully Town will actually take their recommendation into consideration on this project, instead of disregarding their professional judgement as was done with the Lakota Pointe Development¹.
- 4.) **Plan Lacking Detail on Land Use Transition Zones (LTZs):** Per the Town of Winter Park’s Landscape Design Regulations and Guidelines, Guideline 2: Land Use Transition Zones states: “Through the use of LTZs, provide visually pleasing and functionally appropriate transitions from one land use to another using plant materials, berms, fences and/or walls.” The Cooper Creek Village & Cooper Creek Square Final Development Plan does not address LTZs which is even more important with a D-C zoning request that is adjacent to an existing R-1 zoned neighborhood. Exhibit C is inadequate for addressing compliance with LTZ.

It is rumored that Cornerstone Holdings LLC is holding informal discussions with Town to annex a portion of their Grand Parks development into Winter Park after well documented conflicts with the Town of Fraser have reached a boiling point. Is Winter Park becoming a haven for misbehaving developers and/or are these developers taking advantage of Winter Park’s perceived lax development guidelines, greenlighting multiple massive projects at the same time? It would be a shame if unfinished

¹ Town of Winter Park Planning Commission (Tuesday August 10, 2021, 8:00 am) Preliminary Plat - Lakota Pointe. Review Agency Comments (Colorado Parks and Wildlife: Jeromy Huntington) recommending: “...at least a 300’ buffer from Cub Creek be provided to limit disturbance to moose; that a nest survey be performed in each project area no later than two weeks prior to initiating construction; that precautions be taken to prevent human-bear interactions; etc.

Styrofoam-like buildings start dotting the Winter Park landscape because Town is unable to fulfil its fiduciary duty to its residence to ensure regulation and codes are followed due to the volume of development exceeding the staffing in place to monitor compliance.

Instead of simply dusting off and rubber stamping the Winter Park Master Plan annually², it is time for Town Council to pump the brakes on new development until a comprehensive revamp of the Master Plan has been performed and fiduciary duties have been fulfilled. Additionally, Town Council should consider retaining a competent, independent land use planner to take inventory of Winter Park's dwindling open space to prioritize the open space that should be protected from development for the enjoyment of town residents and visitors.

Town Council should also prioritize balancing the need to retain Winter Park's unique character while balancing thoughtful development.

EXHIBITS FROM COOPER CREEK VILLAGE FINAL DEVELOPMENT PLAN (SUBMITTED JULY 19, 2021).
(NOTE: EXHIBIT C WAS A SUPPLEMENT PROVIDED BY THE DEVELOPER)

² Town of Winter Park Planning and Zoning Commission Resolution No. 3 Series of 2021: The Town of Winter Park approved the Three-Mile Plan on August 10, 2021, with no changes recommended to Town Council for adoption (less than 3 paragraphs of minutes to reach the conclusion).

EXHIBIT A:

COOPER CREEK VILLAGE & COOPER CREEK SQUARE FINAL DEVELOPMENT PLAN

LOCATED IN THE TOWN OF WINTER PARK,
COUNTY OF GRAND, STATE OF COLORADO
LAND USE PLAN

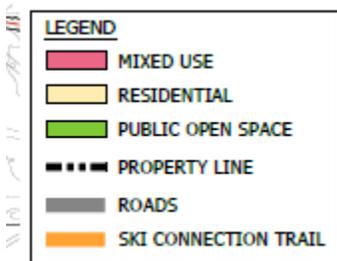
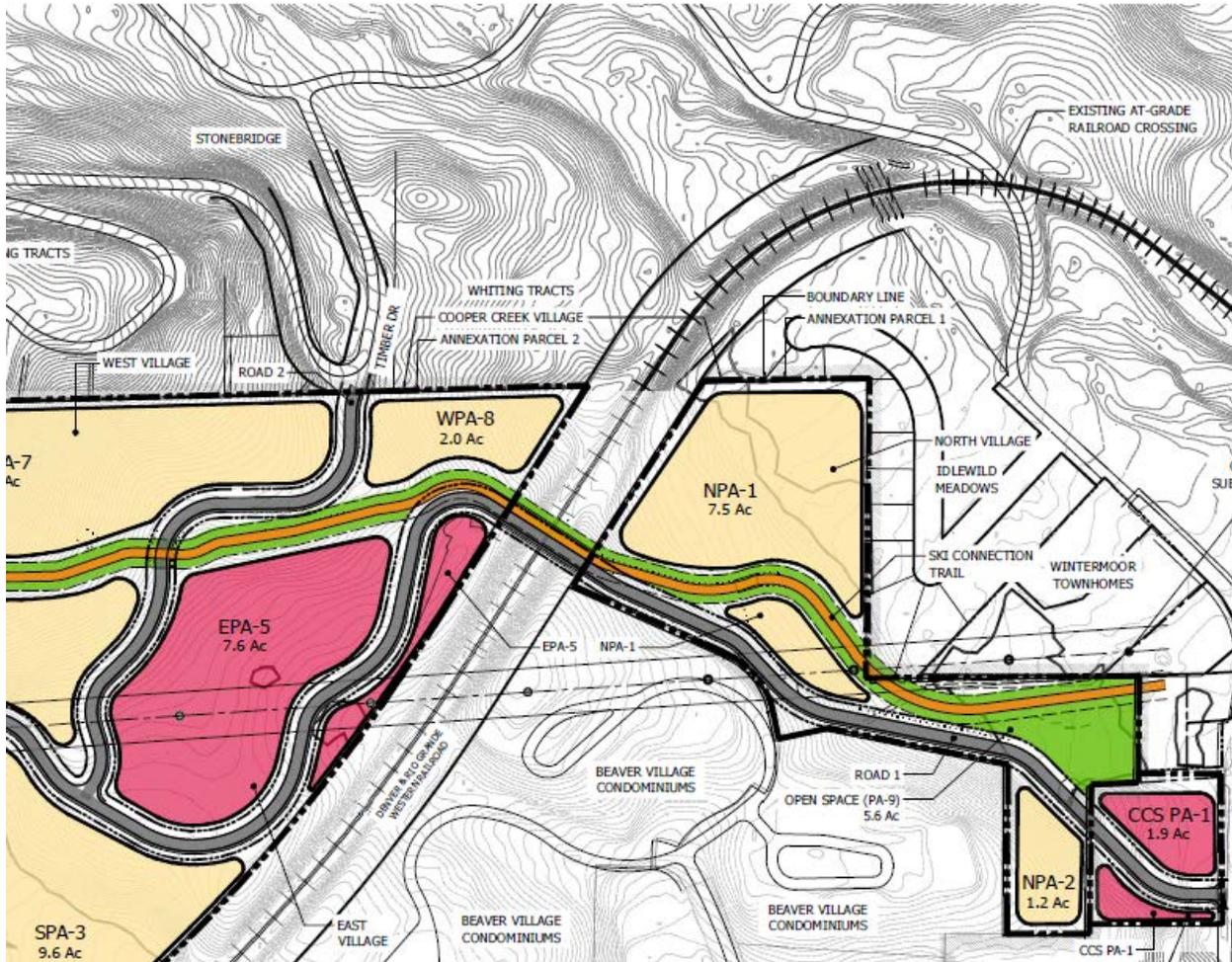


EXHIBIT C: LANDSCAPE BUFFER EXHIBIT (SUPPLEMENT)



COOPER CREEK VILLAGE SECTION
NORTH PLANNING AREA 1 - LANDSCAPE BUFFER

March 23, 2022

104 Idlewild Lane
Winter Park, CO 80482

Town of Winter Park
Planning Division
50 Vasquez Road
PO Box 3327
Winter Park, CO 80482

Dear Ladies and Gentleman,

I write you today to describe the charm and uniqueness of the neighborhood on Idlewild Lane and why it is so special to the residents. My parents bought our "cabin" in October, 1979. We are proud to be some of the longest home owners on the block. In fact, we are one of 7 who have owned their home for over 40 years. When my parents first bought our small one and a half room cabin, Idlewild Lane was a dirt road. The neighborhood was filled with both local families and second home owners. Many of the houses were owned by Kansans who found this wonderful little community by the Millers who owned Miller's Inn on Vasquez Road.

Back in the 1980's and 1990's things were so simple on Idlewild Lane, all the kids would play kick the can and have bon fires with S'mores . We would play in the creek that passes through the back of Idlewild Lane. We played in the meadow and up in the forest. Someone even built a fort that we played in and it has lasted for at least 20 years. We put pennies on the train track and waved at the engineer. I remember that every day we would hang out a 7Eleven and try to win a Slushie by floating a quarter into a shot glass inside a big pickle jar full of water. I am proud to say my brother and I would come home with several a day!

Throughout the last 42 years, there have been some changes in the neighborhood. We added on a second story to our cabin. Neighbors have come and gone. We have lost some very dear friends who were longtime residents. We have had the Winter Park Mayor, business owners, a city council member, police officers, a college president, lawyers all call Idlewild Lane "home". We have seen progress with a paved street, homes built on empty lots, additions or updates to existing homes and a few new neighbors along the way. The one constant is the very close knit community we have on Idlewild Lane.

Idlewild Lane has a total of 27 homes. 9 are year round owners. 17 are second home owners. 1 is a long term rental. 7 have owned their home for over 40 years with the longest at 53 years. The last time a house was sold was in 2021.

There are several reasons why we all have moved and stayed on Idlewild Lane. First is the sense of community. Since our primary residence is in Kansas, we do not get up as often as we would like. When

we do come up, the neighborhood welcomes us with open arms. We visit, have pot luck dinners, borrow each other's tools and get caught up on what we have missed. It is such a relief to know that the neighborhood is watching our home as well as others homes when we are not there.

Safety is also a very big factor for Idlewild Lane. Since Idlewild Lane has a single entrance the residents can see who comes in and out and can be aware if something looks suspicious. This street is very busy with walkers, bikers, skateboarders, snowmobiles, dogs, etc. and our residents are always on the lookout when turning in and driving slowly if they have to round the curve.

With the proposed plans in the meadow and around our neighborhood we are all afraid that Idlewild Lane will rapidly change. If the meadow is developed the potential for crime will increase. The quiet tranquil spot for us to enjoy wildlife will forever change. If an additional access point on Idlewild Lane is made, the traffic will increase and could become dangerous. This is not why we chose to live here.

Obviously, this is a very emotional appeal. In the last 42 years we have seen a lot of changes in Winter Park. Some have been successes and some are still sitting empty and unfinished. We want to be perfectly clear to the developer and to the City Council and Planning Committee, we do NOT agree to the rendering that was submitted on March 10. The 7 single family/multiple family houses begin directly behind our property with a very short buffer. This rendering does not even have the correct zoning attached to it. We do NOT agree to the walking paths and access to our neighborhood which is also drawn in this rendering. The entire neighborhood has expressed on multiple occasions that we do NOT want public access to and from our neighborhood. We are only asking to consider to not develop the 2.5 acres behind our neighborhood. We are not asking to stop development of the rest of his property. We urge you all to come and look at the meadow and see the "game trails" of the variety of wildlife that travels through. Come and see how wet the meadow is especially after all the snow melt. Come visualize the road and 30 foot homes they are proposing in the meadow. We understand that Winter Park wants to grow and expand but the development of the meadow should not be part of that plan. My question to you is this... Why is 2.5 acres such an important and integral part of the overall plan? We hope that you will thoughtfully and carefully consider our concerns on the impact of Idlewild Lane.



Sincerely,

Diane Haag
Ashley and Doug Cooper
Brandon and Kim Haag

March 23, 2022

Dear Town Council,

We are homeowners of 107 Idlewild Lane (our second home) and purchased our cabin in August 2011. We have loved being a part of the Winter Park community and specifically our historical street for over ten years. Many of the homes house full time residents and we have loved being part of this established neighborhood that was started in the 1960's.....it has been here for SIXTY years!

Our property does not back up to the Beavers meadow, but we are very much invested in keeping it a meadow for the sake of wildlife and our neighbors across the street. Our children (and our dog) have basically grown up in that meadow and the woods beyond. Forts, sledding, and homemade ski runs.

The fact that the woods will be developed is heartbreaking, but preserving the meadow is all we ask.

I understand that the owners of the property are in full development mode and while we are not opposed to progress including a ski run and future gondola and more development of Cooper Creek, what we ARE OPPOSED to is building SEVEN two story homes ("NORTH VILLAGE") in the meadow and basically in the backyard of houses on our street.

Imagine being a homeowner for decades (there are a few original owners) and now having large houses in your backyard and people inevitably walking through your property for a shortcut to Vasquez Road?? Inevitably several of these homes will be short term rentals....noise, cars, lights etc. LITERALLY in your backyard!

Over the ten years we've spent on Idlewild Lane, we have seen many moose, fox, and even a very large bear wander down our street. These animals always make their way to the meadow. The meadow I believe is just TWO ish acres of the FIFTY plus acres that will be developed.

Our street is unanimous against developing the meadow. PLEASE protect a small part of what has been in existence for decades. The rest of the development will produce MORE THAN ENOUGH revenue.

PLEASE consider the wishes of the longest residents and neighborhood of the TOWP.

Sincerely,

Wade and Kristen Haufschild
And Ava (16), Tyson (15) and Levi (12) and Elwood dog (age 10)

303-667-1412

wadeandkristen@yahoo.com



March 20, 2022

Dear Planning and Zoning Members, and Council Members,

I am a full time homeowner in Idlewild Meadows and would like to address some concerns regarding the proposed zoning and plan of the Cooper Creek Village annexation. The current proposal is asking for D-C zoning designation with the intent to construct a gondola, ski-back, bike trails, roads to access future development and a maintenance road to the ski area, effectively creating a new transportation corridor through a natural area in town and through the national forest. My concerns are as follows.

This proposal runs adjacent to one of the oldest neighborhoods in Winter Park, Idlewild Meadows. As such, we are exactly what the town's Imagine Winter Park describes as eclectic and worthy of protection. It runs through a wildlife corridor and serene habitat. It is a dark sky area within our city limits that the residents enjoy. If a gondola and the adjoining development occurs the change will be dramatic and irreversible.

A ski-back will need man-made snow and grooming. It will have snowmobile traffic from the resort. All of this will be noisy and stressful to wildlife. There are documented encounters with moose in ski areas. A ski-back is hardly a large enough area for moose and skiers. The gondola itself is not quiet either. As homeowners we have a reasonable expectation of quiet, something we currently do have.

Where will the extra snow melt go? The wetland that is part of the meadow is a fragile environment. It doesn't need significantly more or less water. We must realize that year round surface water does not a wetland make. The water that goes into this wetland flows underground directly to Vasquez Creek.

At night there will be lights from grooming equipment on the ski-back as well as from traffic from the new roads. In the current plan, lights from new roads will shine directly into existing homes. Road lighting will also be an issue in a dark sky area.

According to the Final Development Plan submitted, this same area turns into biking/hiking trails in the summer. Wildlife uses this area to make their way to the creek. We had a baby moose last year as well as bear, a mountain lion, marmots, marten, deer and fox. And those are just the larger animals. We should not be adding bikes, humans, and dogs in this area. All that is already quite close on the trails off the Vasquez corridor. The FDP actually suggests this can be mitigated by keeping dogs on a leash. Really? That is untenable. The meadow between our neighborhood and where these trails are proposed is a grazing area. Animals bed down here. There is nothing in the FDP to prevent hikers and bikers from entering the meadow. What is to prevent hikers and bikers from striking out onto existing wildlife trails and creating new human trails through the forest and through our properties? How much thought has really gone into the parts of this plan that will make it a development in keeping with this existing values of our small town community?

In the Three Mile Plan the town adopted, it specifically states, "If the property is annexed into the Town, it is anticipated that a large amount of the property, especially the steeper slopes to the south and the wetland complex's on both the north and south would remain undeveloped as open space for wildlife migration, wetland preservation, USFS buffer and trail corridors." The meadow is a documented wetland. When we purchased our property, this was plan was in effect. It affected our decision to purchase.

Imagine Winter Park also influenced us. The vision statement envisions a “community physically linked to a healthy and thriving natural and human environment.” Chapter 6 acknowledges that “The community should protect wildlife, habitat, corridors, and scenic vistas. When development occurs it should be sized, located, and designed to avoid or limit impacts to wildlife and the natural environment.”

Strategies outlined in Chapter 3 also address these issues. Specifically:

EN StratEgy 2.3: Protect the integrity of significant wildlife habitat and movement corridors.

EN StratEgy 3.3: Work to become a Dark Sky Community.

EN StratEgy 3.8: Update landscape design guidelines to clearly address conflicts with the natural environment and wildlife.

In summary, this is a big plan with a big impact on the environment and our neighborhood. It is a plan that has not yet addressed some major concerns and makes light of many of them. Yes, the landowner has a right to develop his land, but nothing this large and with this much impact is inherent in that right without taking the environment and wildlife, the rights of current homeowners and current city guidelines into account. This land was purchased with no specifically implied zoning change. I realize some development is bound to happen, but please mitigate the impact as much as possible with zoning that protects the environment, wildlife, neighborhood and quality of life in our town. Please require that any plan for the land includes protection of wetlands, landscape and elevation barriers and large 100 ft. buffers, addresses lighting and noise concerns, mitigates heavy human overuse, and provides real useable space for wildlife. Please protect the character of our neighborhood and our town.

Respectfully,
Cathy Ratschkowsky
153 Idlewild Lane
970-556-8109

March 22, 2022

Paul & Kristen Tourangeau
22 Idlewild Lane
40 Idlewild Lane
Winter Park, CO 80482

Town of Winter Park
Planning Division
50 Vasquez Road
PO Box 3327
Winter Park, CO 80482

Re: Homeowner Comments on Proposed Subject Planning/Zoning for Cooper Creek Villages Development, Winter Park, Colorado

Ladies and Gentlemen:

Wetland habitat is disappearing too rapidly in this country, and every town and city should endeavor to preserve those that remain. The Town of Winter Park would be wise to protect all wetland habitats that exist within town boundaries, in addition to the waters which flow into the Fraser River. Wetland habitats are an extremely valuable environmental resource for the animals, plants, and microorganisms which rely on them, and are noteworthy for their positive impact on the water that flows through them. Development is greatly impacting our western rivers, and we need to preserve them in their natural states, which include the wetlands that feed them, rather than alter them to suit development.

As homeowners adjacent to and near the proposed Cooper Creek Villages development project, we urge you to consider conditioning approval of the subject development to preserve the wetland habitat characteristics that have existed and presently exist in the area immediately to the south and east of Idlewild Lane.

Development is rampant in the West, and Grand County is no exception. Grand County has been slower to develop than other mountain counties, but significant growth is now at our doorstep. Now is the time to make decisions that will protect our community and our way of life into the future. We can put guardrails around development, but once development has consumed open space, that space is forever lost.

Idlewild Lane, in the town of Winter Park, has been largely unaltered since the late 1960's when my parents bought their tiny cabin at 40 Idlewild Lane from a Winter Park ski patrolman. In those days Beaver Village Condominiums had not been built, and as

kids we roamed through all that area to our hearts' content. The meadow, wetlands, and forest that are between Idlewild Lane and the Beaver Village property are beautiful and peaceful, and still provide a corridor for wildlife.

The neighborhood is almost an accidental example of current-day property development in which preservation of open space is a requirement. The difference is that the open space that currently exists on Idlewild Lane is *not* part of the Idlewild community. It is a portion of the proposed development you are considering.

If we could turn the clock back, perhaps it would have been best for the town of Hideaway Park to preserve all the wetlands that once existed from the Vasquez Creek flowing southeasterly toward the Fraser River. Back in those days no one thought about preservation - one only envisioned basic housing and commercial areas. There were small houses and little businesses along Highway 40. Ski Idlewild, Miller's Idlewild Inn, and Beaver's were the only "big" businesses in town.

At that time an affirmative plan or vision to preserve some of the important natural elements within the town limits did not exist, whereas today we do have a vision which is outlined in the Three Mile Area Plan. From page 5 of that plan under the section entitled, Water Availability:

Water availability is a concern with any annexation in the Town of Winter Park. The 2006 Town Plan considered the effects development could have on the Fraser River and its tributaries. The Town Plan stated that water available for municipal use should not impact the amount needed to support the Fraser River and as such any additional zoning entitlements should be planned that at full build-out of Winter Park, enough water will be available to keep healthy rivers and creeks in the Upper Fraser Valley. The 2019 Imagine Winter Park Town Plan reinforced this statement with a requirement that the Town maintain healthy stream flows for ecological, recreational, and scenic purposes.

Wetlands contribute a significant benefit to the health of water systems. Most of the homes on Idlewild Lane were built on these wetlands. By today's standards it would have been healthier for the Vasquez Creek/Fraser River system if development had been limited in this wetland area. However, the beneficial contributions of wetlands to our ecosystems were not well known at the time. Let us learn from the mistakes that other cities and towns have made by continuing to allow development with little regard for the preservation of open space. ***It is critical that we save what little open space we have left.*** That is the intention of the plans developed by the Town of Winter Park with its Three Mile Area Plan and the Imagine Winter Park Plan. Future residents and guests will thank those with the foresight to preserve open spaces within the heart of Winter Park.

Regarding the development of the gondola and the ski-back trail, the residents of Idlewild Lane have been assured that both projects are being undertaken to *reduce*

the amount of traffic in and around Winter Park. It is possible that there will be less parking needed at the ski area and fewer cars driving that direction, but we foresee that our street is at a real risk of becoming a parking lot for the gondola and our properties will become short cuts to the lift line. Additionally, the traffic on Vasquez Road will increase as people try to reach the base of the gondola or try to find parking nearby to access the gondola. Traffic will increase on Idlewild Lane, as well.

Development around the gondola line and the ski-back trail might lead to further parking and traffic problems in the subject development area and in Beaver Village, as residents, friends, and guests use parking areas in and around the proposed subject development area to access the gondola.

Snow removal and drainage are currently significant problems on Idlewild Lane. Additional development in the adjacent area will magnify the difficulties that we currently have by materially increasing the number of dwellings in a small area. The snow that normally would accumulate for the winter season in the meadow and the forest immediately south of Idlewild Lane will be plowed from a new road, driveways, and access areas around the dwellings. This snow will need to be plowed and removed – a process that will keep it from melting naturally into the waterways, and which will deplete the natural wetlands running along the bottom of the hill rising from the meadow and extending toward the Fraser River.

Please take the time to *carefully* consider each significant element associated with every project that impacts the Town of Winter Park. These considerations extend not only to number and type of units, architectural style, building construction, and tax revenue, but also to the effects of such development on the natural environment around us and within the town's boundaries. Most of us are here in Winter Park because we value the natural beauty at our doorstep.

Therefore, as homeowners adjacent to and near the Cooper Creek Villages development project, we urge you to consider conditioning approval of the subject development to preserve the wetland habitat characteristics that have existed and presently exist in the area immediately to the south and east of Idlewild Lane.

We also ask you to carefully consider the tremendous impact that the development of a gondola, a residential access road, and a ski back trail will have on parking and on snow removal and storage in our neighborhood and in the adjacent subject development, as well as its impact on Vasquez Road, a major artery for the Town of Winter Park.

s/Kristen and Paul Tourangeau

3/19/2022

Town of Winter Park Planning

Bob Bleck
161 Idlewild Lane

We bought in Winter Park and have build 153 and 161 on Idlewild Lane. We left development happy Fraser to get away from over development, packed condos, idling diesel buses and roving junior groups and into a poorly platted but quiet residential neighborhood (we both grew up in railroad towns and were/are not bothered by train noise).

Winter Park has precious little open space within its borders, a sought after item in most US towns and cities. We understand that Winter Park is surrounded by largely open space but seems determined to destroy/lose that commodity within its limits.

Idlewild Lane was mis-developed by prior administrations to include poorly measured surveys and crowded lots. If the Marshall fires teach us anything, future development should use that lesson wisely with community safety and appeal should be valued over tax generation opportunity.

We believe the existing wetland has been under appreciated. The deep tracks from beadle kill tree removal equipment a few years ago are still water filled even in the Fall. Water from the wetland migrates under Idlewild Lane homes to Vasquez Creek most noticeable in the Spring but with past dye application ,to some degree at least, well into late Summer. It required our plans for 161 to be raised 18 inches over desired level for a basement and required pretty extensive perimeter drainage and a sump pump installation. I wonder if the plans for development are adequate for removing spring runoff from migrating into Idlewild Lane neighborhood given loss of water absorbing surface and loss of vegetation.

Plans appear to seriously affect access to Idlewild lane and further uphill residences accessible via Vasquez Road. Other mountain towns with gondolas into town have created serious parking problems. With only fair and inconsstent snow removal in Idlewild Lane and very limited snow storage capacity, there are times we have little more than one lane access.. Coupled with little enforcement of current on street parking regulations we see our street at risk of parking violations and obstruction.

Adaquacy of fire fighting equipment?
As for a ten story structure, that is ~~totally~~ inconsistent with the character of Grand County, let alone an extreme killer of existing businesses.. Unless it has been changed, there are height limits on individual homes within Winter Park and existing condo projects seem to respect some standard the town and county enforces or expects. Will there also be a ten story parking garage to accommodate those who will drive to the gondola base? If not, they may be better off driving to the ski area. Any access to in town parking which would have to be vertical will be much more of a hassle than getting in and out of the Ski area.

Lastly, Without development of a lot more ski-able terrain, Winter Park Ski Area will be standing room only. Current high count weekend crowds are already making the ski experience unpleasant.



Bob Bleck 161 Idlewild Lane

Impact source base?

Adaquacy of US 40?

March 20, 2022

To Whom it May Concern,

52 years ago, in 1970, Joni Mitchell released a song called "Big Yellow Taxi". Since then, it has been reproduced by dozens of artists. We bet that every time a new generation hears the lyrics they believe those lyrics are more relevant than ever before.

*They paved paradise and put up a parking lot
With a pink hotel, a boutique, and a swinging hot spot
Don't it always seem to go
That you don't know what you got 'til it's gone
They paved paradise and put up a parking lot*

Paving over paradise is exactly what we are watching happen, firsthand, on the Beaver's property that is now ROAM. It is a perfect example of how destructive a developer needs to be to install infrastructure and subsequently take their project vertical.

"Imagine Winter Park recommends a multitude of policies to take advantage of new and unique opportunities while staying true to the Town's roots to provide the best quality of life for Winter Park's residents, visitors, employees and businesses." This is verbatim from the Town's defining growth document. We are fully on board for smart balanced development that can be profitable to a developer while supporting this defining statement. We do not feel that building homes in the meadow and permanently altering a thriving wetland to access those homes supports the goals of Imagine Winter Park, the Three-Mile Area Plan, the Compact of Colorado Communities or the Middle Park Conservation District's Ultimate Landowner Guide.

From day-one, ALL of the homeowners in Idlewild Meadows have actively engaged with the developer and the Town to find a solution to preserve the nature & culture of the oldest residential neighborhood in Winter Park. We believe Idlewild Meadows is the epitome of an ***"eclectic and unstructured development"*** that has given Winter Park its ***"authentic look and feel"*** as stated in pages 2-10, Chapter Two, OUR TOWN TODAY, Imagine Winter Park.

When we say ALL of the 26 Idlewild Meadows homeowners, we are talking about 20 fulltime Winter Park locals who contribute to the vibrancy of our community. 20 fulltime locals working, volunteering, donating and supporting our local businesses 365 days a year. We **ARE** Winter Park.

Let's put into scale what exactly we are asking for. We are asking to have approximately 2.5 acres, out of 53 acres, preserved from development. This is less than ½ of 1% percent of the entire Cooper Creek Villages project. As shown in the story board from the first open house, the developer is planning for seven residences in the meadow. These would be seven, multi-million dollar second homes that would be occupied, on average, only 1/3 of the year.

Our request to preserve 2.5 acres of meadow and wetland is in complete alignment with the very first paragraph of Chapter Five, OUTDOOR RECREATION, in Imagine Winter Park. In all capital letters it *says “[MOUNTAIN LIFESTYLE] AN AUTHENTIC MOUNTAIN COMMUNITY WITH A CULTURE DEFINED BY AND FUNDAMENTALLY LINKED TO ITS SURROUNDING NATURAL, WILD ENVIRONMENT.”* Idlewild Meadows has the “*real town*” feel as mentioned in this section.

Jeopardizing the culture and nature of Idlewild Meadows by NOT protecting the meadow and wetland is a complete disregard of Chapter Three of Imagine Winter Park. Chapter Three, OUR CHARACTER AND OUR CULTURE, defines the growth goals of the Town of Winter Park.

Environmental Strategy 3.1 as found in Chapter Six of Imagine Winter Park, OUR HEALTHY AND THRIVING ENVIRONMENT states that the Town should try to “*Encourage density in appropriate locations and clustering of development to maximize open space.*” seven second homes built in a viable wildlife corridor and wetland (aka open space) is the complete opposite of this.

Chapter Four of Imagine Winter Park, OUR GLOBAL AND LOCAL CONNECTIVITY, has a wonderful goal of getting visitors to walk more than drive their personal vehicles. In order to get visitors to walk, it needs to be easy. Without access through our neighborhood, it would not be.

None of the Idlewild Meadows homeowners want any connectivity through our neighborhood. We have repeatedly expressed that to the developer and to the Town. It was shocking to see a new public access trail on the story board at the open house. Unwanted connectivity through our neighborhood will create non-stop foot traffic since it will be the most direct route to downtown.

Without connectivity through Idlewild Meadows the occupants of those seven homes will have to walk up to the main road accessing Cooper Creek Village. They would then need to continue down and around into Town. We can tell you right now that people will not want to do that walk. They will just cut across our yards like they already do. We have also repeatedly expressed our concerns about trespassing since it is already a problem. Fences are obviously not a solution since that further impairs wildlife migration.

As a side note to the connectivity issue, the seven properties will be accessed by a private drive. It will not be a Town maintained road. There is no convenient access to public transportation without walking up to the main road servicing Cooper Creek Villages.

Additionally, nothing in this letter explores snow storage that could negatively affect homes along the meadow. We already struggle to manage the spring runoff.

What it comes down to is putting the intangible concepts of a happy, healthy “locals” neighborhood, the environmental protection of an active wildlife corridor and a viable wetland up against the financial gain of a developer and the Town of WP. All to build seven second homes occupied, on average, 1/3 of a year. These “intangibles” are what makes us love where

we live and want to go home to 365 days a year. I would venture to say that all of you feel the same way about where you live. Nor would you like having strangers pop into your backyard, as they do in Idlewild Meadows, while you are enjoying private time with your family.

Our entire neighborhood is taking a lot of time from our lives and spending our own hard-earned money to defend and preserve 2.5 acres. If the meadow is developed it will forever negatively impact the culture and nature of our neighborhood, not to mention the wildlife that thrive there. Our homes and neighborhood are a refuge when the Town grows to 20,000 tourists.

We are not sure if the Town knows that our neighborhood has done the ground work to purchase the meadow and wetlands with the intention of placing it in a permanent conservation easement with Colorado Headwaters Land Trust. We met with the developer to present this idea and we asked for a price that would be acceptable. When asked about that at the open house the developer's response was that he "isn't there yet". We find that answer mind boggling since this seems to be an obvious solution and win-win for everyone. Engaging Colorado Headwater Land Trust to permanently preserve the meadow and wetlands supports Environmental Strategy 2.4 of Imagine Winter Park which calls for ***"Fostering alliances and partnerships with organizations that are working toward a healthy and thriving environment."***

The developer actually told us that "we should have expected that land to be developed". Based on Winter Park's Three Mile Area Plan it is understandable why we would think just the opposite. The Three Mile Area Plan specifically states ***"If the property is annexed into the Town, it is anticipated that a large amount of the property, especially the steeper slopes to the south and the wetland complex's on both the north and south would remain undeveloped as open space for wildlife migration, wetland preservation, USFS buffer and trail corridors."*** The annexing considerations further goes onto to say ***"If it were to be annexed into the Town, appropriate zoning for this parcel would be Planned Development to allow for a flexible design that includes a mix of residential and open space. The northern parcel should be considered for mixed use zoning due to its proximity to the downtown while the southern parcel should remain primarily residential due to its surrounding uses."*** This is completely opposite of the developer's requested DC zoning. The Idlewild Meadows neighborhood is only opposed to DC zoning along Idlewild Meadows lots lines not the entire 11 acres of the north parcel.

The general public may not be aware that Winter Park is one of at least 28 cities and towns that have signed onto the Compact of Colorado Communities. As mentioned in item 4.5 of Imagine Winter Park the Town has acknowledged that climate change needs to be addressed and that the Town of Winter Park will proactively work to advance climate action planning in town governments and communities. Climate impacts like reduced snowpack, earlier snowmelt runoff and more frequent droughts, threaten our community and livelihoods.

In support of the Compact of Colorado Communities goal, Middle Park Conservation District's 2022 Ultimate Landowner Guide states, in all caps and bold letters ***THE WORST THING YOU COULD DO IS TURN A NATURAL LANDSCAPE INTO A PARKING LOT, HIGH RISE, OR SHOPPING CENTER.***

We want you to know we are not trying to halt the entire 53-acre project. Overall, Cooper Creek Villages has the potential to be a well thought out and successful addition to the Town of Winter Park. Besides the obvious protection a wildlife corridor and wetlands we are asking the developer and the Town to protect a long-standing, happy, healthy "locals" neighborhood. The alternative is alienating friendly longtime locals and turning them into a group of vocal bitter locals who resent tourists & future developments. All for a measly seven second-homes. Failing to protect Idlewild Meadows, is a complete contradiction to all of the Town's guiding development documents.

We find it surprising that preserving 2.5 acres (out of 53) has turned into such a big "ask". We cannot believe that preserving these 2.5 acres is a huge financial detriment to the developer especially when Idlewild Meadows has gone so far as to offer to purchase the meadow and wetland. The developers themselves could partner with Colorado Headwaters Land Trust. They could reap the associated tax benefits and create a partnership with locals. Locals who would support the project instead of fighting it at every turn.

In conclusion, we bring this back around to Joni Mitchell, please don't pave over paradise.

Thank you for taking the time to read this entire letter. We really appreciate it.

Sincerely,

Kelly Haverhals & Shanna Lalley (76 Idlewild Lane)
970-281-9691 / 303-210-5241
khaverhals@gmail.com / shanna@rewinterpark.com

Kyle Roderick & Jill Swent (50 Idlewild Lane)
303-466-5953 / 720-219-8643
kylroderick01@msn.com / jaswent@yahoo.com

From: [George Sharpe](#)
To: [Keith Riesberg](#); [Alisha Janes](#); [Dani Jardee](#); [James Shockey](#); [Hugh Bell](#); [Irene Kilburn](#); [Tom Hawkinson](#); [Nick Kutrumbos](#); [M Periolat](#); [Mike](#); [Art Ferrari](#); [Jeremy Henn](#); [Jennifer Hughes](#); [Rebecca Kaufman](#)
Subject: Concerns regarding Cooper Creek development
Date: Tuesday, March 22, 2022 9:06:21 AM

To Winter Park Planning and Zoning, Winter Park Town Council, Town of Winter Park Staff;

I am writing today with regard, specifically, to the Cooper Creek Village Development and, in general, regarding the need to enforce responsible development in the town of Winter Park. Development in Winter Park has reached fever pitch with residents and long-time visitors asking the same question; "when will it end"?

I have been a full-time resident of Winter Park since 1997. Far less time than some of my neighbors and their families on Idlewild Lane, I might note. In the past 23 years, I've seen Winter Park transform from a friendly ski mountain and town, where locals and tourists could enjoy skiing, the resort, the town and everything that the surrounding area had to offer, to what feels like a target for greedy developers who destroy the land, without limits, for their own benefit and profit and a ski resort that has become much too crowded, tainting the experience not only for the locals but for visitors as well. Town of Winter Park and the Ski Area saw a massive influx of cars and people the weekends of January 7-9 & January 14-17. Travel times were reported as being 40+ minutes between town and the Mary Jane entrance & 2.5 hours to Empire.

With regard to current large developments in the valley, take a look at Grand Park. What used to be a beautiful meadow that moose frequented and a small area of development on the Fraser side is now littered with hideous unfinished retail buildings and more and more cookie-cutter structures being put up every day. I read in the paper that, at a recent Fraser town meeting, Trustee Quinn (also Planning Commissioner Quinn) commented, based on his survey efforts across town "You know I asked how many people really cared about the meadow, maybe 2 out of 20 even knew what meadow I was talking about, much less cared." I find this truly frightening.

Roam is building, building, building, building. Their website states "The energy-efficient designs are mindful of their surroundings and add to Winter Park's charm. Vertical designs mirror our peaks." Developing in another beautiful meadow and putting up vertical units that block the view of the peaks hardly adds to Winter Park's charm. Yet another development by the wealthy for the wealthy, new homes starting at \$630,000, with the concerns voiced by locals seemingly ignored.

Arrow is planned for 59 units - 15ft wide units on a piece of land that formerly only housed The Shed restaurant. \$600,000 +. Views from the established homes on Lionsgate completely blocked and no reasonable options for the average local.

My wife and I purchased a townhome in Rendezvous when we were married in 2005. At first, we enjoyed clear views of woods and open space from the back of our home. Then building began in the meadow behind us and the view became construction equipment and trees being ripped down. Now Rendezvous continues to spread - what seems like hundreds of units near the entrance to the development (even digging around a shrine, of sorts) and now the former Ski Idlewild hill being cleared for more.

Most of you have lived here for many years. The mayor is part of a family that built their business here in 1976. This is your home too. I implore you to do what you can to save our town and not let it become any further the victim of greedy developers. I'm certain that none of you want to be thought of as the "administration" that allowed Winter Park to become over-developed.

In conclusion, my question to the town is, when is enough, enough? Do we really need another mega development? It's already impossible to enjoy downtown and ski on weekends. Adding more 2nd homes and more bodies to the equation will only exacerbate the overcrowding issue and create negative experiences for locals and visitors. This could truly lead to decreased visitation and will force locals to move away from town, putting further pressure on our already limited workforce

and, therefore, affecting the overall bottom line of local businesses.

Thank you,

George Sharpe

190 Idlewild Ln

To the Winter Park Town Council and Winter Park Planning and Zoning Committee:

As a full-time resident and long-time homeowner on Idlewild Lane, I am writing regarding the proposed annexation of land behind the Idlewild Meadows neighborhood.

While I expect the annexation will be approved, I wish to address the zoning, particularly the small section of NPA-1 which discussions have informally been referring to as “the meadow.”

The area directly behind Idlewild Meadows homes is rich with wildlife. Not only is this area teeming with birds, squirrels, foxes, and other small animals, moose are regularly seen throughout this area. Further, pine martens have been seen here and in the Idlewild Meadows neighborhood on numerous occasions, and even evidence of mountain lions.

It is impractical to expect no development to happen. However, we need only look across Highway 40 to the Roam development to see how upsetting wildlands affects the movement of the most native of all residents of our town: the wildlife.

Zoning of any sort other than OSF would put an undue burden on the movement of wildlife through this area. At the Johnsons’ open house at the town hall, the image of their proposed use of that area indicated six single-family homes. A mere handful of homes that would require their own road and its maintenance, while upsetting the well-known wildlife corridor that currently exists in that area.

By keeping this small portion of land zoned OSF, it would allow residents both established (Idlewild Meadows) and new (Cooper Creek Village) the opportunity to glimpse the pristine meadow and its wetland area as well as its current most important residents, the wildlife. It is a small percentage of the buildable land this annexation is proposing, and the impacts of keeping it undeveloped would be monumental.

As we all saw in a recent Sky-Hi News article, the importance of giving moose their space cannot be overstated. Moose have been in the meadow for longer than any of us have been here. With their ever-decreasing habitat in the Winter Park area of the county, leaving this small piece of land undeveloped would not only benefit the animals, it would also contribute to decreased risk of dangerous, close-proximity human-moose encounters.

You can find the article here: https://www.skyhinews.com/news/cpw-to-everyone-leave-moose-alone-with-video/?utm_source=second-street&utm_medium=email&utm_campaign=grand-update .

Further, as per CPW’s January 2022 Taps Talk, the area in question is considered part of what they refer to as “moose concentration area” and “moose winter range.”

Given that this is already identified by CPW, it seems prudent to have CPW weigh in with their educated assessment of what potential impacts would be caused by zoning the meadow anything other than OSF.

Yes, our goal as the community of Idlewild Meadows is to minimize the impact to the humans in our neighborhood. But part of what we hold dear is the presence of native wildlife species, and we wish to minimize further damage to their habitat that development causes.

We strongly feel it is imperative to zone this small bit of the proposed annexation as OSF, maintain wider buffer zones between the existing neighborhood and the proposed new construction, and to respect the wildlife that is at the center of what makes our mountain community a beautiful and desirable place to live. Rather than naming a street after what the building of that street destroyed—Moose Court?—instead make this small zoning concession in order to retain a piece of habitat for those moose.

Thank you for your time,

Jenn Posterick and Chris Morris
10 Idlewild Lane

COLORADO GEOLOGICAL SURVEY

1801 Moly Road
Golden, Colorado 80401



Karen Berry
State Geologist

June 21, 2022

James Shockey
Winter Park Community Development
P.O. Box 3327
50 Vasquez Rd.
Winter Park, CO 80482

Location:
SW¼ Section 33,
T1S, R75W of the 6th P.M.
39.9128, -105.7872

**Subject: Cooper Creek Village and Cooper Creek Square
Town of Winter Park, Grand County, CO; CGS Unique No. GR-22-0007**

Dear Mr. Shockey:

Colorado Geological Survey has reviewed the Cooper Creek Village and Cooper Creek Square Final Development Plan (FDP) referral. The FDP includes:

- Cooper Creek Village consists of two vacant parcels of unincorporated land in Grand County, totaling approximately 53 acres to be annexed into the town and will include commercial, hospitality, recreation, and up to 650 residential units.
- Cooper Creek Square consists of 5.8 acres of land located in Town limits and will include up to 225 residential units.

With this referral, CGS received a request for review (Email dated May 16, 2022); Final Development Plan (Vogel & Associates, April 29, 2022); Phase I Geotechnical Engineering Report (Olsson, Inc., October 15, 2020); and other documents. I visited the site on June 3, 2022. I did not observe any conditions that would preclude the proposed development. Olsson's geotechnical assessment for Phase I is good; **provided all Olsson's recommendations are adhered to, CGS has no objection to the final development plan.** CGS offers the following comments and recommendations.

TKE (7/22/22): Noted.

Drainage tributary and flooding. Per the FDP (page A-102), a drainage tributary traverses southwest to northeast across the property, and existing wetlands have been mapped within the drainage. This drainage is indicated on sheet C-3 of the FDP as jurisdictional wetlands. The proposed zoning map (sheets C-5 and C-6) of the FDP shows the proposed use for this area as residential. **CGS recommends that development in areas associated with this drainage be avoided and preserved as open space.**

TKE (7/22/22): Any impacts to jurisdictional wetlands will need to be coordinated with the US Army Corps of Engineers. The applicant is not proposing the locate buildings within jurisdictional wetlands.

Site geology and slope stability concerns. According to available geologic mapping (Shroba et al., 2010, Geologic map of the Fraser 7.5-minute quadrangle, Grand County, Colorado: U.S. Geological Survey, Scientific Investigations Map SIM-3130, scale 1:24,000), the site is underlain by Till of Bull Lake age, Till of Pinedale age, stream terrace alluvium, and biotite gneiss. This is consistent with Olsson's geology descriptions on page 7 of their report. Olsson also describes the site as containing "some steeper hillsides" but states that "obvious signs of slope instability and landslides were not observed." Although the slopes appear to be stable under current conditions (and are not mapped as unstable or containing landslide deposits), currently stable slopes can be destabilized if modifications are made to existing conditions through the excavation of cuts, the addition of fills, removal of vegetative cover, and changes to drainage patterns, infiltration rates, and soil water content.

CGS agrees with Olsson (page 9) that “grading for development can change the stability of rock and soil masses and need to be considered for the final grading plans for the site.” **Olsson should review the grading plans to verify that their recommendations have been correctly incorporated into the project design for all roadways, structures, retaining walls, etc.**

TKE (7/22/22): Noted. Olson will review the final roadway grading during infrastructure design. As per the normal design process, their initial recommendations may be adjusted with additional testing as the final infrastructure design progresses.

The southwest portion of Cooper Creek Village contains slopes of 30 percent or greater. Per page B-6 of the FDP, “Development will be limited on steep slopes that exceed 30%. At the time of platting, the applicant will demonstrate that areas with steep slopes have been avoided to the greatest extent practicable.” **CGS recommends that development on slopes greater than 30 percent or greater be avoided and preserved as open space.** If roadways, trails, and utilities are deemed acceptable on these steeper slopes, a qualified engineer should evaluate the slopes with the proposed conditions.

TKE (7/22/22): Noted.

Olsson makes appropriate recommendations regarding retaining walls, retaining wall foundation soils, structural fill placement behind and beneath retaining walls, and behind-wall drainage. These recommendations must be strictly adhered to throughout the design and construction of the proposed retaining walls.

TKE (7/22/22): Noted. See TKE notes above regarding final design.

Undocumented fill materials. Undocumented fill was encountered in Olsson’s borings drilled for the proposed hotel site. All undocumented fill material encountered during site grading and within utility trenches and retaining wall and building foundation excavations will need to be removed and replaced with properly moisture-conditioned and compacted, clean structural fill (free of debris). All materials associated with the proposed hotel site (asphalt parking lot, gravel parking, foundations, utilities, etc.) must be completely demolished, removed, and disposed of offsite, *not* graded into the existing fill.

TKE (7/22/22): Noted. All design and construction will proceed under the Geotechnical Engineer-of-Record’s guidance and approval. They reserve the right to adjust their recommendations with further exploration and site conditions, even after final design is approved.

Shallow groundwater. Groundwater was encountered as shallow as 11 feet below the ground surface. CGS agrees with Olsson (page 24) that “groundwater may have an impact on deep planned excavations and/or, if necessary, drilled shaft construction.” The test borings do not appear to have been monitored/observed following drilling operations. Also, it is unknown if basements or other below-grade spaces are proposed. If below-grade levels are planned, CGS recommends that the town require groundwater monitoring/observation to verify that proposed floor levels are at least three feet, preferably five feet above maximum anticipated groundwater levels, and maintained year-round. The piezometers should be monitored weekly during and shortly after the snowmelt period and immediately after any storms. CGS agrees with Olsson (page 30) that “the residential structures, the hotel, and the commercial buildings should all be protected with an underdrain system” and on page 38 that “to protect below grade foundation walls from increased hydrostatic pressures that may develop from snow melt, we recommend that foundations be protected with an underdrain system.”

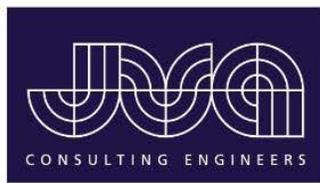
TKE (7/22/22): Noted. All design and construction will proceed under the Geotechnical Engineer-of-Record’s guidance and approval. They reserve the right to adjust their recommendations with further exploration and site conditions, even after final design is approved.

Thank you for the opportunity to review and comment on this project. If you have questions or require further review, please call me at 303-384-2632 or email acrandall@mines.edu.

Sincerely,



Amy Crandall, P.E.
Engineering Geologist



JVA, Incorporated
P.O. Box 1860
47 Cooper Creek Way
Suite 328
Winter Park, CO 80482
970.722.7677
info@jvajva.com

June 27, 2022

Mr. William Buff Borrás
District Manager
Grand County Water and Sanitation District #1
50 Vasquez Road
Winter Park, Colorado 80482
Via email: wborras@gcws1.com

www.jvajva.com

RE: Cooper Creek Village – Final Development Plan Review
JVA Job# 1552.2.6c

Dear Buff:

JVA Inc. has received Final Development Plan submittal documents for the proposed Cooper Creek Village development. We have reviewed these documents for conformance to the Grand County Water and Sanitation District Standards (Standards) as well as best engineering practices and have the following comments to provide.

1. JVA is working with the District to complete modeling analyses of future development proposals. We anticipate providing this effort in the near future to assist in the decision-making process for proposed system designs. Additional comments may be generated upon completion.

TKE (7/22/22): Comment noted.

2. There have been noted concerns with pressure availabilities at existing homes at the top of Timber Drive adjacent to the project. It is our understanding that some of these homes have individual pressure boosting systems. Similar requirements may be necessary for other planning areas near this elevation.

TKE (7/22/22): Comment noted.

3. Based on our discussions, the District will not allow the proposed Lift Station. The Sanitary Sewer system will need to be revised.

TKE (7/22/22): The intent is to proceed with the proposed Lift Station with the understanding that the Cooper Creek Metro. Districts will be responsible for ownership & maintenance.

We do not consider approval of this FDP as an official approval by GCWSD#1 to accept the lift station. Once subdivision infrastructure design commences, we will evaluate the reasonable options for sewer outflow including the possibility boring an outfall line under the railroad, burying a pipe and construction an access road along the creek, and connecting the outfall line to the 8” sewer main line in US Highway 40 at Beavers Condos.

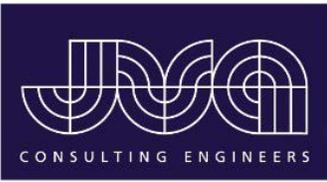
That gravity outfall sewer main scenario may be outright impossible, due to difficult construction through sensitive wetlands areas and lands that we do not own, nor do those lands currently have the easements required for such a wastewater outfall. The district said a lift station is reasonable, but they will not own, maintain, or replace the lift station,

or possibly the gravity sewer mains that lead to the lift station. GCWSD#1 ownership of the gravity mains may be possible if we can reduce the number of units leading to the lift station. No matter what, the lift station must be designed and approved in accordance with CDPHE standards.

Please let us know if you have any questions regarding anything above. We can also make ourselves available to discuss this project with the District and Applicant. We look forward to reviewing additional submittals for this development.

Sincerely,
JVA, INCORPORATED

By: _____
Cooper Karsh, P.E., CFM
Project Manager



June 27, 2022

Mr. James Shockey, AICP Community
Development Director Town of Winter
Park
50 Vasquez Road
Winter Park, Colorado 80482
Via email: jshockey@wpgov.com

RE: Cooper Creek Village – Final Development Plan Review
JVA Job# 1566.98c

Dear James:

JVA Inc. has received Final Development Plan (FDP) submittal documents for the proposed Cooper Creek Village development. We have reviewed these documents for conformance to the Town of Winter Park Standards and Specifications for Design and Construction (Standards) and have the following comments to provide.

1. The Vested Rights Agreement (VRA) discusses the Ski Trail Connection and relocatable Easement Area. We recommend disallowing utilities to be placed in this easement, with the exception of crossings and limited short runs as approved by the Town. This easement language should also discuss the general clearances, design guidelines, and maintenance responsibilities of any grade-separated road crossings.
TKE (7/22/22): Utility crossings will be permitted subject to an access and utility easement being provided.
2. The FDP Development Standards state that isolated pockets will be acceptable for development. We recommend revising this sentence to state that these pockets may be considered acceptable, to be reviewed and approved by the Town.
TKE (7/22/22): The FDP will comply with steep slopes and ridgeline UDC requirements.
3. The Roadway Study proposes three classifications of roads. These should be related to an anticipated level of traffic or other identifiable function to account for future plan changes. Furthermore, the narrative states that Collectors are shown in the Roadway Exhibit, but no roads are classified as such in the exhibit. The proposed road classifications should be verified.
TKE (7/22/22): We revised sheet RD-01 to illustrate proposed collector road locations in report.
4. The Roadway Study shows Collectors and Local roadways to be located within Right-of- Ways. The overall FDP does not appear to address when ROWs would be dedicated to the Town if this is the intent. We recommend the Town have a conversation with the Applicant to determine if it is appropriate to include this in the FDP.
TKE (7/22/22): ROW will be dedicated at the time of plat.

5. The Roadway Study shows to Urban Local variants with concrete pans in lieu of curb and gutter. Both of these variants appear similar with 2' wide pans. We recommend against the inclusion or approval of these road sections.

TKE (7/22/22): Concrete pans will be permitted provided acceptable drainage is accounted for in the design. Snow removal destroys vertical curbs and significantly increases the costs of future roadway maintenance. We often use a combination of valley pans and ribbon curbs to adequately convey drainage. Leland Creek Subdivision was mentioned as a concern for the town, but that subdivision has significant groundwater that constantly drains onto the roadway. We agree that is a concern. If that condition arises on this project, we will provide a pipe underdrain system to divert that drainage off of the roadway.

6. The Roadway Study should review all Design Standards and make revisions as necessary to conform to the current Road Standards of the East Grand Fire Protection District.

TKE (7/22/22): The Town of Winter Park Roadway Standards list 24' flowline to flowline for all of its roadway sections. The 26' wide road requirement in the EGFPD letter has been a standard since the inception for at least 25 years, although the application of that standard is up individual fire marshals. When we met with EGFPD's staff, they clarified their interpretation of this requirement to mean that a 26-foot-wide roadway is only required when building heights exceed 3 stories. This relates to parking the aerial ladder truck with outriggers and still being able to divert one lane of traffic. This is consistent with their recent subdivision approvals.

So, when the individual subdivision plats are approved and buildings are designed, EGFPD will require that roadways be 26' wide wherever they deem it necessary to access the 4th story via aerial ladder. This requirement will supersede anything approved in this FDP.

7. The Roadway Study exhibits should be revised to show maximum 3:1 cut and fill slopes to conform to the Geotechnical report, or show slopes to be determined by future Geotechnical Studies.

TKE (7/22/22): Completed. 3:1 is allowed. Steeper than that requires specific geotechnical engineering recommendations.

8. The Impact Analysis shows a reduced amount of units and commercial space than provided in the Land Use Summary. The methodology and reasoning for this reduction should be addressed.

TKE (7/22/22): The following assumptions were utilized to determine units and ADTs for specific planning areas.

For the maximum trip generation calculations on CCS PA-1 and CCN PA-2, the TIA used the following maximum density formula:

- *All residential using maximum allowed, or*
- *All Hotel using maximum allowed, or*
- *60% of max hotel, and 40% of max hotel as residential*
- *The scenarios that resulted in the maximum trip generation potential are as follows:*
- *CCS PA-1: 0 residential and 200 lodging units*
- *CCN PA-2: 192 lodging units and 128 residential units – this results in 60% lodging units and 40% residential units.*

9. The Traffic Impact Analysis recommends several improvements to existing off-site intersections over the full buildout of this development. The FDP should address responsible parties for the costs of both design and construction of any improvements required, or contributed to, by traffic generated by the proposed development. The FDP should also address when these improvements shall be constructed, with any necessary coordination and approval of CDOT. The FDP should require Individual Traffic Studies of future subdivisions in this development area to track progress of the master study and determine when the improvements will need to be implemented.

TKE (7/22/22): The above is to be determined at plat and with a Subdivision Improvements Agreement.

10. The Drainage Report currently shows some of the proposed detention ponds in inaccessible locations. While the preliminary basin delineation is practical, the narrative should be revised to specify the need to provide maintenance access to all future pond locations. Future designs for planning areas shall take this into account while also evaluating the possible benefits of regional facilities.

TKE (7/22/22): Pond maintenance/access roads will be provided per Town of Winter Park Standards.

11. The Utility Report references an old version of Fire Protection District Standards and should be revised with the current version.

TKE (7/22/22): The standards in the utility report were updated.

12. The Utility Report shows a different number of proposed residential units than the Land Use Plan. Please revise as necessary.

TKE (7/22/22): See above and the current Land Use plan that was provided.

Please let us know if you have any questions regarding anything above. We can also make ourselves available to discuss this project with the Town and Applicant.

Sincerely,
JVA, INCORPORATED

By:



Cooper Karsh, P.E., CFM
Senior Engineer

From: [Killian - CDOT, Brian](#)
To: [James Shockey](#)
Cc: [Kandis Aggen - CDOT](#)
Subject: Re: Agency Review Comment Request: Cooper Creek Village and Cooper Creek Square, Town of Winter Park
Date: Tuesday, May 17, 2022 1:35:43 PM

James,

Thanks for the referral. CDOT coordinated with the developer months ago on the traffic study methodology, but nothing has been formally submitted to CDOT. The developer will need to submit a traffic study and access permit applications for all intersections to the highway that increase traffic by 20% or more or if they create safety and operational issues. Per the traffic study page 22:

"As a result of anticipated background traffic growth, intersection improvements are required at all intersections along US 40."

The Town will need to be the permittee for all Town Streets or delegate authority to the developer to be the permittee on behalf of the Town.

Please let me know if you have any questions.

Thanks,

Brian Killian
Region 3 Access Program Manager
Traffic & Safety



P 970-683-6284 | C 970-210-1101 | F 970-683-6290
222 S. 6th St, Room 100 Grand Junction, CO 81501
brian.killian@state.co.us | www.codot.gov | www.cotrip.org

On Mon, May 16, 2022 at 3:20 PM James Shockey <jshockey@wpgov.com> wrote:

Hello Review Agencies and Utility Providers:

Charlie Johnson, representing JAC Colorado II, LLC, has submitted a Final Development Plan (FDP) in conjunction with an Annexation Agreement and Vested Property Rights Agreement to the Town of Winter Park for Cooper Creek Village (CCV) and Cooper Creek Square (CCS). CCV consists of two vacant parcels of unincorporated land in Grand County totaling approximately 53 acres proposed to be annexed into the Town. The parcels are located south of Town Hall and are bordered to the north by Idlewild Subdivision, to the east by Beaver Village Condominiums, to the south by USFS land, and to the west by Hideaway Village South. The Union Pacific Railroad divides the two parcels. CCS consists of 5.8 acres of land located in Town limits and

includes Cooper Creek Square, Paellas Restaurant, Allegiant Management, and associated gravel parking lots.

Please review the application materials [here](#) and provide comments no later than **5pm on Tuesday, June 21, 2022**. The comments will be made part of the public record of the Town of Winter Park. Hearings for the Planning Commission and Town Council will be scheduled once major comments from the Town have been addressed.

Thank you for your assistance in reviewing this development. Please respond with questions and your comments to:

- James Shockey, Community Development Director
- jshockey@wpgov.com
- 970.726.8081 ext. 206

Thanks,

James Shockey, AICP

Director | Community Development



COLORADO GEOLOGICAL SURVEY

1801 Moly Road
Golden, Colorado 80401



June 21, 2022

Karen Berry
State Geologist

James Shockey
Winter Park Community Development
P.O. Box 3327
50 Vasquez Rd.
Winter Park, CO 80482

Location:
SW¹/₄ Section 33,
T1S, R75W of the 6th P.M.
39.9128, -105.7872

Subject: Cooper Creek Village and Cooper Creek Square
Town of Winter Park, Grand County, CO; CGS Unique No. GR-22-0007

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the site.” **Olsson should review the grading plans to verify that their recommendations have been correctly incorporated into the project design for all roadways, structures, retaining walls, etc.**

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Undocumented fill materials. Undocumented fill was encountered in Olsson’s borings drilled for the proposed hotel site. All undocumented fill material encountered during site grading and within utility trenches and retaining wall and building foundation excavations will need to be removed and replaced with properly moisture-conditioned and compacted, clean structural fill (free of debris). All materials associated with the proposed hotel site (asphalt parking lot, gravel parking, foundations, utilities, etc.) must be completely demolished, removed, and disposed of offsite, *not* graded into the existing fill.

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Thank you for the opportunity to review and comment on this project. If you have questions or require further review, please call me at 303-384-2632 or email acrandall@mines.edu.

Sincerely,



Amy Crandall, P.E.
Engineering Geologist

EAST GRAND FIRE PROTECTION DISTRICT NO. 4

P.O. Box 2967 • Winter Park, Colorado 80482
(970) 726-5824 • www.eastgrandfire.com

Mr. James Shockey,

June 15, 2022

Thank you for the opportunity to comment on *Cooper Creek Village & Cooper Creek Square Final Development Plan*. We have included (attached) a copy of East Grand Fire Districts 2022 “Development Review Criteria” (recently revised after the adoption of 2021 IFC on January 26th of 2022) for the Town and Developer to reference (It appears that in the documentation submitted that a (very) old version of East Grand Fire Districts “Development Review Criteria” was used for the plan submitted, and that the current criteria will be applied to this review.

Upon initial review, access points into the *Cooper Creek Village* complex off Vasquez Road and Timber Drive appear to meet requirements defined in 2021 IFC Appendix D, provided it continues to meet and follow Intercity Bus (BUS-45) requirements and all access points remain open and unobstructed during all phases of construction.

Width of the roads shown inside the complex is 24ft with shoulders. Appendix D of the 2021 IFC section 103.1 requires all access roads with a hydrant be a minimum width of 26ft (exclusive of shoulders). Section D105.1, D105.2 of IFC require approved *aerial fire apparatus access roads* for buildings exceeding 30ft in height measured from the grade plane to the highest roof surface, (which are to be expected throughout the development). *Aerial fire apparatus access roads* are to be a minimum of 26ft wide (exclusive of shoulders). EGFDF also requires 4ft shoulders each side of roadway or street. In this area shoulders may be sidewalks, capable of supporting 84,000 lbs. fire apparatus. “No street parking” signage throughout will be required as currently drawn but can be amended as further road details are submitted in later application submissions.

Turn radius described in the *TKE Collector and Local Roadway Standards* appear to meet requirements but should be verified on future application subdivision submissions by a civil engineer confirming that EGFDF aerial apparatus can navigate all roadways. Please find attached “Turning Performance Analysis” for EGFDF’s current aerial apparatus for engineers and developers to reference. It should also be noted that EGFDF requires emergency turn-a-rounds at a min of every 750ft (TKE shows 1000ft) these can be oversized driveways, intersections, or specially constructed areas (for future planning purposes).

Slopes of proposed roads are at or exceed 7% in a few areas, special consideration should be given to these areas regarding turns, intersections, and limitations of emergency vehicle maneuverability.

Fire suppression water supply should be adequate in this area regarding flows and pressures but will need field verified by an engineer once utilities have been installed. Fire hydrant placement is not included in this submission and will be reviewed on future application submissions. Building/ structure uses, sizes, construction, etc. will dictate the requirements of alarm and fire suppression systems.

Special attention should be given to Cooper Creek Village and Cooper Creek Square development for the risk of wildfire (and proactive steps to mitigate it). This is due to several factors including (but not limited to): steep slopes, heavily wooded locations, adjacent and uphill of railroad tracks, and limited ingress/egress. Attention to utility locations, wildfire hazard mitigation, access, and municipal water supply is necessary for the protection of lives and property.

Thank You,



Dennis K. Soles
Fire Marshal
East Grand Fire Protection District

EAST GRAND FIRE PROTECTION DISTRICT NO. 4

**P.O. Box 2967 • Winter Park, Colorado 80482
(970) 726-5824 • www.eastgrandfire.com**

EAST GRAND FIRE PROTECTION DISTRICT DEVELOPMENT REVIEW CRITERIA

Standards and Codes to be used: NFPA, IFC, IBC, IRC, AASHTO, Mountain Parks Electric, and Public Service (Xcel), East Grand Fire Protection District- SOG.

International Fire Code (IFC): 2021
International Building Code (IBC): 2015
International Residential Code (IRC): 2015
NFPA Standards: 13, 24, 25, 101, 299, 1142 (and others-most current)

ACCESS: In addition to: IFC Appendix D, NFPA Standard 299- Protection of Life and Property from Wildfire and the road standards of Fraser, Town of Winter Park, or Grand County.

ROADWAYS: Roads and Driveways shall be constructed and in place before building construction begins. A minimum width 24 ft. road shall be required where either of the following conditions below are not met:

- Access roads with hydrants shall be a minimum width of 26ft. (IFC D103.1).
- Aerial fire apparatus access roads with minimum widths of 26ft. shall be required “where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet” (IFC D105.2).

Roads shall have a hard-all-weather surface sufficient to support 84,000 lbs. fire apparatus. Shoulders to be a minimum width of 4 ft. on each side. Vertical clearance to be a minimum of 18 ft. Maximum grade to be 7 %. Minimum curve radiuses to be 50 ft. measured at centerline or follow the AASHTO geometric designs for highways and streets manual, for Intercity Bus (BUS-45). At 750 ft. intervals Emergency turnarounds for fire apparatus are needed on all roads. (These can be oversized driveways, intersections, or specially constructed areas). No parking is to be allowed along 24/26-foot roadways. “No Parking” signage will be required along both sides of road with required signs provided by the developer. If parking is to be allowed, 9ft. needs to be added to width of road on either or both sides of roadway in addition to signage. Cul-de-Sacs are to be avoided. If unavoidable the maximum length of cul-de-Sac shall be no more than 500 feet. A turnaround at end of Cul-de-Sac, with the continuation of 24/26 ft. road width, shall have 104 ft. minimum outside diameter. Cul-de-Sacs, turnarounds, and shoulders shall not be used for snow storage if it reduces access in any way. To avoid building construction delays special attention should be given to IFC Chapters 33 and 5. Sections 1410, 1412, 501, 503, 505, and 508.

GATES: Gates are to be avoided, but, if necessary, shall be considered on a case-by-case basis. If allowed, the design would need to be approved prior to construction. Gate should consist of a counterweight type barrier that swings completely free of the access when released. A “Click2Enter” or “KNOX” key switch, or another approved device, shall operate the gate electronically.

DRIVEWAYS and ACCESSES: Three homes (dwelling units) or more require a road, not a driveway. The minimum driveway width should be 14 ft. with two 1 ft shoulders, a maximum grade of 7%, an approach or departure angle not more than 8%, and vertical clearance of at least 14ft. If the access or drive extends more than 150 ft. from a roadway there shall be a turnaround adequate for our trucks.

BRIDGES: Require a letter from an engineer with his or her stamp certifying that the bridge meets the requirements of the International Fire Code Section 503.2.6 which requires the bridge to be constructed and maintained in accordance with AASHTO HB 17 “Standard Specification for Highway Bridges.” Appendix D Section D102 (as amended by EGFD) suggests the bridge be capable of carrying the load of 84,000 lbs. Any crossings shall be constructed to the same standards as the traveled way on either side.

WATER SUPPLY:

MUNICIPAL: Reference Appendix B of International Fire Code. Water supplies needed for firefighting would range between 3500 gallons per minute fire flow for three hours (minimum 630,000 gallons of fire protection storage), to a minimum 2500 gallons per minute for two hours (minimum 300,000 gallons of fire protection storage). A minimum water supply of 1500 gallons per minute fire flow for two hours (minimum 180,000 gallons of fire protection storage), will be considered in buildings protected by fire suppression sprinkler systems.

Documentation would be needed that adequate flows will be available from the water system at a residual pressure no less than 20 psi. By installing fire sprinkler systems in all structures any large life or property losses would be avoided and would make the best use of the available water supplies.

Fire hydrants are to be located at least every 500 ft. or as agreed to by the Fire District. Fire hydrant locations and distribution shall be in accordance with Appendix C of the International Fire Code.

For planning purposes, the following may be used. Fire hydrants must meet the requirements of the local water purveyor / water authority or be Mueller Super Centurion 250A-423 or equivalent hydrant having at least one 4 ½ inch NST opening facing the Road. Hydrants are to be installed to the local water authority's requirement. Fire Hydrant installation outside of a Water Authority's jurisdiction shall be required to be acceptable to East Grand Fire District.

The approach to the hydrant is to be a level-walking surface free of obstructions or depressions, at least five feet wide from the center of the hydrant in all directions including the backside. Existing Fire Hydrants can be credited for a new development if the hydrant has at least one 4.5-inch opening, a 6-inch barrel, is in good repair, is appropriately located, has adequate access, has adequate flows, and is not an antiquated Hydrant. If any one of these conditions is not met it will need to be replaced. International Fire Code tables B105.1 and C105.1 provide further guidance on flows and fire hydrant distribution.

RURAL: The acceptable calculated amount of water storage necessary for structural fire extinguishment or at least 30,000 gallons of fire protection water storage which is the minimal creditable amount acceptable to Insurance Services Office.

UTILITIES: Careful consideration should be given to the location of all utilities to avoid interference with fire department operations. Meters, transformers, and gas piping all need to be carefully located to avoid damage from ice, snow, and vehicles. All utility meters shut offs or other equipment that would be attached to the exterior of a building shall be protected from falling ice and snow. Shutoffs need to be readily available.

WILDFIRE: There is Wildfire potential for this project. Normal precautions of maintaining defensible space around buildings, irrigated grass, mowing, minimizing any flammable vegetation, and storing combustibles / flammables away from the buildings would help. Making the exterior walls and roofs non-combustible would certainly minimize the risk. Consulting with I.C.C. Wildland Urban Interface Code is encouraged.

Dennis K. Soles
Fire Marshal
East Grand Fire Protection District

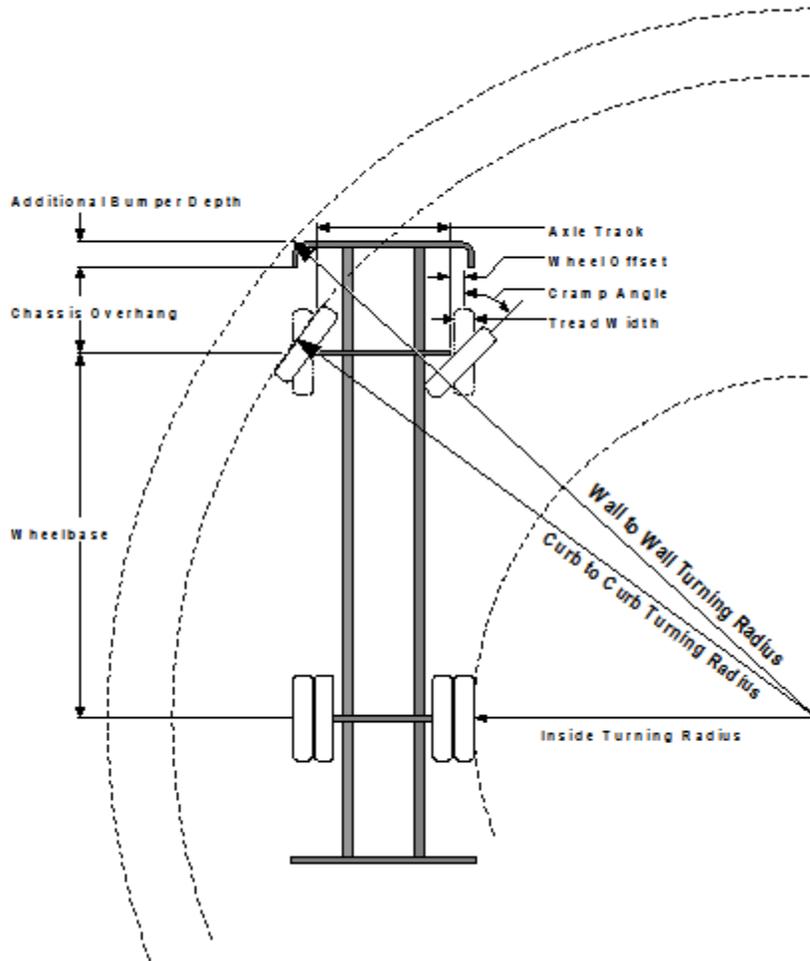


Turning Performance Analysis

4/3/2007

Configuration: East Grand Velocity 100' Platform
Number: EP1955494-101 V: 169

Representative: Kerber, Wayne
Organization: Front Range Fire Apparatus, Ltd
Department: East Grand Fire



Parameters:

Inside Cramp Angle:	45°
Axle Track:	85.34"
Wheel Offset:	4.68"
Loaded Tire Width:	17.70"
Chassis Overhang:	79.62"
Additional Bumper Depth:	16.00"
Front Overhang	124.60"
Wheelbase:	279.00"

Calculated Turning Radii:

Inside Turn:	265.47"
Curb to Curb:	472.43"
Wall to Wall:	552.88"

Comments:

Aerial Application

Components	Item #	Description
Front Axle	0018453	Axle, Suspension, Front, Oshkosh TAK-4, Non-Drive, 22,800 lb
Front Wheels	0111380	Aluminum, Alcoa, 22.50 x 12.25
Front Tires	0111371	Michelin, 425/65R22.50, 20 Ply, XZY-3
Chassis	0121631	Velocity Chassis
Front Bumper	0123647	Tray, Bumper, Center, Standard, 35" W x 11.5" L x 13" D
Aerial Device	0022160	Aerial, 100' Pierce Platform

Notes:

Actual Inside Cramp Angle may be less due to highly specialized options.

Curb to Curb turning radius calculated for a 9.00 inch curb.



Turning Performance Analysis

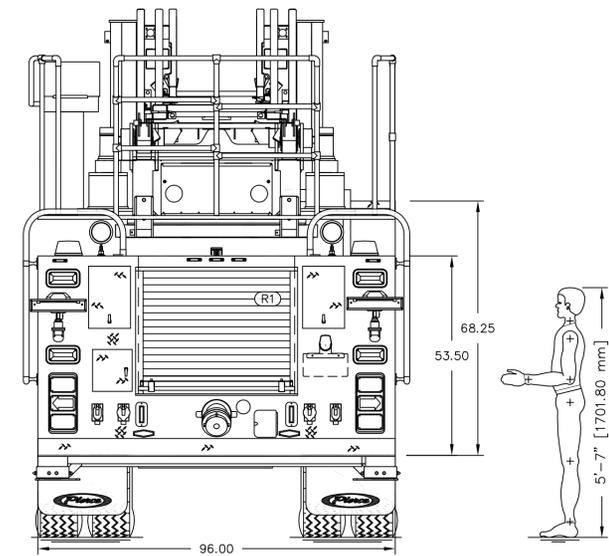
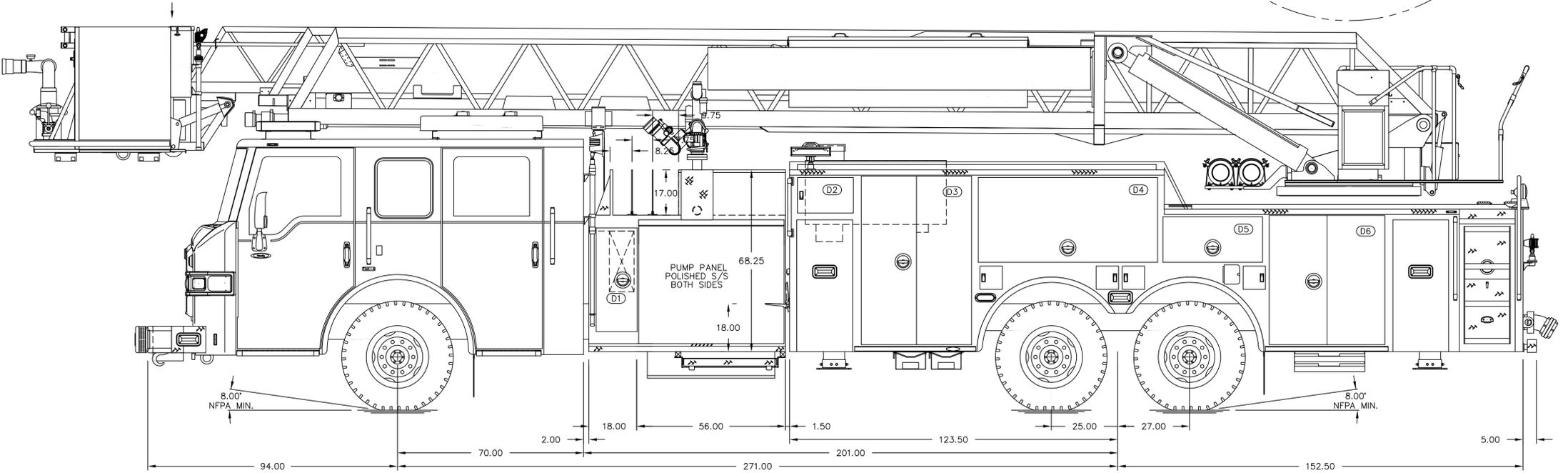
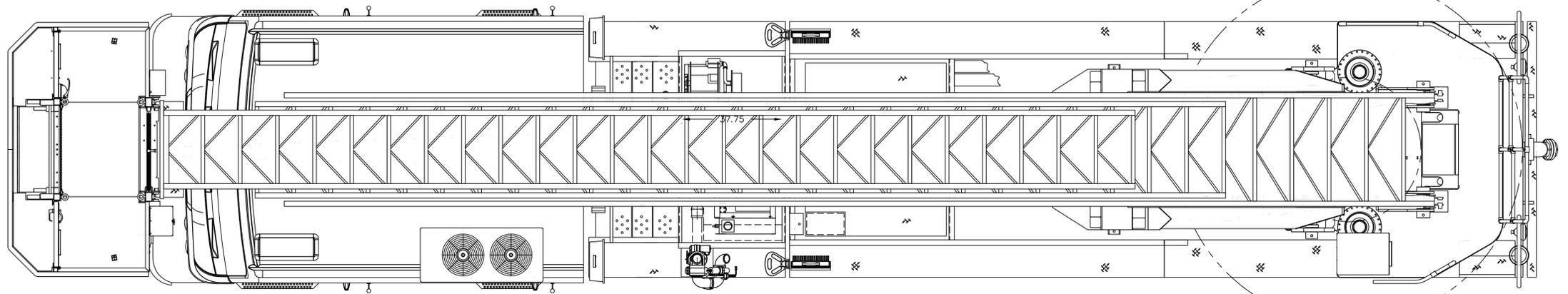
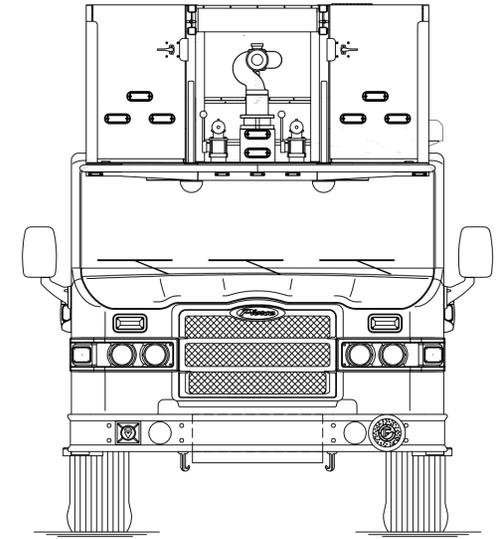
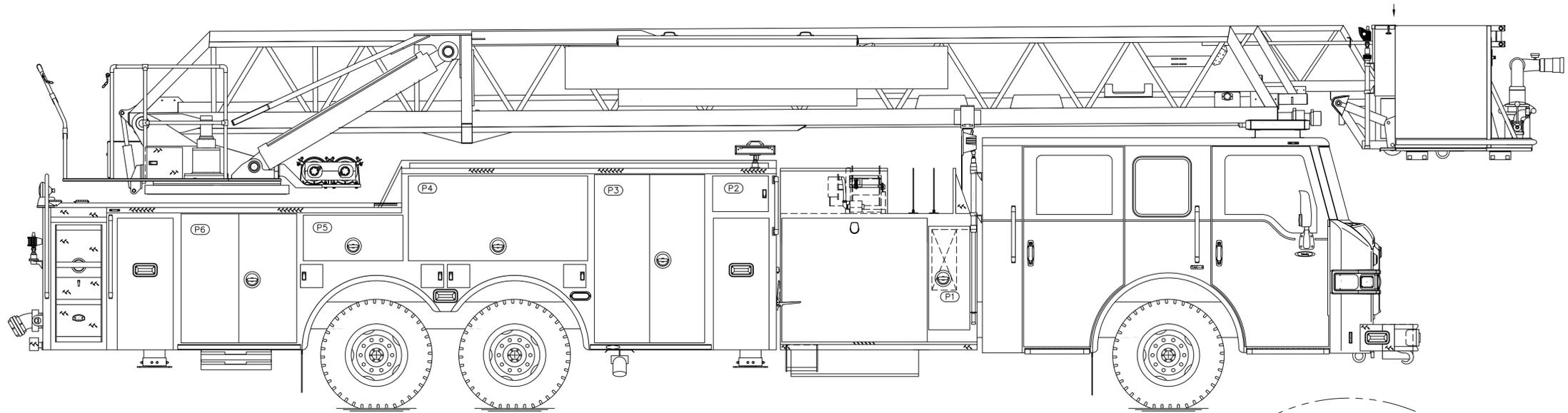
4/3/2007

Configuration: East Grand Velocity 100' Platform
Number: EP1955494-101 V: 169

Representative: Kerber, Wayne
Organization: Front Range Fire Apparatus, Ltd
Department: East Grand Fire

Definitions:

Inside Cramp Angle	Maximum turning angle of the front inside tire.
Axle Track	King-pin to king-pin distance of the front axle.
Wheel Offset	Offset from the center-line of the wheel to the king-pin.
Tread Width	Width of the tire tread.
Chassis Overhang	Distance from the center-line of the front axle to the front edge of the cab. This does not include the bumper depth.
Additional Bumper Depth	Depth that the bumper assembly adds to the front overhang.
Wheelbase	Distance between the center lines of the vehicle's front and rear axles.
Inside Turning Radius	Radius of the smallest circle around which the vehicle can turn.
Curb to Curb Turning Radius	Radius of the smallest circle inside of which the vehicle's tires can turn. This measurement assumes a curb height of 9 inches.
Wall to Wall Turning Radius	Radius of the smallest circle inside of which the entire vehicle can turn. This measurement takes into account any front overhang due to the chassis, bumper extensions and/or aerial devices.



CUSTOMER APPROVAL
 PRELIMINARY DRAWING REQUIRES
 ENGINEERING REVIEW
 SIGNATURE _____
 DATE _____

BODY MATERIAL = ALUMINUM
 SIDE SHEET HEIGHT = 71.25
 TOTAL COMPARTMENT CUBIC FEET = 216.46
 TOTAL TANK SIZE = 300
 WATER VOL = 300
 FOAM VOL CLASS A = 0
 FOAM VOL CLASS B = 0
 AERIAL PEDESTAL RAISED = 3

ESTIMATED OAH = 147.0
 CUSTOMER OAH = N/A
 ESTIMATED OAL = 585.0
 CUSTOMER OAL = N/A
 WHEELBASE = 271.00
 HOSEBED DEPTH = 23.50
 SIDE ROLL PROTECTION, IMP/VEL

DO NOT SCALE DRAWING.
 DIMENSIONS SHOWN ARE
 APPROXIMATE AND ARE
 SUBJECT TO CHANGE AS
 MAY BE NECESSARY DURING
 CONSTRUCTION.
 SOME DETAILS NOT SHOWN.



DRAWN BY AERIALWEST
 DATE 08/15/2007
 CONFIG VER 257
 DWG CHG VER 276
 SOFTWARE VER 01.08.0140
 DWG DATA VER

CHASSIS MAKE
 PIERCE
 CHASSIS MODEL
 VEL7000
 BODY MODEL
 PAP100A

EAST GRAND FIRE
 OPPORTUNITY EAST GRAND VELOCITY PLATFORM
 CONFIGURATION EAST GRAND VELOCITY 100' PLATFORM
 JOB/CONFIG NUMBER 20063

SCALE
 1:24
 SHEET SIZE
 D
 SHEET NO.
 1 OF 1

East Grand Fire Protection District
Box 2967
Winter Park, CO 80482

BILL TO:
Charlie Johnson
JAC Colorado II, LLC
747 Sheridan Blvd, Suite #7D
Lakewood, CO 80214

FROM:
East Grand Fire District
Box 2967
Winter Park, CO 80442

Invoice : # 192

Invoice Date: 6/21/2022

Location Cooper Creek Village & Cooper Creek Square
Winter Park, Colorado 80482

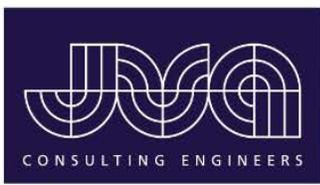
	Address :	Inspection Fee	Total
	Cooper Creek Village & Cooper Creek Square Winter Park, CO 80482		
1	Final Development Plan- Development Review	\$440	\$440.00
		Total	\$440.00

REMITTANCE:

Date:

Amount Due: \$440.00

Amount Enclosed: _____



JVA, Incorporated
P.O. Box 1860
47 Cooper Creek Way
Suite 328
Winter Park, CO 80482
970.722.7677
info@jvajva.com

June 27, 2022

Mr. William Buff Borrás
District Manager
Grand County Water and Sanitation District #1
50 Vasquez Road
Winter Park, Colorado 80482
Via email: wborras@gcws1.com

www.jvajva.com

RE: Cooper Creek Village – Final Development Plan Review
JVA Job# 1552.2.6c

Dear Buff:

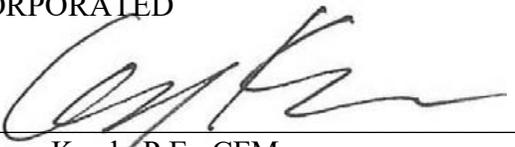
JVA Inc. has received Final Development Plan submittal documents for the proposed Cooper Creek Village development. We have reviewed these documents for conformance to the Grand County Water and Sanitation District Standards (Standards) as well as best engineering practices and have the following comments to provide.

1. JVA is working with the District to complete modeling analyses of future development proposals. We anticipate providing this effort in the near future to assist in the decision-making process for proposed system designs. Additional comments may be generated upon completion.
2. There have been noted concerns with pressure availabilities at existing homes at the top of Timber Drive adjacent to the project. It is our understanding that some of these homes have individual pressure boosting systems. Similar requirements may be necessary for other planning areas near this elevation.
3. Based on our discussions, the District will not allow the proposed Lift Station. The Sanitary Sewer system will need to be revised.

Please let us know if you have any questions regarding anything above. We can also make ourselves available to discuss this project with the District and Applicant. We look forward to reviewing additional submittals for this development.

Sincerely,
JVA, INCORPORATED

By:



Cooper Karsh, P.E., CFM
Project Manager

From: [Jean Johnston](#)
To: [James Shockey](#)
Cc: [Hugh Bell](#)
Subject: RE: Agency Review Comment Request: Cooper Creek Village and Cooper Creek Square, Town of Winter Park
Date: Tuesday, June 14, 2022 11:52:25 AM
Attachments: [FBlogo20x20_f385a67c-d933-45ab-89b5-afca2eff55b1.png](#)
[twitter20x20_4b90b8ef-da46-4b7b-814e-87a8b9a2dc73.png](#)

Hi James,

I would like to let the developer know our separation requirements so as they move forward in the design process they have them. For a more complete specifications, you can call and ask for our Electric Service Construction Standards.

1. Required separations from other utilities must be given to assure safety for the general public and our employees for normal activity around our power lines and equipment. MPEI requires 20 foot wide easements (10' on each side of centerline) for primary power lines, as installed. (Part of the easement can be in the road if provided for in the plat). No structure (including decks and building overhangs) is allowed closer than 10' from any primary voltage power lines or within ten feet (10') around any equipment. Water and sanitation districts require a minimum of ten feet (10') separation to parallel power lines. MPEI requires five foot (5') separation to parallel gas lines and one foot (1') separation to communications.
2. All equipment must be set a minimum of 5' behind a road edge with no curb, or minimum of 3' behind a minimum 6" curb. All equipment must have a minimum clearance of 10' to any obstruction to the front of the equipment. Plastic communication boxes must be a minimum of 2 feet from electric vaults.
3. MPEI does not install their facilities along back lot lines.
4. MPEI is experiencing supply chain issues with transformers. Currently, lead times are over a year for most sizes.

We look forward to seeing the design when it is developed.

Thanks, Jean

Jean Johnston
Right of Way Specialist, Sr Staker

JeanJ@mpei.com
ex 265



Mountain Parks Electric, Inc.

321 West Agate Ave • P.O. Box 170, Granby, CO 80446-0170 • 970.887.3378

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This institution is an equal opportunity provider and employer.

[Click here to take our quick online survey for chance to win a \\$100 bill credit!](#)

From: James Shockey <jshockey@wpgov.com>

Sent: Monday, May 16, 2022 3:20 PM

To: Brian Killian <brian.killian@state.co.us>; Huntington - DNR, Jeromy <Jeromy.huntington@state.co.us>; cgs_lur@mines.edu; andy_newby@comast.com; Tony_Hildreth@comcast.com; gary.booth@denverwater.org; Dennis Soles <dsoles@eastgrandfire.com>; Ryan Mowrey <rmowrey@eastgrandfire.com>; Frank Reeves <frank.reeves@egsd.org>; dlindblom@co.grand.co.us; William Buff Borrás <wborrás@gcws1.com>; mmcquain@co.grand.co.us; Jean Johnston <JeanJ@mpei.com>; Kevin E. Vecchiarelli <kvecchiarelli@jvajva.com>; Cooper W. Karsh <ckarsh@jvajva.com>; Gerry Vernon <gvernon@wpgov.com>; Transit <transit@wpgov.com>; Kathleen.Jacoby@xcelenergy.com; Robert Davis <rdavis@co.grand.co.us>; Kevin McLaughlin <kevin.mclaughlin2@usda.gov>; bramsey@pauleyc.com; tschlueter@co.grand.co.us; 'Ben Wilson' <Benjamin.R.Wilson@usace.army.mil>

Cc: TJ Dlubac <tdlubac@planstrategize.com>; Hugh Bell <hbell@wpgov.com>; Jeffrey Vogel <jvogel@vogelassoc.com>

Subject: [External] Agency Review Comment Request: Cooper Creek Village and Cooper Creek Square, Town of Winter Park

Caution: This email originated from outside of MPEI. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Review Agencies and Utility Providers:

Charlie Johnson, representing JAC Colorado II, LLC, has submitted a Final Development Plan (FDP) in conjunction with an Annexation Agreement and Vested Property Rights Agreement to the Town of Winter Park for Cooper Creek Village (CCV) and Cooper Creek Square (CCS). CCV consists of two vacant parcels of unincorporated land in Grand County totaling approximately 53 acres proposed to be annexed into the Town. The parcels are located south of Town Hall and are bordered to the north by Idlewild Subdivision, to the east by Beaver Village Condominiums, to the south by USFS land, and to the west by Hideaway Village South. The Union Pacific Railroad divides the two parcels. CCS consists of 5.8 acres of land located in Town limits and includes Cooper Creek Square, Paellas Restaurant, Allegiant Management, and associated gravel parking lots.

Please review the application materials [here](#) and provide comments no later than **5pm on Tuesday, June 21, 2022**. The comments will be made part of the public record of the Town of Winter Park. Hearings for the Planning Commission and Town Council will be scheduled once major comments from the Town have been addressed.

Thank you for your assistance in reviewing this development. Please respond with questions and your comments to:

- James Shockey, Community Development Director
- jshockey@wpgov.com
- 970.726.8081 ext. 206

Thanks,

James Shockey, AICP
Director | Community Development





JVA, Incorporated
P.O. Box 1860
47 Cooper Creek Way
Suite 328
Winter Park, CO 80482
970.722.7677
info@jvajva.com

June 27, 2022

Mr. James Shockey, AICP
Community Development Director
Town of Winter Park
50 Vasquez Road
Winter Park, Colorado 80482
Via email: jshockey@wpgov.com

www.jvajva.com

RE: Cooper Creek Village – Final Development Plan Review
JVA Job# 1566.98c

Dear James:

JVA Inc. has received Final Development Plan (FDP) submittal documents for the proposed Cooper Creek Village development. We have reviewed these documents for conformance to the Town of Winter Park Standards and Specifications for Design and Construction (Standards) and have the following comments to provide.

1. The Vested Rights Agreement (VRA) discusses the Ski Trail Connection and relocatable Easement Area. We recommend disallowing utilities to be placed in this easement, with the exception of crossings and limited short runs as approved by the Town. This easement language should also discuss the general clearances, design guidelines, and maintenance responsibilities of any grade-separated road crossings.
2. The FDP Development Standards state that isolated pockets will be acceptable for development. We recommend revising this sentence to state that these pockets may be considered acceptable, to be reviewed and approved by the Town.
3. The Roadway Study proposes three classifications of roads. These should be related to an anticipated level of traffic or other identifiable function to account for future plan changes. Furthermore, the narrative states that Collectors are shown in the Roadway Exhibit, but no roads are classified as such in the exhibit. The proposed road classifications should be verified.
4. The Roadway Study shows Collectors and Local roadways to be located within Right-of-Ways. The overall FDP does not appear to address when ROWs would be dedicated to the Town if this is the intent. We recommend the Town have a conversation with the Applicant to determine if it is appropriate to include this in the FDP.
5. The Roadway Study shows to Urban Local variants with concrete pans in lieu of curb and gutter. Both of these variants appear similar with 2' wide pans. We recommend against the inclusion or approval of these road sections.
6. The Roadway Study should review all Design Standards and make revisions as necessary to conform to the current Road Standards of the East Grand Fire Protection District.
7. The Roadway Study exhibits should be revised to show maximum 3:1 cut and fill slopes to conform to the Geotechnical report, or show slopes to be determined by future Geotechnical Studies.
8. The Impact Analysis shows a reduced amount of units and commercial space than provided in the Land Use Summary. The methodology and reasoning for this reduction should be addressed.



9. The Traffic Impact Analysis recommends several improvements to existing off-site intersections over the full buildout of this development. The FDP should address responsible parties for the costs of both design and construction of any improvements required, or contributed to, by traffic generated by the proposed development. The FDP should also address when these improvements shall be constructed, with any necessary coordination and approval of CDOT. The FDP should require Individual Traffic Studies of future subdivisions in this development area to track progress of the master study and determine when the improvements will need to be implemented.
10. The Drainage Report currently shows some of the proposed detention ponds in inaccessible locations. While the preliminary basin delineation is practical, the narrative should be revised to specify the need to provide maintenance access to all future pond locations. Future designs for planning areas shall take this into account while also evaluating the possible benefits of regional facilities.
11. The Utility Report references an old version of Fire Protection District Standards and should be revised with the current version.
12. The Utility Report shows a different number of proposed residential units than the Land Use Plan. Please revise as necessary.

Please let us know if you have any questions regarding anything above. We can also make ourselves available to discuss this project with the Town and Applicant.

Sincerely,
JVA, INCORPORATED

By: _____


Cooper Karsh, P.E., CFM
Senior Engineer



PO Box 528, Granby CO 80446

The Town of Winter Park
Attention: James Shockey
PO Box 3327
Winter Park, CO 80482

RE: Cooper Creek Village and Cooper Creek Square, Town of Winter Park

Dear Mr. Shockey,

Concern:

In the Cooper Creek Square area gas main and service lines are present if any type of relocation is needed the cost will go to the customer.

Preliminary Plat Review General Guidelines

Application

- Must apply for Gas service at Xcel Energy Builders Call Line. Gas main is present in the surrounding area. Gas main will be installed at 36" depth and must be 10' away from water & sewer main, electric 5'. Gas will be installed in a sole trench- no other utilities are to be located with main or services.
- Gas main preferable to be installed in a 5' easement. **Acceptable easement language provided on final plat.**
- **Reinforcement may be needed for existing system depending on the current capacity (additional cost of reinforcement will be the responsibility of the applicant.)**

Meter Locations

- While customer preference regarding meter location deserves reasonable consideration, it remains the right of the Company to determine the placement of meters. All meter locations including multiple points of service shall have the approval of the local Xcel Design Department.
- Meters and service regulators are to be set outside the serviced structure where they will be readily accessible and be protected from corrosion and other damage, including vehicular. Meter sets in areas of deep snow need to be placed on a gable end (no shed roof allowed) *Note: Due to excessive snowfall, ice and snow shields will not be permitted in the following Colorado counties: Eagle, Lake, Park and Summit. Meters shall be installed on the gable or non-drip side of a building or in an approved remote location from the building or structure in these counties.*

Please note – this is not a final assessment of what the new gas distribution will entail. There may be additional things in the field I cannot see. Once an application has been submitted to Xcel Energy, we can start the full design process and identify the scope of work that will need to be done for this request.

Sincerely,

Kathleen Jacoby

Kathleen Jacoby

Kathleen Jacoby

Xcel Energy | Responsible By Nature

Designer, Mountain Division

583 East Jasper Court, Granby CO 80446-0528

P: 970-262-4055 F: 970-887-2453

E: kathleen.jacoby@xcelenergy.com

**APPROVAL OF THIS AGREEMENT CREATES A VESTED PROPERTY RIGHT
PURSUANT TO C.R.S. § 24-68-103, AS AMENDED**

**COOPER CREEK VILLAGE AND COOPER CREEK SQUARE
DEVELOPMENT GUIDE AGREEMENT**

THIS DEVELOPMENT GUIDE AGREEMENT (this “**Agreement**”) is made as of this ____ day of _____, 2022 (the “**Approval Date**”), by and between the TOWN OF WINTER PARK, a Colorado home rule municipal corporation with an address of 50 Vasquez Road, P.O. Box 3327, Winter Park, Colorado 80482 (the “**Town**”), JAC COLORADO II, LLC, a Colorado limited liability company with an address of 747 Sheridan Blvd., #7D, Lakewood, Colorado 80214 (“**JAC**”), COOPER CREEK WP, LLC, a Colorado limited liability company with an address of 747 Sheridan Blvd., #7D, Lakewood, Colorado 80214 (“**CCWP**”), STATION WP, LLC, a Colorado limited liability company with an address of 747 Sheridan Blvd., #7D, Lakewood, Colorado 80214 (“**SWP**”), and WINTER PARK TOWER, LIMITED LIABILITY COMPANY, a Colorado limited liability company with an address of P.O. Box 3233, Winter Park, Colorado 80482 (“**WPT**”) (JAC, CCWP, SWP and WPT are sometimes hereinafter referred to individually as an “**Owner**”, and collectively as the “**Owners**”), COOPER CREEK VILLAGE METROPOLITAN DISTRICT NO. 1, a quasi-municipal corporation and political subdivision of the State of Colorado (“**District No. 1**”), COOPER CREEK VILLAGE METROPOLITAN DISTRICT NO. 2, a quasi-municipal corporation and political subdivision of the State of Colorado (“**District No. 2**”), COOPER CREEK VILLAGE METROPOLITAN DISTRICT NO. 3, a quasi-municipal corporation and political subdivision of the State of Colorado (“**District No. 3**”), COOPER CREEK VILLAGE METROPOLITAN DISTRICT NO. 4, a quasi-municipal corporation and political subdivision of the State of Colorado (“**District No. 4**”), and COOPER CREEK VILLAGE METROPOLITAN DISTRICT NO. 5, a quasi-municipal corporation and political subdivision of the State of Colorado (“**District No. 5**,” and collectively with District No. 1, District No. 2, District No. 3 and District No. 4, the “**Districts**”) (collectively the “**Parties**” and each a “**Party**”).

RECITALS

A. This Agreement is entered into in accordance with the Town’s contemporaneous approval of annexation into the Town of certain unincorporated territory referred to in this Agreement as the “**Cooper Creek Village Property**” pursuant to the Colorado Municipal Annexation Act, C.R.S. §§ 31-12-101, *et seq.* (the “**Annexation Act**”) and the terms and conditions of that certain “**Annexation Agreement**” by and among the Parties of even date herewith, and the Town’s contemporaneous conferral of vested rights as defined in and pursuant to C.R.S. §§ 24-68-101, *et seq.* (the “**Vested Rights Act**”) upon title to the “**FDP Properties**” (as hereinafter defined) as described in this Agreement and in the Annexation Agreement.

B. The terms and conditions of the Annexation Agreement are incorporated into the operative provisions of this Agreement as if set forth in this Agreement in full.

AGREEMENT

NOW, THEREFORE, in consideration of the premises, mutual covenants, and agreements contained herein, and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged by the Parties, the Parties agree as follows:

Section 1. Definitions. Any term not defined in this Agreement that is ~~not~~ defined in the Town's Unified Development Code (the "**UDC**") shall have the meaning ascribed thereto in the UDC. In addition, certain terms used in this Final Development Plan shall have definitions as set forth in this Section 1:

1.1 "**Accessory Dwelling Unit**" shall mean a dwelling that is incorporated within the living area of a single-family residence or in a detached building. An Accessory Dwelling Unit includes permanent provisions for living, sleeping, eating, cooking, bathing and sanitation.

1.2 "**Accessory Use**" shall mean a use incidental to and customarily associated with a specific principal use, located on the same lot or parcel.

1.3 "**Active Open Space**" shall have the meaning set forth in Section 7.1.

1.4 "**Adjacent Project**" shall mean, individually, any development project located on properties in the vicinity of the FDP Properties.

1.5 "**Agricultural**" shall mean a use category containing nonresidential uses primarily related to the raising of animals and crops that do not exceed the threshold for concentrated or intensive animal feeding operations. The use category includes: crop production; nursery (retail); stables; and animal, crop, and farm equipment storage.

1.6 "**Annexation Agreement**" shall mean the Annexation and Development Agreement for the FDP Properties, as the same may be amended from time to time.

1.7 "**Approval Date**" shall have the same meaning as is attributed to it in the Annexation Agreement.

1.8 "**Attainable Dwelling Unit**" shall mean a primary or accessory dwelling unit for the purpose of providing attainable housing for residents earning a low to moderate annual income.

1.9 "**CCWP**" shall mean Cooper Creek WP, LLC, a Colorado limited liability company, its successors and assigns in title and interest to the portions of the Cooper Creek North Parcels it owns.

1.10 "**Commercial Square Footage**" or "**CSF**" shall mean any area, measured in square feet, which may be used, rented or leased for the purpose of generating retail business or consumer services, excluding DUs, OAU and Recreational Amenities.

1.11 **“Cooper Creek North Parcels”** shall mean those parcels representing approximately 3.94 acres, located north of Vasquez Road between Lions Gate Road and US 40 that are owned by JAC, CCWP and WPT, subject to Johnson Acquisition Corp.’s option to purchase the parcel owned by WPT, all as legally described herein.

1.12 **“Cooper Creek South Parcel”** shall mean that parcel located south of Vasquez Road but north of the Cooper Creek Village Property legally described herein representing approximately 1.91 acres that is owned by SWP.

1.13 **“Cooper Creek Village Property”** shall mean those annexation parcels representing approximately 53.3 acres as legally described on Exhibit 1 of the Annexation Agreement.

1.14 **“Cooper Creek Square Shopping Center”** shall mean the existing shopping center located on the three (3) parcels owned by CCWP, which parcels are part of the Cooper Creek North Parcels.

1.15 **“Dedicated Trails”** shall be those trails identified as the same on the Final Open Space and Trails Plan which are to be dedicated to the Town.

1.16 **“Developer”** shall mean WCJ Holdings, LLC, a Colorado limited liability company, the master developer of the Project.

1.17 **“District”** or **“Districts”** shall mean and refer to any metropolitan district or districts formed pursuant to Title 32, C.R.S., for the purpose of financing and constructing any or all of the Public Improvements and for providing certain public services to the FDP Properties.

1.18 **“Drainage Plan”** shall mean that certain Master Drainage Plan and Report prepared by TKE Engineering dated May 28, 2021.

1.19 **“Dwelling Unit”** or **“DU”** shall mean one (1) or more rooms in a dwelling designed for occupancy by one (1) family for living purposes and having not more than one kitchen.

1.20 **“FDP Properties”** shall mean the Cooper Creek Village Property, the Cooper Creek South Parcel and the Cooper Creek North Parcels.

1.21 **“Final Development Plan”** shall mean that certain Final Development Plan for Cooper Creek Village and Cooper Creek Square, as approved by the Town Council and attached hereto as Exhibit 1, as the same may be amended from time to time, and shall include the Final Development Plan Narrative, the Existing Conditions Plan, Final Land Use Plan, Final Zoning Plan, Final Multi-Modal Plan, Conceptual Grading Plan, Final Open Space and Trails Plan and Roadway Report dated May 28, 2021.

1.22 **“Gondola Connection”** shall mean the area designated as the “Gondola Connection” on the Final Development Plan.

1.23 **"Gondola/Ski Lift"** shall mean a transportation facility regulated by the Colorado Passenger Tramway Safety Board.

1.24 **"GCWSD"** shall mean Grand County Water and Sanitation District No. 1, a political subdivision of the State of Colorado.

1.25 **"Hazardous Material"** shall mean any hazardous, toxic or dangerous waste, substance or material, pollutant or contaminant, as defined for purposes of the Comprehensive Environmental Response, Compensation and Liability Act Of 1980 (42 U.S.C. Sections 9601 et seq.), as amended ("CERCLA"), or the Resource Conservation and Recovery Act (42 U.S.C. Sections 6901 et seq.), as amended ("RCRA"), or any material which is toxic, explosive, corrosive, flammable, infectious, radioactive, carcinogenic, mutagenic or otherwise hazardous, or any material which contains gasoline, diesel fuel or other petroleum hydrocarbons, polychlorinated biphenyls (pcbs), radon gas, urea formaldehyde, asbestos, lead or electromagnetic waves.

1.26 **"Interior Road Improvements"** shall mean all private interior subdivision roads, driveways and related improvements which provides vehicular access to abutting properties without undue hazard to public property or residents and is not owned or maintained by the Town.

1.27 **"JAC"** shall mean JAC Colorado II, LLC, a Colorado limited liability company, its successors and assigns in title and interest to the Cooper Creek Village Property and the portions of the Cooper Creek North Parcels it owns.

1.28 **"Master Owners Association"** shall mean one or more master owners associations formed and existing pursuant to C.R.S. §§ 38-33.3-101 *et seq.*, for the purpose of providing certain non-public services to the FDP Properties and/or the Project.

1.29 **"Overnight Accommodation Unit"** or **"OAU"** shall mean commercial bedroom and bathroom units arranged for short-term stays of less than thirty (30) days for rent that contain a lobby on the premises. Examples of this use category include bed and breakfast; hostel; hotel or motel and other uses that the Town's planning director or his or her designee interprets to meet the characteristics of Overnight Accommodations. Short-term rental (see § 3-10 in the Town Code) is excluded from this definition.

1.30 **"Owners"** shall mean JAC, CCWP, SWP and WPT, and each of their successors and assigns. Each of the aforementioned entities shall be an "Owner."

1.31 **"Parking Garage"** shall have the meaning ascribed thereto in the Parking Agreement.

1.32 **"Parking Agreement"** shall have the meaning set forth in Section 5.3.

1.33 **"Phase"** shall mean any portion of the Project identified by Developer from time to time for development of Public Improvements which comply with the development standards stated in the Final Development Plan.

1.34 **"Picnic Shelter"** shall mean any pavilion structure located in a dedicated park area or non-dedicated open space area intended to provide a covered shelter for use by visitors for dining, seating, grilling and access to permanent restrooms.

1.35 **"Planning Area"** shall be a planning area shown on the Final Development Plan.

1.36 **"Private Active Open Space"** shall mean any Active Open Space that is not Public Active Open Space.

1.37 **"Project"** shall mean the mixed-use commercial and residential development featuring single-family residences, multi-family residences, lodging, commercial uses, roads and streets, utilities, trails, parks, open space, and other amenities as more fully described in the Final Development Plan.

1.38 **"Public Active Open Space"** shall mean the Dedicated Trails.

1.39 **"Public Improvements"** shall mean any drainage ditch, roadway, parkway, sidewalk, pedestrian way, tree, lawn, off-street parking area, lot improvement, or other facility for which the local government may ultimately assume the responsibility for maintenance and operation, or which may affect an improvement for which local government responsibility is established. All such improvements shall be properly bonded for or secured by a letter of credit or other acceptable legal instruments.

1.40 **"Real Estate Office and Design Center"** shall mean an office establishment used for advertising and executing the first-time sale of on-site property interests.

1.41 **"Recreational Amenities"** shall mean facilities operated in conjunction with CSF intended to provide recreational or other leisure opportunities for guests of, customers of or visitors to businesses located within CSF on the FDP Properties and shall include, without limitation, plazas, skating rinks, cultural and community centers, indoor and outdoor water parks, swimming pools and hot tubs, sledding hills, playing fields, and indoor and outdoor tennis and other racquet sport facilities.

1.42 **"Resort Cabins"** shall have the meaning ascribed thereto in the UDC.

Commented [1]: Remove - not allowed use in this FDP

1.43 **"Roadway Report"** shall mean the Roadway Report included with the Final Development Plan.

1.44 **"Service Plan"** shall mean that certain Consolidated Service Plan for Cooper Creek Village Metropolitan District Nos. 1, 2, 3, 4 and 5 submitted contemporaneously to the Town Council with this FDP and the Annexation Agreement.

1.45 **"SFE Equivalent"** shall mean the amount of water, measured by volume over a period of time (i.e., acre-feet per year or gallons per day), that is required to satisfy the water demand for a single-family residential unit, as determined by GCWSD.

1.46 **“Single Track Trail”** shall mean the area designated as Single Track Trail on the Final Open Space and Trails Plan, which provides access to Beavers Village Condominiums and the Ice Hill trail ~~at Winter Park Resort~~ and connects to the Ski Trail Connection throughout the Cooper Creek Village Property as depicted on the Final Open Space and Trails Plan.

1.47 **“Single Track Trail Easement Area”** shall mean a relocatable easement area that is comprised of a minimum ten foot (10’) wide trail, together with additional widths for cuts, fills and/or retaining walls necessary for the safe establishment of the Single Track Trail, the final dimensions of which shall be determined at the time of final design and construction and confirmed upon the filing of the final subdivision plat of a portion or portions of the FDP Properties that includes the Single Track Trail segment. Any roads, service routes and utilities crossing the Single Track Trail Easement Area will be located within a dedicated access and utility easement determined at the time of final subdivision platting.

1.48 **“Ski Trail Connection”** shall mean the trail area designated as “Ski Trail Connection” on the Final Open Space and Trails Plan.

1.49 **“Ski Trail Connection Easement Area”** shall mean a relocatable easement area that is comprised of a minimum twenty foot (20’) wide trail, together with additional widths for cuts, fills and/or retaining walls necessary for the safe establishment of the Ski Trail Connection, the final dimensions of which shall be determined at the time of final design and construction and confirmed upon the filing of the final subdivision plat of a portion or portions of the FDP Properties that includes the Ski Trail Connection segment. Any roads, service routes and utilities crossing the Ski Trail Connection Easement Area will be located within a dedicated access and utility easement determined at the time of final subdivision platting.

1.50 **“Sports Courts”** shall mean outdoor hard surface areas located in designated park areas intended for use by park visitors for recreational athletic uses.

1.51 **“Sports Fields”** shall mean any field or land area located in designated park areas intended for use by park visitors for organized and unorganized recreational athletic uses. Sports Fields do not include golf courses but may include disc golf courses.

1.52 **“SWP”** shall mean Station WP, LLC, a Colorado limited liability company, its successors and assigns in title and interest to the Cooper Creek South Parcel.

1.53 **“Town”** shall mean the Town of Winter Park, a Colorado municipal corporation.

1.54 **“Town Code”** shall mean the Winter Park Town Code.

1.55 **“Town Council”** shall mean the Winter Park Town Council.

1.56 **“Transit Center/Bus Station”** shall mean a centralized sheltered waiting area where public transportation routes converge for arrival, staging and departure of multimodal transportation systems, including walking, bicycling, riding feeder public transportation systems (e.g., taking the bus to connect to a Gondola/Ski Lift), and driving.

1.57 “Unit” shall mean either a DU or an OAU and the term “Units” shall mean more than one DU, more than one OAU, or a combination of DUs and OAUs.

1.58 “Vested Property Rights” shall have the meaning set forth in Section 10 and as further provided in the Annexation Agreement.

1.59 “WCJ” shall mean WCJ Holdings, LLC, a Colorado limited liability company, the master developer of the Project, its successors and assigns.

1.60 “WPT” shall mean Winter Park Tower, Limited Liability Company, a Colorado limited liability company, its successors and assigns in title and interest to the portion of the Cooper Creek North Parcels it owns.

Section 2. Nature of Final Development Plan. This Final Development Plan shall be binding and regulatory upon the Town, Owners, Developer, the Districts, the FDP Properties, and the Project. Pursuant to C.R.S. § 24-68-102.5(1) the Town Council intends that this Final Development Plan will be designated as a “Site Specific Development Plan” as that term is defined in C.R.S. § 24-68-102(4)(a) and the Town Code. The Final Development Plan vests property rights for a period in excess of three (3) years as warranted by all relevant circumstances, including, but not limited to, the size and phasing of the Project, economic cycles, and market conditions. Any breach by the Town, Owners, Developer or the Districts of this Final Development Plan shall also constitute a breach of the Annexation Agreement and any non-breaching party(ies) shall be subject to all rights and remedies set forth in the Annexation Agreement.

Section 3. Land Use. The Final Development Plan was submitted to the Town in accordance with Title 7, Chapter 7 (P-D Planned Developments) of the Town Code, and specifically in accordance with Section 7-7-5-2, which addresses final development plan application review procedures in connection with annexation of qualified territory. The FDP Properties and the Project shall be subject to all provisions of the Town Code except as expressly modified by the terms and conditions of the Annexation Agreement or the Final Development Plan, as applicable. In the event of an irreconcilable conflict between or among the terms and conditions of the Town Code, the Final Development Plan, and/or the Annexation Agreement, the terms and conditions of the Final Development Plan and the Town Code shall apply and control in that order.

Section 4. Zoning.

4.1 RC, DC, and Open Space/Forestry Zone Districts. In addition to any other existing overlay districts within which the FDP Properties may be located, the FDP Properties shall be zoned RC (Residential-Commercial District) and DC (Destination Center District) as modified by the Final Development Plan; specifically, the Cooper Creek Village Property shall be zoned RC and DC with an FDP overlay, and the Cooper Creek South Parcel and the Cooper Creek North Parcels shall be zoned DC with an FDP overlay. The acreage and boundaries of the Planning Areas depicted on the Final Development Plan are preliminary and subject to change as more detailed planning for the FDP Properties progresses. The acreage of any Planning Area may be increased

or decreased by up to ten percent (10%) of the total Project acreage in the discretion of JAC or Developer and no amendment of the Final Development Plan shall be required as a result of such increase or decrease; provided, however, that other than permitted density transfers described in Section 5.1 of this Agreement, no other density transfers shall be permitted in connection with a permitted increase or decrease in the acreage of a Planning Area, and all subdivision lot line adjustments resulting from an increase or decrease in the acreage of a Planning Area are subject to Town approval through the exemption plat process before adjustment of the acreage of the Planning Area. The final acreage of each Planning Area shall be determined at the time of final subdivision platting of all portions of that Planning Area.

4.2 Continuation of Current Use. Notwithstanding any provision of the Final Development Plan or the Town Code to the contrary, all existing residential and commercial uses shall be permitted to continue on the FDP Properties until such time as construction is commenced on such portion of the FDP Properties and all or any portion of FDP Properties shall be permitted to be used for Agricultural or forestry purposes until such time as construction is commenced on such portion or portions of the FDP Properties.

4.2.1. Signage. Notwithstanding any provision of the Final Development Plan or the Town Code to the contrary, all existing signage located on the Cooper Creek South Parcel and the Cooper Creek North Parcels shall be permitted to continue unaltered until the improvements thereon are raised or destroyed. Upon such event on any portion of the Cooper Creek South Parcel Cooper or the Creek North Parcels, any alterations or modifications to existing signage must conform with the applicable sign regulations of the Town.

Section 5. Densities and Land Uses.

5.1 Overall Densities. Developer shall have the right to develop within the Cooper Creek Village Property up to the maximum CSF, OAU and DUs permitted by the Final Development Plan. Developer shall have the right to develop within the Cooper Creek South Parcel and the Cooper Creek North Parcels up to the maximum CSF (inclusive of redevelopment of existing properties), OAU and DUs permitted by the Final Development Plan. Affordable housing units, including the deed restricted units as stated in the Annexation Agreement, shall be excluded from the maximum densities outlined above and permitted under the Final Development Plan. The area occupied by Recreational Amenities shall be credited as an open area when calculating maximum building coverage ratios permitted within the FDP Properties. Land use densities within Planning Areas defined by the Final Development Plan may be increased or decreased so long as sufficient roadway, water and sewer capacity is available. Up to 10% of permitted density within a Planning Area may be transferred to other Planning Areas without requiring an amendment of the Final Development Plan so long as total densities do not exceed the maximum densities permitted by the Final Development Plan and an updated density chart be provided to the Town for administrative approval prior to completion of the density transfer.

5.2 Land Use Summary Matrix. Subject to the terms of Section 5.1, the FDP Properties may only be developed consistent with the Land Use Summary Matrix of the Final Development Plan, which governs the uses and densities allowed in each Planning Area of the Project.

5.3 Parking. Parking requirements shall comply with Winter Park Standards and Specifications for Construction Section 3.9.3, and all uses under the Final Development Plan shall satisfy the Town Code’s parking requirements. In addition, certain parking requirements for the densities contemplated in Section 5.1, and specifically for the parcels owned by CCWP known as the Cooper Creek Square Shopping Center, are addressed in that certain Parking Garage Agreement dated September 2, 2015, and recorded at Reception No. 2021004361 in the Grand County, Colorado public records (the “**Parking Agreement**”). The Parking Agreement provides that CCWP as the owner of the Cooper Creek Square Shopping Center has the right to use 215 unallocated and undesignated parking spaces within the Parking Garage pursuant to the terms of the Parking Agreement. Notwithstanding anything to the contrary in the Parking Agreement, the Parking Agreement shall be amended in connection with approval of the Final Development Plan such that CCWP (who may act by and through Developer) may allocate pursuant to separate instrument to the owners of the Cooper Creek South Parcel, Cooper Creek North Parcels, Crestview Place Condominiums and/or Winter Park Station properties, including their successors, assigns, employees, invitees, licensees, customers and commercial tenants, use rights for any surplus parking spaces located in the Parking Garage that are not needed to satisfy the Town Code’s parking requirements for Cooper Creek Square. In the event of any conflict between the Parking Agreement and the Parking Agreement amendment described in this Section 5.3, the Parking Agreement amendment described in this Section 5.3 amendment shall control. CCWP acknowledges and agrees that consent from third-parties with legally protectable interests will be required should any such third-parties be adversely affected by any revised or updated parking allocation.

Commented [2]: Take this out and cross-reference to annexation agreement

5.4 Non-Jurisdictional Wetlands. Areas of the FDP Properties which constitute “wetlands” (as that term may be defined in the Corps of Engineers Wetlands Delineation Manual dated January 1987) that are not subject to jurisdiction under the Clean Water Act, shall not be developed except in conjunction with required 1:1 mitigation reasonably approved by the Town. Notwithstanding the foregoing, however, any roads, service routes and utilities crossing such non-jurisdictional wetland areas shall be permitted without mitigation, and will be located within a dedicated access and utility easement determined at the time of final subdivision platting.

Commented [3]: Add trails to exceptions and please define service route

Section 6. Infrastructure Financing. In recognition of the extraordinary public infrastructure costs associated with development of the Project, including, without limitation, the Public Improvements, the Town and JAC have agreed to the establishment of certain mechanisms between the public and private sectors to accomplish the financing of the infrastructure

contemplated by the Annexation Agreement. Such mechanisms as set forth in the Service Plan are hereby incorporated by reference.

Section 7. Open Space Dedication.

7.1 Active Open Space. Open space shall be land areas not occupied by buildings, structures, parking areas, driveways, streets or alleys. Open space shall be devoted to landscaping, planting, patios, walkways, recreational areas and facilities, and preservation of natural features, Recreational Amenities or structures and their Accessory Uses located in common recreation areas shall be considered open space as long as total impervious surfaces, including paving and roofs, constitute no more than five percent (5%) of the total open space. Use of impervious pavers in natural open space areas is discouraged and the area of any impervious areas within such natural open space areas shall not count toward satisfaction of open space requirements. Notwithstanding the foregoing, the area of impervious surfaces included in open space consisting of plaza improvements shall not be subject to the limitation on total impervious surfaces described above, and shall not be deducted from the total open space area calculations. As described in the Final Development Plan, active open space areas (“**Active Open Space**”) are planned throughout the Project and are to be located within the FDP Properties as depicted on the Open Space Plan. These areas shall include the public and private, paved and unpaved, non-motorized, multi-use recreational trails connecting the Project to Town and surrounding properties. All Active Open Space shall remain open and undeveloped, except for the recreational trails, buried utility systems, and other ancillary structures as may be constructed on or installed within Active Open Space areas in accordance with the Final Development Plan. Except as set forth below, the Public Active Open Space is to be public, as depicted on the Final Open Space and Trails Plan, and shall be dedicated to the Town for public use at the time of final subdivision platting of the portion or portions of the FDP Properties containing such Public Active Open Space. The Town shall accept and thereafter own, operate, and maintain the Public Active Open Space for the benefit of the Town’s citizens and guests as further provided below. Private Active Open Space shall be developed and conveyed to the Master Owners Association or the one or more Districts for the benefit of a specific neighborhood or portion of the Project. The Town shall not be responsible for the maintenance of Private Active Open Space, but the Town will include Private Active Open Space in calculating overall community open space requirements for the Project. In consideration of JAC’s conveyances of the Public Active Open Space, designation of Private Active Open Space and construction of Public Improvements in the Active Open Space, all in accordance with the terms of this Section, no additional public open space dedications or payments in lieu thereof, of any kind, type or sort, shall be required with respect to any portion of the Project. Without limiting the generality of the foregoing, individual subdivision submissions to the Town will not be required to independently satisfy the five percent (5%) public open space requirement of Town Code Section 8-3-10-B (or payment in lieu thereof under Town Code Section 8-3-10-D) at the time of their approval or meet any other dedication or cash-in-lieu requirements that the Town may in the future impose.

7.1.1 Approximate Size and Public Infrastructure of Open Space. As depicted on the Final Open Space and Trails Plan, the Public Active Open Space shall include the following approximate acreage and Public Improvements.

7.1.2 Gondola Easement. As depicted on the Final Open Space and Trails Plan, JAC shall dedicate required easements for the proposed gondola. The easement shall include a width of 100'. The easement shall be granted contemporaneously with approval of the annexation of the Cooper Creek Village Property pursuant to the terms and conditions of the Annexation Agreement. Any roads, service routes and utilities crossing the Gondola connection easement area will be located within a dedicated access and utility easement determined at the time of final subdivision platting.

7.1.3 Ski Trail Connection. As depicted on the Final Open Space and Trails Plan, the Ski Trail Connection Easement Area shall include an area that is comprised of a minimum twenty foot (20') wide trail, together with additional widths for cuts, fills and/or retaining walls necessary for the safe establishment of the Ski Trail Connection, the final dimensions of which shall be determined at the time of final design and construction and confirmed upon the filing of the final subdivision plat of a portion or portions of the FDP Properties that includes the Ski Trail Connection segment. A bridge will be constructed over the Union Pacific Railroad right-of-way as required to accommodate the Ski Connection Trail. The bridge located within the Ski Trail Connection will be dedicated to the Town following completion and preliminary acceptance by the Town. One or more Districts shall construct or cause construction of the bridge, and the Town shall contribute \$800,000 towards the bridge's construction (the "Town's Contribution"). At the time the bridge is completed, the easement for the Ski Trail Connection within the Ski Trail Connection Easement Area shall be granted by JAC or its assigns, and the Town and the applicable District or Districts shall enter into a cost recovery agreement. The formula for collection and distribution of the Town's Contribution shall be determined pursuant to a development improvements agreement entered between the Town and JAC. The Town's Contribution shall be paid to JAC no later than two (2) years following completion of the bridge.

7.1.4 Easement Uses, Vacation and Reversion. Except for drainage improvements, underground utilities, road crossings and trails, or unless otherwise agreed by the Town in writing, all easements required by this Agreement shall be exclusive for the specific purpose contemplated by the easement. The easements described in Sections 7.1.2 and 7.1.3 shall be vacated and title to the real property encumbered by those easements shall revert back to the legal title holder of the land underlying the easements upon occurrence of the following events:

7.1.4.1 If the Town has not obtained all required off-site easements for the construction and operation of the gondola within three (3) years following the date of annexation of the Cooper Creek Village Property; or

7.1.4.2 If the gondola or Ski Connection Trail have not been completed within twenty (20) years following the date of annexation of the Cooper Creek Village Property, or completed within thirty (30) years following the date of such annexation in the event the

Commented [4]: This exception seems to swallow the rule. Please remove. Town preference is for exclusive easements for all of these unless otherwise agreed to in writing

Town extends the full period of vested rights for all of the FDP Properties to be a total of thirty (30) years following the date of annexation of the Cooper Creek Village Property.

7.1.4.3 If the easements described in Sections 7.1.2 and 7.1.3 are vacated, the Owners of the Cooper Creek Village Property shall be required to satisfy the Town's 5% public open space requirement as a condition of completing the vacation and reversion of title to the affected Owners.

7.2 Conveyance of Public Active Open Space.

7.2.1 General Dedication Requirement. Except as set forth below, each application for final subdivision plat approval of any portion of the FDP Properties which includes or borders a portion of the Public Active Open Space shall provide for the dedication of the entire area of that particular Public Active Open Space as public open space upon approval, execution and recordation of the subdivision plat, unless otherwise provided herein or agreed to by the Parties. Except for the Town, which shall be permitted to construct trail connections within the proposed easements for the Dedicated Trails, nothing contained herein shall be deemed to authorize any other person or party to enter upon any portion of the Public Active Open Space or use the same other than JAC or any other applicable Owner prior to creation and conveyance of the Public Active Open Space to the Town.

7.2.2 Conveyance of Public Trail System. The Dedicated Trails depicted on the Final Open Space and Trails Plan are conceptual in nature and are intended to ensure that key connections between the Town, existing neighborhoods, the Project, and surrounding properties are maintained. The Dedicated Trails shall include the following approximate locations, widths, and uses.

7.2.2.1 Ski Connection Trail. The Ski Connection Trail shall be improved and located within the relocatable Ski Trail Connection Easement Area that shall be comprised of a minimum twenty foot (20') wide trail, together with additional widths for cuts, fills and/or retaining walls necessary for the safe establishment of the Ski Trail Connection, the final dimensions of which shall be determined at the time of final design and construction and confirmed upon the filing of the final subdivision plat of a portion or portions of the FDP Properties that includes the Ski Trail Connection segment; provided, however, that the portion of the Ski Connection Trail that consists of the bridge over the Union Pacific Railroad right-of-way will be dedicated to the Town following completion and preliminary acceptance by the Town. Neither Owners, as applicable, nor Developer shall be responsible for paying for the cost, for the design, construction, and maintenance of the Ski Connection Trail.

7.2.2.2 Single Track Trail Easement. The Single Track Trail shall be situated within the Single Track Trail Easement Area and dedicated to the Town following completion and preliminary acceptance of the bridge over the Union Pacific Railroad right-of-way. The Single Track Trail Easement Area shall be flagged in the field for Town review not later than October 31, 2023. The final dimensions and alignment of the Single Track Trail Easement Area shall be confirmed not later than preliminary acceptance of the bridge over the Union Pacific Railroad

Commented [5]: As part of preliminary acceptance of the dedication of the trail, rather than this date.

right-of-way. The Town shall be responsible, at its sole cost, for the design and construction of any improvements in the Single Track Trail Easement Area. JAC may, in connection with development of the Project and in its sole discretion, may make minor adjustments up to five feet (5') in any direction to the location of any portion of the Single Track Easement Area without Town approval, provided that all other changes shall require the Town's written approval through an administrative review process. In the event JAC relocates any portion of the Single-Track Trail Easement Area, relocation of the affected portion of the Single Track Trail shall be at the sole cost of JAC or the Districts and JAC shall be responsible for causing the recorded instruments governing the Single-Track Trail Easement Areas to be amended to reflect such relocation.

7.2.3 Study of Trail Corridors. JAC and the Town shall flag the rough locations of the Dedicated Trails. Upon completion of field verification and within 90 days, JAC shall convey to the Town, one or more relocatable easements for the location, construction, improvement, maintenance, repair, and replacement of the Dedicated Trails. More specific alignments of the Dedicated Trails within each portion of the FDP Properties will be determined at the time of first final subdivision platting of any portion of the Project, and those alignments shall be depicted on the applicable final subdivision plat(s), subject, however, to an appropriate plat note indicating the relocatable nature of the easement containing the Dedicated Trails. Actual field-constructed alignments of the Dedicated Trails will be evaluated at the time of construction against site constraints such as wetlands, steep slopes, and rock outcroppings, and following construction, the Dedicated Trails may thereafter be relocated from time to time to facilitate forest management, construction, and maintenance activities so long as reasonably equivalent substitute trails are provided. In the event that any change in the as-constructed location of the Dedicated Trails occurs such that the Town's then-current easement grant does not include the as-constructed location of the Dedicated Trails, or any portion thereof, then JAC shall amend the Dedicated Trails Easement as necessary to grant the Town comparable easement rights for the as-constructed location of the Dedicated Trails.

7.3 Uses. Recreational facilities within the Active Open Space, including parking lots and restrooms, and all utilities and infrastructure shall be a Use by Right. The Town shall maintain facilities located within Dedicated Trails ~~and parcels~~ and public Active Open Space.

Section 8. Subdivision Platting of Property

8.1 Development in Phases. Due to the size and complexity of the development contemplated by the Final Development Plan, the time required to complete development, and the possible impact of economic cycles and varying market conditions which will occur during development of the Project, the Town acknowledges and agrees that development of the Project may proceed in Phases.

8.2 Subdivision of Phases. The Town shall process approval of the subdivision plat(s) presented by JAC in accordance with this Final Development Plan, the Town's Subdivision Regulations (Title 8 of the Town Code), the Town's Design Review Regulations and Guidelines (Title 6, Chapter 3 of the Town Code), the Town's Landscape Design Regulations and Guidelines and all other Town ordinances and regulations which are in effect and uniformly applied

throughout the Town's municipal boundaries as of the date of final approval of the Final Development Plan, except to the extent such ordinances and regulations conflict with the terms and conditions of the Final Development Plan, in which case the terms and conditions of the Final Development Plan shall control. A master wildlife mitigation study shall be performed to analyze the overall impact of the proposed development on wildlife in addition to the plat-specific analysis. Without limiting the generality of the foregoing, a wildlife evaluation will be completed with each plat in order to minimize impacts to wildlife associated with development of that subdivision. Wildlife studies shall include recommendations for design parameters and management techniques to avoid, minimize, and mitigate impacts on wildlife. Town Staff may require wildlife protection standards to be incorporated as a condition of approval on any final plat application in accordance with the recommendations in such study.

8.3 Re-Subdivision of Previously Approved Subdivision Plats. The Town acknowledges and agrees that certain portions of the Project described in the Final Development Plan are permitted to be developed with multiple-family structures. The Town further acknowledges and agrees that pursuant to the Final Development Plan, these areas are permitted to be subdivided and further re-subdivided into a total number of lots and/or units equal to the approved number of DUs and OAU's designated in the Final Development Plan.

Section 9. Reimbursement for Off-Site Improvements. It is anticipated that Adjacent Projects may, in the future be developed in such a manner and at such an intensity of use which may require such properties to utilize certain off-site Public Improvements constructed by the one or more Districts, and more fully described in the Annexation Agreement. All cost recovery reimbursement shall be subject to compliance with Title 9 of the Town Code.

Section 10. Enforcement, Assignment of Rights and Obligations. The rights and obligations of the Town and JAC under the Final Development Plan shall be enforceable and assignable as follows:

10.1 Right to Enforce the FDP. The provisions of the Final Development Plan shall run in favor of the Town and shall be enforceable, at law or in equity, by the Town, any of the Owners, the Developer and the Districts.

10.2 Vested Rights. The Parties intend that the Vested Property Rights conferred by the Annexation Agreement shall attach to and run with the Owners in their capacities as landowners of the FDP Properties and Developer in its capacity as master developer of the Project. Thus, the Vested Property Rights granted by the Agreement and as further defined herein shall attach to and run with the FDP Properties and be enforceable by the Owners and their successors and assigns in interest as landowner(s) of all or any portion of the FDP Properties and shall further attach to and run with the FDP Properties and be enforceable by the Owners, Developer and their successors and assigns in interest. No assignment of the Vested Property Rights shall be required in order for any successor landowner to any Owner or any successor master developer to Developer to be a beneficiary of the Vested Property Rights. Any assignment of an Owner's rights in and to the Vested Property Rights in Owner's capacity as landowner and

in Developer's capacity as master developer of the Project shall be made in accordance with Section 10.3 below.

10.3 Assignment of Rights and Obligations. Except as described above in Section 10.2, the rights and obligations set forth in this Final Development Plan are solely the obligations of the Owners and Developer and shall not, except as otherwise set forth in this Section 10.3, run with the land or inure to any purchaser of all or any portion of the FDP Properties. Notwithstanding the foregoing, the Owners and Developer may, in their sole discretion but with prior written notice provided to the Town, assign the rights or obligations, or any portion thereof, described in this Final Development Plan or in the Annexation Agreement to any third party, whether or not such third party obtains any interest in the FDP Properties. In the event of any such assignment and subsequent assumption by such third party, any Owner or Developer as assignor shall, as more fully described in such assignment, be relieved of any further liability with respect to the obligations of this Final Development Plan described in such assignment, and the assignee shall thereafter be liable for fulfillment of the assigned obligations. Any such assignment shall be immediately effective as against the parties thereto and the Town upon the recording of a written instrument evidencing such assignment in the real property records of Grand County, Colorado. Any assigning Owner or Developer shall notify the Town prior to any assignment pursuant to this Section 10.3, but the Town's consent to any such assignment shall not be required.

Section 11. Rights Which are Vested. As further provided in the Annexation Agreement, the entire Final Development Plan for the FDP Properties, including every provision of this Agreement and the Final Development Plan attached hereto as Exhibit 1, is hereby deemed a part of the Site-Specific Development Plan and any right of or benefit conferred upon the Owners, or any of them, and the Developer, as described herein shall constitute a Vested Property Right. Without limiting the generality of the foregoing sentence, the Vested Property Rights include the right of the Owners and Developer to submit and for the Town to process development applications in accordance with the procedures set forth in the Town Code, as amended. Any amendment to the Town Code approved after the Approval Date that creates generally applicable submittal requirements, procedural requirements, or approval criteria which conflict with the terms and conditions of the Agreement, the Final Development Plan, or the Town Code will not apply to the FDP Properties or the Project. In recognition of the size and complexity of the Project contemplated under the Final Development Plan, the time required to complete development, and the need for development to proceed in phases to account for the possible impact of economic conditions and economic cycles and varying market conditions during the course of development, the Owners have the right to develop the FDP Properties in such order and at such rate and at such time as the market dictates consistent with the Final Development Plan.

Section 12. Miscellaneous.

12.1 Amendments. This Agreement may be amended only with the prior written approval of all of the Parties and any such amendment shall be recorded in the Grand County, Colorado real property records.

12.2 Notices. Any notice required by this Agreement shall be in writing, addressed as follows:

If to the Town:

Town of Winter Park
50 Vasquez Road
Winter Park, CO 80482
Attn: Town Clerk

If to JAC, CCWP or SWP:

Charles J. Johnson
747 Sheridan Blvd., #7D
Lakewood, CO 80214

With a copy to:

Johnson & Repucci LLP
850 W. South Boulder Road, Suite 100
Louisville, CO 80027
Attn: Michael J. Repucci

If to WPT:

Robin Wirsing
P.O. Box 3233
Winter Park, CO 80482

If to District No. 1:

Cooper Creek Village Metropolitan District No. 1
c/o Icenogle Seaver Pogue, P.C.
4725 S. Monaco St., Suite 360
Denver, CO 80327

With a copy to:

Alan Pogue, Esq.
Icenogle Seaver Pogue, P.C.
4725 S. Monaco St., Suite 360
Denver, CO 80327

If to District No. 2:

Cooper Creek Village Metropolitan District No. 2
c/o Icenogle Seaver Pogue, P.C.
4725 S. Monaco St., Suite 360
Denver, CO 80327

With a copy to:

Alan Pogue, Esq.
Icenogle Seaver Pogue, P.C.
4725 S. Monaco St., Suite 360
Denver, CO 80327

If to District No. 3:

Cooper Creek Village Metropolitan District No. 3
c/o Icenogle Seaver Pogue, P.C.
4725 S. Monaco St., Suite 360
Denver, CO 80327

With a copy to:

Alan Pogue, Esq.
Icenogle Seaver Pogue, P.C.
4725 S. Monaco St., Suite 360
Denver, CO 80327

If to District No. 4:

Cooper Creek Village Metropolitan District No. 4
c/o Icenogle Seaver Pogue, P.C.
4725 S. Monaco St., Suite 360
Denver, CO 80327

With a copy to:

Alan Pogue, Esq.
Icenogle Seaver Pogue, P.C.
4725 S. Monaco St., Suite 360
Denver, CO 80327

If to District No. 5:

Cooper Creek Village Metropolitan District No. 5
c/o Icenogle Seaver Pogue, P.C.
4725 S. Monaco St., Suite 360
Denver, CO 80327

With a copy to:

Alan Pogue, Esq.
Icenogle Seaver Pogue, P.C.
4725 S. Monaco St., Suite 360
Denver, CO 80327

Notices will be deemed delivered and effective as follows: if given personally, when delivered to the Party to whom it is addressed; if delivered by overnight courier, the date upon which delivery is confirmed by such overnight courier; or if given by mail, five (5) days after a letter containing such notice, properly addressed, with postage prepaid, is deposited in the United States mail.

12.3 Entire Agreement. This Agreement constitutes the entire and final understanding among the Parties with respect to the subject matter hereof, other than the FDP and subsequent development improvement agreements affecting the FDP Properties. This Agreement supersedes all prior agreements and understandings between the Parties relating to the subject matter hereof.

12.4 Assignment. Any Owner may assign to one or more successor developers or a District all or any part of its obligations and rights under this Agreement in accordance with the terms and conditions of this Agreement, any applicable service plan for the District, and applicable law. A District may assign to one or more additional metropolitan districts all or any part of its obligations and rights under this Agreement in accordance with the terms and conditions of this Agreement, any applicable service plan for the District, and applicable law. Where used in this Agreement or in the FDP, the term "JAC," "CCWP," "SWP," "WPT" or "District" shall also mean any of the lawful successors or assigns of JAC, CCWP, SWP, WPT and/or the District, and all such successors and assigns shall be bound by and have the right to enforce this Agreement.

12.5 Severability. If any term, provision, covenant, or condition of this Agreement is held by a court of competent jurisdiction to be invalid, void, or unenforceable, the remaining provisions of this Agreement shall, unless amended or modified by mutual consent of the Parties, continue in full force and effect.

12.6 Third Parties. There are no intended third-party beneficiaries to this Agreement.

12.7 Conflict with Other Provisions of the Town Code. In the event any provision of this Agreement conflicts with any provision of the Town Code, this Agreement shall control the determination of the rights and obligations of the Parties with respect to such conflicting matter.

12.8 Counterparts. This Agreement may be executed in multiple counterparts, each of which will be deemed to be an original and all of which taken together will constitute one and the same agreement.

12.9 Governing Law and Venue. This Agreement shall be governed by the laws of the State of Colorado, and any legal action concerning the provisions hereof shall be brought in Grand County, Colorado.

12.10 No Waiver. Delays in enforcement or the waiver of any one or more defaults or breaches of this Agreement by the Town shall not constitute a waiver of any of the other terms or obligation of this Agreement.

12.11 Governmental Immunity. The Town and its officers, attorneys and employees, are relying on, and do not waive or intend to waive by any provision of this Agreement, the monetary limitations or any other rights, immunities or protections provided by the Colorado Governmental Immunity Act, C.R.S. § 24-10-10 I, *et seq.*, as amended, or otherwise available to the Town and its officers, attorneys or employees.

12.12 Rights and Remedies. The rights and remedies of the Town under this Agreement are in addition to any other rights and remedies provided by law. The expiration of this Agreement shall in no way limit the Town's legal or equitable remedies, or the period in which such remedies may be asserted, for work negligently or defectively performed.

12.13 Subject to Annual Appropriation. Consistent with Article X, § 20 of the Colorado Constitution, any financial obligation of the Town not performed during the current fiscal year is subject to annual appropriation, shall extend only to monies currently appropriated, and shall not constitute a mandatory charge, requirement, debt or liability beyond the current fiscal year.

[Remainder of page left intentionally blank]

COOPER CREEK WP, LLC, a Colorado limited liability company

By: _____
Charles J. Johnson
Authorized Representative

STATE OF COLORADO)
) ss.
COUNTY OF _____)

The foregoing instrument was subscribed, sworn to and acknowledged before me this ____ day of _____, 2022, by Charles J. Johnson, as Authorized Representative of Cooper Creek WP, LLC, a Colorado limited liability company, on behalf of the company.

My Commission expires:

(S E A L)

Notary Public

STATION WP, LLC, a Colorado limited liability company

By: _____
Charles J. Johnson
Authorized Representative

STATE OF COLORADO)
) ss.
COUNTY OF _____)

The foregoing instrument was subscribed, sworn to and acknowledged before me this ____ day of _____, 2022, by Charles J. Johnson, as Authorized Representative of Station WP, LLC, a Colorado limited liability company, on behalf of the company.

My Commission expires:

(S E A L)

Notary Public

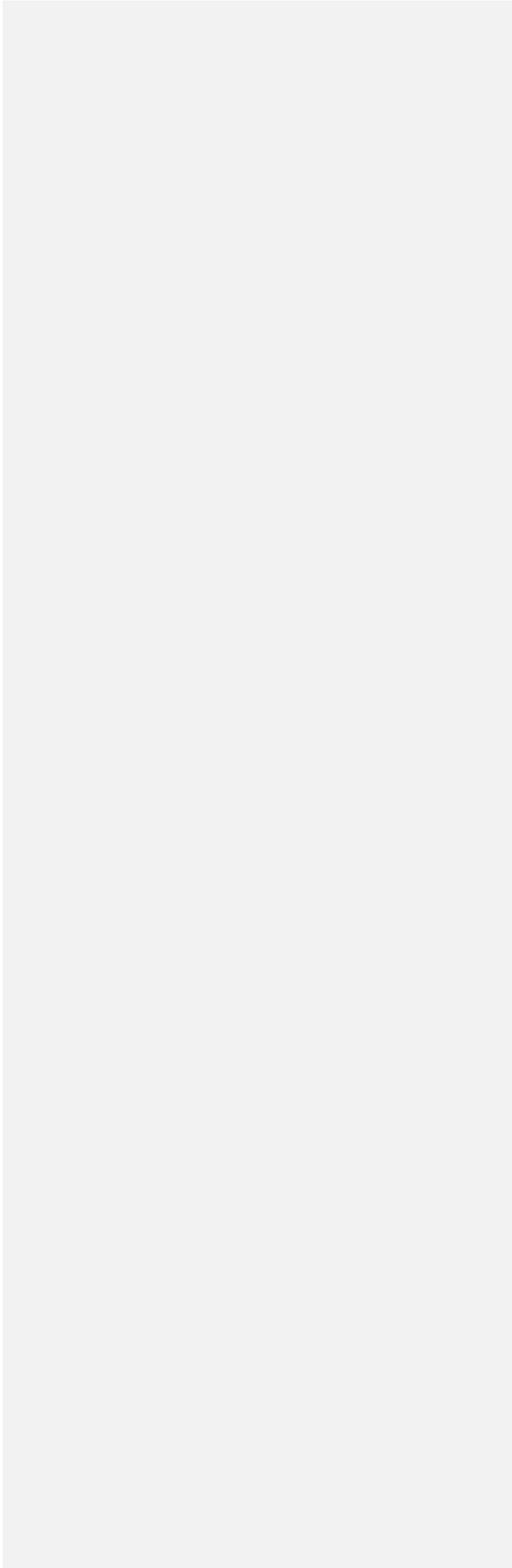


EXHIBIT 1
FINAL DEVELOPMENT PLAN

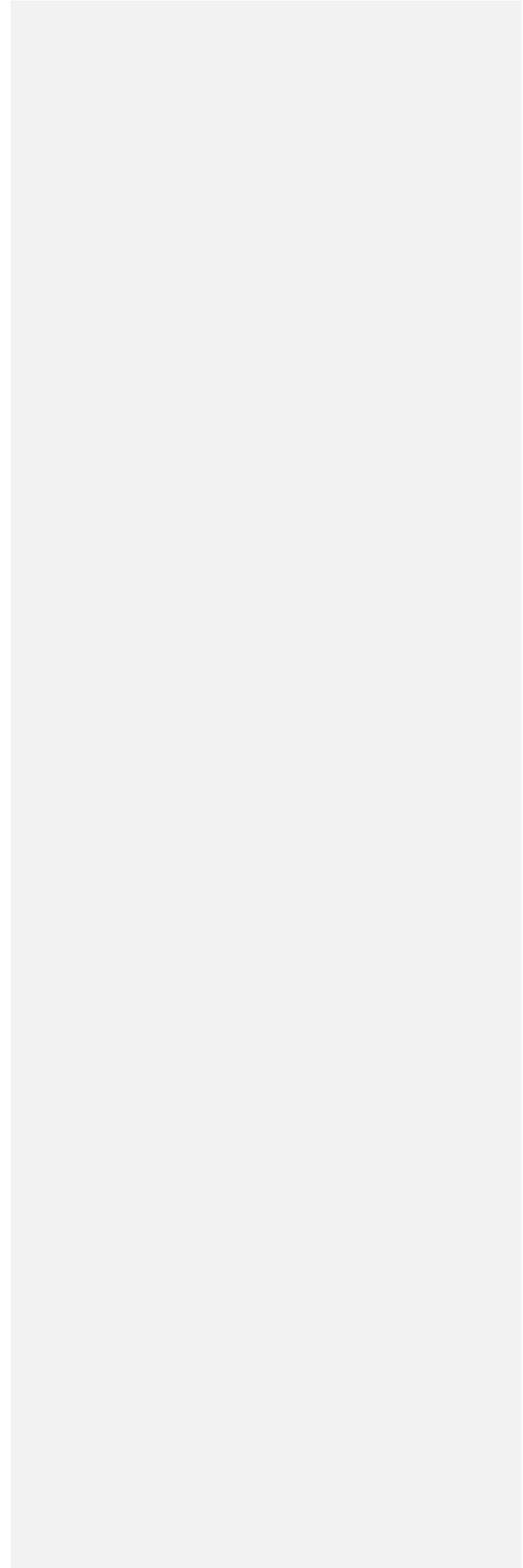


Exhibit B—DISTRICTS AND USES

LAND USE TABLE

P=Permitted S=Special Use L=Limited Use Blank=Not Allowed

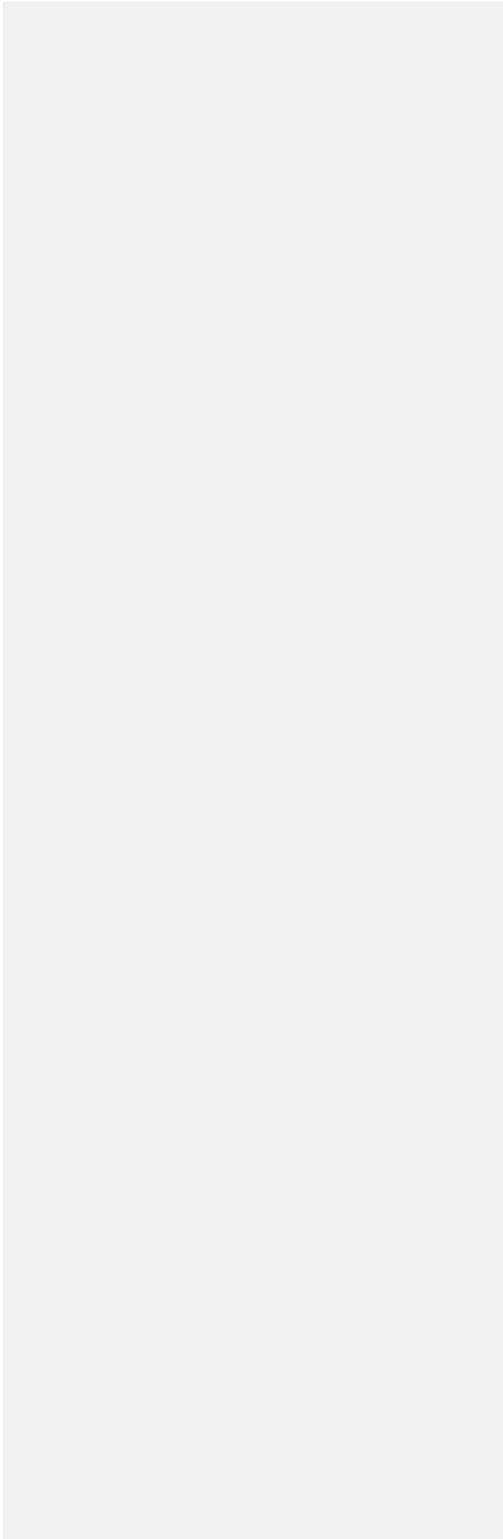
Commented [JS1]: Please add that the approval procedures in the UDC must be followed for all uses and that all procedures in the UDC are applicable.

USE	Residential	Mixed Use	Public Open Space
RESIDENTIAL USES			
Single Family Detached Dwelling			
Site Built Dwelling or Modular Home	P	P	
Zero Lot Line Homes	P	P	
Single Family Attached Dwelling			
Duplex	P	P	
Townhouse	P	P	
Multiple-Family			
Apartment	P	P	
Multiplex	P	P	
Assisted Living Facility	P	P	
Live-Work Unit	P	P	
Residential Accessory Uses			
Accessory Structures	P	P	
Accessory Dwelling Unit	P	P	
Greenhouse (Personal)	P	P	
Home Occupation	S	S	
On-Site Employee Housing	P	S	
Outdoor Storage Area	S	S	
Outdoor Swimming Pool	P	P	
Real Estate Sales Office and Design Center	P	P	
Overnight Accommodations			
Bed and Breakfast	L	L	
Campground with Overnight Accommodations			
Hostel		L	
Hotel or Motel		P	
Short-Term Rental	L	L	
Agricultural			
Nursery (Retail)			
Stable (Public)			
Agricultural Accessory			
Farm Stand			P
Animal, Crop, and Farm Equipment Storage			
Commercial, Civic, and Institutional			
Convenience Store and Gasoline Station	S	S	
Vehicle Parts, Sales, Rental and Leasing		S	

Commented [JS2]: This should be limited instead of special. Home occupations should not have to go through a special use permit to run a business from a home.

Adult Day Care		P	
Art Gallery and Studio		P	
Clinic, Medical Lab, or Urgent Care		L	
Club or Lodge		P	
Community Garden	P	P	P
Daycare Facility	P	P	
Library		P	
Museum		P	
Park or Playground	P	P	P
Passenger Terminal		P	P
Place of Public Assembly	L	L	
Plaza	P	P	P
Public Service Facility	P	P	L
School, Primary or Secondary	P	P	
Special Event	S	S	S
Commercial and Service			
Bank/Credit Union	P	P	
Bar/Tavern	P	P	
Brewing/Distillery/Winery Production w/ on premise consumption	P	P	
Commercial Amusement, Indoor		P	
Commercial Amusement, Outdoor		P	
Farmer's Market	P	P	
Kennel	S	S	
Marijuana-Related Uses	L	L	
Personal Services	P	P	
Restaurant	P	P	
Retail Sales	P	P	
Veterinary Services, Small Animal	P	P	
Non-Residential and Mixed-Use Accessory			
Accessory Structures	L	L	L
Drive-Through Facility	L	L	
Garden Center	L	P	
Mobile Vending	S	S	S
Outdoor Display & Sales	L	L	
Refuse Containers	P	P	P
Vehicle Wash	L	L	
Office			
Professional Office	P	P	
Medical Office	P	P	
Parking, Free-Standing			
Parking Lot or Parking Garage (Commercial)		S	
Parking Lot (Off-Site)		S	
Industrial			
Rock Crushing	S	S	S
Bus Storage			
General Utilities			

Utility, Major	S	S	S
Utility, Minor	P	P	P
Renewable Energy Uses			
Solar Energy, Accessory	P	P	P
Wind Energy, Accessory	P	P	P
Geothermal Heat Exchange, Accessory	P	P	P
Telecommunications Uses			
Wireless Telecommunication Facility	S	S	S
Waste-Related Services			
Disposal/Recycling Facility			S
Transportation			
Transit Center/Bus Stations	P	P	P
Gondola/Ski Lift	P	P	P
Recreation			
Parks	P	P	P
Picnic Shelters	P	P	P
Sports Field	P	P	P
Sports Courts	P	P	P



DIMENSIONAL STANDARDS

The Land Use Summary provides a summary of the planning areas, proposed densities, commercial square feet, and dwelling units per acre.

LAND USE SUMMARY

COOPER CREEK VILLAGE (CCV) PROPERTY

PLANNING AREA	USE	ACRES	PERCENT OF TOTAL	MAXIMUM RESIDENTIAL DENSITY DU/AC	MAXIMUM # OF RESIDENTIAL UNITS	MAXIMUM # OF LODGING UNITS	MAXIMUM COMMERCIAL SQ. FT.
NORTH VILLAGE							
NPA-1	RESIDENTIAL	7.4	13.8%	15	111		
NPA-2	RESIDENTIAL	1.1	2.1%	20	22		
SOUTH VILLAGE							
SPA-3	RESIDENTIAL	11.3	21.2%	20	225		
SPA-4	RESIDENTIAL	4.8	9.1%	20	97		
EAST VILLAGE							
EPA-5	MIXED USE	8.0	14.9%	28	223	200	15,000
EPA-6	RESIDENTIAL	6.3	11.8%	15	95		
WEST VILLAGE							
WPA-7	RESIDENTIAL	7.9	14.8%	5	40		
WPA-8	RESIDENTIAL	1.9	3.5%	20	38		
OPEN SPACE							
PA-9	PUBLIC OPEN SPACE	4.7	8.7%				
TOTAL		53.3	100.0%		650*	200±	15,000±

COOPER CREEK SOUTH PARCEL (CCS) & COOPER CREEK NORTH PARCELS (CCN)

PLANNING AREA	USE	ACRES	% OF TOTAL	MAXIMUM RESIDENTIAL DENSITY DU/AC	MAXIMUM # OF RESIDENTIAL UNITS	MAXIMUM # OF LODGING UNITS	MAXIMUM COMMERCIAL SQ. FT.
CCS PA-1	MIXED USE	1.9	32.8%	40	76	200	25,000
CCN PA-2	MIXED USE	3.9	67.2%	40	156	320	75,000
TOTAL		5.8	100.0%		225*	520±	100,000±

Commented [JS3]: Add footnote that this includes existing square footage of Cooper Creek Shopping Center

* REPRESENTS MAXIMUM ALLOWED TOTAL UNITS/SQ. FT. PER THIS FDP. TOTAL NUMBER OF UNITS MAY NOT EXCEED

650 RESIDENTIAL UNITS WITHIN COOPER CREEK VILLAGE PROPERTY AND 225 RESIDENTIAL UNITS WITHIN COOPER CREEK SOUTH AND COOPER CREEK NORTH PARCELS.

* REPRESENTS MAXIMUM ALLOWED TOTAL DWELLING UNITS PER THIS FDP. THE MAXIMUM # OF RESIDENTIAL UNITS COLUMN IS THE MAXIMUM DENSITY PERMITTED FOR EACH PLANNING AREA. THE TOTAL NUMBER OF UNITS MAY NOT EXCEED 650 RESIDENTIAL UNITS WITHIN COOPER CREEK VILLAGE PROPERTY AND 225 RESIDENTIAL UNITS WITHIN COOPER CREEK SOUTH AND COOPER CREEK NORTH PARCELS.

Commented [JS4]: Need to add footnote explaining how the 10% change in planning area acreage and 10% density transfer affects the maximum # of residential units column.

DIMENSIONAL STANDARDS TABLE

Planning Area	Residential Minimum Lot Size		Maximum Building Height (1)		Front Setback (2)	Side Setback	Rear Setback	Max. Building Coverage
	SFD	SFA & Townhomes	SFD, SFA & Townhomes	MF				
CCS PA-1	1,250 sf	1,250 sf	40 feet	75/55 Feet (5,11)	0 feet (3)	0 feet	0 feet	n/a
CCN PA-2	1,250 sf	1,250 sf	40 feet	75 feet (11)	0 feet (3)	0 feet	0 feet	n/a
NPA-1	1,250 sf	1,250 sf	40 feet (12)	50 feet	5 feet (3)	5 feet	5 feet	Note 6, 7, 8
NPA-2	1,250 sf	1,250 sf	40 feet	50 feet	5 feet (3)	5 feet	5 feet	Note 6, 7, 8
EPA-5	1,250 sf	1,250 sf	40 feet	75/55 feet (5,11)	0 feet (3)	0 feet	0 feet	n/a
EPA-6	1,250 sf	1,250 sf	40 feet	50 feet	10 feet (3)	5 feet	10 feet	Note 6, 7, 8
SPA-3	1,250 sf	1,250 sf	40 feet	50 feet	10 feet (3)	5 feet	10 feet	Note 6, 7, 8
SPA-4	1,250 sf	1,250 sf	40 feet	50 feet	10 feet (3)	5 feet	10 feet	Note 6, 7, 8
WPA-7	3,500 sf	1,250 sf	40 feet	50 feet	10 feet (3)	5 feet	10 feet	Note 6, 7, 8
WPA-8	3,500 sf	1,250 sf	40 feet (14)	50 feet (14)	10 feet (3)	5 feet	10 feet	Note 8, 9, 10, 7, 8
PA-9	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a

Dimensional Standards Table Notes

- As defined in the Town of Winter Park Ordinance 324, Series of 2002, as amended
- Front setback measured from right of way or private access easement.
- Public Right-of-Way: Front loaded garages shall be a minimum of 20 feet from the public right-of-way. Side loaded garages may have 10-foot front setback from the right-of-way. Front loaded and side loaded garages located on a public right-of-way shall have a 20-foot minimum parking apron that is measured from face of garage to edge of property line adjacent to the public right-of-way.
- Private Right-of-Way or Access Easement: Front loaded or rear loaded garages from private drives shall be a maximum of 5 feet from the property line or 20 feet from the property lines based on approved setbacks for the Planning Area. Lots with unique topographic and/or geometric configurations, the garage can be a maximum of 7 feet from the property line if at least one portion of the garage remains at 5 feet from the property line. Side loaded garages shall have a 20-foot minimum parking apron that is measured from face of garage to edge of property line. Side loaded garages may have a 10-foot setback from private right-of-way or access easement.
- The building height shall be a maximum of 75 feet for structures that allocate a minimum of 60% of the units for Overnight Accommodation Units (OAU). The maximum building height for multi-family projects that do not an OAU shall be 55 feet.
- Planning areas that contain attached single-family dwelling and multifamily (townhomes, condominiums, apartments) shall have 60% maximum building coverage requirement. Individual lots shall not be required to meet building coverage requirements. Mixed attached and detached units in the same planning area shall have 85% building coverage requirement. Setbacks and maximum building coverage requirements for mixed use developments shall be based on the requirements which apply to the dominant use on the first floor. (Refer to the Unified Development Code)
- Planning areas that contain detached single-family dwellings on lots less than 10,000 sq. ft. shall have a maximum building coverage of 40%. Individual lots shall not be required to meet building coverage requirements. Mixed attached and detached units in the same area shall have a maximum building coverage of 50%.
- Planning areas that contain detached single-family dwellings on lots greater than 10,000 sq. ft shall have a maximum building coverage of 50% on each individual lot.
- Side yard setbacks shall not apply to Multifamily buildings and single family attached units with a common wall.

10. There shall not be a minimum lot frontage requirement for residential uses. For commercial uses refer to the Unified Development Code.
11. Build to ~~l~~ines shall apply to public right-of-way frontage. The build to line shall be measured from the public right-of-way. Buildings greater than 55 feet in height should not exceed 40 feet at the ~~bu~~ild to ~~l~~ine. Buildings may increase to 75 feet within a bulk plane, defined by a 45-degree line cast from any point above the 40 feet ~~bu~~ild to ~~l~~ine.
12. Structures located within the northwest quadrant of NPA-1 shall only be single family attached or detached units (see Land Use Plan for approximate location). These structures shall not exceed a maximum building height of 35'.
13. A 30' landscape buffer shall be located within the northwest quadrant of NPA-1 adjacent to Idlewild Meadows Subdivision (see Land Use Plan for approximate location). The ~~bu~~ffer-yard ~~classification Type C classification C Standards~~ outlined in the Unified Development Code shall apply.
14. A 20' landscape buffer will be required along the west side of Planning Area WPA-8 if structures exceed a maximum height of 35'. ~~The bufferyard classification Type C outlined in the Unified Development Code shall apply.~~
15. Single family detached, single family attached, townhomes and multi-family located on corner lots shall have a minimum 10' side yard setback.

WILDLIFE PROTECTION STANDARDS

An important focus of the Cooper Creek Final Development Plan is to reduce impacts on the natural environment and animal communities that inhabit the area.

In addition to recommendations outlined in the 2007 Natural Resources Assessment, the following are additional mitigation recommendations. In accordance with Section 8.2 of the FDP, Town Staff may require wildlife mitigation measures be implemented to minimize the impacts of new development on wildlife. Such mitigation measures may include, without limitation, the Town requiring use of one or more of the following management practices:

1. Protect locally important wildlife habitat areas such as the two natural tributary drainage corridors.
2. Maintain open travel corridors along the drainages.
3. Minimize disturbance and stress to wildlife.
4. Kennel all domestic dogs.
5. Design hike/bike trails to avoid disturbance to potential foraging areas.
6. Require dogs on trails to be on a 6-foot or less leash.
7. Utilize and incorporate wildlife proof trash containers.

~~An important focus of the Cooper Creek Final Development Plan is to incorporate land uses and amenities into the natural environment and animal communities that inhabit the area.~~

~~In addition to recommendations outlined in the Natural Resources Assessment, the following are additional mitigation directives and considerations. Outlined below are some management prescriptions that can reduce human related stress and disturbance to elk and moose within the Annexation Property include the following:~~

- ~~1. Protect locally important wildlife habitat areas such as the two natural tributary drainage corridors.~~
- ~~2. Maintain open travel corridors along the drainages.~~
- ~~3. Minimize disturbance and stress to wildlife.~~
- ~~4. Kenneling all domestic dogs.~~
- ~~5. Designing hike/bike trails to avoid disturbance to potential foraging areas.~~
- ~~6. Requiring dogs on trails to be on a 6 foot or less leash.~~
- ~~7. Utilize and incorporate wildlife proof trash containers.~~

Exhibit C PLANS

Vicinity Map

Existing Conditions & Site Analysis Exhibit

Zoning Plan

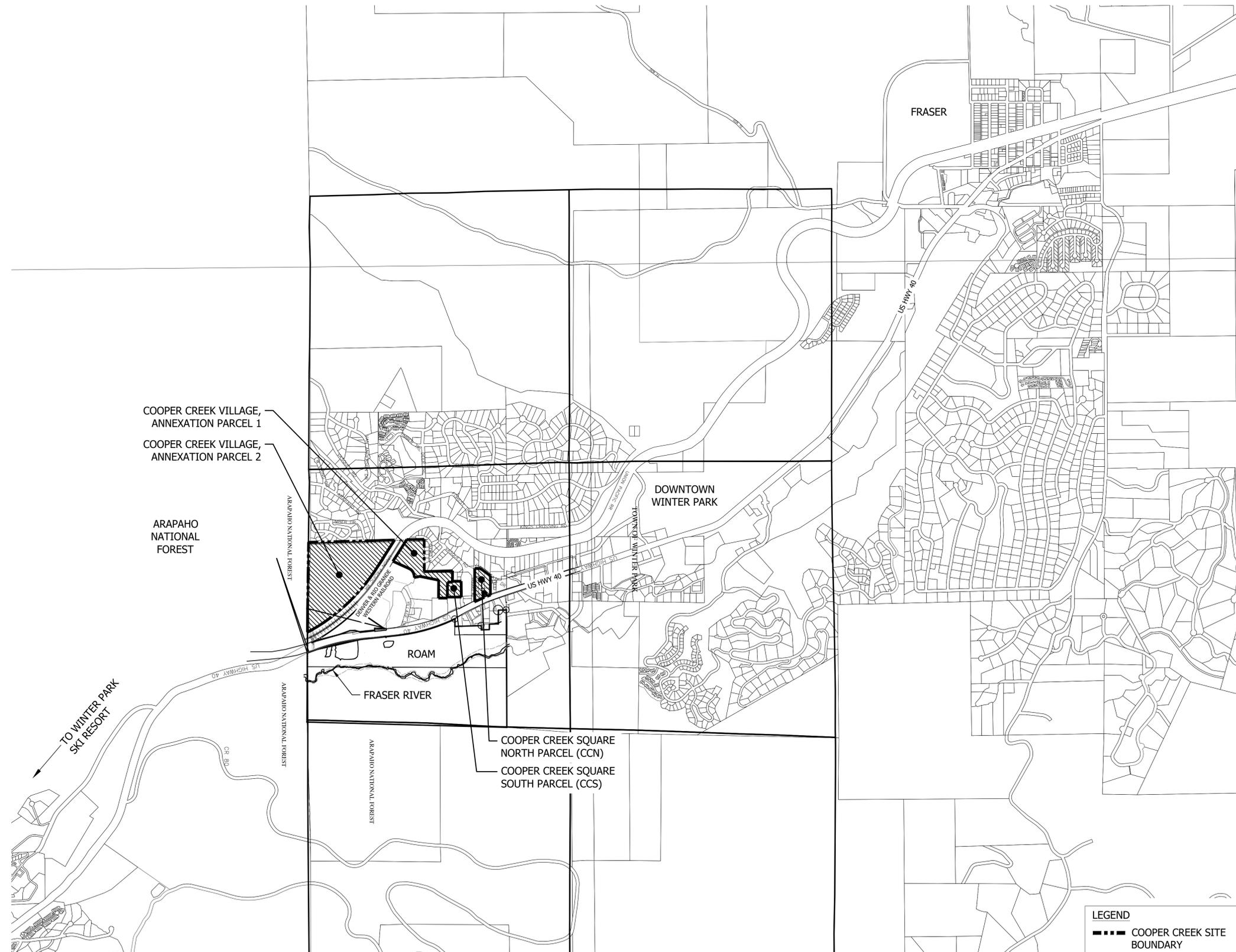
Land Use Plan

Multi-Model Plan

Conceptual Grading Plan

COOPER CREEK VILLAGE & COOPER CREEK SQUARE FINAL DEVELOPMENT PLAN

LOCATED IN THE TOWN OF WINTER PARK,
COUNTY OF GRAND, STATE OF COLORADO
VICINITY MAP



LEGEND
 - - - COOPER CREEK SITE BOUNDARY

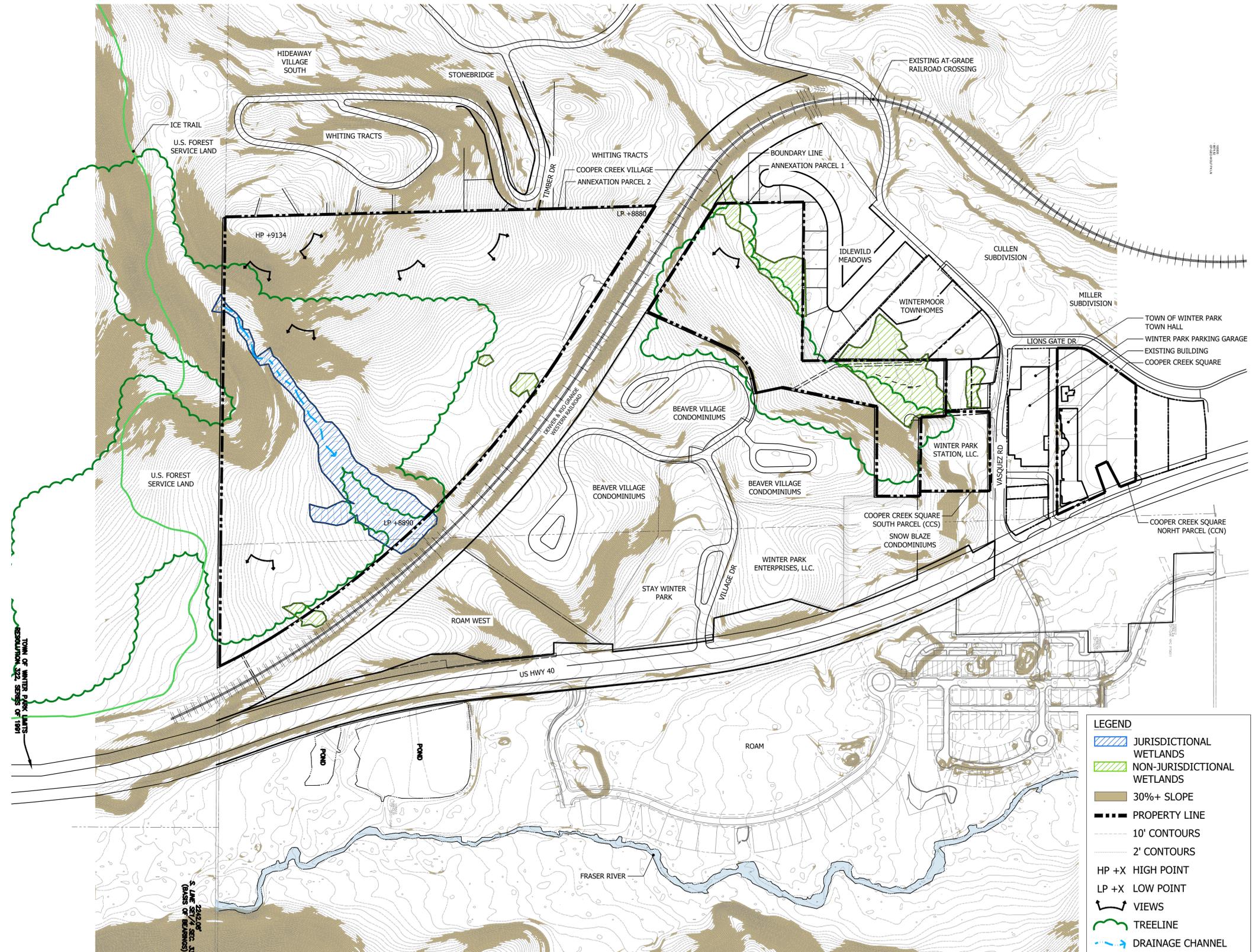
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 0 500 1000 2000

VOGEL & ASSOCIATES
 475 W. 12th Avenue - Suite E
 Denver, Colorado 80204-3688
 (303) 893-4288

h:\vogel\cooper creek\cad\cooper creek - vicinity map.dwg

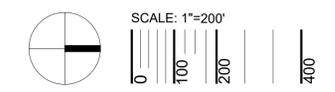
COOPER CREEK VILLAGE & COOPER CREEK SQUARE FINAL DEVELOPMENT PLAN

LOCATED IN THE TOWN OF WINTER PARK,
COUNTY OF GRAND, STATE OF COLORADO
EXISTING CONDITIONS AND SITE ANALYSIS



LEGEND

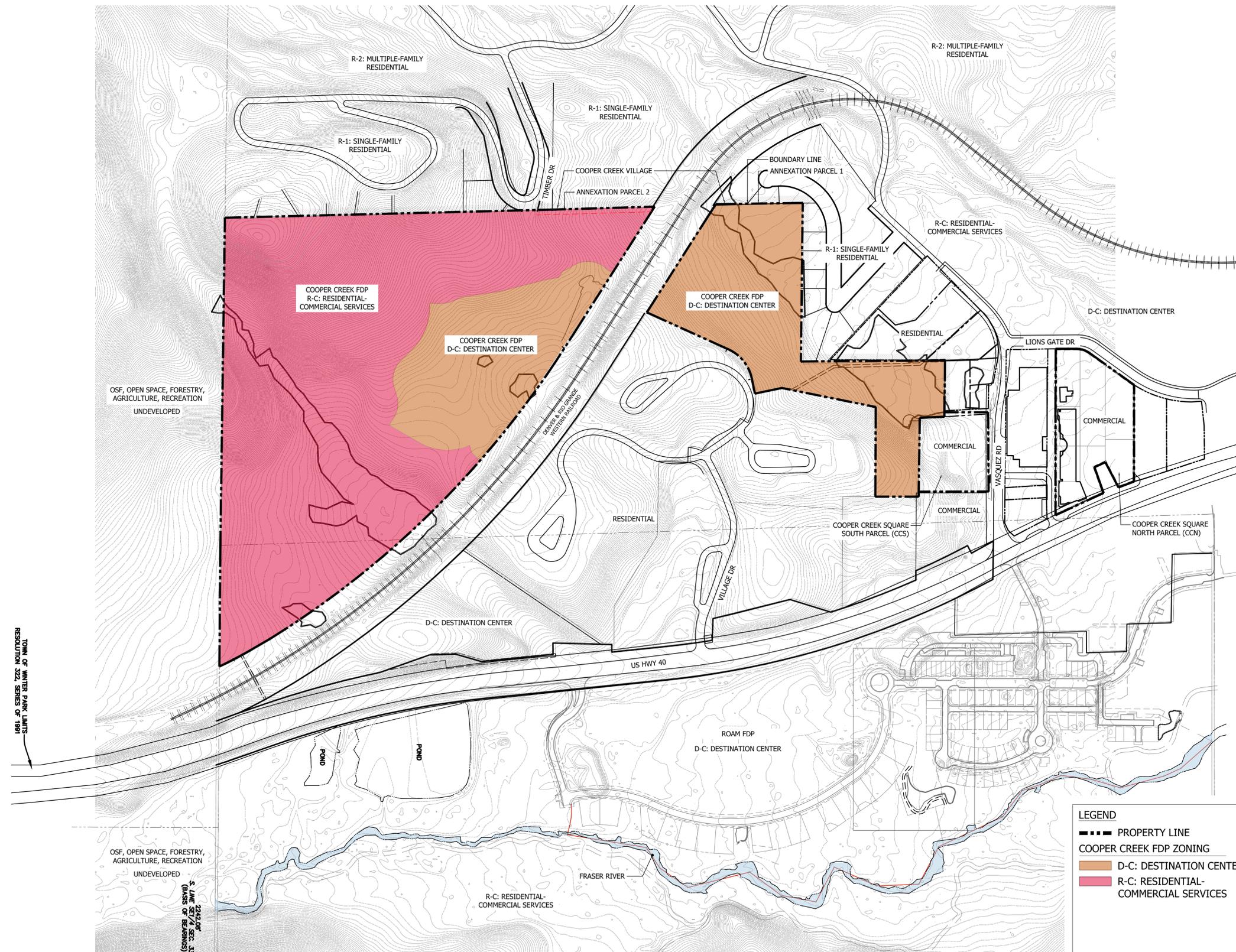
- JURISDICTIONAL WETLANDS
- NON-JURISDICTIONAL WETLANDS
- 30%+ SLOPE
- PROPERTY LINE
- 10' CONTOURS
- 2' CONTOURS
- HP +X HIGH POINT
- LP +X LOW POINT
- VIEWS
- TREE LINE
- DRAINAGE CHANNEL



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COOPER CREEK VILLAGE & COOPER CREEK SQUARE FINAL DEVELOPMENT PLAN

LOCATED IN THE TOWN OF WINTER PARK,
COUNTY OF GRAND, STATE OF COLORADO
ZONING PLAN



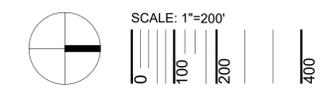
LEGEND

- PROPERTY LINE
- COOPER CREEK FDP ZONING
- D-C: DESTINATION CENTER
- R-C: RESIDENTIAL-COMMERCIAL SERVICES

TOWN OF WINTER PARK LIMITS
RESOLUTION 322, SERIES OF 1991

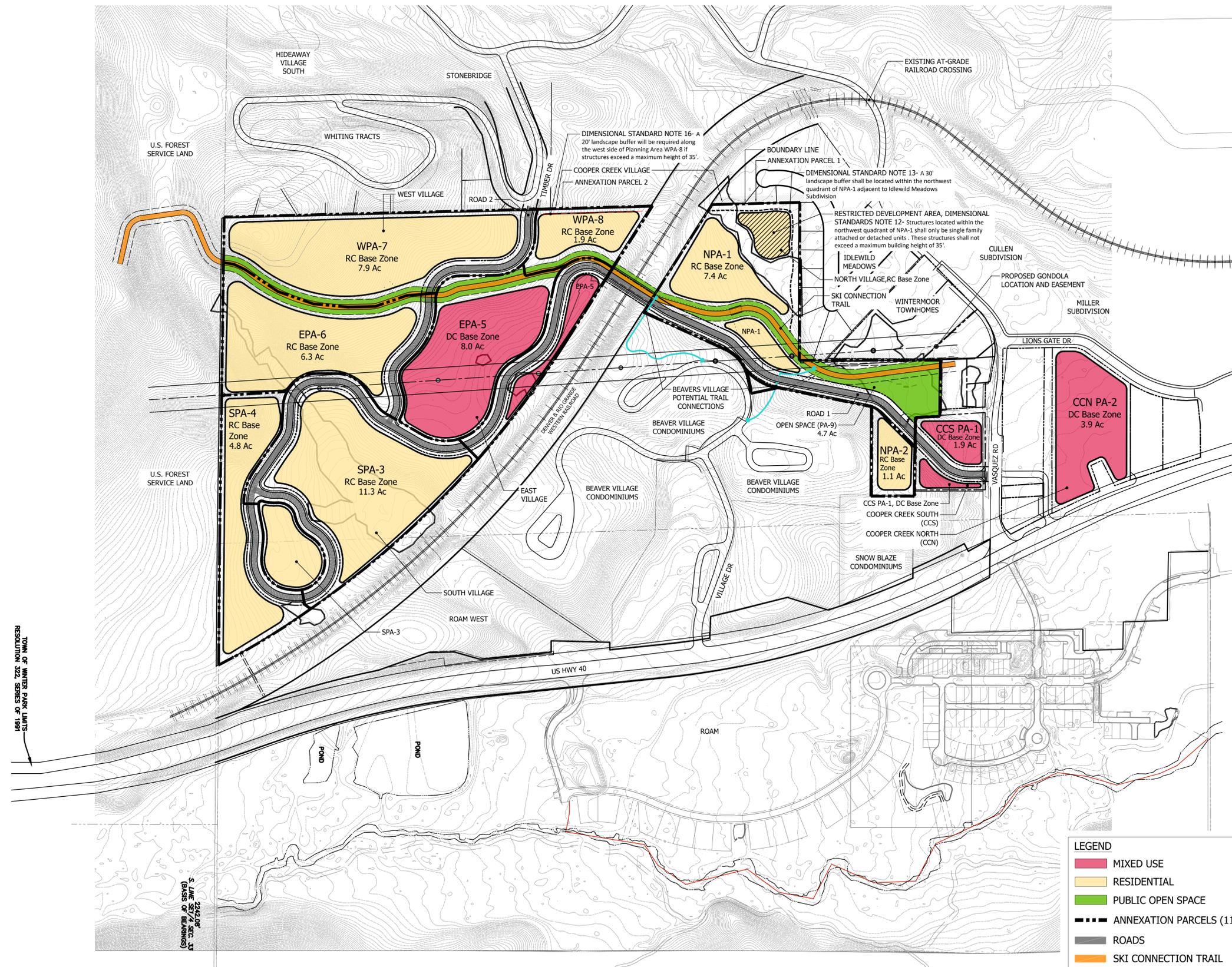
S. 1/4 SEC. 35
T. 24N. R. 35E.
(BASED ON RECORDS)

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COOPER CREEK VILLAGE & COOPER CREEK SQUARE FINAL DEVELOPMENT PLAN

LOCATED IN THE TOWN OF WINTER PARK,
COUNTY OF GRAND, STATE OF COLORADO
LAND USE PLAN



TOWN OF WINTER PARK LIMITS
RESOLUTION 322, SERIES OF 1991

S. LINE 2242.00'
(BASED ON BEARINGS)

LEGEND

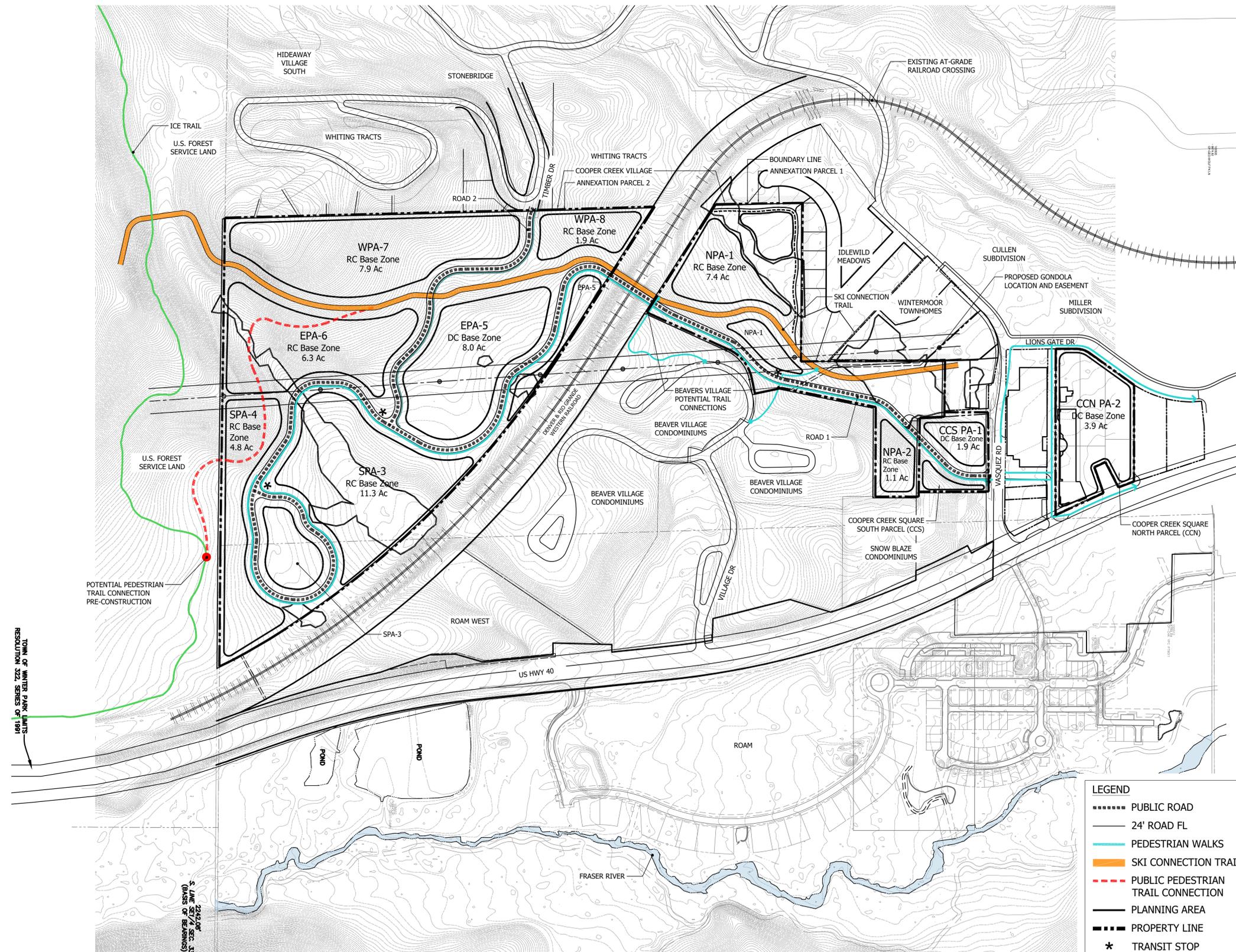
- MIXED USE
- RESIDENTIAL
- PUBLIC OPEN SPACE
- ANNEXATION PARCELS (11)
- ROADS
- SKI CONNECTION TRAIL

SCALE: 1"=200'

VOGEL & ASSOCIATES
475 W. 12th Avenue - Suite E
Denver, Colorado 80204-3688
(303) 893-4288

COOPER CREEK VILLAGE & COOPER CREEK SQUARE FINAL DEVELOPMENT PLAN

LOCATED IN THE TOWN OF WINTER PARK,
COUNTY OF GRAND, STATE OF COLORADO
MULTI-MODAL CIRCULATION PLAN



LEGEND

- PUBLIC ROAD
- 24' ROAD FL
- PEDESTRIAN WALKS
- SKI CONNECTION TRAIL
- - - PUBLIC PEDESTRIAN TRAIL CONNECTION
- PLANNING AREA
- PROPERTY LINE
- * TRANSIT STOP

TOWN OF WINTER PARK LIMITS
RESOLUTION 322, SERIES OF 1991

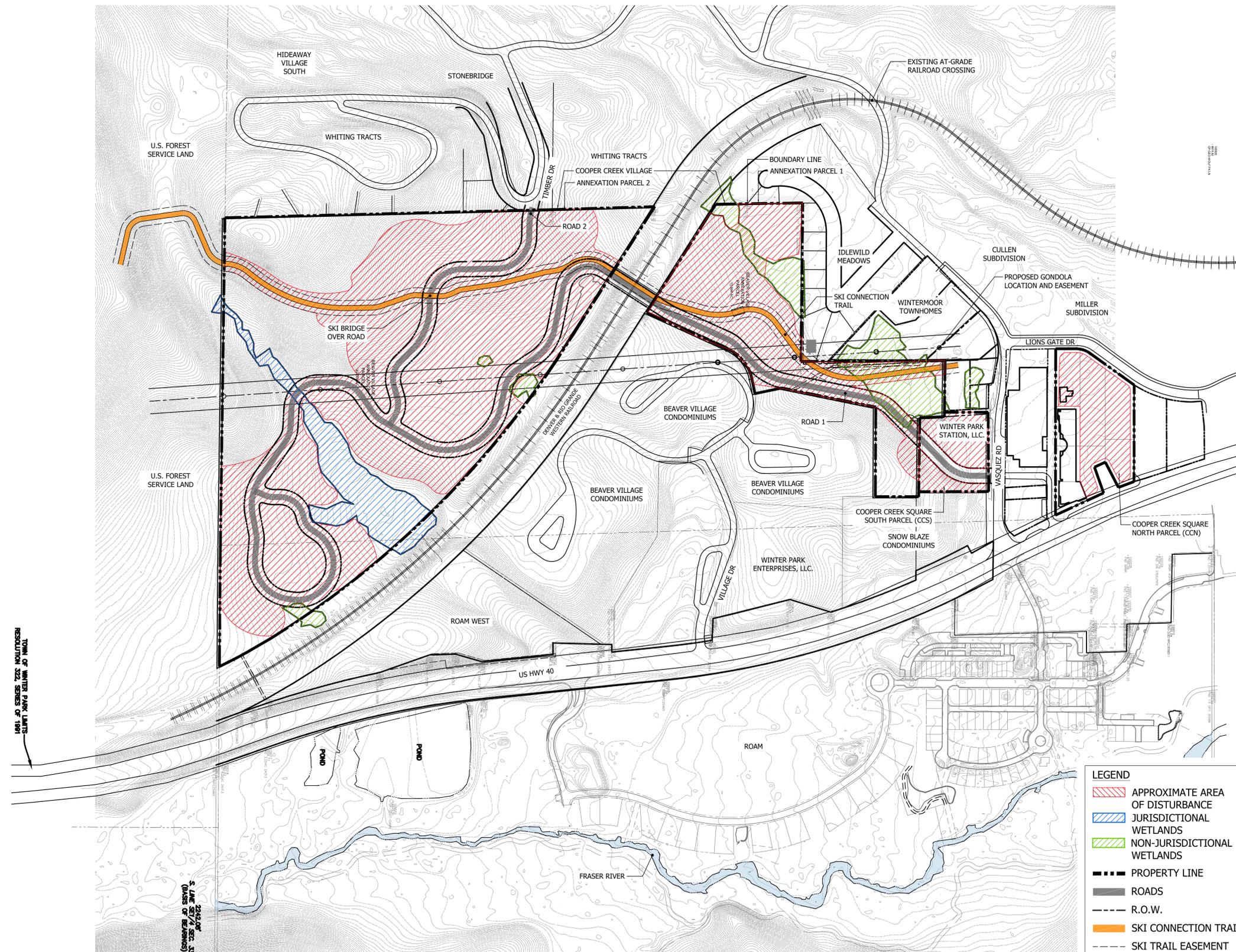
S. LINE 2242.00'
(BASED ON BEARINGS)

SCALE: 1"=200'

VOGEL & ASSOCIATES
475 W. 12th Avenue - Suite E
Denver, Colorado 80204-3688
(303) 893-4288

COOPER CREEK VILLAGE & COOPER CREEK SQUARE FINAL DEVELOPMENT PLAN

LOCATED IN THE TOWN OF WINTER PARK,
COUNTY OF GRAND, STATE OF COLORADO
CONCEPTUAL GRADING PLAN



TOWN OF WINTER PARK LIMITS
RESOLUTION 302, SERIES OF 1991

S. 1/4 SEC. 35
T. 234 N. R. 35 E.
(BASED ON RECORDS)

LEGEND

- APPROXIMATE AREA OF DISTURBANCE
- JURISDICTIONAL WETLANDS
- NON-JURISDICTIONAL WETLANDS
- PROPERTY LINE
- ROADS
- R.O.W.
- SKI CONNECTION TRAIL
- SKI TRAIL EASEMENT

SCALE: 1"=200'

0 100 200 400

VOGEL & ASSOCIATES
475 W. 12th Avenue - Suite E
Denver, Colorado 80204-3688
(303) 893-4288

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MEMO

TO Planning Commission
FROM Hugh Bell, Planner
THROUGH James Shockey, Community Development Director
DATE August 9, 2022
RE Minor Site Planning Application – Lot 5, Bridger’s Cache Subdivision – 244 Bridger Trail
(PLN22-073)

Applicant: Tyler Huber with Steffen Builders West

Owner: Rohan and Shellina Clarke

Architect: Rory Bilocerkowycz with Surround Architecture

Zoning: R-2 (Multiple Family) with P-D underlay. Governed by Bridger’s Cache FDP (Ordinance 315, Series 2001, Reception No. 2001012303).

Authority:
Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Planning Commission considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park. Design approval is required before building permit issuance.

Variance:
No administrative or Board of Adjustment (BOA) variance requests are included with the application.

Architectural:
New single-family detached home on vacant land with two (2) garage spaces and a building footprint of 5,357 sq. ft.

Title Commitment:
Satisfactory.

Homeowner’s Association Review:
Satisfactory. The Bridger’s Cache Owners Association Board of Directors provided approval in a letter dated June 22, 2022.

Material and Color:
Satisfactory.

Outdoor Lighting:

Unsatisfactory. Two (2) fixtures are proposed but do not contain the International Dark Sky Association (IDA) approval stamp. The Correlated Color Temperature (CCT) is not indicated but it shall not exceed 3,000 Kelvin. Lumens exceed that permitted; the entire property shall not exceed 5,100 lumens, and each fixture shall not exceed 850 lumens. Photometric plans are not required for single-family homes.

Fixture Name	Proposed # of Fixtures	Proposed Lumens	Proposed CCT
Sonneman Lighting Sword Indoor/Outdoor or LED Wall Sconce	6	1190	3000K
Kuzco Lighting Newport Rectangular LED Outdoor Step Light	?	600	3000K

- In accordance with Article 3.K, *Outdoor Lighting* from the UDC, Applicant shall submit specification sheet for all proposed outdoor lighting fixtures, which shall be IDA approved, shall not exceed 850 lumens per fixture, and whose bulb CCT shall not exceed 3,000K. The entire property shall not exceed 5,100 lumens.
- In accordance with Article 3.K, Applicant shall submit elevation drawings with fixture locations highlighted. Fixtures shall only illuminate functional and task areas.

Accessory Dwelling Unit (ADU):

N/A. No ADU is contemplated.

Site Plan:

Satisfactory.

Floorplans:

Satisfactory.

Building Elevations:

Satisfactory.

Setbacks:

Partially satisfactory. The north side yard setback is ~10' but shall be at least 11' given side yard setbacks are dictated by the R-2 zone district requirements. The north side of the house is three (3) stories – 5' plus 3' for each story above the first.

Per the Bridger's Cache FDP (Reception No. 2001-012303), setbacks are unique in that they are determined both by the building envelope boundaries as seen on the Final Plat (Reception No. 2002-014253) as well as by the following:

N Boundary – Adj. R-2 P-D lot, vacant Bufferyard B – 187 linear ft	7.5	-	7.5	1	37.4	6	-	8 Evergreen Trees 7 Deciduous Trees 31 Shrubs
S Boundary – Adj. R-2 P-D lot, built Bufferyard B – 184 linear ft	7.5	-	7.5	5	36.8	6	-	8 Evergreen Trees 3 Deciduous Trees 31 Shrubs
E Boundary – Adj. R-2 P-D lot, open space Bufferyard B – 80 linear ft	3.2	-	3.2	1	16	8	-	3 Evergreen Trees 2 Deciduous Trees 8 Shrubs
W Boundary – Bridger Trail Bufferyard B – 80 linear ft	3.2	-	3.2	3	16	4	-	3 Evergreen Trees 12 Shrubs

- Applicant shall add required plantings to bufferyards outlined in table or shall submit an Administrative Variance Request to staff prior to Certificate of Occupancy issuance.
- Any disturbed areas on the site shall be revegetated with the seed mix recommended by the Grand County Natural Resource Conservation Service, which mix composition is described in § 7.4 of the Standards and Specifications for Design and Construction.

Snow Storage:

Unsatisfactory. This is not indicated on a site plan exhibit. UDC, § 3-H-5, *Parking Design Standards* requires that a minimum of 25% of all driving surfaces, including gravel shoulders, parking areas, and pedestrian walkways is designated for snow storage.

- Applicant shall indicate snow storage locations on a site plan exhibit for staff’s review.

Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:

Satisfactory.

- Approved drainage and erosion control shall be in place prior to and throughout site preparation and construction and through successful revegetation.

Driveway:

Unsatisfactory. Maximum slope is 10% which is above the 5% maximum permitted. UDC § 3-H-5, *Parking Design Standards*.

- Applicant shall revise maximum driveway slope to conform with 5% maximum per UDC § 3-H-5 or submit a BOA Variance Request to staff prior to Certificate of Occupancy issuance.
- A stabilized construction entrance shall be installed prior to ground disturbance.

Utility Review: N/A

Wetlands: N/A

Inspection:

Building Division staff have not performed a Pre-Disturbance inspection of the property.

- No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Staff Recommendation:

Staff recommends the Planning Commission approve the Minor Site Planning Application for Lot 5, Bridger's Cache Subdivision – 244 Bridger Trail (PLN22-073) with the following conditions:

1. In accordance with Article 3.K, Outdoor Lighting from the UDC, Applicant shall submit specification sheet for all proposed outdoor lighting fixtures, which shall be IDA approved, shall not exceed 850 lumens per fixture, and whose bulb CCT shall not exceed 3,000K. The entire property shall not exceed 5,100 lumens.
2. In accordance with Article 3.K, Applicant shall submit elevation drawings with fixture locations highlighted. Fixtures shall only illuminate functional and task areas.
3. Applicant shall revise site plan to show 11' side yard setback for the north property line or shall submit a BOA Variance Request to staff prior to Certificate of Occupancy issuance.
4. Applicant shall indicate existing and proposed grades on elevation drawings for staff to properly measure building height.
5. Applicant shall add required plantings to bufferyards outlined in table or shall submit an Administrative Variance Request to staff prior to Certificate of Occupancy issuance.
6. Any disturbed areas on the site shall be revegetated with the seed mix recommended by the Grand County Natural Resource Conservation Service, which mix composition is described in § 7.4 of the Standards and Specifications for Design and Construction.
7. Applicant shall indicate snow storage locations on a site plan exhibit for staff's review.
8. Approved drainage and erosion control shall be in place prior to and throughout site preparation and construction and through successful revegetation.
9. Applicant shall revise maximum driveway slope to conform with 5% maximum per UDC § 3-H-5 or submit a BOA Variance Request to staff prior to Certificate of Occupancy issuance.
10. A stabilized construction entrance shall be installed prior to ground disturbance.
11. No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Required Permits:

- ✓ Building Permit
- ✓ Driveway Permit
- ✓ SFD/Duplex Deposit Agreement



MINOR SITE PLANNING APPLICATION FORM

The Planning Division is here to assist you with your Minor Site Planning Application (“Application”) pursuant to Site Planning (Sec. 5-E-1) in the Unified Development Code (UDC). Applications are administratively and legislatively reviewed and approval is required. The Application will be reviewed in accordance with the procedures and requirements outlined in Sec. 5-E-1 in the UDC.

This publication outlines the Minor Site Planning Application process and submittal requirements.

All submittal items shall be submitted in PDF format in accordance with the Site Planning File Naming Conventions to permits@wpgov.com. Ensure your application is complete by checking each of the required submittal (RS) boxes below.

1 Required Items			
Plan Sheet(s)	RS*	Item #	Submittal Items
	<input checked="" type="checkbox"/>	1.	Minor Site Planning Application Form. Executed.
	<input checked="" type="checkbox"/>	2.	Title Commitment. Including Schedules A and B. The applicant shall provide a title insurance commitment proving the applicant’s ownership of the land to be platted and that all land to be dedicated or conveyed to the Town is free and clear from all liens and encumbrances except as expressly agreed to by the Town.
	<input checked="" type="checkbox"/>	3.	Driveway Permit Application. Executed.
	<input checked="" type="checkbox"/>	4.	HOA Architectural Control Committee Approval Letter. If property is governed by HOA.
	<input checked="" type="checkbox"/>	5.	Narrative. Shall include the following: <ul style="list-style-type: none"> A. Project name. B. Street address. C. Name, address, email and telephone number of owner, applicant, HOA, project manager, architect, engineer, surveyor, and land planner, as applicable. D. Legal description. E. Zoning district. F. Lot size (acreage and sq. ft.). G. All proposed uses. H. Number of dwelling units. I. Number of bedrooms per dwelling unit. J. Size of residential space (sq. ft.). K. Number of proposed off-street parking spaces. L. Construction schedule indicating major milestones for project.
	<input checked="" type="checkbox"/>	6.	Project Drawings. Shall contain project name, legal description, date of preparation, north arrow, legend, vicinity map, and topography at two-foot (2’) intervals. Shall be sized ARCH D (24”x36”).
	<input checked="" type="checkbox"/>	6A.	Topographic Survey.
	<input checked="" type="checkbox"/>	6B.	Construction Plans. Shall have a minimum scale of 1”=20’ and be in conformance with the Standards and Specifications for Design and Construction. All plans shall be at the same scale and shall align with one another. <ul style="list-style-type: none"> A. Grading and Drainage Plan. B. Revegetation, Erosion, and Sediment Control Plan.

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>6C. Site Plan. Shall have a minimum scale of 1"=20'. All elements listed below shall be dimensioned.</p> <p>A. Building coverage ratio table. Shall include area (sq. ft. and acreage) of the following: building footprint (including roof overhangs, decks, porches, balconies, and patios); drives, sidewalks, and parking areas; easements; areas to be designated open space; the site's total acreage; and percentage of building coverage to open space.</p> <p>B. Driveway. Slope, dimensions, and culvert locations, if any.</p> <p>C. Easements, proposed and existing, public and private. Type and location.</p> <p>D. Environmental features. Includes riparian buffers, floodplains, floodways, and floodway fringes, wetlands, forests and woodlands, slopes greater than twenty percent (20%), slopes greater than thirty percent (30%), and geologic hazard areas.</p> <p>E. Limit of disturbance.</p> <p>F. Other improvements. Retaining walls, berms, trash receptacles, trash enclosures, fencing, signage, fire features, water features, hot tubs, pools, affixed barbeque grills, outdoor kitchens, sculptures, etc.</p> <p>G. Parking areas for construction workers' vehicles.</p> <p>H. Parking spaces.</p> <p>I. Property lines.</p> <p>J. Protection notes.</p> <p style="padding-left: 40px;">a. "No disturbance, grading, or removal of significant natural features and vegetation will occur beyond the "limit of disturbance" line, as shown on this plan."</p> <p style="padding-left: 40px;">b. "The "limit of disturbance" line shall be delineated prior to construction with flags, roping, four foot (4') tall orange construction fencing, or other acceptable means."</p> <p>K. Setback distances as required by zoning district. From all property lines.</p> <p>L. Setback distances from all existing and proposed structures, including retaining walls. Draw a line to tie the structure to a point on the property line.</p> <p>M. Snow storage areas.</p> <p>N. Storage areas for soil, construction equipment, and other materials.</p> <p>O. Street addresses or unit numbers.</p> <p>P. Street ROW, proposed and existing, public and private. Type, location, and name.</p> <p>Q. Structures, proposed and existing.</p> <p>R. Top of foundation elevations. For main corners of each structure.</p> <p>S. Utilities, proposed and existing. For mains and service lines.</p> <p>T. Walkways and paths.</p>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>6D. Building Elevations. See Article 3.A, <i>Lot and Building Standards</i>. Shall have a minimum scale of 1/8"=1'.</p> <p>A. Profiles.</p> <p>B. Location where buildings intersect the existing and proposed grades for each profile.</p> <p>C. Building materials. Shall be annotated to correspond with Building Materials Board.</p> <p>D. Location of outdoor lighting fixtures.</p>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>6E. Floorplans. Shall have a minimum scale of 1/8"=1'. All plans shall be at the same scale and shall align with one another. Shall include a roof plan.</p>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>6F. Landscaping Plan. See Article 3.I, <i>Landscaping, Buffering, and Screening</i>. Shall have a minimum scale of 1"=20'. Shall include the following:</p> <p>A. Tabulation of required bufferyard types per property line and list of proposed plantings proposed per property line.</p> <p>B. Property lines labeled with required bufferyard types.</p> <p>C. Structures, existing and proposed.</p> <p>D. Landscaping, existing and proposed.</p> <p>E. Hardscaping, existing and proposed.</p>

			F. Top-of-wall and bottom-of-wall elevations of all retaining walls and site walls.
	<input checked="" type="checkbox"/>	6G.	Tree Removal and Protection Plan. See Article 3.G, <i>Tree Removal and Protection</i> . All trees proposed for protection greater than four inches (4") in caliper.
	<input checked="" type="checkbox"/>	7.	Outdoor Lighting Board. See Article 3.K, <i>Outdoor Lighting</i> . Shall include cut sheets for all proposed outdoor lighting fixtures with International Dark Sky Association (IDA) Approval Symbol. Shall indicate mounting heights.
	<input checked="" type="checkbox"/>	8.	Building Materials Board. Shall be annotated to correspond with Building Elevations. Shall include photographs of swatches demonstrating color and material composition for the following: A. Doors B. Fascia C. Fencing D. Foundation E. Gates F. Glass type G. Roofs H. Siding I. Window and door trim J. Window glass type
	<input checked="" type="checkbox"/>	9.	Renderings. Shall be 3D, in color, and accurate in scale.
	<input checked="" type="checkbox"/>	10.	Wetland Delineation. See Article 3.C, <i>Resource Identification and Sensitive Lands Protection</i> . If applicable.
	<input checked="" type="checkbox"/>	11.	Hillside and Ridgeline Development Study. See Article 3.C, <i>Resource Identification and Sensitive Lands Protection</i> . If impacting slopes greater than twenty percent (20%).
	<input checked="" type="checkbox"/>	12.	Single-Family/Two-Family Attached Dwelling Deposit Agreement. Executed.
	<input checked="" type="checkbox"/>	13.	File Naming Conventions. All Minor Site Planning Applications shall be submitted pursuant to the Site Planning File Naming Conventions.
Required Submittal (RS*) = <input type="checkbox"/>			

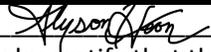
2 Process for Approval

See Sec. 5-E-1, *Site Plan*.

3 Fees – See Sec. 5-B-6, *Application Fees*. An invoice will be sent once the planning file has been created.

- A. \$100.00 Minor Site Planning Application Review Fee.
- B. \$3,000.00 Deposit for Building Exterior, Driveway, and Landscaping.
- C. \$50.00 Driveway Permit Application Fee.

4 Applicant's Certification Statement

I, , as Applicant and duly representative of the owner, hereby certify that the information included upon the attached submittal items are true and accurate; and that the development of the site will occur in accordance with the submittal items.

The Clarke Residence
244 Bridger Trail
Winter Park, CO 80482
Bridgers Cache Subdivision, Lot 5

Zone District: R-2 Low-density residential

Setback Distances:

Front: 25'

Sides: 8'

Rear: 20'

Parking: Two garage spots, two designated driveway spots, additional parking in drive per site plan

Residential Space Size: 4 bedrooms

Lower level area: 1,540 square feet

Main level area: 1,647 square feet

Upper level area: 1,692 square feet

Total: 4,879 square feet

Garage: 650 square feet

Calculated building coverage ratio table:

Site's total acreage: 0.31 acres

Site's square footage: 13,620 square feet

Lot coverage: 39.3% (5,357.68 SF / 13,620.89 SF)

*Includes building footprint, drives, sidewalks, and parking areas.

Calculated building height:

38'-3 5/32" from top of lower level slab

28'-2 7/8" from top of main level sub floor (100')

Exterior building color and material:

1. Foundation: poured concrete
2. Siding: 14 gauge steel rainscreen, matte dark bronze
3. Rock/Masonry: Kansas limestone (85% cottonwood & 15% flint hills gray w/ white grout)
4. Roof: standing seam metal panels in matte dark bronze
5. Glass type: Insulated double glazing per IECC w/ clear glaze and low-E coating
6. Exterior lighting plan (lighting cut sheet is required): Attached as separate sheet

Owner: Rohan and Shellina Clarke
300 S Monroe St., Apt. 606
Denver, CO 80209-3778
Phone: 347-200-1410
Email: rogi_97@yahoo.com

Applicant: Steffen Builders West, Inc.
72215 US Hwy 40
Tabernash, CO 80478
Phone: 970-531-2407
Email: tyler@steffenbuilderswest.com

HOA: Bridgers Cache Owners Association (Allegiant Management)
PO Box 66
Winter Park, CO 80482
Phone: 970-726-5701 ext. 208
Email: danielle@allegiantmgmt.com

Project Manager: Tyler Huber
72215 US Hwy 40
Tabernash, CO 80478
Phone: 970-531-2407
Email: tyler@steffenbuilderswest.com

Architect: Surround Architecture: Rory Bilocerkowycz
2520 Broadway
Boulder, CO 80304
Phone: 303-440-8089
Email: rory.bilo@surroundarchitecture.com

Engineer: JVA
47 Cooper Creek Way, Suite 328
Winter Park, CO 80482
Phone: 970-722-7677
Email: info@jvajva.com

Surveyor: Core Consultants
3473 S. Broadway Blvd
Englewood, CO 80113
Phone: 303-703-4444
Email: kervin@corecivil.com



June 22, 2022

Rohan & Shellina Clarke
300 S Monroe Street Apt 606
Denver, CO 80209

RE: Bridger's Cache Owners Association, Lot 5

Dear Mr. & Mrs. Clarke,

Congratulations! The Bridger's Cache Owners Association Board of Directors has approved the submitted plans as well as the color board for Lot 5 at 244 Bridger Trail, Winter Park, Colorado. Thank you for submitting such a complete submittal.

Prior to beginning construction, we will need a Certificate of Insurance that names the Association as additional insureds and certificate holder. The insurance is for coverage for damage or destruction to any common areas.

This letter will serve as notice to the Town of Winter Park that you are approved and ready to apply for building permits to begin construction. Please notify Allegiant Management when construction commences.

Please contact us with any questions.

Sincerely,

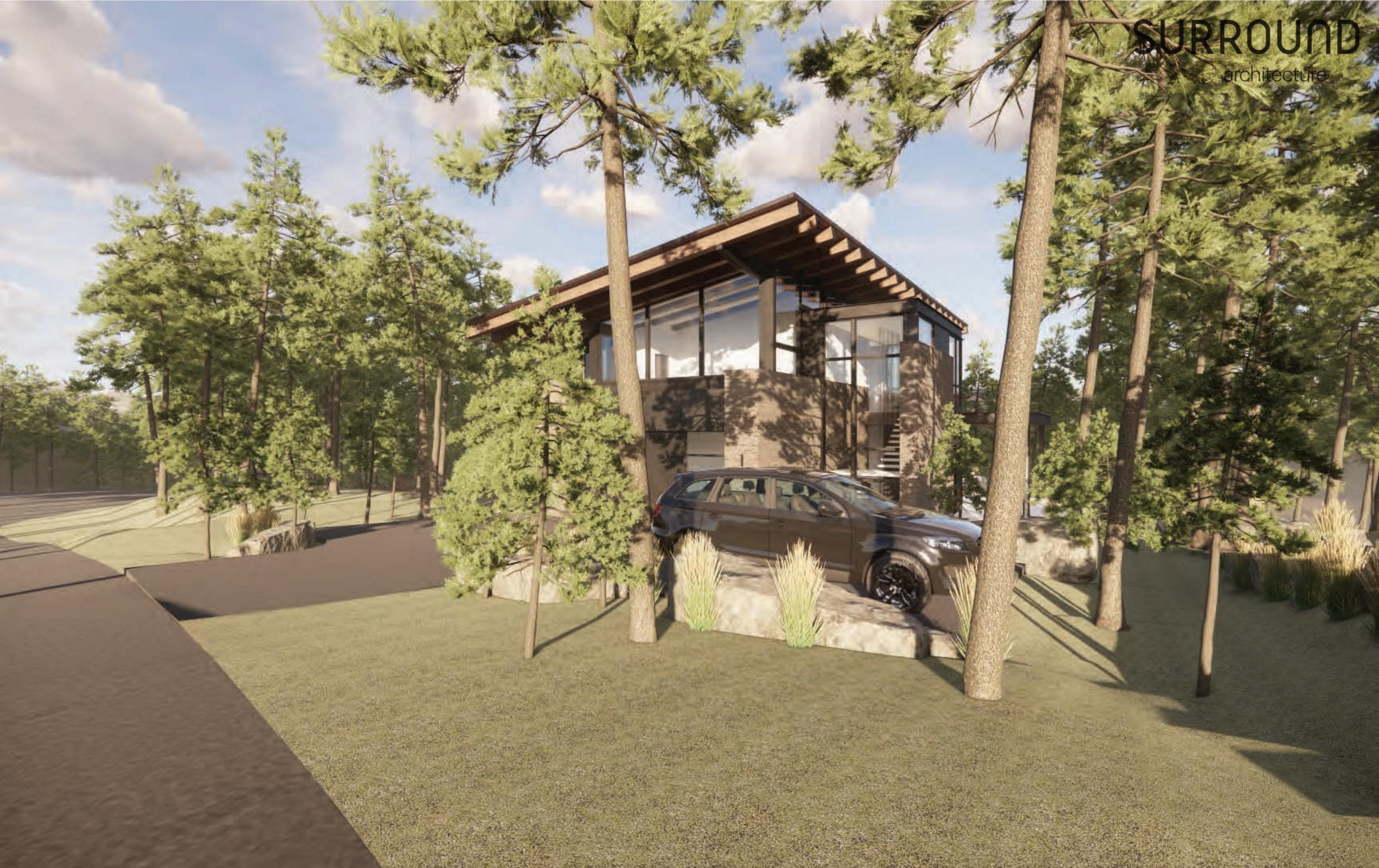
Danielle Segó

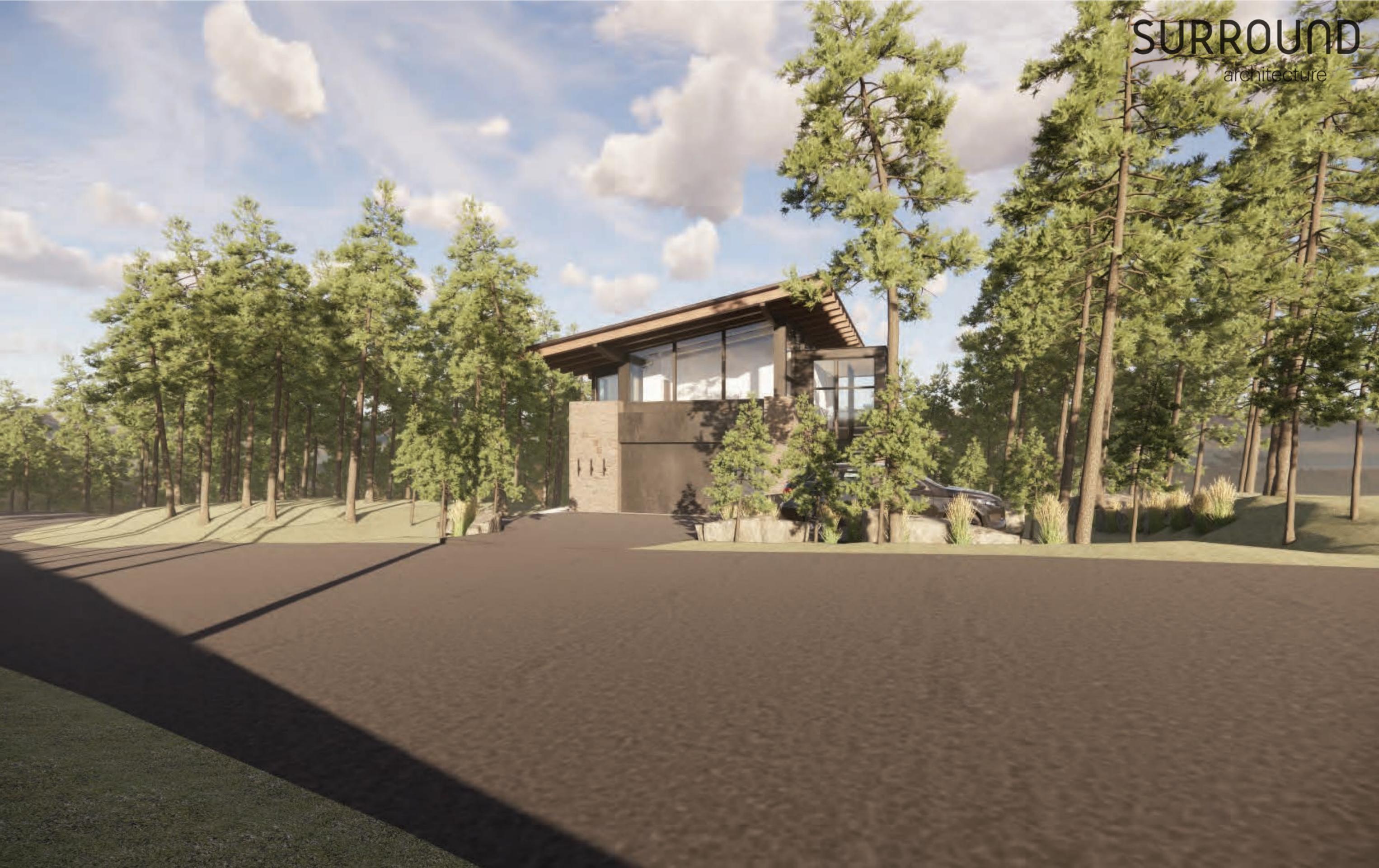
Danielle Segó, CMCA©
Senior Property Manager
Direct: 970.722.1108
Office: 970.726.5701 ext. 208

Jeff Fransen

Jeff Fransen
Partner/Manager
Direct: 970.722.1111
Office: 970.726.5701 ext. 211

Copy to: The Town of Winter Park
Rory Bilocerkowycz, Architect
Tyler Huber, Steffen Builders West
Aly Heon, Steffen Builders West









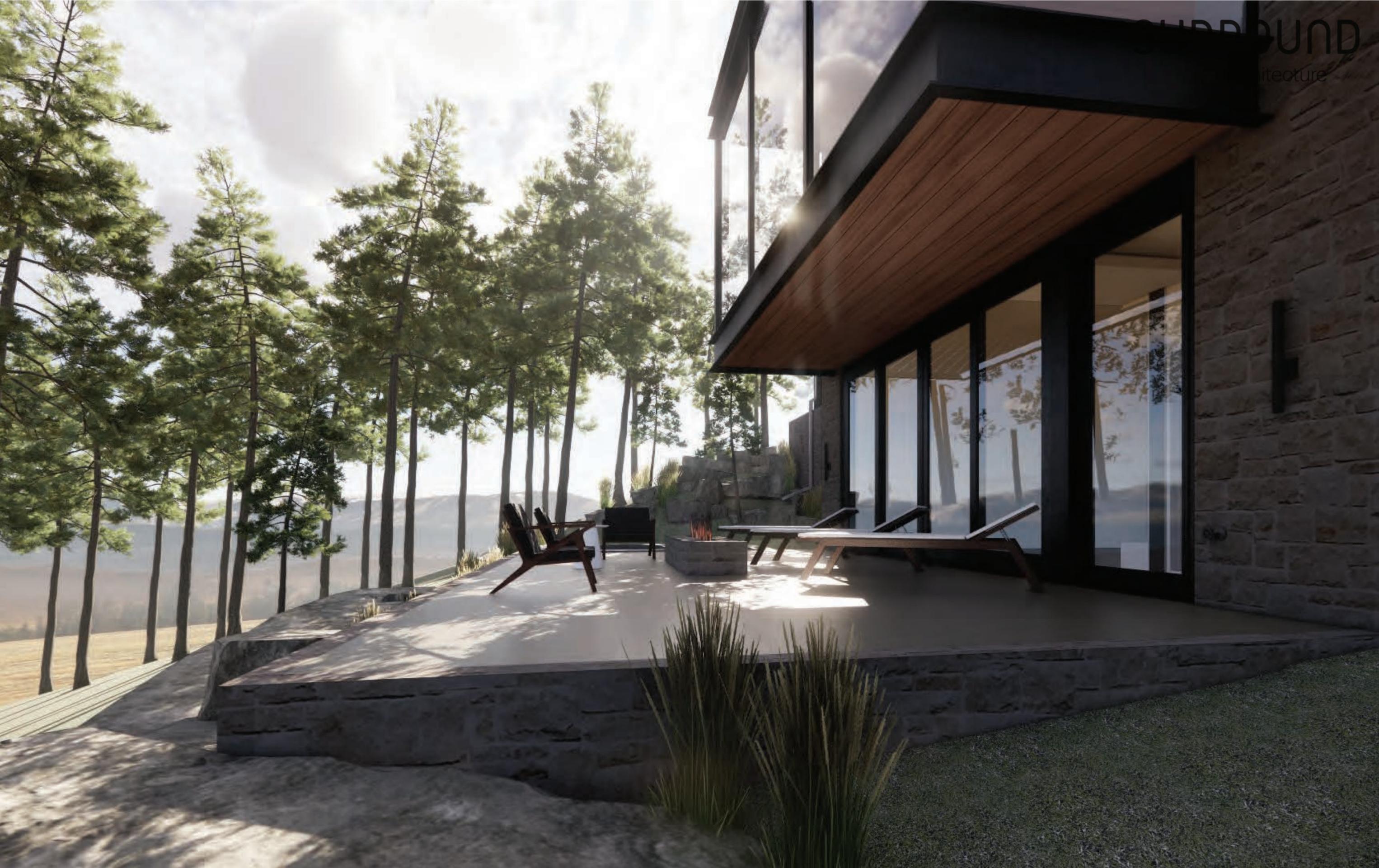


VIEW FROM NORTH





VIEW FROM EAST



LOWER LEVEL PATIO



VIEW FROM SE



VIEW FROM SOUTH



VIEW FROM SW

A. Doors

Entry door: slatted white oak
South exterior elevation



Garage man door: metal sided
CMG matte dark bronze
West exterior elevation



Garage overhead door: metal sided
CMG matte dark bronze with dark
tinted glass
West exterior elevation



Patio doors: Glass with matte
black metal frame
East exterior elevation



B. Fascia

All exterior metal including fascia, flashing at material transitions, and siding per plan locations will be CMG matte dark bronze



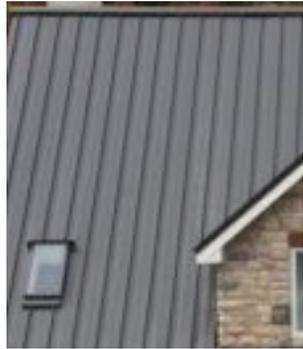
C. Fencing: none

D. Foundation: poured concrete, none exposed

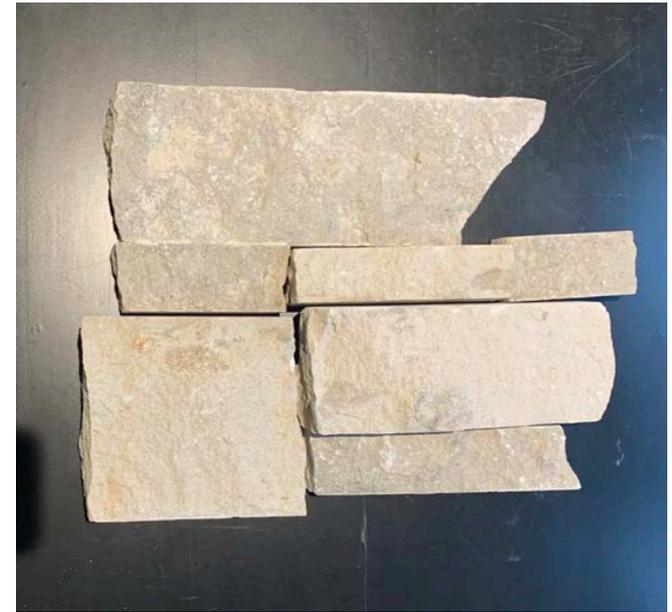
E. Gates: none

F. Glass type: none, besides windows and patio doors

G. Roofs: standing seam metal in CMG matte dark bronze

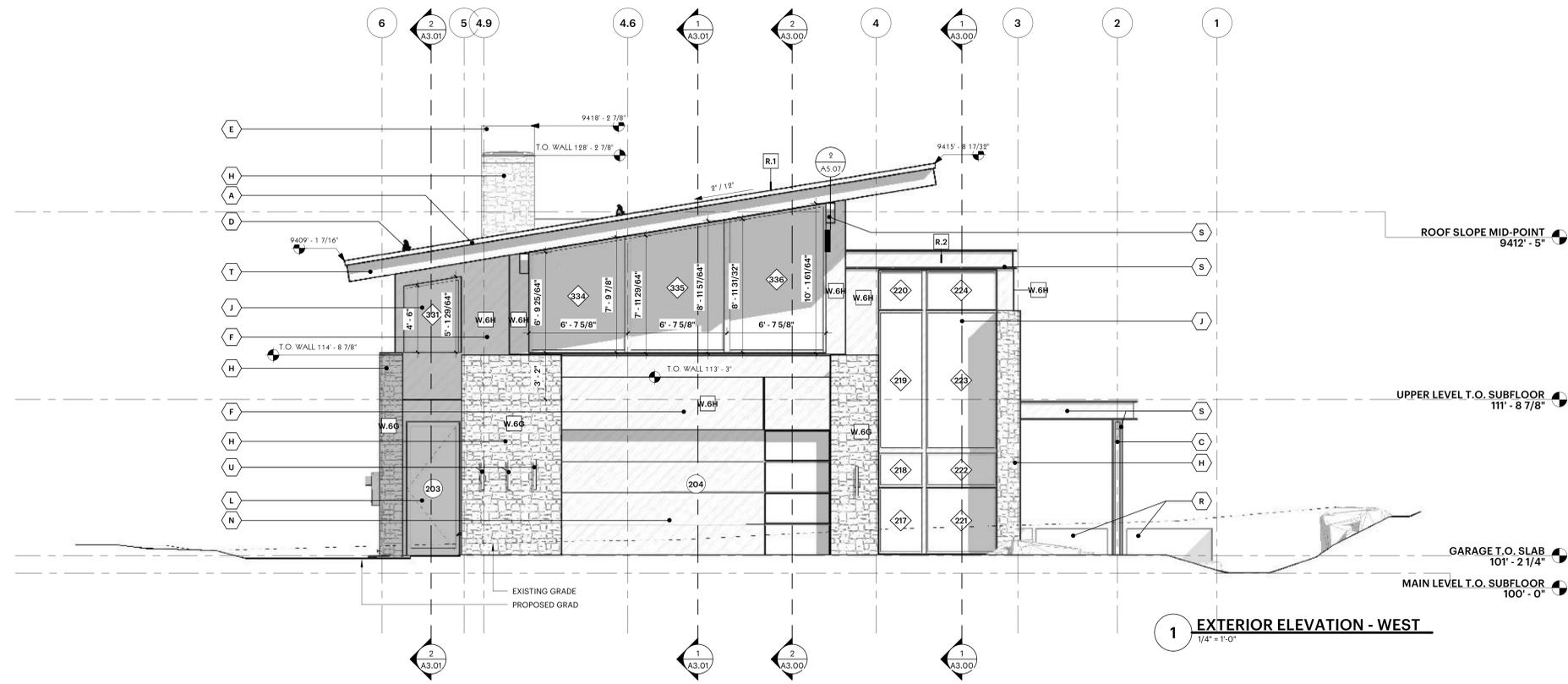


H. Siding: CMG matte dark bronze and 85%/15% mix of cottonwood limestone and flint hills gray limestone, per plan locations. Soffit is 2x6 T&G in Ranchwood Artisan Cedar in Ash stain



I. Window and door trim: none

J. Window glass type: Sierra Pacific insulated, LoE direct glaze



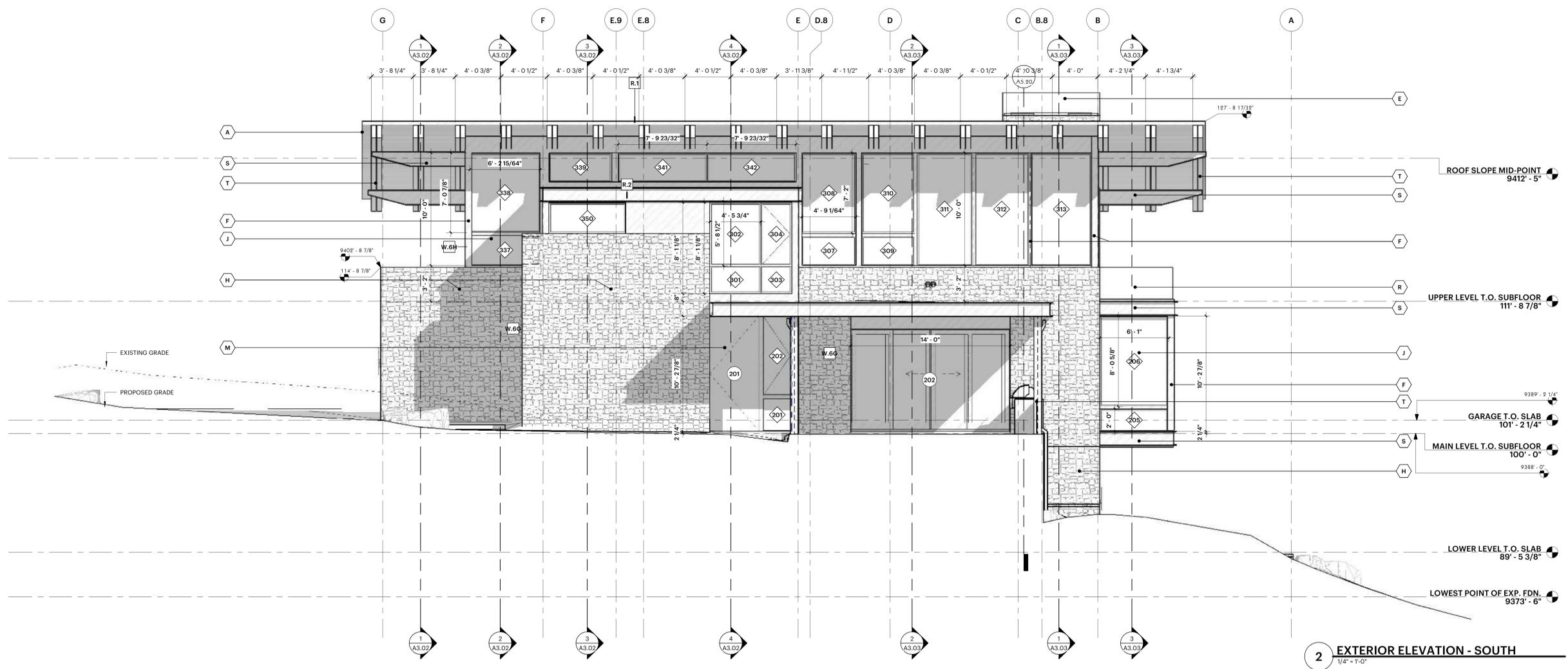
1 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"

ELEVATION KEY NOTES

NO.	DESCRIPTION	MANUF.	COLOR/SPEC.
A	ROOF, STANDING SEAM METAL	BERRIDGE	14" PANELS, MATTE DARK BRONZE
B	ROOF, SOFFIT	--	WOOD, 2X6 T&G, STAIN TBD.
C	GUTTER / DOWNSPOUT	--	BOX / SQUARE, PRE-FINISH MTL TO MATCH ROOF
D	SNOW GUARDS	--	FINISH TO MATCH ROOF, SCS CLIP ATTACHMENT
E	UL LISTED CHIMNEY SHROUD	RIVERSIDE OR SIMILAR	CUSTOM STEEL, PAINT TO MATCH WINDOW CLADDING
F	SIDING, STEEL RAINSCREEN	--	14 GA. STEEL, PAINT TO MATCH WINDOW CLADDING
G	--	--	--
H	THIN STONE VENEER	US STONE	KANSAS LIMESTONE, 85% COTTONWOOD & 15% FLINT HILLS GRAY W/ WHITE GROUT
J	WINDOWS, ALUM CLAD WOOD	SP	EXT: DARK BRONZE IND., INT: PTD
L	DOORS, ALUM CLAD WOOD	SP	EXT: DARK BRONZE IND., INT: PTD
M	DOOR, FRONT ENTRY	--	CUSTOM WOOD/STEEL CONTINUOUS HEAVY DUTY HINGE
N	DOOR, OVERHEAD GARAGE	--	CUSTOM, STEEL/GLASS
P	FLASHING/FASCIA, METAL	--	PRE-FINISHED TO MATCH WINDOWS
Q	DECK, ROOFTOP	--	CONCRETE
R	RAILING, GLASS	--	FRAMELESS W/ BASE SHOE AS REQ'D
S	STEEL BEAM/COLUMN, EXPOSED	--	RE: STRUCT. PAINTED TO MATCH WINDOWS
T	WOOD, TIMBER/GLULAM BEAMS	--	RE: STRUCT. STAINED TO MATCH SOFFITS
U	EXTERIOR LIGHTING	--	DARK SKY COMPLIANT

NOTE:
 1. GENERAL CONTRACTOR TO PROVIDE FULL SCALE, ON-SITE MATERIAL / COLOR MOCK-UPS REPRESENTATIVE OF FINAL MATERIALS AND APPLICATION / INSTALLATION METHODS FOR OWNER & ARCHITECT REVIEW / APPROVAL.
 2. GENERAL CONTRACTOR TO RECEIVE ARCHITECT / CLIENT APPROVAL PRIOR TO FINAL ORDER OF MATERIAL OR INSTALLATION ON PROJECT. DETAILS REGARDING REQUESTED MOCK-UPS TO BE PROVIDED BY ARCHITECT AT GENERAL CONTRACTOR'S REQUEST.
 3. ALL WINDOW AND DOOR DIMENSIONS PROVIDED ON ELEVATIONS ARE MEASURED FROM T.O. SUB-FLOOR U.O.N.
 4. GRADING HAS BEEN SHOWN FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR DETAILED GRADING AND DRAINAGE PLANS.
 5. REFER TO RCPS FOR EXTERIOR LIGHT FIXTURE LOCATIONS.

SURROUND
 arch tecture
 2520 Reschke Boulder CO 80304
 303.440.8039
 surroundarchitecture.com



2 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"

THE CLARKE RESIDENCE
 SHELLINA AND ROHAN CLARKE
 244 BRIDGER TRAIL, WINTER PARK, CO 80482

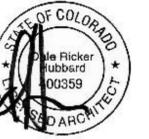
Revision Schedule

No.	Date	Description
1	2020.12.28	NBRHD RVW
2	2021.02.15	SD PRICING
3	2021.04.08	PRICE REV
4	2022.03.08	Civil Coord
5	2022.04.15	ARC FINAL REVIEW
6	2022.06.03	PERMIT SET

PROJECT NO: 20.7220

BUILDING ELEVATIONS

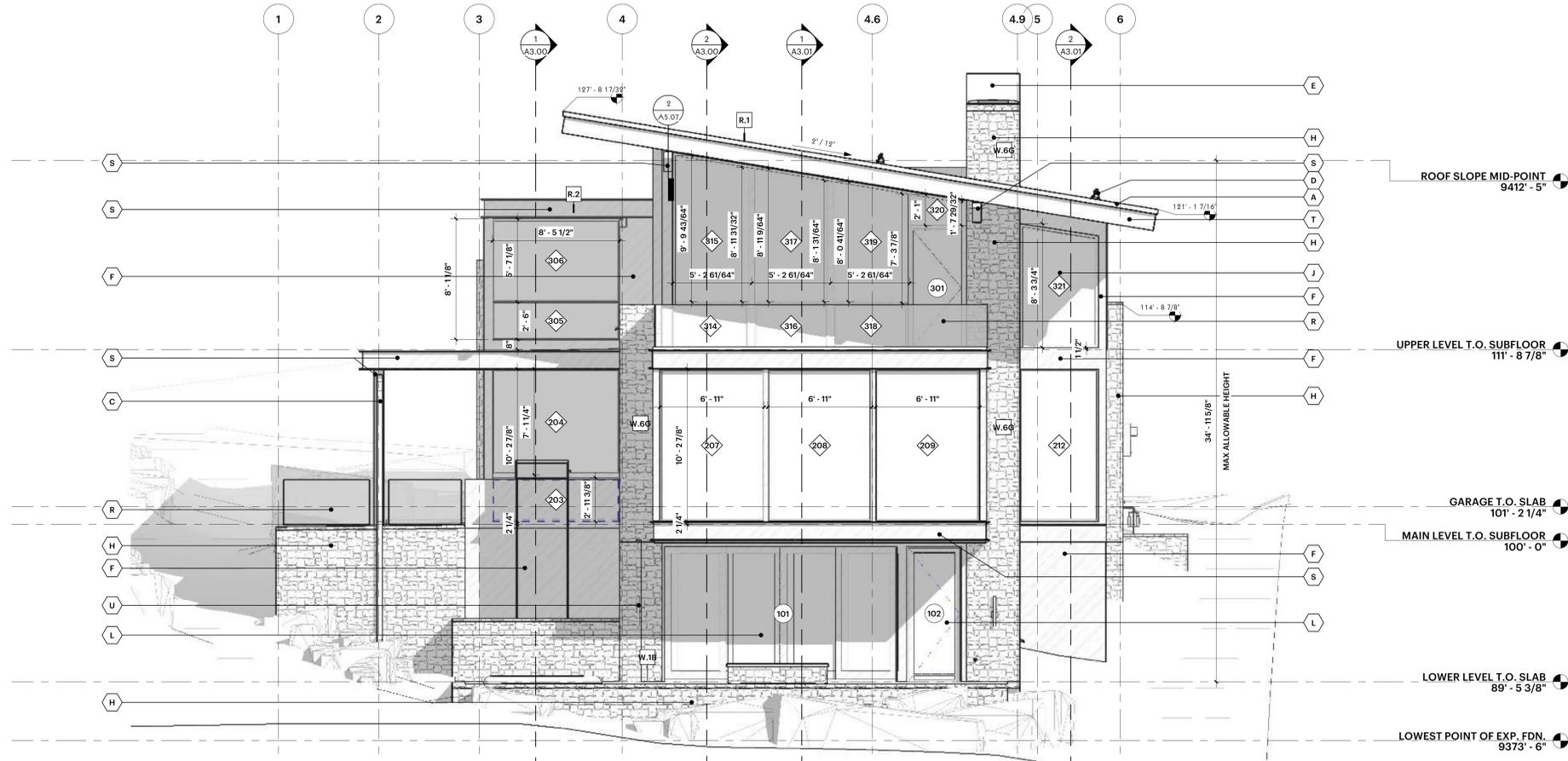
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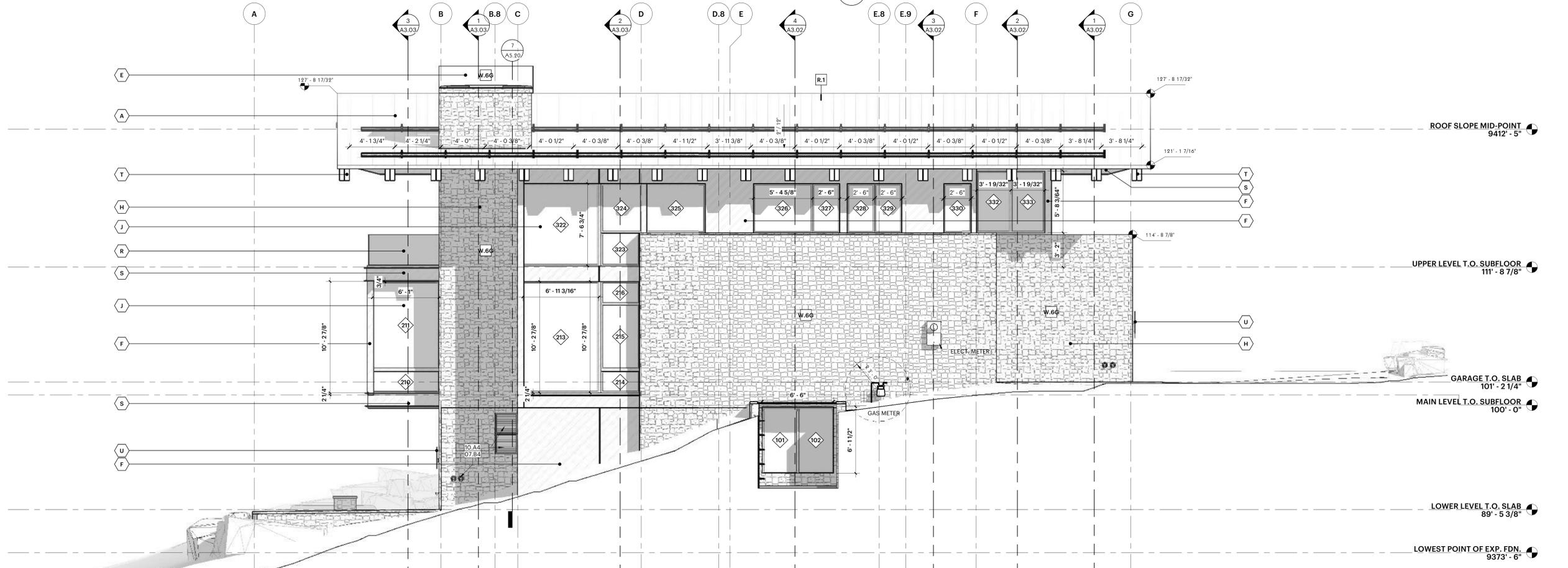
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G	--	--	--
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 3. ALL WINDOW AND DOOR DIMENSIONS PROVIDED ON ELEVATIONS ARE MEASURED FROM T.O. SUB-FLOOR U.O.M.
 4. GRADING HAS BEEN SHOWN FOR REFERENCE ONLY; REFER TO CIVIL DRAWINGS FOR DETAILED GRADING AND DRAINAGE PLANS.
 5. REFER TO RCPS FOR EXTERIOR LIGHT FIXTURE LOCATIONS.



1 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"



2 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"

THE CLARKE RESIDENCE
SHELLINA AND ROHAN CLARKE
244 BRIDGER TRAIL, WINTER PARK, CO 80482

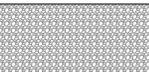
Revision Schedule

No.	Date	Description
1	2020.12.28	NBRHD RVW
2	2021.02.15	SD PRICING
3	2021.04.08	PRICE REV
4	2022.03.08	Civil Coord
5	2022.04.15	ARC FINAL REVIEW
6	2022.06.03	PERMIT SET

PROJECT NO: 20.7220

BUILDING ELEVATIONS

LEGEND

-  EXISTING TREES
-  (6) PROPOSED ASPENS
1.5"-2" CAL.
-  (16) PROPOSED SHRUBS
SPECIES (TBD) - 5 GAL.
-  PROPOSED GRAVEL
1.5" DIA.
-  PROPOSED COBBLE
1"-12" DIA.

REVEGETATION

REVEGETATION ALL DISTURBED AREAS ON SITE WITH:

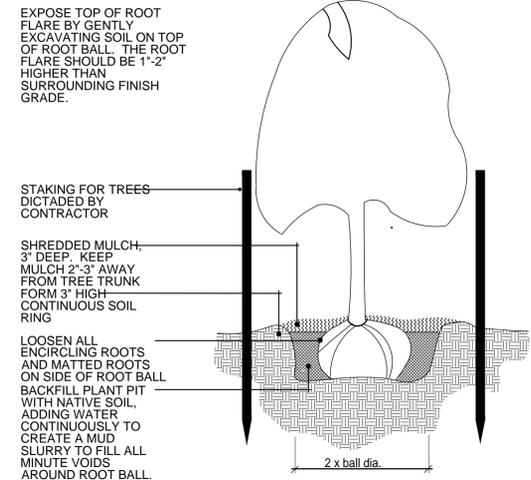
SHORT-DRY GRASS SEED MIX:
 HARD FESCUE, VNS 30%
 CREEPING RED FESCUE, VNS 30%
 SHEEP FESCUE, MEKLENBERGER 25%
 CANADA BLUEGRASS, RUBENS 10%
 CANBY BLUEGRASS, CANBAR 5%

SOW @ 2 LBS/1000S.F.

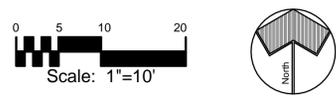
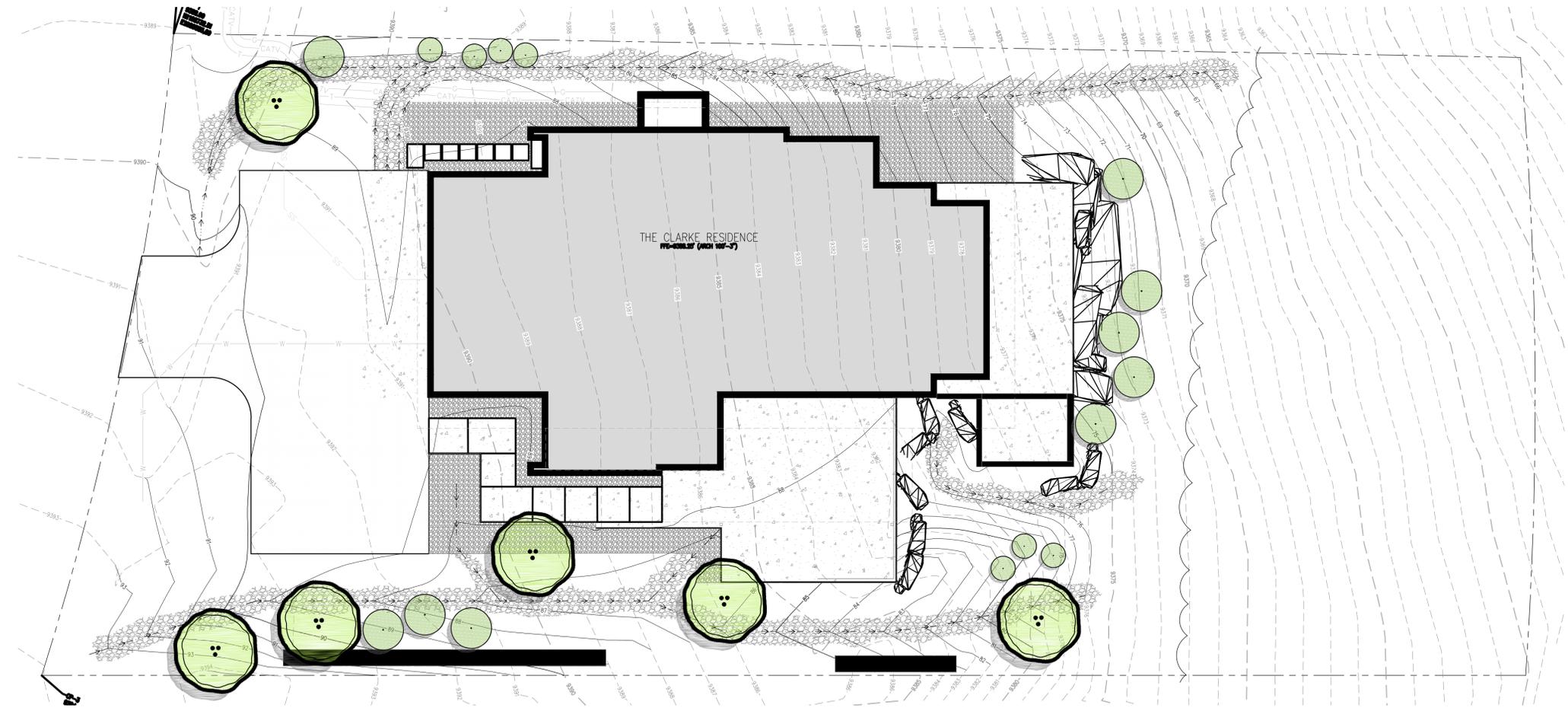
SLOPES OVER 3:1 SHALL BE HAYED AND TACKIFIED OR NETTED.

NOTES:

- REMOVE THE MINIMUM NUMBER OF TREES DURING CONSTRUCTION.
- TREES THAT ARE TO REMAIN SHALL BE PROTECTED WITH HIGH VISIBILITY FENCING TO REDUCE COMPACTION AROUND TREE BASE, GRADE CHANGES, AND GENERAL STRESS. FENCING TO BE LACATED APPROXIMATELY AT THE TREE DRIPLINE.
- STRIP EXISTING TOPSOIL FROM SITE IN CONSTRUCTION AREAS AND STOCKPILE TOPSOIL FOR LANDSCAPE USE. SCREEN TOPSOIL IF POSSIBLE.
- GENERAL CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS AS SPECIFIED ON SITE PLAN.
- GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS, PAINT, STUCCO, LUMBER, STUMPS, SLASH, CONCRETE, ASPHALT, ETC. FROM SITE PRIOR TO LANDSCAPE WORK.
- DISTURBED AREAS ON SITE SHALL RECEIVE A MINIMUM OF 3" OF TOPSOIL IN PREPARATION FOR LANDSCAPE TREATMENT. LANDSCAPE ARCHITECT TO APPROVE SOIL.
- COBBLE ROCK OR ROCK FROM SITE WILL BE USED AS A GROUND COVER TREATMENT IN DESIGNATED AREAS WITH WEED BARRIER FABRIC. APPROXIMATELY 3"-6" DIAMETER.
- BOULDERS RECOVERED DURING CONSTRUCTION (2' AND LARGER IN DIAMETER) TO BE STOCKPILED ON SITE. WHEN PLACED, BURY 1/3 TO 1/2 OF EACH BOULDER.
- LOCATE ALL PLANT MATERIAL TO AVOID SNOW SHED, SNOW REMOVAL LOCATIONS, SIGHT LINES, UTILITY LINES, FIRE HYDRANTS, AND EASEMENTS.
- ALL NEW PLANTS SHALL BE PLACED UNDER AN AUTOMATIC DRIP IRRIGATION SYSTEM.
- ALL PLANT MATERIAL SHALL BE BACK FILLED WITH EQUAL PARTS OF ORGANIC AMMENDMENTS AND NATIVE SOIL.
- ALL SHRUB AND TREE WELLS SHALL RECEIVE 3 INCHES SHREDDED BARK MULCH.



Typical Plant Installation
No Scale



Neils Lunceford
 P.O. Box 216
 72413 US Highway 40
 Tabernash, CO 80478
 Phone: (970) 887-3977
 Fax: 970-468-8907
 www.neilslunceford.com
 Landscape Design - Build - Maintain - Garden Centers

CLARKE RESIDENCE
 244 BRIDGER TRAIL
 WINTER PARK, CO
 LANDSCAPE PLAN

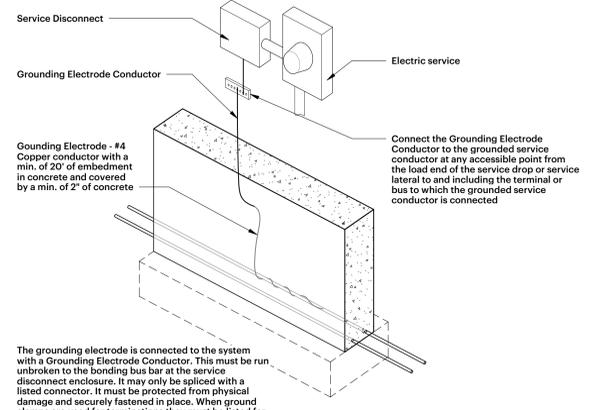
PROJECT MANAGER:
pm

RELEASE DATES:
4/14/2022

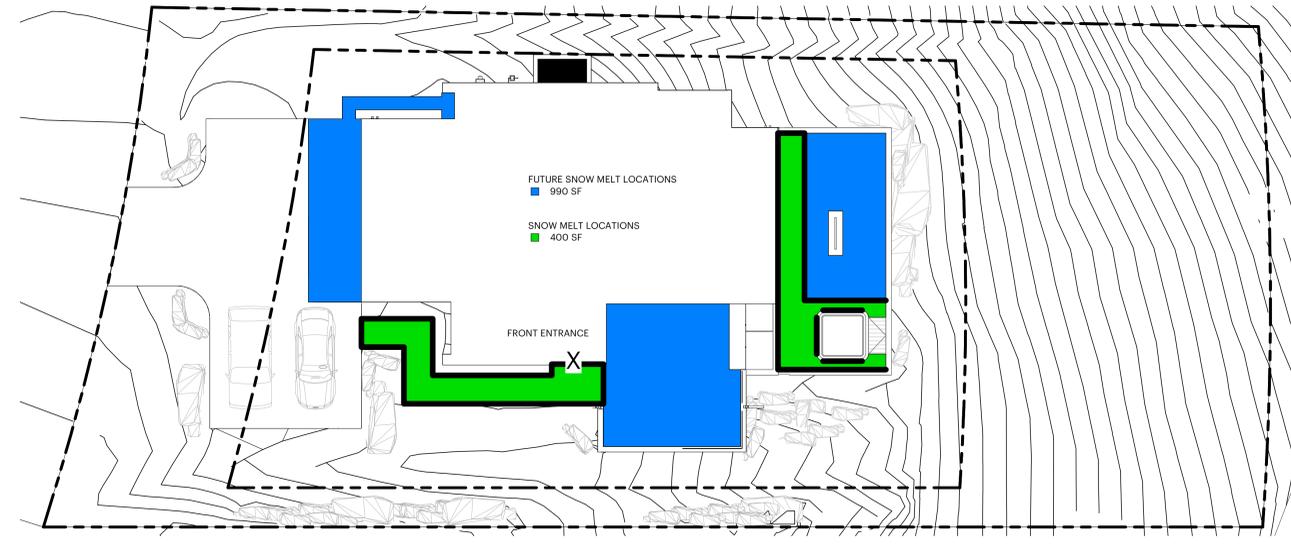
L1
 SHEET
 OF

When available the building reinforcing steel (rebar) is the preferred method for providing an electrode. Concrete Encased Electrodes (UFER) can consist of either a minimum of 20' of No. 4 copper wire or two or more No. 4 or larger rebar installed in the foundation with a minimum of 2" of concrete cover. When using rebar, it must be spliced a minimum of 40 bar diameters, ex. 40bar x 1/2" = 20' min splice length. When a UFER ground is installed in a pier and grade beam foundation system a number of methods are available:

1. Use the rebar in the pier if 20' deep or more.
2. Install 20' of No. 4 copper in the pier if less than 20' deep.
3. Bond two or more pier rebars together with either copper or rebar connectors if less than 20' deep.
4. Grade beams intended to retain a minimum earth contact of 2" or more can be treated as a standard T foundation system and ground accordingly.
5. Grade beams without a minimum 2" of earth contact should follow items 1, 2, or 3 above.

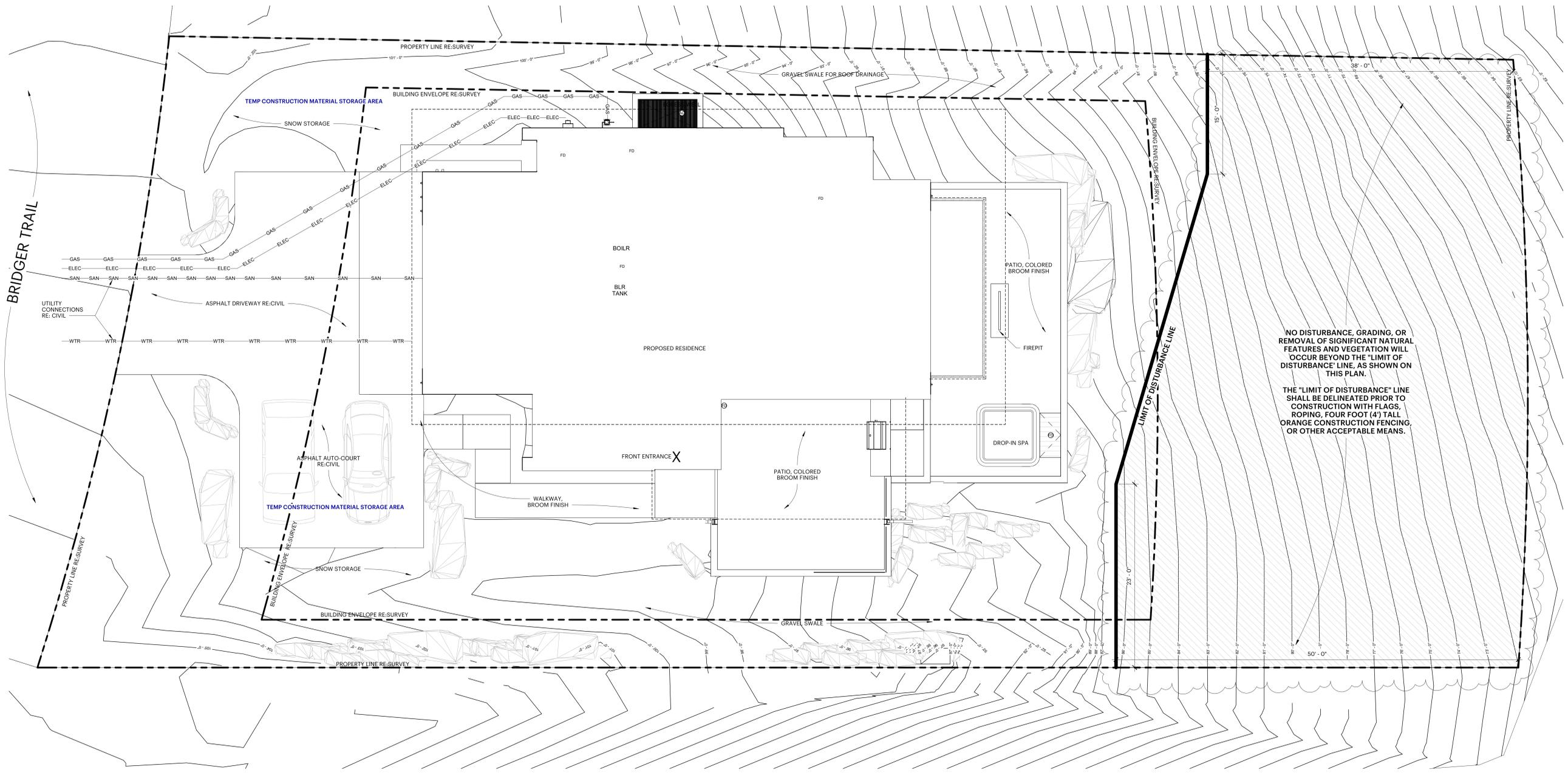


2 CONCRETE ENCASED ELECTRODE (UFER)
3/4" = 1'-0"



3 SITE PLAN - SNOW MELT
3/32" = 1'-0"

- SITE DEVELOPMENT PLAN LEGEND**
- CONTOUR - EXISTING GRADE
 - CONTOUR - PROPOSED GRADE SHOWN FOR REFERENCE ONLY, RE: CIVIL
 - - - EASEMENT
 - - - SETBACK
 - - - SOLAR SHADOW
 - - - PROPERTY LINE



NO DISTURBANCE, GRADING, OR REMOVAL OF SIGNIFICANT NATURAL FEATURES AND VEGETATION WILL OCCUR BEYOND THE "LIMIT OF DISTURBANCE" LINE, AS SHOWN ON THIS PLAN.

THE "LIMIT OF DISTURBANCE" LINE SHALL BE DELINEATED PRIOR TO CONSTRUCTION WITH FLAGS, ROPING, FOUR FOOT (4') TALL ORANGE CONSTRUCTION FENCING, OR OTHER ACCEPTABLE MEANS.

Revision Schedule

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4	2022.03.08	Civil Coord
5	2022.04.15	ARC FINAL REVIEW
6	2022.06.03	PERMIT SET
7	2022.07.20	PERMIT REV

PROJECT NO: 20.7220

SITE DEVELOPMENT PLAN

1 SITE DEVELOPMENT PLAN
3/16" = 1'-0"

PROJECT DATA

Project Address: 244 BRIDGER TRAIL, WINTER PARK, CO 80482
Owner: ROHAN & SHELLINA CLARKE

MUNICIPAL DATA

Building Dept: TOWN OF WINTER PARK
Fire Jurisdiction: EAST GRAND COUNTY FIRE PROTECTION
Code Enforcement: 2015 INTERNATIONAL RESIDENTIAL CODE
2015 INTERNATIONAL PLUMBING CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL FUEL GAS CODE
2015 INTERNATIONAL ENERGY CONSERVATION CODE
2015 INTERNATIONAL FIRE CODE, INCLUDING ALL APPENDICES
2017 NATIONAL ELECTRICAL CODE
THE TOWN OF WINTER PARK AMMENDMENTS

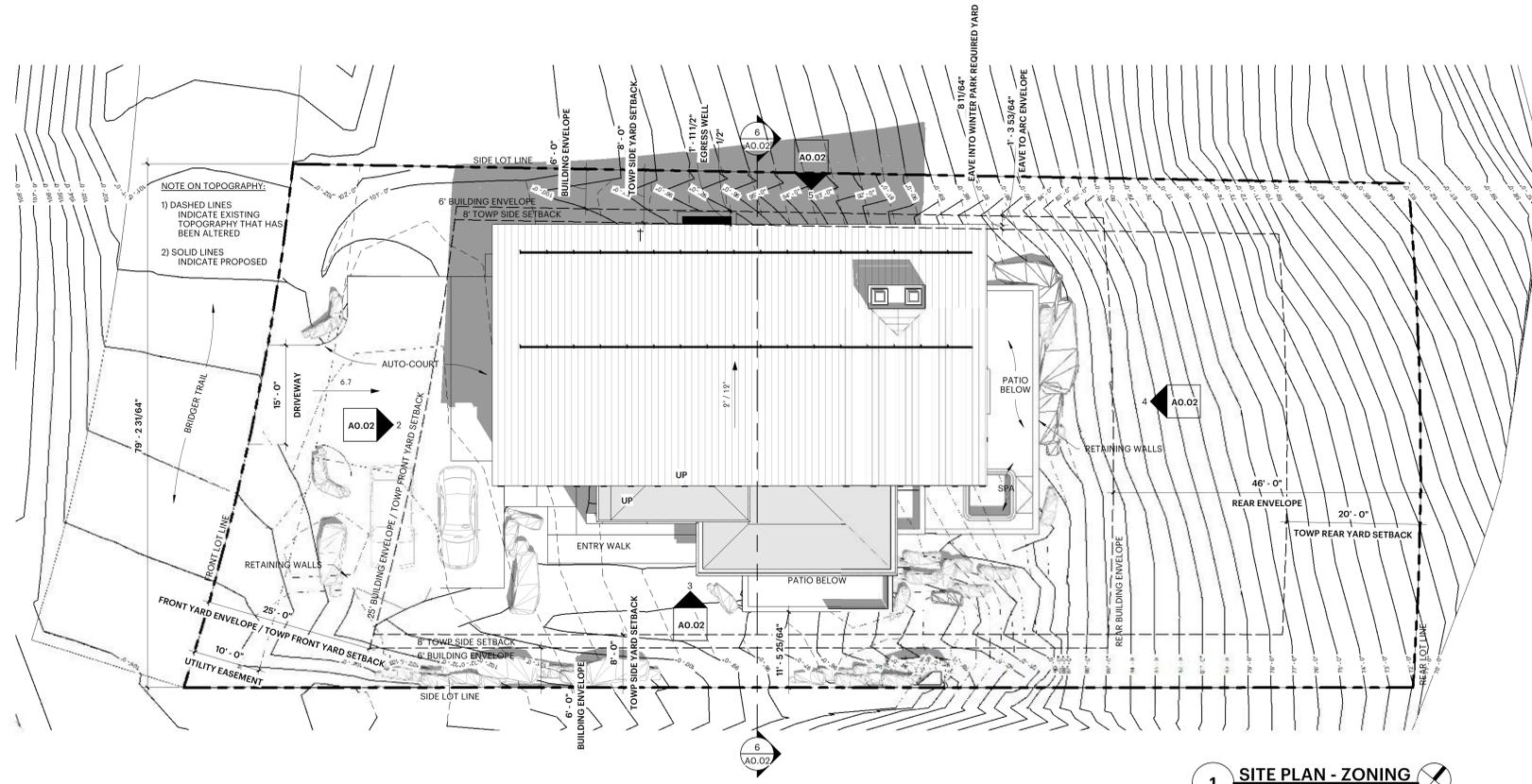
Zoning: P-D (R-2)-PLANNED DEVELOPMENT (MULTI-FAMILY RES)
Legal Description: SUBD: BRIDGER'S CACHE SUBDIVISION LOT: 5
Construction Type: N/A (IRC)
Description of Construction: NEW SINGLE-FAMILY RESIDENCE WITH ATTACHED GARAGE
Finished Living Area: 4,879 SF
Garage Area: 650 SF

ZONING CALCULATIONS:

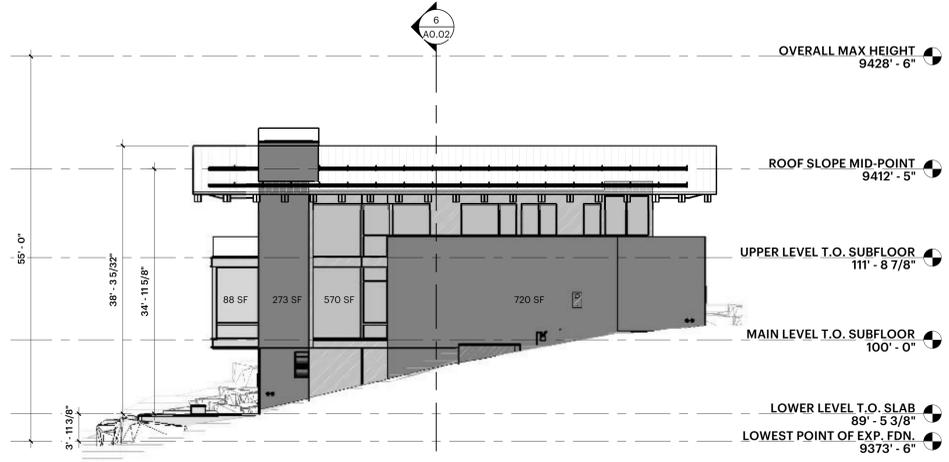
LOT SIZE: 13,620.89 SF, AS MEASURED (0.31 ACRES)
MAX LOT COVERAGE: 40%, 5,448.36 SF (13,620.89 SF * 0.40)
LOT COVERAGE: 39.3%, 5,357.68 SF (5,357.68 SF / 13,620.89 SF)

EXTERIOR MATERIAL KEY AND CALCULATIONS:

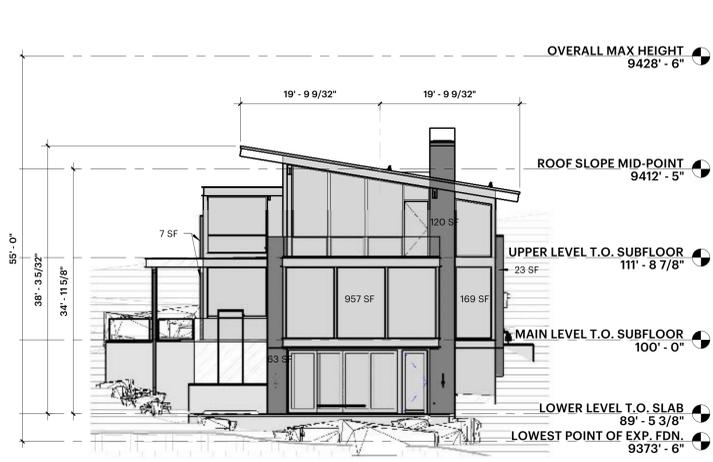
	ROCK	NORTH ELEVATION: ROCK = 993 SF NON-ROCK = 658 SF
	NON-ROCK	EAST ELEVATION: ROCK = 213 SF NON-ROCK = 1,126 SF
		SOUTH ELEVATION: ROCK = 667 SF NON-ROCK = 972 SF
		WEST ELEVATION: ROCK = 179 SF NON-ROCK = 759 SF
		TOTAL EXTERIOR = 5,567 SF TOTAL ROCK = 2,052 SF TOTAL NON-ROCK = 3,515 SF
		EXTERIOR PERCENTAGES: ROCK = 37% NON-ROCK = 63%



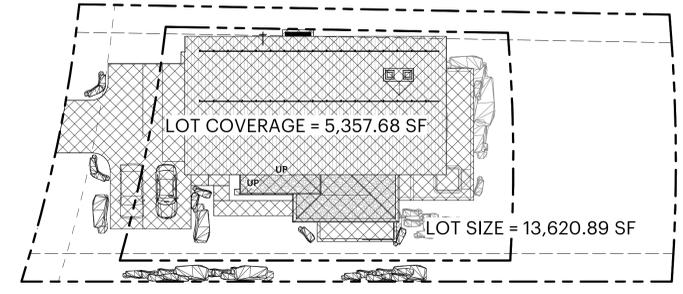
1 SITE PLAN - ZONING
1" = 10'-0"



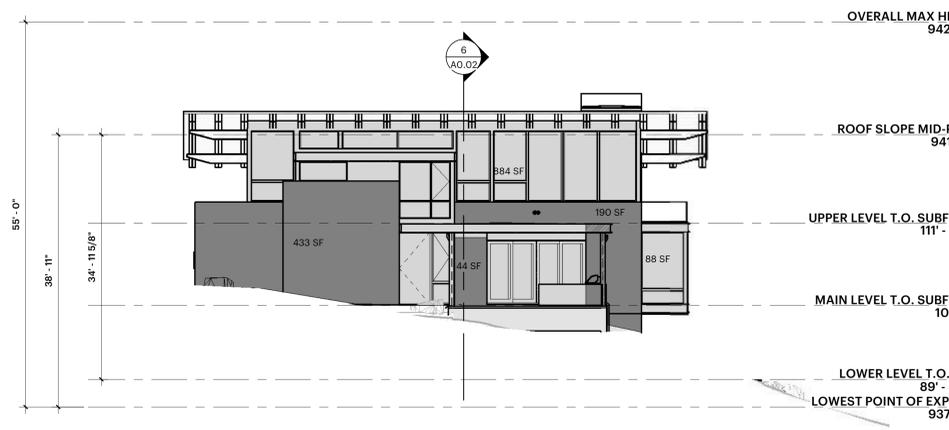
5 ZONING ELEVATION - NORTH
1" = 10'-0"



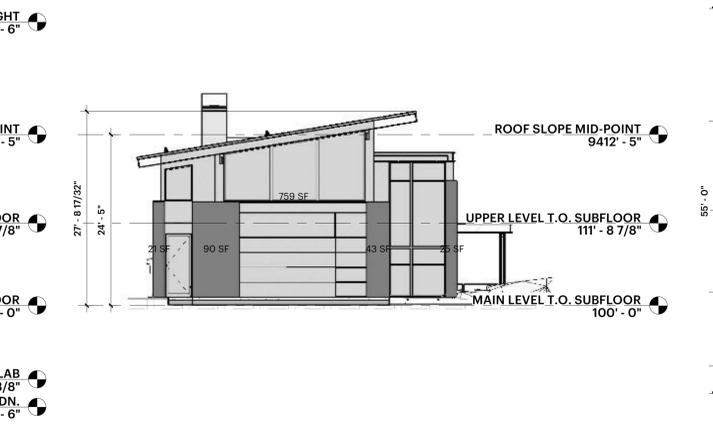
4 ZONING ELEVATION - EAST
1" = 10'-0"



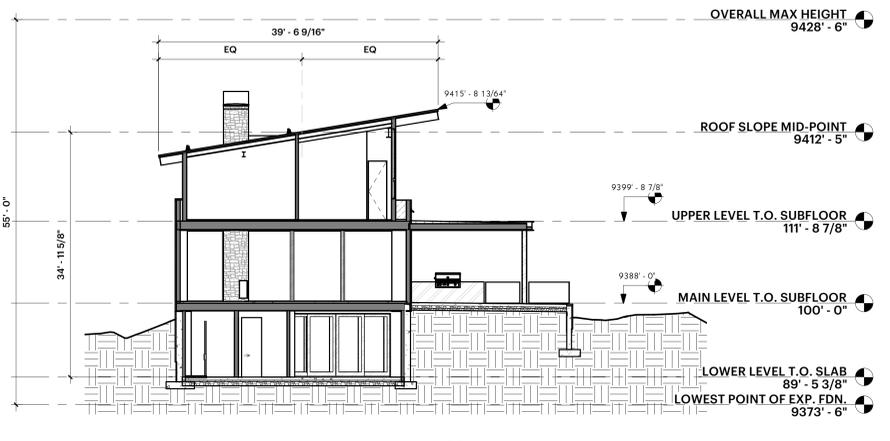
7 SITE PLAN - LOT COVERAGE DIAGRAM
1" = 20'-0"



3 ZONING ELEVATION - SOUTH
1" = 10'-0"



2 ZONING ELEVATION - WEST
1" = 10'-0"



6 ZONING ROOF SECTION
1" = 10'-0"

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PROJECT NO: 20.7220

ZONING PLAN

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Owner: ROHAN & SHELLINA CLARKE

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THE TOWN OF WINTER PARK AMMENDMENTS

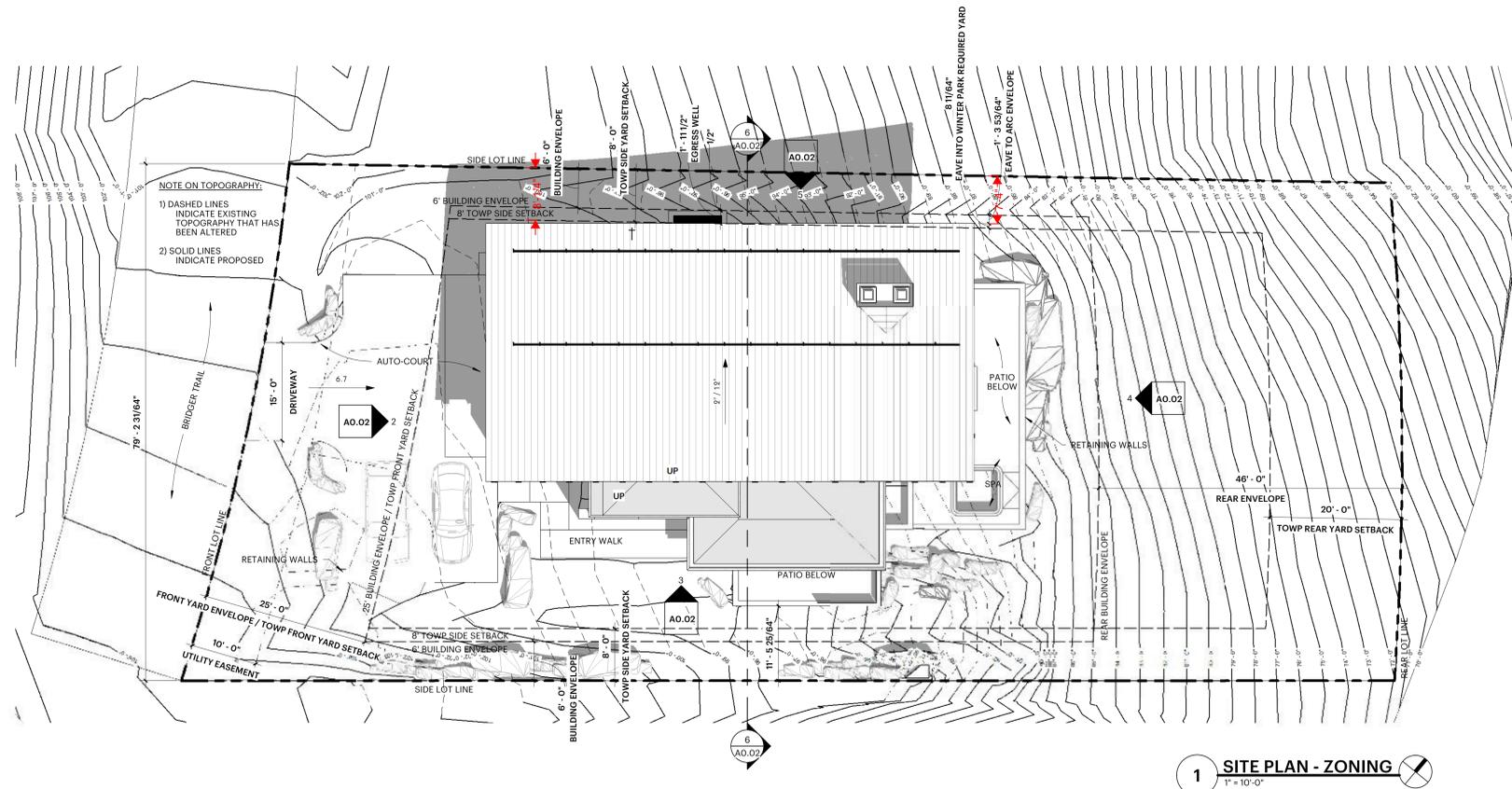
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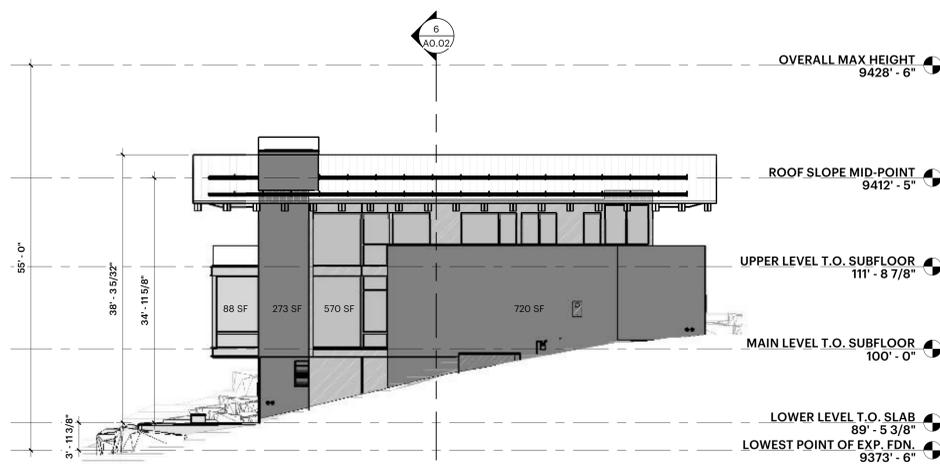
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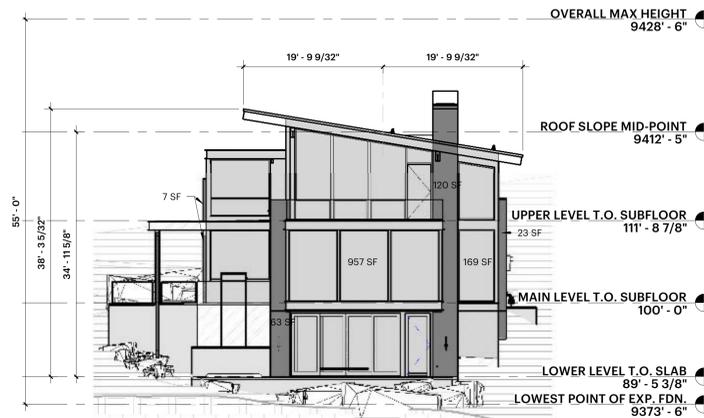
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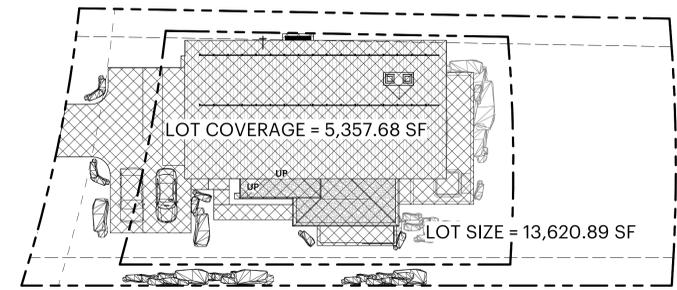
1 SITE PLAN - ZONING
1"=10'-0"



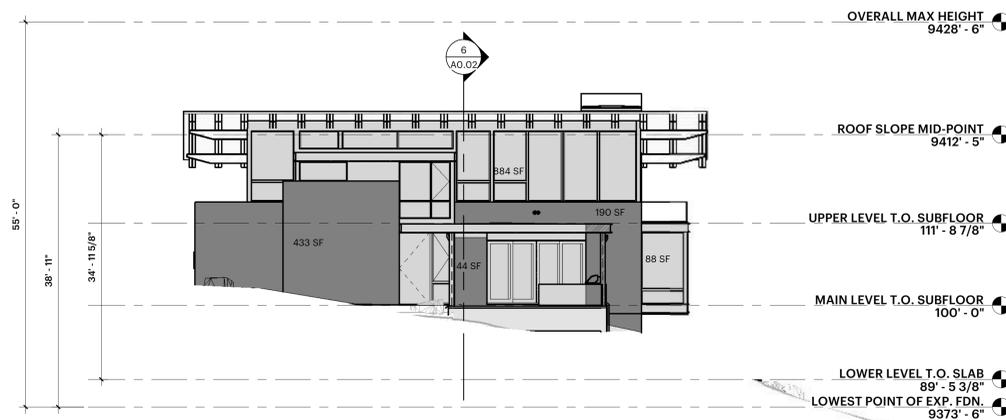
5 ZONING ELEVATION - NORTH
1"=10'-0"



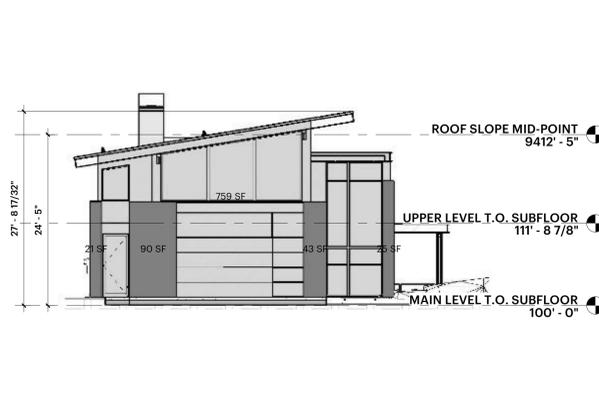
4 ZONING ELEVATION - EAST
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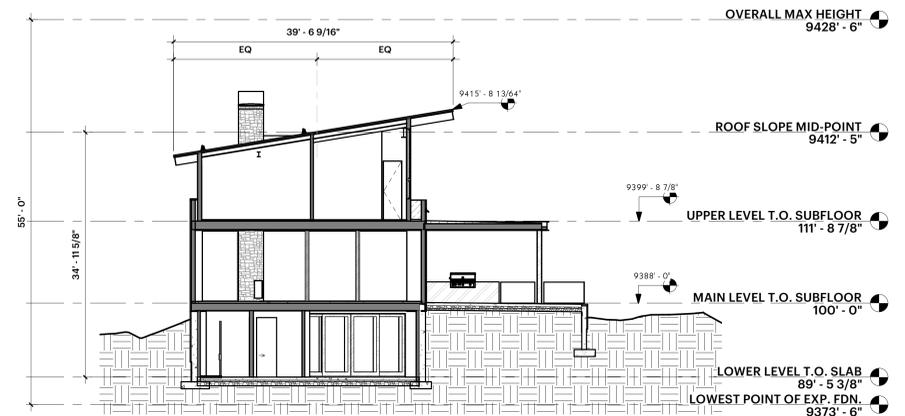
7 SITE PLAN - LOT COVERAGE DIAGRAM
1"=20'-0"



3 ZONING ELEVATION - SOUTH
1"=10'-0"



2 ZONING ELEVATION - WEST
1"=10'-0"



6 ZONING ROOF SECTION
1"=10'-0"

THE CLARKE RESIDENCE

SHELLINA AND ROHAN CLARKE
244 BRIDGER TRAIL, WINTER PARK, CO 80482

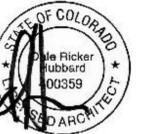
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PROJECT NO: 20.7220

ZONING PLAN

A0.02

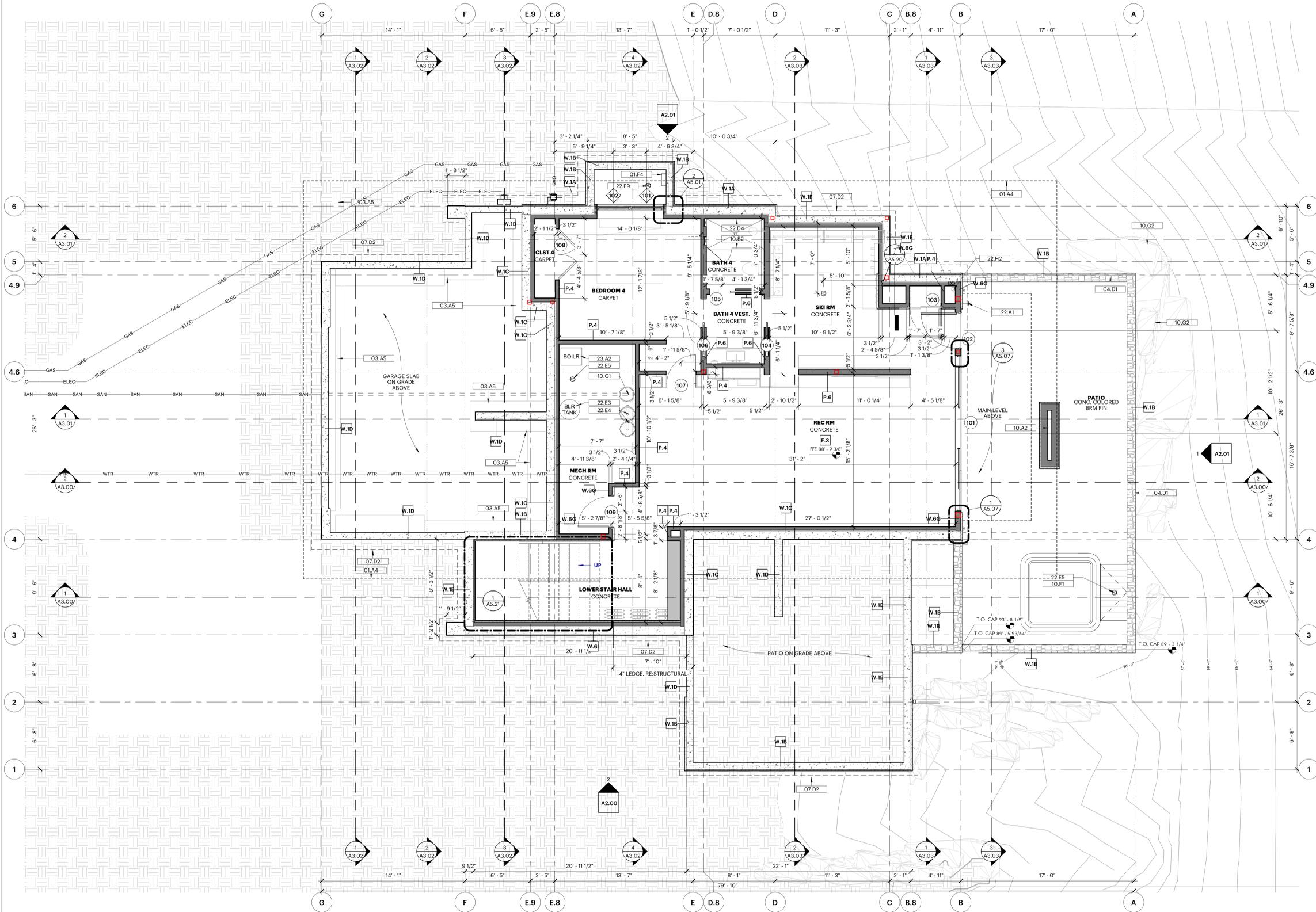


ROOM SCHEDULE - LOWER LEVEL				
Name	Floor	Wall	Ceiling	Room Notes
BATH 4	CONCRETE			
BATH 4 VEST.	CONCRETE			
BEDROOM 4	CARPET			
CLST 4	CARPET			
LOWER STAIR HALL	CONCRETE			
MECH RM	CONCRETE			
PATIO	CONC. COLORED BRM FIN			
REC RM	CONCRETE			
SKI RM	CONCRETE			

- GENERAL NOTES**
- REFER TO PLAN AND ELEVATION DRAWINGS FOR ALL ACTUAL TOP OF SUBFLOOR AND TOP OF SLAB ELEVATIONS.
 - SEE ELEVATIONS FOR WINDOW HEAD HEIGHTS. VERIFY R.O. WITH WINDOW MANUFACTURER. REFER TO BUILDING ELEVATIONS FOR WINDOW OPERATIONS.
 - ALL INTERIOR WALL DIMENSIONS ARE 3/2" (2X4 ROUGH STUD) U.N.O. OR PER STRUCTURAL.
 - PROVIDE 1/2" CEMENT BOARD OVER 3/4" PLY. AT ALL HORIZONTAL TILE LOCATIONS (COUNTERS, SEATS, ETC.) PROVIDE 1/2" CEMENT BD. SUBSTRATE AT ALL VERTICAL TILE LOCATIONS.
 - ALL ELEVATION TARGETS ARE TO TOP OF PLYWOOD OR T.O. CONCRETE U.N.O.
 - REFER TO BUILDING SECTION SHEETS FOR ALL ASSEMBLY TYPES.
 - SEE ELEVATIONS FOR ALL MATERIAL INFORMATION.

- WALL LEGEND**
- CONCRETE WALL
 - STONE VENEER ON STUD FRAMING WALL
 - STUD FRAMING WALL

- PLAN KEY NOTES**
- 01.F4 PARGE INTERIOR COAT OF CONCRETE EGRESS WELL, COLOR TBD; STEEL LADDER TO MEET CODE REQUIREMENTS; STEEL & PLASTIC WINDOW WELL GRATE DESIGNED TO SUPPORT 40 LBS PER SF LIVE LOAD; ACCESS HATCH IS TO BE REMOVABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR FORCE GREATER THAN THAT WHICH IS REQUIRED FOR NORMAL OPERATION OF THE ESCAPE AND RESCUE OPENING.
 - 03.A5 CONCRETE FOOTINGS (RE:STRUCTURAL)
 - 04.D1 STONE SITE WALLS
 - 07.D2 FOUNDATION PERIMETER DRAIN SYSTEM (RE:GEOTECH REPORT); GC TO COORDINATE ROUTING TO SUMP PITS AND/OR DAYLIGHT
 - 10.A2 GAS FIRE PIT. INSTALL PER MANUFACTURER'S INSTRUCTIONS
 - 10.B2 FRAMELESS GLASS SHOWER ENCLOSURE
 - 10.F1 DROP-IN SPA, BULLFROG XBL; MFR PREFERRED SET-UP 240 VAC, 60Hz, 50 A
 - 10.G1 SEWAGE LIFT STATION (RE:CIVIL)
 - 10.G2 BOULDER / RETAINING ELEMENTS (RE:CIVIL)
 - 22.A1 FROST PROOF HOSE BIB
 - 22.D4 TILED SHOWER SURROUND OVER 1/2" CEMENTITIOUS BOARD; PROVIDE ON WALLS AND FLOORS
 - 22.E3 SIDERM HOT WATER TANK
 - 22.E4 PRIMARY AND BACK-UP SUMP PITS AS REQUIRED WITH BATTERY BACKUPS; DISCHARGE TO DAYLIGHT RE: CIVIL
 - 22.E5 FLOOR DRAIN
 - 22.E9 AREA DRAIN (RE:GEOTECH RPT)
 - 22.H2 RADON VENT; COORDINATE ROUTING TO ROOF AND PENETRATION LOCATION W/ ARCHITECT
 - 23.A2 GAS FIRED BOILER; PER MECHANICAL; COORD. IN-TAKE & EXHAUST ROUTING W/ARCHITECT PRIOR TO INSTALL



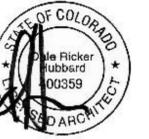
1 LOWER LEVEL FLOOR PLAN
1/4" = 1'-0"

Revision Schedule

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PROJECT NO: 20.7220

LOWER LEVEL FLOOR PLAN

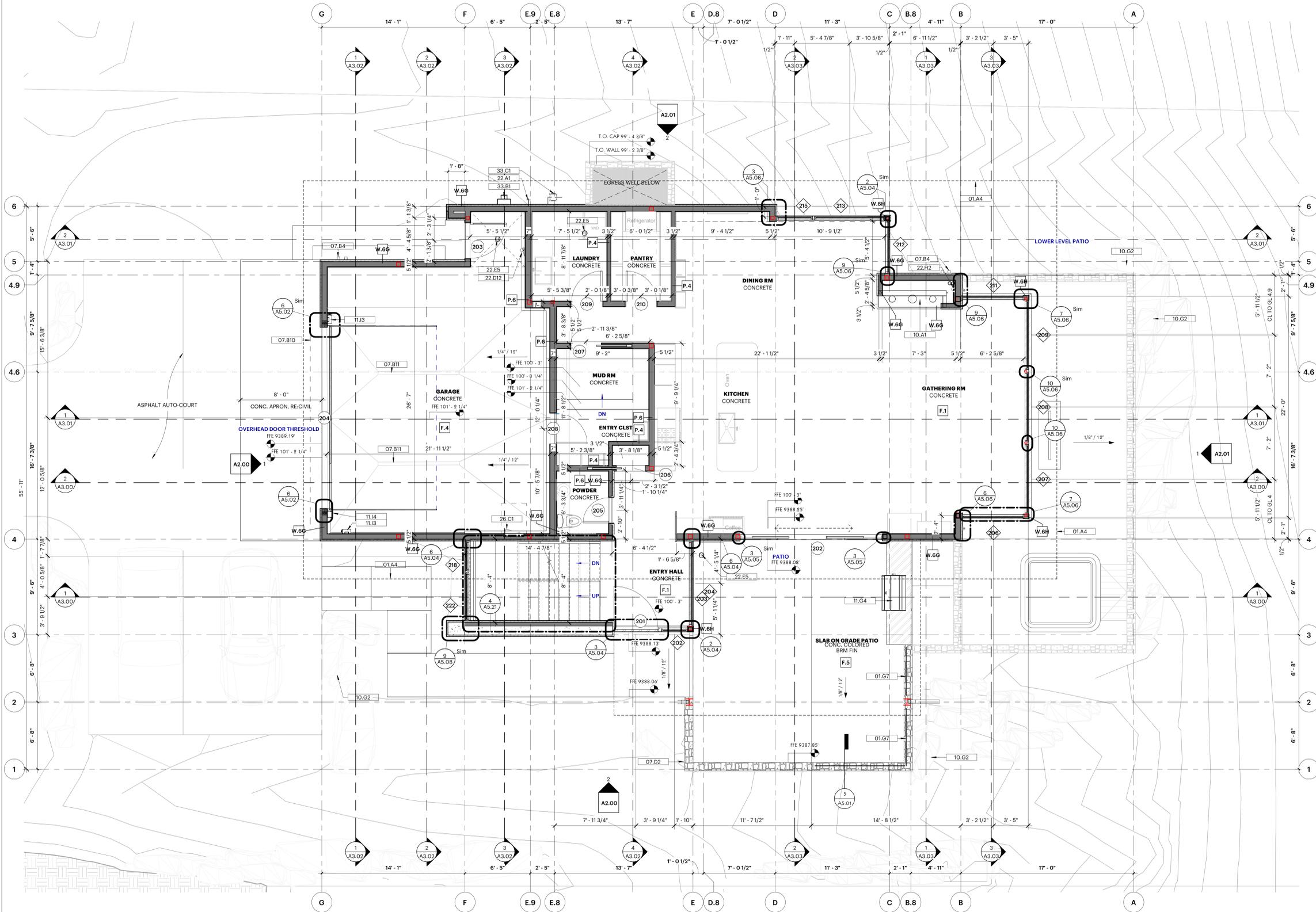


ROOM SCHEDULE - MAIN FLOOR				
Name	Floor	Wall	Ceiling	Room Notes
DINING RM	CONCRETE			
ENTRY CLST	CONCRETE			
ENTRY HALL	CONCRETE			
GARAGE	CONCRETE			
GATHERING RM	CONCRETE			
KITCHEN	CONCRETE			
LAUNDRY	CONCRETE			
MUD RM	CONCRETE			
PANTRY	CONCRETE			
POWDER	CONCRETE			
SLAB ON GRADE PATIO	CONC. COLORED			
		BRM FIN		

- GENERAL NOTES**
- REFER TO PLAN AND ELEVATION DRAWINGS FOR ALL ACTUAL TOP OF SUBFLOOR AND TOP OF SLAB ELEVATIONS.
 - SEE ELEVATIONS FOR WINDOW HEAD HEIGHTS. VERIFY R.O. WITH WINDOW MANUFACTURER. REFER TO BUILDING ELEVATIONS FOR WINDOW OPERATIONS.
 - ALL INTERIOR WALL DIMENSIONS ARE 3/4" (2X4 ROUGH STUD) U.N.O. OR PER STRUCTURAL.
 - PROVIDE 1/2" CEMENT BOARD OVER 3/4" PLY. AT ALL HORIZONTAL TILE LOCATIONS (COUNTERS, SEATS, ETC.) PROVIDE 1/2" CEMENT BD. SUBSTRATE AT ALL VERTICAL TILE LOCATIONS.
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 - REFER TO BUILDING SECTION SHEETS FOR ALL ASSEMBLY TYPES.
 - SEE ELEVATIONS FOR ALL MATERIAL INFORMATION.

- WALL LEGEND**
- CONCRETE WALL
 - STONE VENEER ON STUD FRAMING WALL
 - STUD FRAMING WALL

- PLAN KEY NOTES**
- | | |
|--------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 01.G7 | TEMPERED GLASS RAILING, 3/4" TOP CAP, OR LAURENCE TAPER-LOC SYSTEM; INSTALL PER MFR'S REQ. |
| 07.B4 | PRIMARY AND OVERFLOW ROUTED INTERNALLY, CARRY PRIMARY DRAIN TO SUB-SURFACE DRAINAGE SYSTEM TO DAYLIGHT; OVERFLOW DRAIN TO DISCHARGE ABOVE GRADE, IN A LOCATION THAT WOULD NORMALLY BE OBSERVED BY THE BUILDING OCCUPANTS OR MAINTENANCE PERSONNEL. (RE-CIVIL) |
| 07.B10 | LINEAR SLOT DRAIN |
| 07.B11 | SLOPE TO TRENCH DRAIN |
| 10.A1 | MONTIGO FIREPLACE, RE-INTERIORS; INSTALL PER MFR'S WRITTEN INSTRUCTIONS |
| 10.G2 | BOULDER / RETAINING ELEMENTS (RE-CIVIL) |
| 11.G4 | 42" BUILT-IN BBQ W/ DIRECT GAS-LINE CONNECTION |
| 11.J3 | ELECTRIC VEHICLE CHARGER; COORDINATE POWER SUPPLY |
| 11.I4 | WALL-MOUNTED OVERHEAD DOOR OPENER; COORDINATE POWER SUPPLY |
| 22.A1 | FROST PROOF HOSE BIB |
| 22.D12 | WALL MOUNTED DCG-WASH HAND SHOWER; PROVIDE FROST-PROOF ROUGH-IN AS REQ'D |
| 22.E5 | FLOOR DRAIN |
| 22.H2 | RADON VENT; COORDINATE ROUTING TO ROOF AND PENETRATION LOCATION W/ ARCHITECT |
| 26.C1 | ELECTRICAL PANEL, MAINTAIN REQUIRED CLEARANCES |
| 33.C1 | GAS METER; COORDINATE W/ LOCAL UTILITY COMPANY |



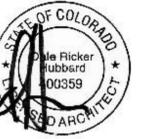
1 MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"

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PROJECT NO: 20.7220

MAIN LEVEL FLOOR PLAN

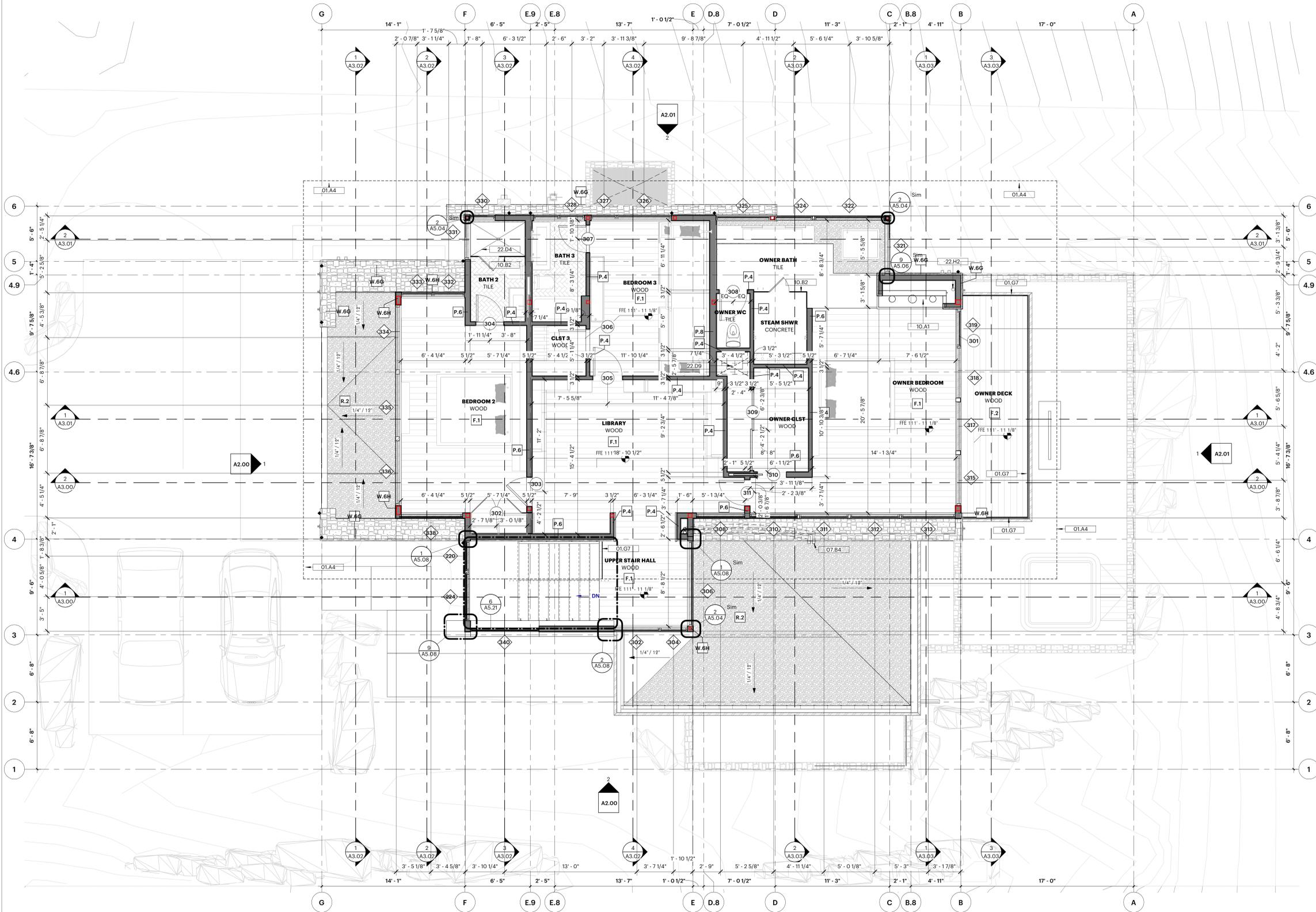


ROOM SCHEDULE - UPPER LEVEL				
Name	Floor	Wall	Ceiling	Room Notes
BATH 2	TILE			
BATH 3	TILE			
BEDROOM 2	WOOD			
BEDROOM 3	WOOD			
CLST 3	WOOD			
LIBRARY	WOOD			
OWNER BATH	TILE			
OWNER BEDROOM	WOOD			
OWNER CLST	WOOD			
OWNER DECK	WOOD			
OWNER WC	TILE			
STEAM SHWR	CONCRETE			
UPPER STAIR HALL	WOOD			

- GENERAL NOTES**
- REFER TO PLAN AND ELEVATION DRAWINGS FOR ALL ACTUAL TOP OF SUBFLOOR AND TOP OF SLAB ELEVATIONS.
 - SEE ELEVATIONS FOR WINDOW HEAD HEIGHTS. VERIFY R.O. WITH WINDOW MANUFACTURER. REFER TO BUILDING ELEVATIONS FOR WINDOW OPERATIONS.
 - ALL INTERIOR WALL DIMENSIONS ARE 3 1/2" (2X4 ROUGH STUD) U.N.O. OR PER STRUCTURAL.
 - PROVIDE 1/2" CEMENT BOARD OVER 3/4" PLY. AT ALL HORIZONTAL TILE LOCATIONS (COUNTERS, SEATS, ETC.); PROVIDE 1/2" CEMENT BOARD SUBSTRATE AT ALL VERTICAL TILE LOCATIONS.
 - ALL ELEVATION TARGETS ARE TO TOP OF PLYWOOD OR T.O. CONCRETE U.N.O.
 - REFER TO BUILDING SECTION SHEETS FOR ALL ASSEMBLY TYPES.
 - SEE ELEVATIONS FOR ALL MATERIAL INFORMATION.

- WALL LEGEND**
- CONCRETE WALL
 - STONE VENEER ON STUD FRAMING WALL
 - STUD FRAMING WALL

- PLAN KEY NOTES**
- | | |
|-------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 01.G7 | TEMPERED GLASS RAILING, 3/4" TOP CAP, OR LAURENCE TAPER-LOC SYSTEM; INSTALL PER MFR'S REQ. |
| 07.B4 | PRIMARY AND OVERFLOW ROUTED INTERNALLY, CARRY PRIMARY DRAIN TO SUB-SURFACE DRAINAGE SYSTEM TO DAYLIGHT; OVERFLOW DRAIN TO DISCHARGE ABOVE GRADE, IN A LOCATION THAT WOULD NORMALLY BE OBSERVED BY THE BUILDING OCCUPANTS OR MAINTENANCE PERSONNEL. (RE-CIVIL) |
| 10.A1 | MONTIGO FIREPLACE, RE-INTERIORS; INSTALL PER MFR'S WRITTEN INSTRUCTIONS |
| 10.B2 | FRAMELESS GLASS SHOWER ENCLOSURE |
| 22.D4 | TILED SHOWER SURROUND OVER 1/2" CEMENTITIOUS BOARD; PROVIDE ON WALLS AND FLOORS |
| 22.D9 | HIGH CAPACITY STEAM GENERATOR LOCATION; PER MFR'S REQUIREMENTS |
| 22.H2 | RADON VENT; COORDINATE ROUTING TO ROOF AND PENETRATION LOCATION W/ ARCHITECT |



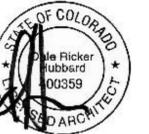
1 UPPER LEVEL FLOOR PLAN
1/4" = 1'-0"

Revision Schedule

No.	Date	Description
1	2020.12.28	NBRHD RVW
2	2021.02.15	SD PRICING
3	2021.04.08	PRICE REV
4	2022.03.08	Civil Coord
5	2022.04.15	ARC FINAL REVIEW
6	2022.06.03	PERMIT SET

PROJECT NO: 20.7220

UPPER LEVEL FLOOR PLAN



GENERAL NOTES

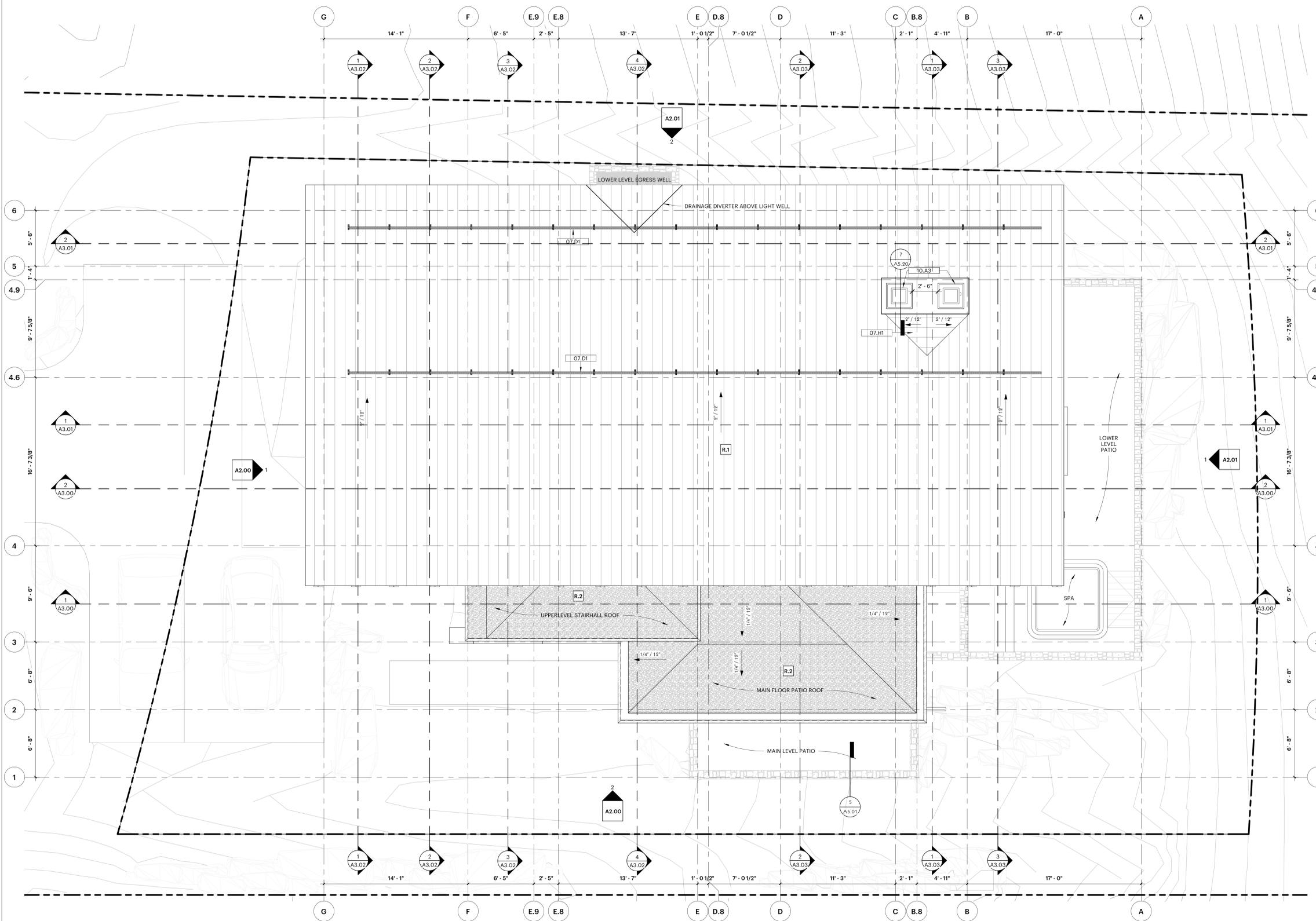
- A. REFER TO PLAN AND ELEVATION DRAWINGS FOR ALL ACTUAL TOP OF SUBFLOOR AND TOP OF SLAB ELEVATIONS.
- B. SEE ELEVATIONS FOR WINDOW HEAD HEIGHTS. VERIFY R.O. WITH WINDOW MANUFACTURER. REFER TO BUILDING ELEVATIONS FOR WINDOW OPERATIONS.
- C. ALL INTERIOR WALL DIMENSIONS ARE 3 1/2" (2X4 ROUGH STUD) U.N.O. OR PER STRUCTURAL.
- D. PROVIDE 1/2" CEMENT BOARD OVER 3/4" PLY. AT ALL HORIZONTAL TILE LOCATIONS (COUNTERS, SEATS, ETC.) PROVIDE 1/2" CEMENT BD. SUBSTRATE AT ALL VERTICAL TILE LOCATIONS.
- E. ALL ELEVATION TARGETS ARE TO TOP OF PLYWOOD OR T.O. CONCRETE U.N.O.
- F. REFER TO BUILDING SECTION SHEETS FOR ALL ASSEMBLY TYPES.
- G. SEE ELEVATIONS FOR ALL MATERIAL INFORMATION.

ROOF DRAINAGE LEGEND

- DS DOWNSPOUT TO UNDERGROUND/PLANTER PER CIVIL; SLEEVE DOWNSPOUTS THROUGH PATIO SLABS WHERE REC'D
- DS-R DOWNSPOUT TO ROOF/ GUTTER BELOW

PLAN KEY NOTES

07.D1	APPROXIMATE EXTENT OF METAL SNOWGUARDS RAIL SYSTEM MOUNTED TO S5 CLIPS ON STANDING SEAM, COORDINATE SPEC AND EXACT LOCATIONS W/ MFR.
07.H1	DRAINAGE CRICKET
10.A3	MONITGO POWERVENT; INSTALL PER MFR'S REQS



Revision Schedule

No.	Date	Description
1	2020.12.28	NBRHD RVW
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ROOF PLAN

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Sword Indoor/Outdoor LED Wall Sconce

By SONNEMAN Lighting

*dark sky compliant

Sword Indoor/Outdoor LED Wall Sconce

By SONNEMAN Lighting

Product Options

Finish: Textured Bronze

Details

Suitable for indoor and outdoor environments
Designed by Robert Sonneman in 2016
Material: Metal
Shade Material: Aluminum
Dimmable when used with a Electronic low voltage (ELV)
Dimmer (Not Included)
ADA compliant
UL Listed Wet
Warranty: 1 Year
Made In China

Dimensions

Fixture: Width 1.75", Height 24.25", Depth 2.75"

Lighting

Lamp Type	LED Built-in
Total Lumens	1190
Total Watts	13.00
Volts	120
Color Temp	3000 (Soft White)
CRI	90
Equivalent Halogen, CFL or LED Bulb Can Be Used	No

Additional Details

Product URL:

<https://www.lumens.com/sword-indoor-outdoor-led-wall-sconce-by-sonneman-lighting-SNN613763.html>

Rating: UL Listed Wet

ITEM#: SNN613763



Notes:

Prepared
by:

Prepared for:
Project:
Room:
Placement:
Approval:



Newport Rectangular LED Outdoor Step Light

By Kuzco Lighting

*dark sky compliant

LUMENS[®]
LIGHT AND LIVING

Call Us 877.445.4486

Newport Rectangular LED Outdoor Step Light

By Kuzco Lighting

Product Options

Finish: Black,

Size: Small

Details

Housing available separately
Material: Die-cast aluminum
Dimmable when used with a Electronic low voltage (ELV)
Dimmer (Not Included)
Dimmer Range: 100%-10%
ETL Listed
Warranty: 2 year finish, 5 year electrical
Made In China



Dimensions

Small Option Fixture: Width 9.75", Height 3.66", Depth 2.25"

Lighting

Small

Lamp Type	LED Built-in
Total Lumens	600
Total Watts	9.00
Volts	120
Color Temp	3000 (Soft White)
Average Lifespan	50000.00
Equivalent Halogen, CFL or LED Bulb Can Be Used	No

Notes:

Prepared
by:

Prepared for:
Project:
Room:
Placement:
Approval:

Additional Details

Product URL:

<https://www.lumens.com/newport-rectangular-led-outdoor-step-light-by-kuzco-lighting-KUZ1963771.html>

Rating: ETL Listed

ITEM#: KUZ1963771

