



**TOWN OF WINTER PARK  
PLANNING COMMISSION  
Tuesday, October 24, 2023 8:00 AM**

**A G E N D A**

**I. Call to Order**

**II. Roll Call of Commission Members**

**III. Public Comment**

*This time is reserved for anyone from the public to speak about items not on the agenda. The Planning Commission is not prepared to decide on matters brought up during this time, but if warranted, will place them on a future agenda.*

**IV. Conflict of Interest**

**V. Consent Agenda:**

- a. Approval of Minutes – September 26, 2023 (correction)
- b. Approval of Minutes – October 10, 2023

**VI. General Business:**

- a. PUBLIC HEARING: Final Development Plan Amendment No. 3 – Roam (PLN23-047)
- b. PUBLIC HEARING: Preliminary Plat – Roam Filing 4 (PLN23-046)
- c. PUBLIC HEARING: Final Development Plan – River Walk at Winter Park (PLN23-022)
- d. PUBLIC HEARING: Final Plat – River Walk at Winter Park (PLN23-023)

**VII. Director's Report:**

*This time is reserved for specific items from staff requiring Commission direction and for relaying important information to the Commission.*

**VIII. Planning Commission Items of Discussion**

*This time is reserved for Commission discussion items that are not listed on the agenda.*

**Online Meeting Login Instructions – See next page**

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### **Public Hearing Process**

If you would like to participate in the public hearing, please follow these instructions so we can make sure everyone that wants to speak has the opportunity. When you log into Zoom you will be automatically muted to limit background noise. When the public hearing is opened for public comment, please use the “raise your hand” feature and staff will unmute citizens in the order they were received. To enable “raise your hand” feature, click on the “Participants” button the bottom of the screen.

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If you would like to participate in the public hearing, please follow these instructions so we can make sure everyone that wants to speak has the opportunity. When you log into Zoom you will be automatically muted to limit background noise. When the public hearing is opened for public comment, please use the “raise your hand” feature and staff will unmute citizens in the order they were received. To enable “raise your hand” feature, click on the “Participants” button at the bottom of the screen.



**TOWN OF WINTER PARK  
PLANNING COMMISSION  
Tuesday, September 26, 2023 8:00 AM**

**MINUTES**

**DATE:** Tuesday, September 26, 2023

**MEETING:** Winter Park Planning Commission

**PLACE:** Town Hall Council Chambers and Zoom Meeting Call

**PRESENT:** Chair Dave Barker, Vice Chair Brad Holzwarth, and Commissioners Doug Robbins, Chris Tagseth, Thomas McDonald, Angela Sandstrom and Roger Kish are present. Also present are Community Development Director James Shockey, Town Planner Hugh Bell, Contracted Town Planner Shelia Booth with Community Planning Strategies, and Assistant Town Attorney Austin Flanagan (on Zoom).

**OTHERS**

**PRESENT:** Irene Kilburn, Building and Planning Technician II.

**I. Call to Order**

Chair Barker calls the meeting to order at 8:04 a.m.

**II. Roll Call of Commission Members**

All Commissioners are present.

**III. Public Comment**

No comments received.

**IV. Conflict of Interest**

No one comes forward.

**V. Consent Agenda:**

a. Approval of Minutes – September 12, 2023

b. Exemption Plat No. 1 – Timber Fox Condominiums (PLN23-089)

Commissioner Robbins moves and Commissioner Sandstrom seconds the motion approving the Consent Agenda. Motion carries 7,0.

**VI. General Business:**

a. PUBLIC HEARING: UDC Text Amendment No. 5 – Adding Self-Service Storage Facility as a new land use (PLN23-068)

Director Shockey starts by outlining the background of this amendment. The key points from the Staff Report are displayed on the screen. Director Shockey emphasizes the contents of the table related to parking.

The Commission and Staff briefly discuss appropriate parking to storage unit ratios and reference other towns' regulations.. Some of the topics mentioned are loading areas and method of key access. To make the text clearer, the Commissioners agree that "keys" should be changed to "locks" and that it should be clarified that people can't occupy the storage units as a living space.

Commissioner McDonald moves and Commissioner Sandstrom seconds the motion approving the UDC Text Amendment No. 5 – Adding Self-Service Storage Facility as a new land use (PLN23-068) with the two (2) proposed language changes regarding keys and prohibition of living within storage units. Motion carries 7,0.

b. PUBLIC HEARING: Preliminary Plat – Lakota Pointe Subdivision (PLN23-048)

Ms. Shelia Booth presents this topic to the Commission by reading the main points from the Staff Report. Ms. Booth summarizes agency comments, public notice, and Staff recommendations (8).

The applicant, Mr. Jeff Marck from Terracina Design, gives a brief presentation. Mr. Marck starts with the existing conditions, existing Preliminary Plat, proposed Preliminary Plat, proposed Phasing Plan and water and sewer alignment.

The Commission and the Applicant review road access and road design, taking into account the feedback provided by East Grand Fire Department. Then, the conversation moves to road maintenance. Later on, the Commission discusses the easements for water and sewer usage. Another item mentioned is the use of gates, which Mr. Marck explains are not proposed.

Chair Barker opens the Public Comment period. Mr. David Woida comes forward. Mr. Woida states that he opposes the application due to the visual and wildlife impacts the proposed sewer line would have on his property, as it would cross a portion of his lot. He gives a printed handout for the Commissioners to pass around that shows trees impacted by the sewer line.

Mr. George Bailie comes forward as well. Mr. Bailie shares Mr. Woida's concerns. His main concern is the impact to wildlife.

Mr. Patrick Boyd (online) comes forward; Mr. Boyd states he is the president of the Lakota Master HOA. Mr. Boyd states that he has concerns about traffic impacts on existing roads, potential environmental impacts to Cub Creek, and the proposed sewer line across Mr. Woida's property.

Mr. Jim Sandt comes forward and he echoes the previous concerns stated.

Chair Barker closes the Public Comment period.

Then, the Commission and the Staff discuss the role of the Lakota Pointe metro district in this Preliminary

Plat application and ask if metro districts can condemn property not within their plat, which Assistant Town Attorney Mr. Austin Flanagan confirms is allowed. The Commission asks the Town Attorney and the Staff if it would be appropriate to suggest a path. Mr. Flanagan answers that this is a complicated matter since the Commission has no way to determine how the sewer would be operated.

Mr. Marck comes back to the podium and he clarifies that they did the studies in which they would preserve as many trees as possible. He states that they are willing to carry out additional studies. The Commission talks about road design and access for emergency vehicles. Later, the Commission and the Staff analyze the roads configuration, signage and turnarounds. The Town Attorney, Mr. Flanagan, suggests that the Town Engineer would be the right person to provide the right guidance regarding these issues.

The Commission discusses the two alternatives they have in order to address both the roads and the environmental impact while making a clear recommendation to the Town Council. The Commission and the Staff discuss if they have the necessary information to make a decision today. The Town Attorney says that the Commission would benefit if they got more information from the applicant to verify the standards are in conformance.

The Commission requests the following three (3) conditions be added:

1. A turnaround shall be erected at the terminus of Lakota Pointe's road that intersects with USFS Road 128.
2. A plat note shall be added stating that the emergency vehicle access on Tract J is for emergency vehicle access only, is gated, and will be dedicated to the Town.
3. The sewer line shall be located under Lakota Trail to the maximum extent practicable. If such location proves impractical and it is necessary to locate the line under Cub Creek, then a study analyzing the impacts to natural resources shall be conducted in accordance with § 3-C-5(B), Resource Mapping Criteria, prior to approval of the final plat.

Commissioner Sandstrom moves and Vice Chair Holzwarth seconds the motion recommending approval of the Preliminary Plat – Lakota Pointe Subdivision (PLN23-048) with Staff's eight (8) recommended conditions plus the Commission's three (3) additional conditions. Motion carries 7,0.

## **VII. Director's Report:**

Director Shockey states that there are no topics to discuss.

## **VIII. Planning Commission Items of Discussion**

There is a brief discussion about Building Permit requirements. Commissioner Sandstrom states she will be out from the next meeting on October 10.

The Commission discusses how to improve the Public Comment period so people have the opportunity to give their opinion while following the Planning Commission guidelines.

There being no further business to discuss, upon a motion regularly adopted, the meeting was adjourned at 9:52 a.m.

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The next scheduled meeting of the Planning Commission will be Tuesday, October 10, 2023, at 8:00 a.m.

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Irene Kilburn, Building and Planning Technician II



**TOWN OF WINTER PARK  
PLANNING COMMISSION  
Tuesday, October 10, 2023 8:00 AM**

**MINUTES**

**DATE:** Tuesday, October 10, 2023

**MEETING:** Winter Park Planning Commission

**PLACE:** Town Hall Council Chambers and Zoom Meeting Call

**PRESENT:** Chair Dave Barker, Vice Chair Brad Holzwarth and Commissioners Doug Robbins, Chris Tagseth, Thomas McDonald, and Roger Kish are present. Also present are Community Development Director James Shockey, Town Planner Hugh Bell, Contracted Town Planner Shelia Booth with Community Planning Strategies, and Town Attorney Hilary Graham (on Zoom).

**OTHERS**

**PRESENT:** Irene Kilburn, Building and Planning Technician II.

**I. Call to Order**

Chair Barker calls the meeting to order at 8:04 a.m.

**II. Roll Call of Commission Members**

Commissioner Angela Sandstrom is absent today.

**III. Public Comment**

No comments received.

**IV. Conflict of Interest**

No one comes forward.

**V. Consent Agenda:**

- a. Approval of Minutes – September 26, 2023

Commissioner Tagseth moves and Commissioner Robbins seconds the motion approving the Consent Agenda. Motion carries 6,0.

**VI. General Business:**

- a. PUBLIC HEARING: Major Site Plan – Roam Parcels B and C Vasquez Mixed Use Project (PLN23-003 and PLN23-004)

And

- b. PUBLIC HEARING: Minor Plat – Roam Filing No.1, Parcels B and C and Tracts E and F (PLN23-005)

Staff recommends the Commission open both items concurrently given they are for the same properties. Contracted Town Planner Shelia Booth presents the staff reports to the Commissioners.

The Commission has several questions and comments, which include:

1. Conditions regarding East Grand Fire Protection District No. 4's referral letter.
2. Permissibility of overnight on-street parking.

The applicant, Mr. Jeff Vogel, of Vogel and Associates, presents to the Commissioners.

The Commission asks Mr. Vogel about snow storage and the conversation he's had with East Grand Fire Protection District.

Chair Barker opens the Public Comment period. Mr. Mark Kent comes forward. His comments include that he owns an adjacent property and concerns about vehicular access.

Ms. Katie Riemenschneider comes forward. Her comments include easements, open space, and parking.

Chair Barker closes the Public Comment period.

Mr. Vogel comes back forward to address the public's comments about:

- a. Parking configurations; and
- b. vehicular access.

The Commissioners and staff briefly discuss the plat. Director Shockey shows the Commission the plat and they review access easements and parking.

Vice Chair Holzwarth moves and Commissioner Kish seconds the motion approving Major Site Plan – Roam Parcels B and C Vasquez Mixed Use Project (PLN23-003 and PLN23-004) with staff's nine (9) recommended conditions plus one (1) condition that the applicant obtain a new referral letter from East Grand Fire Protection District No. 4 stating they accept the reduction in road width from 26' to 24'. Motion carries 6,0.

Then, Vice Chair Holzwarth moves and Commissioner Tagseth seconds the motion approving Minor Plat – Roam Filing No. 1, Parcels B and C and Tracts E and F (PLN23-005) with staff's four (4) recommended conditions. Motion carries 6,0.

## **VII. Director's Report:**

Director Shockey does not have any items today. Chair Barker asks about fence regulations in the UDC. Commissioner McDonald says the trail near his house on Pinecone Lane is finished.

## **VIII. Planning Commission Items of Discussion**

There are no topics to be discussed today.

There being no further business to discuss, upon a motion regularly adopted, the meeting was adjourned at 8:37 a.m.

The next scheduled meeting of the Planning Commission will be Tuesday, October 24, 2023, at 8:00 a.m.

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Irene Kilburn, Building and Planning Technician II

## MEMO

**TO** Planning Commission

**FROM** Shelia Booth, AICP, CPS Contracted Planner

**THROUGH** James Shockey, AICP, Community Development Director

**DATE** October 24, 2023

**RE** PUBLIC HEARING: Roam Final Development Plan, Amendment No. 3 (PLN23-047)

**Property Owner:** Robert Fanch, Fraser River Development Company

**Applicant:** Jeff Vogel, Vogel & Associates, LLC.

**Location:** West side of Ski Idlewild Road, between Rendezvous Way and Wanderers Way (the "Property")

**Existing Zoning:** Destination Center (D-C).

**Proposed Zoning:** Roam FDP PD-DC,

**Authority:**

Pursuant to § 5-B-3, Development Review Procedures Summary Table, of the Winter Park Unified Development Code (the "UDC"), the Planning Commission and Town Council consider the changing of the zoning of a parcel from one zoning district to a planned development within the Town of Winter Park. Preliminary Plat approval, Final Plat approval, and Site Plan approval are required before building permit issuance.

Pursuant to UDC § 5-C-3, Rezoning to Planned Development, the Planning Commission shall consider any changes at a public hearing and shall approve as submitted, disapprove, or approve with conditions.

This report includes comments from Town staff that should be considered as a part of the application decision.

**Applicable Provisions of the Unified Development Code (UDC):**

**§ 5-C-3. Rezoning to Planned Development and 5-C-3(H) Modifications to Existing Planned Developments.**

Since this application proposes to rezone property from Destination Center (D-C) to PD DC and amending an approved Final Development Plan, the application must go through the PD Rezoning process.

§ 5-C-3 (F) gives guidance on determining which applications shall be approved:

H. Approval Criteria.

1. Innovative and Greater Benefit. As determined by Town Council, provides substantial public benefits that are appropriate and proportionate with the proposed development, which may include open space and trail dedication, affordable housing, infrastructure

- improvements, sustainable development, added public amenities, and/or alternative energy sources;
2. Transitioning Character. The character of the surrounding area is transitioning or being affected by other factors, such as traffic, new public facilities, adjoining uses, development transitions, deterioration, or environmental issues;
  3. Compatibility with Area. Represents a high-quality development that provides a desired need for and benefit to the Town that could not otherwise be accomplished through base zoning;
  4. Adequate Facilities. Provides all public improvements necessary for the development of the PD;
  5. Town Code, Plans, and Policies. The rezoning conforms with the policies, intents, and requirements of the Town's Code of Ordinances and other adopted plans and policies; and
  6. Adherence to Town's Code of Ordinances. Does not modify any of the procedures in this Code. In addition, meets all applicable Town regulations unless a variation is agreed to by the Town Council.

**Procedure:**

UDC § 5-C-3(E)(7): *Planning Commission Action*. After proper public notice, the Planning Commission shall:

- a. Receive a written recommendation from the Director regarding the proposed rezoning to PD;
- b. Hold a public hearing prior to taking action on the proposed rezoning to PD; and
- c. By majority vote, recommend to approve or deny the rezoning to PD as outlined in Sec. 5-A-3(C), Procedures.

**Project Overview:**

Ordinance 509, Series 2017 approved a Final Development Plan (FDP) for Roam. The FDP was approved on March 6, 2018 and recorded with Grand County on June 14, 2018 at Reception No. 2018-004495. Two amendments have been approved since on September 17, 2019 (Reception No. 2019007767) and December 3, 2019 (Reception No. 2019010345)

The Applicant is requesting to amend the Roam FDP to incorporate land into Planning Area 1 and 3 and zone said property to PD-DC. The property to be incorporated lies on the west side of Ski Idlewild Road, between Rendezvous Way and Wanderers Way. The area is bordered to the west by a mixture of commercial, residential, and vacant land uses within the (D-C) zoning district and is bordered to the east, across Ski Idlewild Way, by medium density residential (Roam Filing No. 1/Timber Fox Condominiums) within PD-DC zoning. The land is owned by FRDC and was not part of the original FDP. The land was purchased after initial approval and subsequent amendments. This amendment will update the land uses, planning areas, densities, and development standards.

Accompanying this PD rezoning is a preliminary plat application.

**Density:**

Satisfactory. The Roam FDP Amendment No. 3 decreases the Planning Area 3 acreage from 1.4 acres with a density of 28 DU/Ac. to 1.2 acres with the same density. The maximum number of residential units allowed in Planning Area 3 is 34. The amendment increases Planning Area 1 acreage from 8.6 acres with a density of 25 DU/Ac. to 10.3 acres with the same density. The maximum number of residential units allowed in Planning Area 1 is 258. The density breakdown is described in the chart below.

Lot	Use	Acres	Maximum Permitted Residential Density DU/Acre	Permitted Maximum # of DU	
PA 1	Mixed Use	1.2	28 DU/Acre	34	
PA 3	Mixed Use	10.3	25 DU/Acre	258	

#### **Trail Connections**

The applicant has amended the Open Space and Trail Plan to include an additional connection from PA-1 to Wanderers Way through an existing public ROW. The request is to designate this area for pedestrian use only. Previously, the Town approved a preliminary plat for property adjacent to this ROW that utilized it to access the property. That preliminary plat has since expired. While staff supports the additional trail connection, it should not be limited to pedestrians until formal access is granted to the adjacent property. Staff is recommending a note be added to the Open Space and Trails Plan noting the ROW is for pedestrian and vehicular access.

#### **§ 5-B-8 Public Notice Requirements:**

This Preliminary Plat application has had proper public notification pursuant to § 5-B-8 of the UDC. A Newspaper Publication (PUB) was published in the Middle Park Times on October 12, 2023, providing notification of the hearing and requesting comments. A Surrounding Property Owners Mailing (ML) was sent to property owners within 300' of the Property on October 10, 2023. A Property Posting (PO) was posted on October 10, 2023.

No comment have been received as of October 18, 2023.

#### **Staff Recommendation:**

Staff finds the applicant has submitted all required materials within the timeframe required and all other materials comply with the conditions of § 5-C-3 of the UDC and conform to all applicable policies and regulations of the UDC. Staff therefore recommends approval subject to the following condition:

1. Add a note to the FDP trails exhibit stating that the trail shown in the Wanderer ROW will also include vehicular access to the south. This ROW area has been preserved for vehicular access to the Wanderer development as well as pedestrian access.

However, this is a decision for the Commission to make, and the Commission may choose to approve or deny the Preliminary Plat based on the testimony and evidence it hears. Two sample motions are included below for convenience only. They do not limit the evidence the Commission can rely on or the decision the Commission makes.

#### **Sample Motion for Approval:**

I move to approve the Roam Final Development Plan Amendment 3 (PLN23-047) as it was determined the application is in conformance with § 5-C-3 of the UDC with the following condition to be met and/or provided prior to any recording:

1. Add a note to the FDP trails exhibit stating that the trail shown in the Wanderer ROW will also include vehicular access to the south. This ROW area has been preserved for vehicular access to the Wanderer development as well as pedestrian access.

**Sample Motion for Denial:**

I move to deny the Roam Final Development Plan Amendment 3 (PLN23-047) as it was determined the application is NOT in conformance with § 5-C-3 of the UDC ***[insert explanation supported by the evidence here].***



**TOWN OF WINTER PARK**  
P.O. Box 3327 • 50 Vasquez Road • Winter Park, CO 80482  
Phone: 970-726-8081 • Fax: 970-726-8084  
Website: www.wpgov.com

**LAND USE REVIEW APPLICATION FORM**

**PROJECT INFORMATION**

Project Name: Roam Filing No.4	Date: May 15, 2023
Street Address (or general location if not addressed):	
Schedule Number(s) or Parcel Number(s):	
Site Area (in square feet or acres): 76,875 sf (1.76 Ac)	Existing Zoning: Roam FDP D-C
Existing Land Use: Undeveloped	
Legal Description: A RESUBDIVISION OF THE FINAL PLAT OF ROAM FILING NO. 1, AMENDED LOT 1, BLOCK 1 OF ROAM FILING NO. 1, PARCEL A AND LOT 1, BLOCK 1 HIDEAWAY PARK, SUBDIVISION EXEMPTION PLAT, LOTS 16 AND 17, A PART OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO.	

**OWNER / APPLICANT**

Name: Robert Fanch	Phone: 303-893-4288
Company: Fraser River Development Company	Email:
Mailing Address: 1500 Wynkoop St. Suite. 200 Denver, CO 80202	

**CONTACT PERSON**

Name: Jeff Vogel	Phone: 303-893-4288
Company: Vogel & Associates, LLC.	Email: jvogel@vogelassoc.com
Mailing Address: 165 S. Union Blvd., Suite 440 Lakewood, CO. 80228	

**TYPE OF APPLICATION (check all that apply)**

	Subdivision	Fee		Other Development	Fee
✓			✓		
	Sketch Plan	\$250.00		Zoning Variance	\$250.00
<input checked="" type="checkbox"/>	Preliminary Plat	\$500.00*		Special Use Permit	\$150.00
	Final Plat	\$750.00*		Rezoning Request	\$350.00
	Amended Final Plat	\$375.00*		Subdivision Exemption	\$300.00
	As-Built Plat	\$250.00		Amended Exemption	\$150.00
	Amended As-Built Plat	\$250.00*		Annexation	\$500.00***
				Utility Easement/ROW Vacation	\$250.00
	*Number of Lots:	7 x \$10.00		*Number of Lots:	x \$10.00
	TOTAL FEES:	\$ 570.00		TOTAL FEES:	\$
	Minor Subdivision	Fee		Planned Development	Fee
✓			✓		
	Final Plat	\$400.00*		Preapplication Conference	No Fee
	Amended Minor Sub.	\$200.00		Preliminary Development Plan	\$1,000.00**
				Final Development Plan	\$1,000.00**
			X	Amended Final Plan	\$500.00**
	* / ***Number of Lots:	x \$10.00		**Number of Lots:	x \$2.00
	TOTAL FEES:	\$		TOTAL FEES:	\$

\* In addition to the base fee, an additional \$10.00 per unit or lot  
\*\*\* In addition to the base fee, an additional \$10.00 per acre

\*\*In addition to the base fee, an additional \$2.00 per unit or lot

In addition to the base fees the applicant is required to pay the cost of any legal notices and adjoining property owner certified mailings. The applicant may also be subject to reimbursement fees as outlined within § 7-10-8 of the Town Code.





August 17, 2023

Mr. James Shockey, Community Development Director  
Ms. Shelia Booth, Contract Planner  
50 Vasquez Road  
P.O. Box 3327  
Winter Park, Colorado 80482

**Re: Roam Filing No. 4 Preliminary Plat, Major Site Plan, & Final Development Plan Amendment.**

Dear James,

I am pleased to submit on behalf of the Fraser River Development Company, the Roam Filing 4 Major Site Plan Submittal. Per the pre-application, and Final Development Plan and Preliminary Plat is being processed concurrently with the site plan. Outlined below is a summary of the project and the respective documents included for this submittal.

This project is located at the Northwest corner of Roam, between Rendezvous Way and Wanders Way, just West of Ski Idlewild Road. The Major Site Planning Application is for 7 Residential dwelling units/lots. A future phase will include 5 additional townhome lots. Each individual townhome includes a 2-car garage and pedestrian entry.

Roam Filing 4 is located within Planning Area 1 and the north side of Planning Area 3. As illustrated on the attached Final Development Plan (FDP) Amendment, the intent is to incorporate into the FDP and Planning Area 1 an outparcel that was purchased from the Town of Winter Park. A second parcel is also being incorporated into the FDP and Planning Area 3.

Access to the lots will be provided via an access drive off Ski Idlewild Road to the North and an access drive off Wanders Way to the South. Parking requirements for all 7 residential units have been achieved utilizing attached garages. Proposed pedestrian circulation connects to existing sidewalks along Ski Idlewild Road and Wanders Way. These walks will connect to the proposed Roam and downtown pedestrian system.

There is (1) 2-Plex building and (1) 5-Plex building. Each townhome unit is a 3-bedroom unit, including a 2-car garage, 2<sup>nd</sup> floor patio and roof top deck.

**A. Project Name:** Roam Filing No. 4 Preliminary Plat and Site Plan Application. Roam Final Development Plan, Amendment No. 3.

**B. Street Address:**

A RESUBDIVISION OF THE FINAL PLAT OF ROAM FILING NO. 1, AMENDED LOT 1, BLOCK 1 OF ROAM FILING NO. 1, PARCEL A AND LOT 1, BLOCK 1 HIDEAWAY PARK, SUBDIVISION EXEMPTION PLAT, LOTS 16 AND 17, A PART OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO.

**C. Project Team:**

Builder/Owner: Fraser River Development Company  
1500 Wynkoop St, Suite 200  
Denver, CO. 80202

Applicant: Jeff Vogel  
Vogel & Associates  
475 W. 12<sup>th</sup> Ave., Suite E  
Denver, CO. 80204  
(303) 893-4288

Architect: Michael Noda  
Neo Studio  
3560 Walnut St., Unit A  
Denver, CO. 80205  
(303) 758-3800

Civil Engineer: Topknot Engineering (TKE)  
Tony Krempin, Tony DePlata  
998 County Road 553 (POB 2225)  
Granby, CO. 80446  
(970) 281-5280

**D. Legal Description:**

A RESUBDIVISION OF THE FINAL PLAT OF ROAM FILING NO. 1, AMENDED LOT 1, BLOCK 1 OF ROAM FILING NO. 1, PARCEL A AND LOT 1, BLOCK 1 HIDEAWAY PARK, SUBDIVISION EXEMPTION PLAT, LOTS 16 AND 17, A PART OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO.

**E. Zoning District:** Existing Zoning – ROAM FDP (D-C). Parcels that are being included in the FDP are currently zoned D-C. The intent is for these parcels to include FDP D-C zoning.

**F. Lot Size:** 76,875 Sf (1.76 Ac)

**G. Site Plan Proposed Uses:** Residential

**H. FDP Proposed Uses:** The parcels to be included in the FDP shall include a Mixed-Use classification. See Roam FDP for permitted land uses.

**I. Site Plan Number of dwelling units:** 7 dwelling units

**J. Final Development Plan Proposed Density**

Planning Area 1

Planning Area 1 has been enlarged to include approximately 10.3 acres. Permitted density for Planning Area 1 will continue to be 25 DU/AC.

Planning Area 3

Planning Area 3 has being updated to include approximately 1.2 acres. Permitted density for Planning Area 3 will continue to be 28 DU/AC.

The total density permitted in the Final Development Plan will remain as originally approved (see enclosed density chart). This will include 1,076 dwelling units, 400 lodging units and 72,000 sqft. of commercial.

**K. Site Plan Number of bedrooms per dwelling unit:** 7 (3-Bedroom) townhome units each.

**L. Site Plan Size of residential and nonresidential space:**

**Residential Space:**

24' Middle Unit: 2,793 SF

24' End Unit: 2,942 SF

\*Totals include Garage/Flex Space and Roof (landing and exterior deck)

**Non-residential space:** N/A

**M. Site Plan Number of proposed off-street parking spaces:** All parking requirements for residential is met through individual parking garages proposed for each townhome unit. Each garage is a 2-car garage and will meet all parking requirements. There is no on-street parking proposed for this development.

**N. Transportation Impact Study**

Please see the Roam master transportation impact study that has been approved and on file. The transportation plan includes the land use and density that is proposed with this preliminary plat. The original density approved with the FDP is being maintained with no additional trips proposed.

**O. Filing 4 Estimated Construction Schedule:**

Estimated Construction Start: October 2023

Estimated Construction Completion: Fall 2025

**P. Forest Management Plan**

The site does not contain any existing trees. Dead trees were removed as part of the Filing 1 forest management plan.

Upon your review, we will be available to meet and provide additional information as required.

Sincerely,

Vogel & Associates, LLC

Jeffery Vogel, AICP

Principal

# ROAM

## **FDP Amendment No. 3**

Town of Winter Park, Colorado

Prepared for:  
TOWN OF WINTER PARK

Prepared by:  
VOGEL & ASSOCIATES



May 11, 2023

Mr. James Shockey, Town Planner  
Town of Winter Park  
50 Vasquez Road  
P.O. Box 3327  
Winter Park, Colorado 80482

Re: Roam Final Development Plan – Amendment No. 3

Dear James,

I am pleased to submit on behalf of the Fraser River Development Company, the Roam Final Development Plan-Amendment No. 3 submittal for the two parcels located adjacent to the existing FDP boundary. These parcels were purchased following approval of the Roam FDP which included the formal Town Parcel.

The approved Roam Development agreement contemplated the purchase of the Town Parcel with the intent to be developed as part of the Roam project. Located to the southeast of this parcel is a smaller parcel that has been purchased to be included with the Roam FDP. Both parcels are currently zoned D-C which is the same as the underlying zoning in the Roam FDP.

It is the intent to maintain the underlying zoning as D-C and incorporate the parcels into the existing mixed use planning areas. The norther parcel will be incorporated into Mixed Use planning area 1 and the southern into Mixed Use planning area 3. Land uses and development standards approved for these planning areas would continue to apply to the enlarged planning areas. Densities for each planning area have been updated accordingly.

The two parcels total 64,136.54 Sf (1.47 Ac). In addition to the information provided within this narrative, enclosed are the following updated exhibits. These will be submitted as external documents.

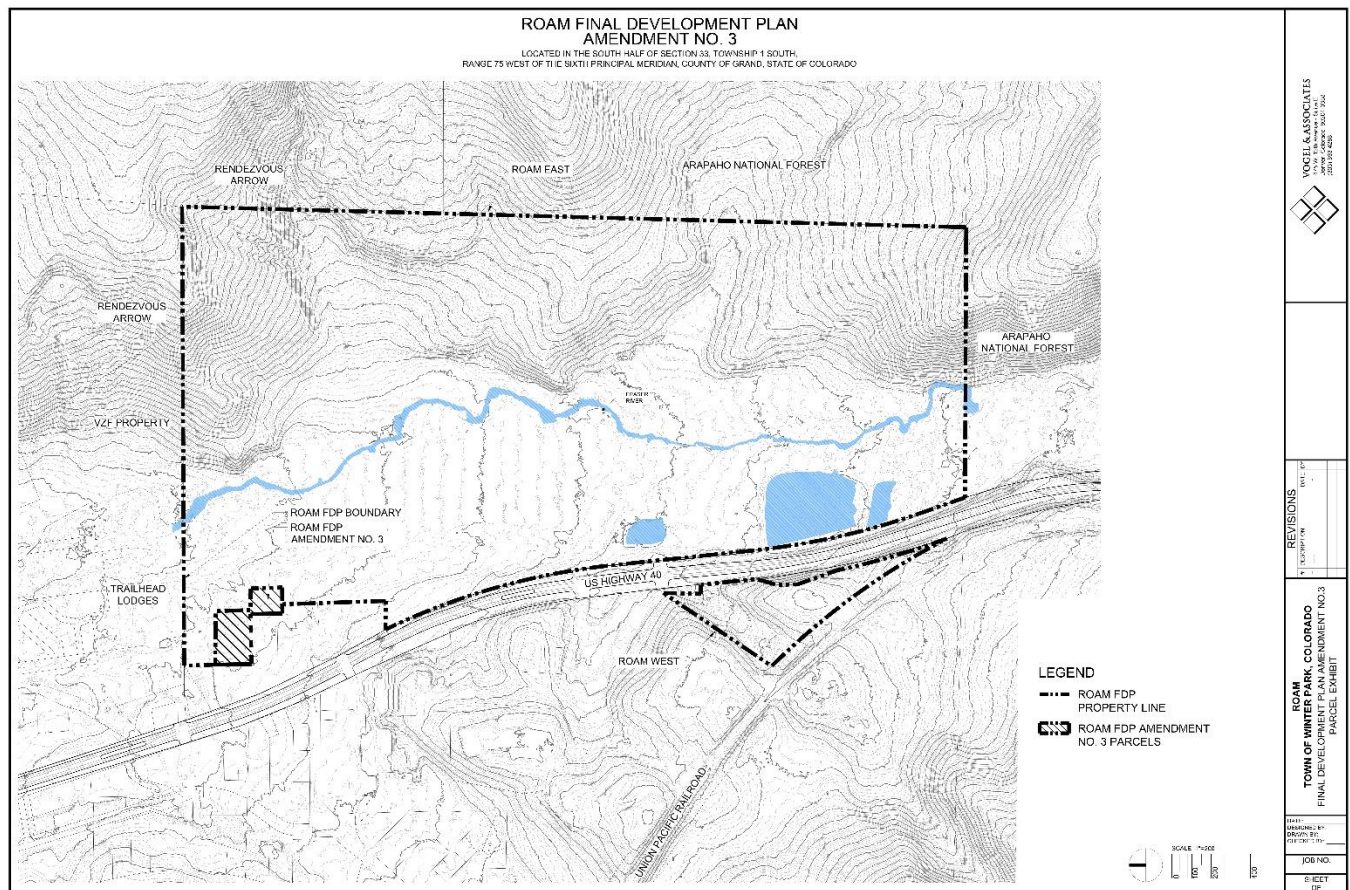
- Roam FDP Amendment No. 3 – Existing Zoning Plan
- Roam FDP Amendment No. 3 – Proposed Zoning Plan
- Roam FDP Amendment No. 3 – Land Use Plan
- Roam FDP Amendment No. 3 – Circulation
- Roam FDP Amendment No. 3 – Grading Plan

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Land Planning ♦ Landscape Architecture ♦ Real Estate Feasibility ♦ Development Consulting

V: 303.893.4288 F: 303.893-6792 ♦ 475 West 12<sup>th</sup> Avenue, Suite E, Denver, Colorado 80204 ♦ [www.vogelassoc.com](http://www.vogelassoc.com)

- Roam FDP Amendment No. 3 – Open Space & Trails Plan



A. Existing and requested zoning classification.

The two parcels are currently zoned D-C. Each parcel will continue to include underlying zoning of DC and will include the FDP overlay.

B. **Justification for how the request complies with the Town’s comprehensive plan.**

Incorporating the two parcels into the Roam FDP further advances goals and strategies outlined in the Comprehensive Plan as outlined below.

#### Imagine Winter Park Principles

“A mountain town with a clear feeling of community that offers economic opportunity and viable housing, high-quality services and employment choices for a diversity of ages, incomes, and household compositions”.

Justification: Incorporating the parcels and expanding the mixed-use planning areas will provide additional opportunity for providing services and creating a diversity of housing.

"A mountain base camp that makes it possible to get around without the need for a private vehicle."

Justification: Incorporating the two parcels will provide for additional trail connections. This will include a north/south trail connection from Wanders Way to Ski Idlewild Road. A second east/west connection will be provided from Ski Idlewild Road to the existing commercial area located west of Roam.

C. **Description of the site's character and that of the surrounding area.**

The proposed area to be re-zoned and included in the Roam FDP is located at the Northwest corner of the Roam property located between Main Street (US HWY 40) and Ski Idlewild Road, with Rendezvous Way to the North and Wanders Way to the South. The existing site is in a developable area directly surrounded by Roam D-C Zoning, making this site attractive to be Re-zoned and developed into future housing projects within the Roam neighborhood.

D. **Description of the site's existing and proposed uses.**

Existing Zoning within the Roam FDP: Roam D-C Zoning

Existing Zoning outside of the Roam FDP boundary: Town of Winter Park D-C Zoning

Proposed Zoning: Roam D-C/FDP Zoning

The parcels within Roam FDP directly adjacent to the proposed Re-zoning area are Mixed-Use planning areas and are Zoned Roam D-C.

E. Description of the access to the site, traffic patterns, and impact of the requested zoning classification on these items.

Access to the site will be provided via existing Ski Idlewild Way and the enhanced Wanders Way Road alignment that is proposed to be completed with Roam Filing No. 4 Site plan.

F. Present and future effect on public facilities and services such as fire, police, water, sanitation, roadways, parks, schools, etc.

The property is located within the Grand County Water and Sanitation District, East Grand Fire and Town of Winter Park service area. School impacts and fees will be addressed for each filing.

G. Street address

See legal description on enclosed preliminary plat.

H. Name, address, email and telephone number of owner, applicant, HOA, surveyor, and land planner.

Builder: Fraser Development Company  
1500 Wynkoop St, Suite 200  
Denver, CO. 80202

Applicant: Jeff Vogel  
Vogel & Associates, LLC  
165 S. Union Blvd., Suite 440  
Lakewood, CO. 80228  
(303) 893-4288

Land Planner: Jeff Vogel  
Vogel & Associates, LLC  
475 W. 12<sup>th</sup> Ave., Suite E  
Denver, CO. 80204  
(303) 893-4288

Surveyor: Aztec Consultants, Inc.  
300 E. Mineral Ave., #1  
Littleton, CO. 80122  
(303) 713-1898

I. Lot size (acreage and sq. ft.)

Combined total: 64,136.54 Sf (1.47 Ac).

Upon your review, we will be available to meet and provide additional information as required. We appreciate your assistance and look forward to working with you further on this project.

Sincerely,

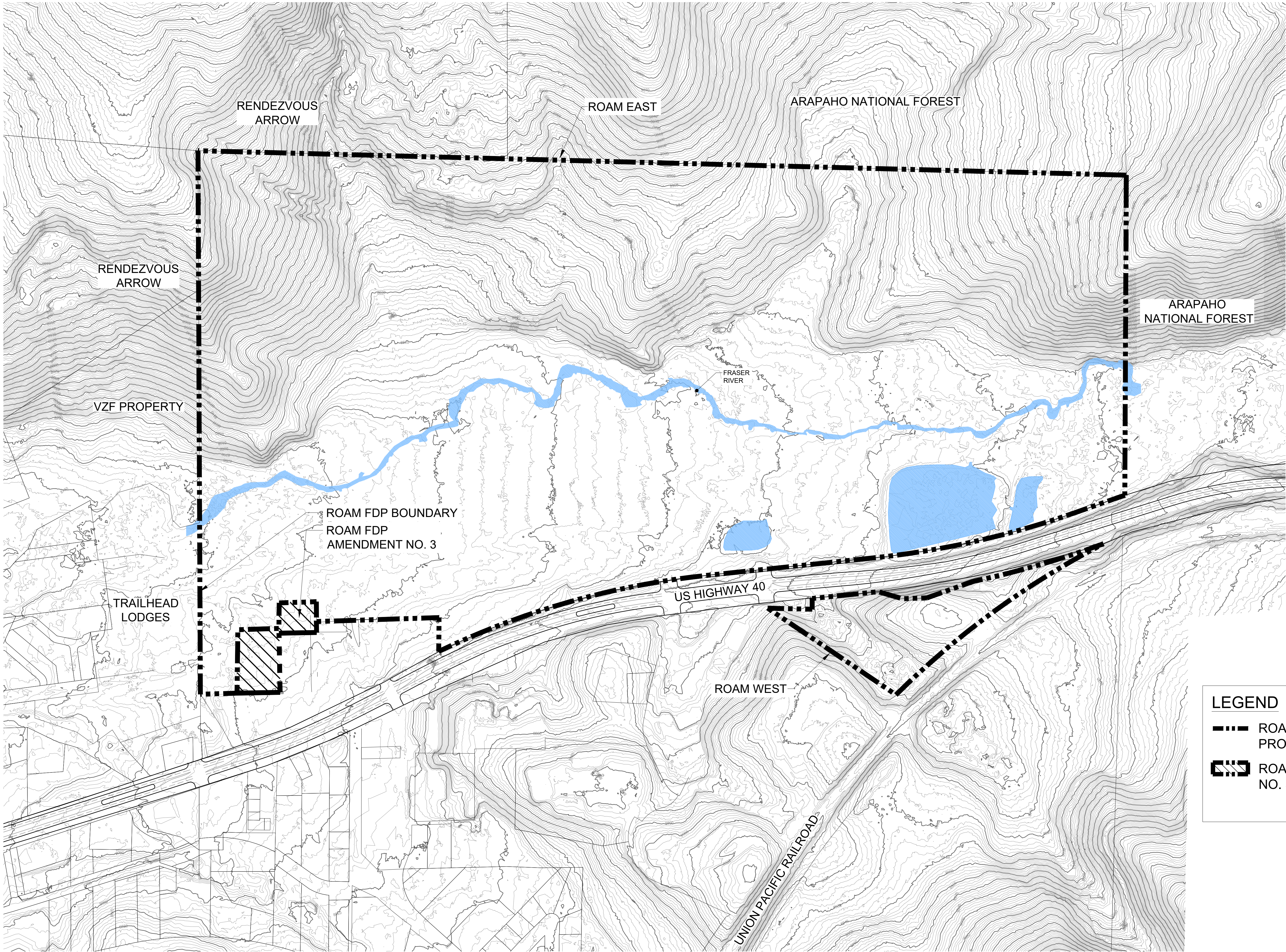
Vogel & Associates, LLC

Jeffrey Vogel, AICP

Principal

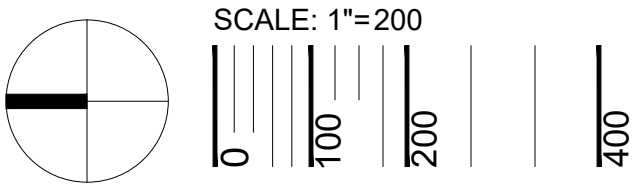
ROAM FINAL DEVELOPMENT PLAN  
AMENDMENT NO. 3

LOCATED IN THE SOUTH HALF OF SECTION 33, TOWNSHIP 1 SOUTH,  
RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF GRAND, STATE OF COLORADO

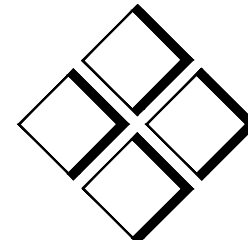


LEGEND

- ROAM FDP PROPERTY LINE
- ▨ ROAM FDP AMENDMENT NO. 3 PARCELS



VOGEL & ASSOCIATES  
475 W. 12th Avenue - Suite E  
Denver, Colorado 80204-3688  
(303) 893-4288



REVISIONS	
#	DESCRIPTION

ROAM  
TOWN OF WINTER PARK, COLORADO  
FINAL DEVELOPMENT PLAN AMENDMENT NO.3  
PARCEL EXHIBIT

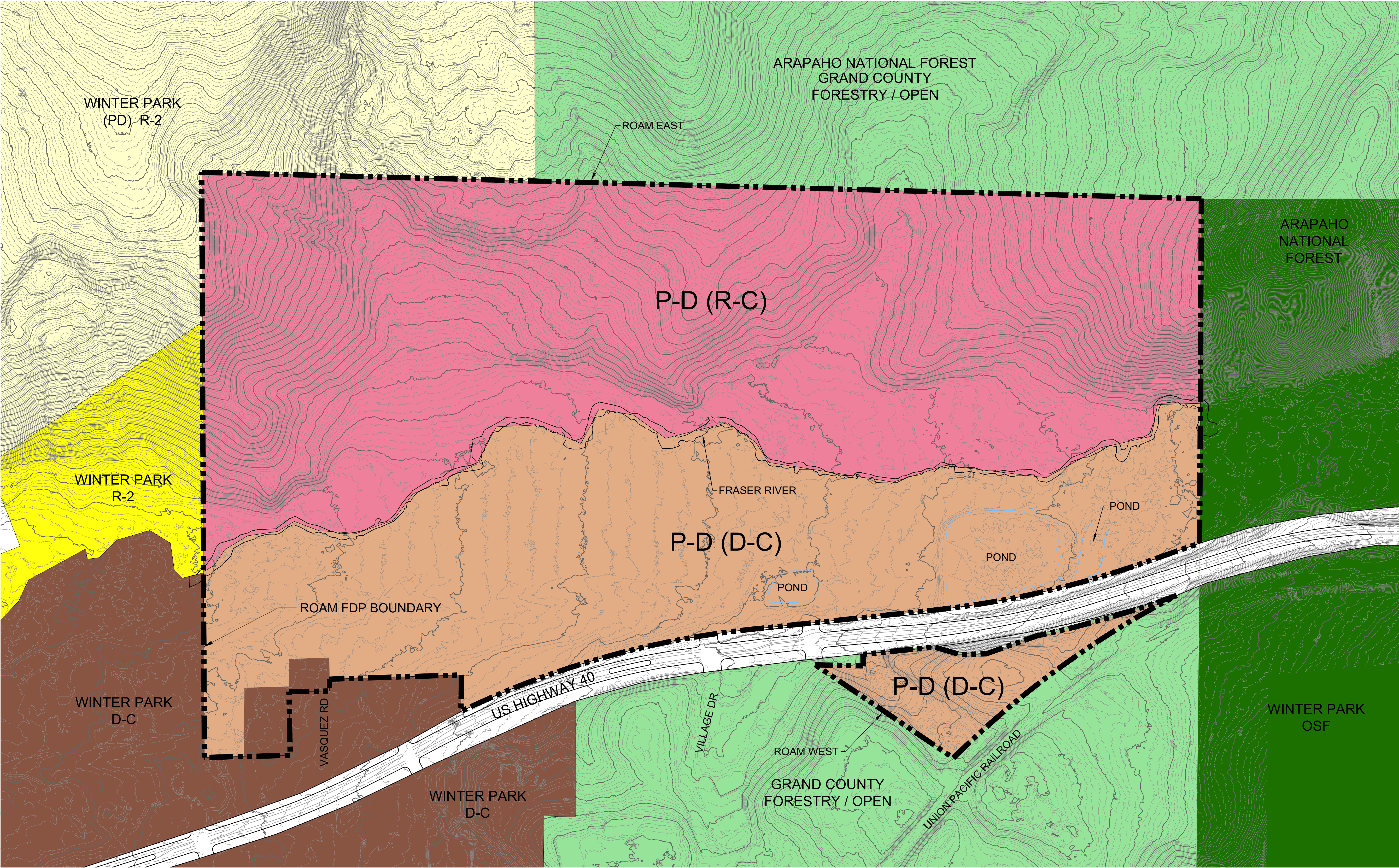
DATE: \_\_\_\_\_  
DESIGNED BY: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_

JOB NO. \_\_\_\_\_

SHEET  
OF \_\_\_\_\_

ROAM FINAL DEVELOPMENT PLAN  
AMENDMENT NO. 3

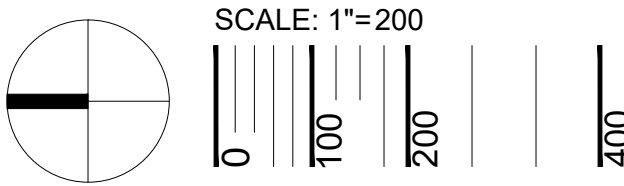
LOCATED IN THE SOUTH HALF OF SECTION 33, TOWNSHIP 1 SOUTH,  
RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF GRAND, STATE OF COLORADO



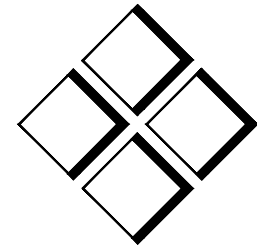
**LEGEND**

ROAM ZONING

- P-D (D-C)
- P-D (R-C)
- FORESTRY/OPEN
- TOWP D-C
- ROAM FDP PROPERTY LINE



**VOGEL & ASSOCIATES**  
475 W. 12th Avenue - Suite E  
Denver, Colorado 80204-3688  
(303) 893-4288



REVISIONS	
#	DESCRIPTION

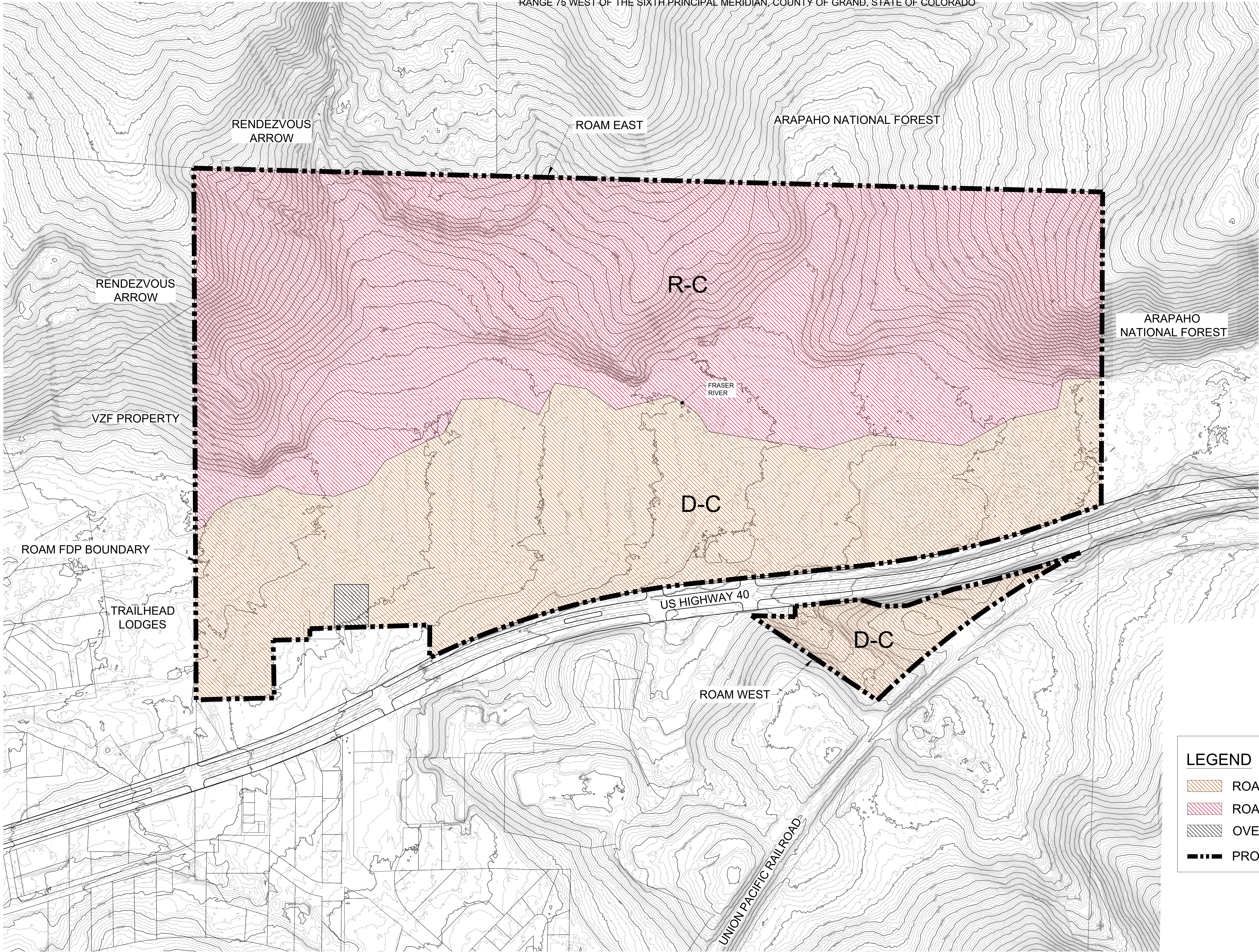
**ROAM**  
**TOWN OF WINTER PARK, COLORADO**  
**FINAL DEVELOPMENT PLAN AMENDMENT NO.3**  
**EXISTING ZONING**

DATE: 02/22/2022  
DESIGNED BY: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_

JOB NO. \_\_\_\_\_  
SHEET \_\_\_\_\_  
OF \_\_\_\_\_

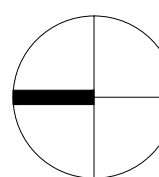
ROAM FINAL DEVELOPMENT PLAN  
AMENDMENT NO. 3

LOCATED IN THE SOUTH HALF OF SECTION 33, TOWNSHIP 1 SOUTH,  
RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF GRAND, STATE OF COLORADO



LEGEND

- ROAM FDP D-C
- ROAM FDP R-C
- OVERLAY DISTRICT
- PROPERTY LINE



SCALE: 1"=200  
0 100 200 400

REVISIONS	
#	DESCRIPTION

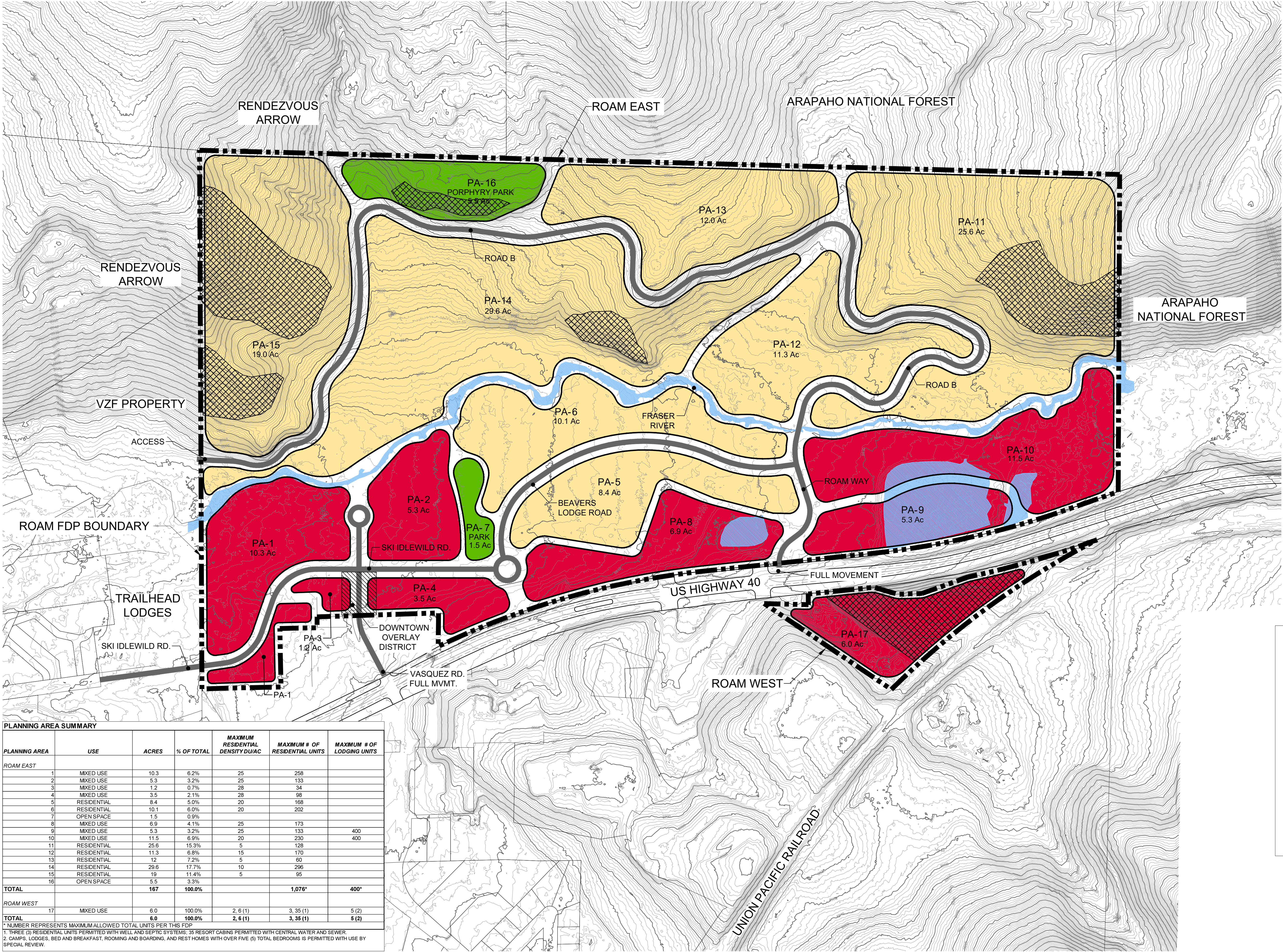
ROAM  
TOWN OF WINTER PARK, COLORADO  
FINAL DEVELOPMENT PLAN AMENDMENT NO.3  
ZONING PLAN

DATE: 02/22/2022  
DESIGNED BY: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_

JOB NO. \_\_\_\_\_  
SHEET \_\_\_\_\_  
OF \_\_\_\_\_

ROAM FINAL DEVELOPMENT PLAN  
AMENDMENT NO. 3

LOCATED IN THE SOUTH HALF OF SECTION 33, TOWNSHIP 1 SOUTH,  
RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF GRAND, STATE OF COLORADO



PLANNING AREA SUMMARY						
PLANNING AREA	USE	ACRES	% OF TOTAL	MAXIMUM RESIDENTIAL DENSITY DU/AC	MAXIMUM # OF RESIDENTIAL UNITS	MAXIMUM # OF LODGING UNITS
ROAM EAST	1 MIXED USE	10.3	6.2%	25	258	
	2 MIXED USE	5.3	3.2%	25	133	
	3 MIXED USE	1.2	0.7%	28	34	
	4 MIXED USE	3.5	2.1%	28	98	
	5 RESIDENTIAL	8.4	5.0%	20	168	
	6 RESIDENTIAL	10.1	6.0%	20	202	
	7 OPEN SPACE	1.5	0.9%			
	8 MIXED USE	6.9	4.1%	25	173	
	9 MIXED USE	5.3	3.2%	25	133	400
	10 MIXED USE	11.5	6.9%	20	230	400
	11 RESIDENTIAL	25.6	15.3%	5	128	
	12 RESIDENTIAL	11.3	6.8%	15	170	
	13 RESIDENTIAL	12	7.2%	5	60	
	14 RESIDENTIAL	29.6	17.7%	10	296	
	15 RESIDENTIAL	19	11.4%	5	95	
	16 OPEN SPACE	5.5	3.3%			
TOTAL		167	100.0%		1,076*	400*
ROAM WEST	17 MIXED USE	6.0	100.0%	2, 6 (1)	3, 35 (1)	5 (2)
	TOTAL	6.0	100.0%	2, 6 (1)	3, 35 (1)	5 (2)

\* NUMBER REPRESENTS MAXIMUM ALLOWED TOTAL UNITS PER THIS FDP

1. THREE (3) RESIDENTIAL UNITS PERMITTED WITH WELL AND SEPTIC SYSTEMS; 35 RESORT CABINS PERMITTED WITH CENTRAL WATER AND SEWER

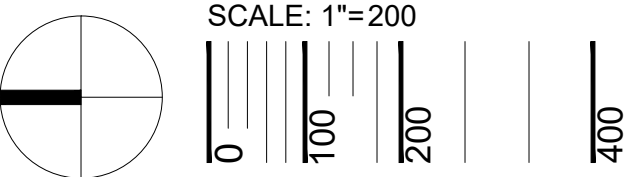
2. CAMPS, LODGES, BED AND BREAKFAST, ROOMING AND BOARDING, AND REST HOMES WITH OVER FIVE (5) TOTAL BEDROOMS IS PERMITTED WITH USE BY SPECIAL REVIEW

ROAM EAST	
LAND USE	MAXIMUM ALLOWANCE
RESIDENTIAL	1,076 UNITS
COMMERCIAL	72,000 SQ. FT.
LODGING	400 UNITS

ROAM WEST	
LAND USE	MAXIMUM ALLOWANCE
RESIDENTIAL	3 UNITS
LODGING	5 UNITS
RESORT CABINS	35 UNITS

**LEGEND**

- MIXED USE
- RESIDENTIAL
- PARK/OPEN SPACE
- VISUALLY SENSITIVE AREA
- DOWNTOWN OVERLAY DISTRICT
- PROPERTY LINE
- ROADS



REVISIONS	
#	DESCRIPTION

LAND USE SUMMARY -ROAM FDP AMENDMENT NO.3

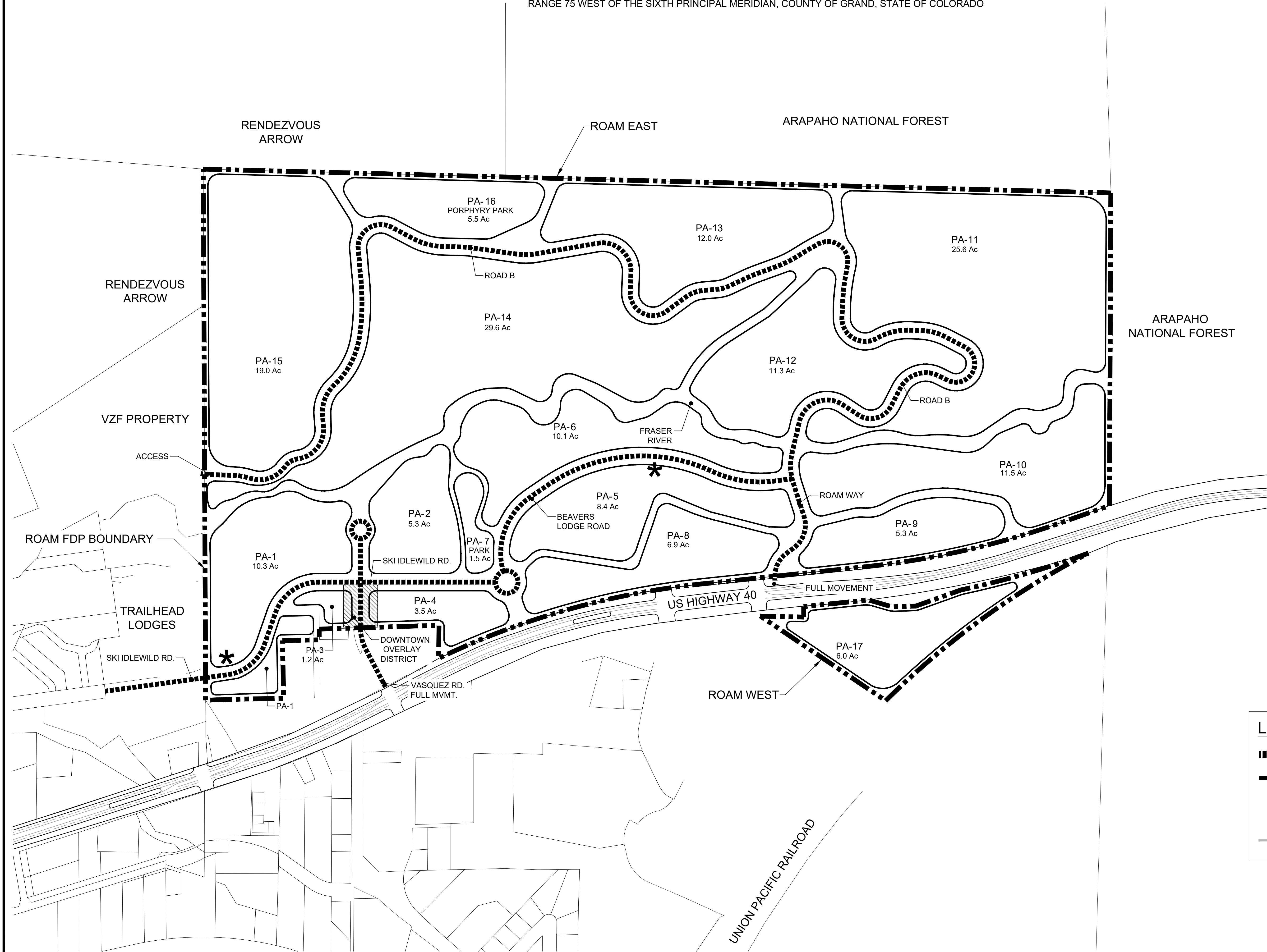
PLANNING AREA	USE	ZONING	ACRES	% OF TOTAL	MAXIMUM RESIDENTIAL DENSITY DU/AC	MAXIMUM # OF RESIDENTIAL UNITS	MAXIMUM # OF LODGING UNITS	MAXIMUM FAR	MAXIMUM COMMERCIAL SQ. FT.
ROAM EAST									
1	MIXED USE	D-C	10.3	6.2%	25	258		0.75	336,501
2	MIXED USE	D-C	5.3	3.2%	25	133		0.75	173,151
3	MIXED USE	D-C	1.2	0.7%	28	34		0.75	39,204
4	MIXED USE	D-C	3.5	2.1%	28	98		0.75	114,345
5	RESIDENTIAL	D-C	8.4	5.0%	20	168			
6	RESIDENTIAL	D-C	10.1	6.0%	20	202			
7	OPEN SPACE	D-C	1.5	0.9%					
8	MIXED USE	D-C	6.9	4.1%	25	173		0.75	225,423
9	MIXED USE	D-C	5.3	3.2%	25	133	400	0.75	173,151
10	MIXED USE	D-C	11.5	6.9%	20	230	400	0.75	375,705
11	RESIDENTIAL	R-C	25.6	15.3%	5	128			
12	RESIDENTIAL	R-C	11.3	6.8%	15	170			
13	RESIDENTIAL	R-C	12	7.2%	5	60			
14	RESIDENTIAL	R-C	29.6	17.7%	10	296			
15	RESIDENTIAL	R-C	19	11.4%	5	95			
16	OPEN SPACE	R-C	5.5	3.3%					
TOTAL			167	100.0%		1,076*	400*		72,000*
ROAM WEST									
17	MIXED USE	D-C	6.0	100.0%	2, 6(1)	3, 35(1)	5(2)	N/A	N/A
TOTAL			6.0	100.0%	2	3	5		

\* NUMBER REPRESENTS MAXIMUM ALLOWED TOTAL UNITS/SQ. FT. PER THIS FDP

- 1. 3 RESIDENTIAL UNITS PERMITTED WITH WELL AND SEPTIC SYSTEMS, 35 RESORT CABINS PERMITTED WITH CENTRAL WATER AND SEWER.
- 2. CAMPS, LODGES, BED AND BREAKFAST, ROOMING AND BOARDING AND REST HOMES WITH OVER 5 TOTAL BEDROOMS IS PERMITTED WITH USE BY SPECIAL REVIEW.

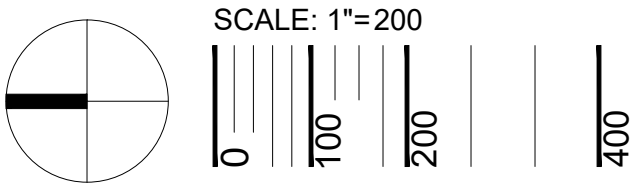
ROAM FINAL DEVELOPMENT PLAN  
AMENDMENT NO. 3

LOCATED IN THE SOUTH HALF OF SECTION 33, TOWNSHIP 1 SOUTH,  
RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF GRAND, STATE OF COLORADO



**LEGEND**

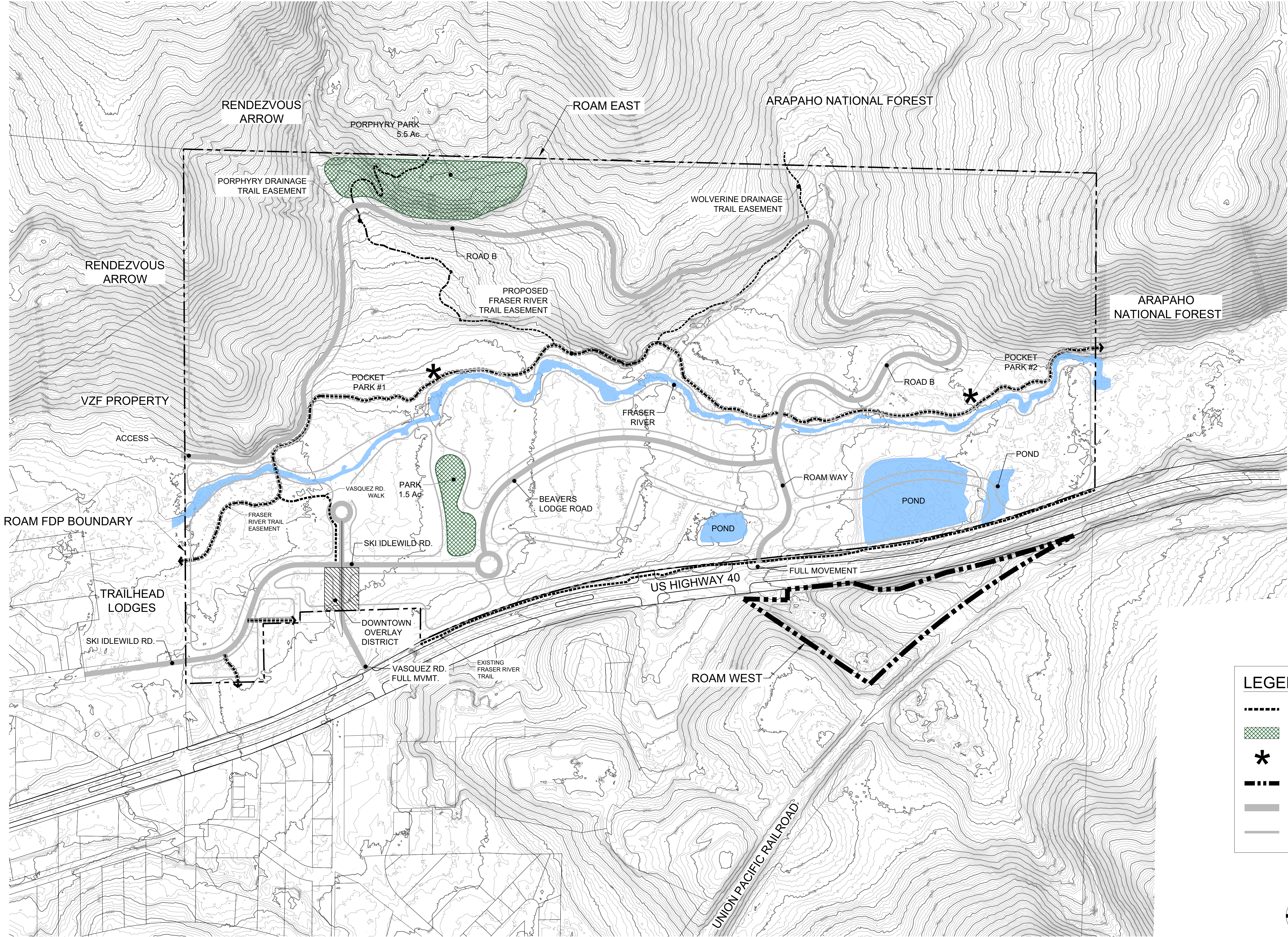
- PRIMARY RD.
- PROPERTY LINE
- APPROX. LOCATION OF TRANSIT STOPS
- PLANNING AREAS



REVISIONS	
#	DESCRIPTION

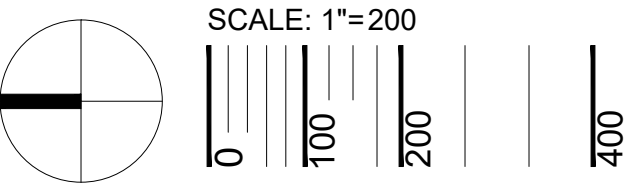
ROAM FINAL DEVELOPMENT PLAN  
AMENDMENT NO. 3

LOCATED IN THE SOUTH HALF OF SECTION 33, TOWNSHIP 1 SOUTH,  
RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF GRAND, STATE OF COLORADO

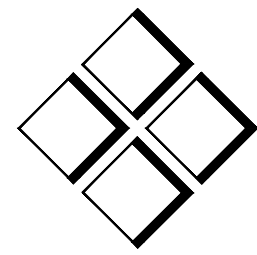


**LEGEND**

- PROPOSED TRAILS
- DEDICATED PARK
- \* POCKET PARK
- PROPERTY LINE
- ROADS
- PLANNING AREAS



**VOGEL & ASSOCIATES**  
475 W. 12th Avenue - Suite E  
Denver, Colorado 80204-3688  
(303) 893-4288



REVISIONS	
#	DESCRIPTION

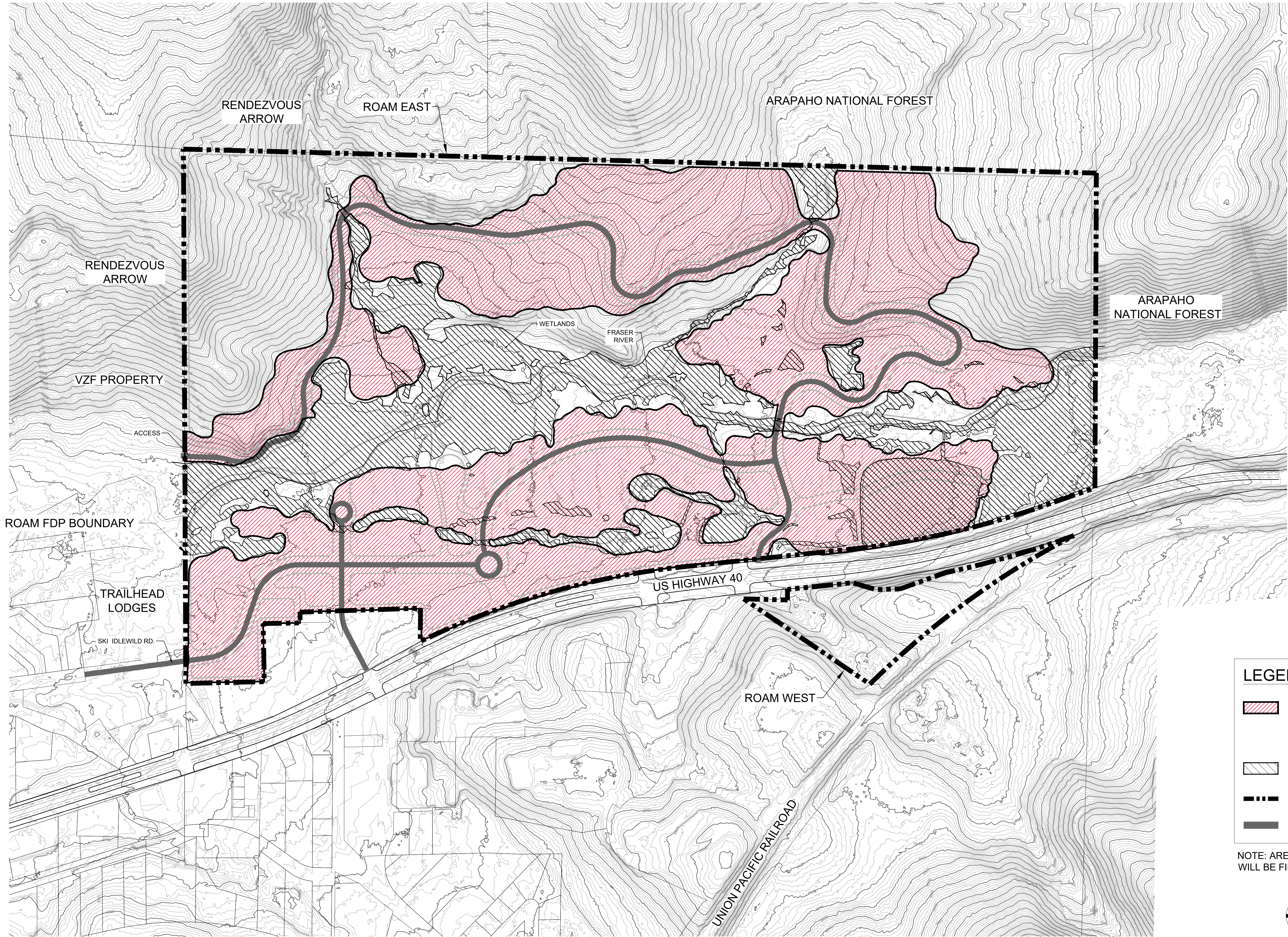
**ROAM**  
**TOWN OF WINTER PARK, COLORADO**  
**FINAL DEVELOPMENT PLAN AMENDMENT NO.3**  
**OPEN SPACE AND TRAILS PLAN**

DATE: 05/19/2023  
DESIGNED BY:   
DRAWN BY:   
CHECKED BY:

JOB NO.   
SHEET   
OF

ROAM FINAL DEVELOPMENT PLAN  
AMENDMENT NO. 3

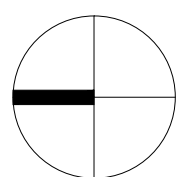
LOCATED IN THE SOUTH HALF OF SECTION 33, TOWNSHIP 1 SOUTH,  
RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF GRAND, STATE OF COLORADO



LEGEND

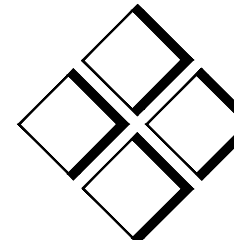
- APPROXIMATE AREA OF DISTURBANCE
- WETLANDS
- PROPERTY LINE
- ROADS

NOTE: AREAS OF DISTURBANCE  
WILL BE FINALIZED AT FINAL PLAT.



SCALE: 1"= 200  
0 100 200 400

VOGEL & ASSOCIATES  
475 W. 12th Avenue - Suite E  
Denver, Colorado 80204-3688  
(303) 893-4288



REVISIONS

#	DESCRIPTION	DATE	BY

ROAM  
TOWN OF WINTER PARK, COLORADO  
FINAL DEVELOPMENT PLAN AMENDMENT NO.3  
CONCEPTUAL GRADING PLAN

DATE: 02/22/2022  
DESIGNED BY:   
DRAWN BY:   
CHECKED BY:

JOB NO.

SHEET  
OF



## MEMO

**TO** Planning Commission

**FROM** Shelia Booth, AICP, CPS Contracted Planner

**THROUGH** James Shockey, AICP, Community Development Director

**DATE** October 24, 2023

**RE** PUBLIC HEARING: Preliminary Plat – Roam Filing No. 4 (PLN23-046)

**Property Owner:** Robert Fanch, Fraser River Development Company

**Applicant:** Jeff Vogel, Vogel & Associates, LLC.

**Location:** West side of Ski Idlewild Road, between Rendezvous Way and Wanderers Way (the "Property")

**Existing Zoning:** Roam Final Development Plan Destination Center (Roam FDP P-D-DC) and Destination Center (D-C).

**Proposed Zoning:** Roam FDP PD-DC, per concurrent Roam Final Development Plan, Amendment No. 3 (PLN23-047) with a portion falling under the Downtown Overlay District.

**Authority:**

Pursuant to § 5-B-3, Development Review Procedures Summary Table, of the Winter Park Unified Development Code (the "UDC"), the Planning Commission and Town Council consider the subdivision of property into five (5) or more lots within the Town of Winter Park. Preliminary Plat approval, Final Plat approval, and Site Plan approval are required before building permit issuance.

Pursuant to UDC § 5-D-4, Preliminary Plat, the Planning Commission shall consider any changes deemed necessary including improvements. At a public hearing, the Planning Commission shall approve as submitted, disapprove, or approve with conditions, the preliminary plat, and shall provide the applicant with a written statement of applicable requirements to be met before final approval of the preliminary plat.

This report includes comments from Town staff that should be considered as a part of the application decision.

**Applicable Provisions of the Unified Development Code (UDC):**

**§ 5-D-4, Preliminary Plat**

Since this plat is creating more than five (5) lots, the application must go through the Preliminary Plat process.

§ 5-D-4(F) gives guidance on determining which applications shall be approved:

**F. Approval Criteria.**

1. Comprehensive Plan. Conformance with the goals, objectives, and policies of the Comprehensive Plan;
2. This UDC. Conformance with the standards of this UDC;

3. State Statutes. Conformance with any applicable Colorado state statutes;
4. Water Supply. The subdivider has provided evidence that provision has been made for a water supply that is sufficient in terms of quantity, quality, and dependability for the type of subdivision proposed;
5. Sewage System. The subdivider has provided evidence that provision has been made for a public sewage system and, if other methods of sewage disposal are proposed, adequate evidence that such system shall comply with State and local laws and regulations;
6. Natural Resources. The subdivider has provided evidence to show that all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, as well as the protection of natural resources and unique landforms, have been identified and the proposed uses of these areas are compatible with such conditions;
7. Drainage. The subdivider has provided adequate drainage improvements;
8. Historical or Cultural Resources. Significant cultural, archaeological, natural, and historical resources, and unique landforms have been protected; and
9. Public Services. Necessary services, including fire and police protection, recreation, utilities, open space, and transportation systems are available to serve the proposed subdivision.

**Procedure:**

UDC § 5-D-4(E)(6): *Planning Commission Action.* After proper public notice, the Planning Commission shall:

1. Receive a written recommendation from the DRC regarding the preliminary plat;
2. Hold a public hearing prior to taking action on the preliminary plat; and
3. By majority vote, approve or deny the preliminary plat as outlined in Sec. 5-A-3(C), Procedures.

**Project Overview:**

The proposed 1.76-acre subdivision is located on the west side of Ski Idlewild Road, between Rendezvous Way and Wanderers Way. The area is bordered to the west by a mixture of commercial, residential, and vacant land uses within the (D-C) zoning district and is bordered to the east, across Ski Idlewild Way, by medium density residential (Roam Filing No. 1/Timber Fox Condominiums) within PD-DC zoning. The proposed plat creates seven (7) residential townhouse lots, Tract C designated for utility easement, drainage easement, open space private/landscaping, public access and snow storage, and Tracts A and B which are dedicated for future development. To create a contiguous area for townhome development, the Preliminary Plat intends to vacate the original lot lines of Hideaway Park, Lots 16-17, Block 1 by the recording of this project's Final Plat.

The property is governed by the Roam Final Development Plan (FDP) (Reception No. 2018004495), the Roam FDP, 2<sup>nd</sup> Amendment (Ordinance No. 527, Series 2019), and will be further governed by the proposed Roam FDP, Amendment No. 3 with its modified uses, planning areas, densities, and development standards. The platted townhome lots fall under Planning Area 3 and Tracts A & B, future development, fall under Planning Area 1.

**Variances:**

The applicant submitted an administrative Variance Request No. 1 from Section 6.2.5 X and Section 6.2.5 XI of the Winter Park Standards and Specifications 2012 to waive requirements for stormwater detention and stormwater quality. The applicant asserts Roam Filing No. 4 drainage calculations are accounted for within the Phase III Drainage Report for Roam Filing No. 1 and that drainage basins have been analyzed to permit future development at 85% impervious area. It is requested that Roam Filing No. 4 utilize the J-26 water quality pond as the regional water quality facility as anticipated and

previously approved by the Town for the overall Roam Development and with Roam Filing No. 1. The Town Engineer has reviewed the submitted waiver request, found it to be acceptable and approved it.

**Density:**

Satisfactory. The Roam FDP Amendment No. 3, Planning Area 3, which encompasses the area proposed for townhome development within this Preliminary Plat, decreases the acreage from 1.4 acres with a density of 28 DU/Ac. to 1.2 acres with the same density. The maximum number of residential units allowed in Planning Area 3 is 34. The density breakdown is described in the chart below. Tracts A&B which are designated for future development fall under Planning Area 1 which allows 25 DU/Ac. and a maximum of 258 residential units.

Lot	Use	Acres	Maximum Permitted Residential Density DU/Acre	Permitted Maximum # of DU	# of DU
<b>Lots: 1-7</b>	Residential	1.76	28 DU/Acre	34	21
<b>Tracts: A &amp; B</b>	Mixed Use	1.19	25 DU/Acre	TBD	TBD

**Dimensional Standards:**

Satisfactory. The Roam FDP, PA-3 Single Family Attached Residential Lot and Development Standards are listed below. Also applicable, per the Roam FDP 2<sup>nd</sup> Amendment: rear loaded garages from private drives shall be a maximum of 5 ft. from the property line. Per the Roam FDP Amendment 3, maximum building height, as measured from the existing grade to midpoint of the roof, is 55 feet. The two townhomes buildings are designed at 46' 10 1/2" and 45' 1 1/2" which meets this requirement. Lots 1-7 require a Lot Typical Diagram on the Construction Plans to note and verify compliance. Dimensional standards will be reviewed for compliance in subsequent stages of development.

Lot	Min. Area (sq.ft./Ac.)	Min. Width (ft)	Min. Depth (ft)	Front Setback	Side Setback	Rear Setback	Building Height
<b>Lots: 1-7 (PA-3)</b>	1,250 sq. ft. / 0.20 Ac.	N/A	N/A	5 ft.	5 ft.	5 ft.	55 ft.
<b>Tracts: A &amp; B</b>	TBD	TBD	TBD	TBD	TBD	TBD	TBD

**Building Coverage:**

N/A. Per the original Roam FDP there is no maximum building coverage for PA-3.

Lots	Area Sq. Ft.	% of Total
<b>1</b>	2,758	9.7%
<b>2</b>	1,568	5.5%
<b>3</b>	1,683	5.9%
<b>4</b>	1,711	6.0%
<b>5</b>	2,206	7.7%
<b>6</b>	1,937	6.8%
<b>7</b>	2,144	7.5%
<b>Subtotal</b>	14,007	49.1%

<b>Landscape</b>	10,160	35.5%
<b>Asphalt</b>	4,379	15.3%
<b>Total</b>	28,546	100.0%

**Parking:**

N/A. Parking standards will be reviewed for compliance in subsequent stages of development. Each townhome lot will be developed with a 2-car attached garage.

**Access:**

Satisfactory. Access to the subdivision will be provided by pavement and utility improvements made to complete the connected intersection of Wanderers Way with Ski Idlewild Road. Direct access to Lots 1-7 will come from a 30' Utility Access & Drainage Easement, see Detail A on the Preliminary Plat. The concurrent Preliminary Construction Plans indicate design pavement sections for Wanderers Way right-of-way and the 30' Access Easement.

**Transit:** A transit stop will be located east of the proposed development on Ski Idlewild Road. No additional transit infrastructure is required for this plat.

**Pedestrian Access:**

Satisfactory. Sidewalk and parallel parking improvements have been made within the Ski Idlewild Road right-of-way along the full frontage of this development from Rendezvous Way to Wanderers Way. Lots 1-5 contain an attached 5-plex townhome unit fronting Ski Idlewild Road and will provide individual walks connecting to the street side sidewalk. There are no planned sidewalks within the Wanderers Way 25' right-of-way. Lots 6 and 7 contain townhome units fronting Wanderers Way and will provide individual walks connecting to the street side 4' mountable curb and apron per the concurrent Preliminary Construction Plans. Additionally, the project proposes a sidewalk trail from Ski Idlewild to Wanderers Way to connect Roam developments to the downtown pedestrian system along US Highway 40. Roam Filing No. 4 will construct the portion of sidewalk within the Existing Right-of-Way dividing Tract B from the townhome lots with the remainder to be constructed by others. There are no required trails affecting this subdivision as indicated by the original Roam FDP or the Town's 2014 Community Trails Plan.

**Utilities:**

Satisfactory. The following utility reports were submitted for review:

1. Phase III Drainage Report for Roam in Winter Park Phase 1 (November 2020),
2. Roam Filing No. 4 Variance Request No. 1 (Drainage Variance Letter) (March 10, 2023), and
3. Geotechnical Engineering Study Proposed Townhome Building 39 Wanderers Way (March 28, 2023).

*Sanitary Sewer and Water:* 8" sanitary sewer lines and 8" water lines with associated utility easements are proposed throughout the development. The Town Engineer and Grand County Water & Sanitation District #1 (GCWSD#1) reviewed the Construction Plan and Preliminary Plat for conformance to engineering standards. The project's water tap will occur at two points within Ski Idlewild Road and will loop throughout the development. The main sanitary sewer line is proposed within the 30' Utility Access and Drainage Easement between the lots and will connect to north-south lines that connect to existing sanitary sewer manholes.

**Storm Sewer & Drainage:** Storm sewer, drainage outfalls and use of water quality ponds associated with the Phase III Drainage Report for Roam in Winter Park Phase 1 are proposed throughout the development. The Town Engineer has reviewed the Construction Plan and Preliminary Plat for conformance to the Town's engineering standards. As stated in this report under "Variances", the applicant submitted an administrative variance to waive requirements for stormwater detention and stormwater quality and requesting this development utilize the J-26 water quality pond as the regional water quality facility as anticipated and previously approved by the Town for the overall Roam Development and with Roam Filing No. 1. As stated above, the Town Engineer has reviewed and approved the submitted waiver request.

**Construction Plans:** ([View Construction Plans here.](#))

Satisfactory. The applicant submitted the Preliminary Construction Plans for Roam Filing No. 4 (current date 2023-0809) including sanitary sewer plans, water plans, and grading plans. The Town Engineer reviewed the plans and found them satisfactory for this stage of development. Additional modifications to the proposed curb design, which is not satisfactory, will be required during the final plat and final construction plan submittal as noted in the latest engineering review letter.

**Wetlands:**

N/A. There are no known wetlands within the developed areas.

**Bufferyards and Revegetation:**

Satisfactory. Landscaping is provided and will be addressed at the time of Minor Site Plan Application review.

**Snow Storage:**

Satisfactory. The applicant submitted Snow Storage calculations and indicated storage boundary areas within Tract C on the Site Plan. Per the UDC Section 3-H-5-A, Snow Storage/ Table 3-H-5-1 Snow Storage Standards, the minimum storage area required is 25%. The Site Plan indicates a Proposed Paved Area Total of 4,379 SF requiring a minimum storage area of 1,095 SF at 25%. The site will accommodate 1,136 SF at 26%. The Snow Storage Study, Preliminary Plat and Construction Plans are found to be compliant.

**5% Land Dedication:**

Satisfactory: The recorded Annexation Agreement 4.3 states: *Subject to FRDC's performance of its obligations to make the dedications of Public Active Open Space described in the FDP, the Town may not impose any additional open space dedications or payments in lieu thereof for the Project.*

Furthermore, the FDP, Section 9, states: *In consideration of FRDC's conveyances of the Public Active Open Space, designation of Private Active Open Space and construction of public improvements in the Parks, all in accordance with the terms of this Section, no additional public open space dedications or payments in lieu thereof, of any kind, type or sort, shall be required with respect to any portion of the Project. Without limiting the generality of the foregoing, individual subdivision submissions to the Town will not be required to independently satisfy the five percent (5%) public open space requirements of Town Code.*

No land dedication is required in association with this subdivision plat.

**School Impact Fee:**

Satisfactory: Annexation Agreement 4.2 states FRDC shall pay applicable school impact fees or make required dedications in lieu thereof for any given Phase of the Project. The school impact fees

shall be calculated and payable at the time of issuance of the first building permit for a dwelling unit within such Phase. The required School Impact Fees will be required to be submitted prior to issuance of the first building permit within Roam Filing No. 3.

**Development Improvements Agreement (DIA):**

All improvements (water, sewer, roadway, landscaping, drainage/erosion control, etc.) associated with the proposed project are required to be guaranteed (120%) through a Development Improvements Agreement (DIA). The DIA shall be approved prior to site disturbance. An Engineers' Estimate of Probable Cost (EEOPC) was submitted. Final details of the DIA will be established at the time of the final plat submittal.

**Review Agency Comments:** ([View agency comment letters here.](#))

- **CDOT**  
On August 29, 2023, Brian Killian, Region 3 Access Program Manager, stated the development had already gone through the CDOT permitting process and that CDOT has no additional comments.
- **Colorado Geological Survey**  
On September 8, 2023, Amy Crandall, Engineering Geologist, stated CGS has reviewed the resubmittal documents and has no further comment for the Preliminary Plat and Amended Development for Roam Filing No. 4.
- **East Grand Fire Protection District No. 4**  
On October 10, 2023, Lieutenant Ryan Mowrey, Assistant Fire Marshal, provided a letter with a summary of the EGFPD criteria and an analysis of compliance for this plat. The letter provided three conditions that would need to be met in order to allow the narrow roadway widths for Wanders Way and the "Drive" lane.
  - As part of the final plat application and minor site plan approval, the applicant shall comply with the conditions noted in the October 10, 2023 comment letter from EGFPD or provide acceptable alternatives to EGFPD.
- **Grand County Water and Sanitation District #1 (GCWSD#1)**  
On September 21, 2023, Cooper Karsh, Senior Engineer at JVA representing the District indicated with a review in conformance to the Districts Standards as well as best engineering practices, there are no further comments.
- **JVA**  
On September 21, 2023, Cooper Karsh, Senior Engineer provided a review and update to the materials provided for Roam Filing 4. JVA required the following consideration to the Preliminary Construction Plans:
  - The Town does not wish for mountable curb to be utilized within the Right-of-Ways where there is no sidewalk behind the curb. Please utilize standard vertical curb in these locations. Based on past performance of the mountable curb detail without additional concrete behind it, we recommend that the Applicant consider this change for private roads as well.

On October 17, 2023, Cooper Karsh, Senior Engineer indicated the comment still applies and can be addressed during the final plat and final construction plan submission and does not hinder the approval of the Preliminary Plat.

- **Mountain Parks Electric, Inc.**

On October 10, 2023, Jean Johnston, Right of Way Specialist, indicated the following remarks:

- MPEI has worked out a design with the engineer for this project. There are parts of the design that overlap into the Vasquez Multi-Use (Flg 1) plat. It appears that everything we need can be met and we can accept this plat. Both plats will need to be recorded before we can start design on either project. The engineer is pursuing a necessary underground service with a landowner that is key in order to remove a service pole. We will also require easement from the Town of Winter Park in Wanderers Way to make the design work.

- **Xcel Energy**

On October 4, 2023, Julie Gittins, Design Planner, received the latest review set (9/21/23) and has worked with the applicant to address easement concerns. Xcel is ready to approve the plat.

Letters were sent to the following agencies, but comments were not received prior to the deadline –

- Comcast
- Headwaters Trails Alliance
- Lumen

If the Commission feels comments from any of the above listed agencies are necessary, the Applicant would be responsible for obtaining those letters prior to final plat review.

**§ 5-B-8 Public Notice Requirements:**

This Preliminary Plat application has had proper public notification pursuant to § 5-B-8 of the UDC. A Newspaper Publication (PUB) was published in the Middle Park Times on October 12, 2023, providing notification of the hearing and requesting comments. A Surrounding Property Owners Mailing (ML) was sent to property owners within 300' of the Property on October 10, 2023. A Property Posting (PO) was posted on October 10, 2023.

No comments have been received as of October 18, 2023.

**Plat:**

Staff has prepared a red-marked print for the plat.

- Prior to submission of a final plat application, the applicant shall revise the preliminary plat in conformance with staff's red-marked print dated October 18, 2023.

**Staff Recommendation:**

Staff finds the applicant has submitted all required materials within the timeframe required and all other materials comply with the conditions of § 5-D-4 of the UDC and conform to all applicable policies and regulations of the UDC. Staff therefore recommends approval subject to the following conditions:

1. Prior to submission of a final plat application, the applicant shall revise the preliminary plat in conformance with staff's red-marked print dated October 18, 2023.
2. As part of the final plat application and minor site plan approval, the applicant shall comply with the conditions noted in the October 10, 2023 comment letter from EGFPD or provide acceptable alternatives to EGFPD.
3. Prior to final plat approval, the construction plans shall be modified to utilize standard vertical curb in locations where there is no sidewalk behind the curb, instead of the currently proposed mountable curb. The Applicant should consider this change for private roads as well.

However, this is a decision for the Commission to make, and the Commission may choose to approve or deny the Preliminary Plat based on the testimony and evidence it hears. Two sample motions are included below for convenience only. They do not limit the evidence the Commission can rely on or the decision the Commission makes.

**Sample Motion for Approval:**

I move to approve the Preliminary Plat for Roam Filing No. 4 (PLN23-046) as it was determined the application is in conformance with § 5-D-4 of the UDC with the staff conditions to be met and/or provided prior to any recording.

**Sample Motion for Denial:**

I move to deny the Preliminary Plat for Roam Filing No. 4 (PLN23-046) as it was determined the application is NOT in conformance with § 5-D-4 of the UDC ***[insert explanation supported by the evidence here].***



**TOWN OF WINTER PARK**  
P.O. Box 3327 • 50 Vasquez Road • Winter Park, CO 80482  
Phone: 970-726-8081 • Fax: 970-726-8084  
Website: www.wpgov.com

**LAND USE REVIEW APPLICATION FORM**

**PROJECT INFORMATION**

Project Name: Roam Filing No.4	Date: May 15, 2023
Street Address (or general location if not addressed):	
Schedule Number(s) or Parcel Number(s):	
Site Area (in square feet or acres): 76,875 sf (1.76 Ac)	Existing Zoning: Roam FDP D-C
Existing Land Use: Undeveloped	
Legal Description: A RESUBDIVISION OF THE FINAL PLAT OF ROAM FILING NO. 1, AMENDED LOT 1, BLOCK 1 OF ROAM FILING NO. 1, PARCEL A AND LOT 1, BLOCK 1 HIDEAWAY PARK, SUBDIVISION EXEMPTION PLAT, LOTS 16 AND 17, A PART OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO.	

**OWNER / APPLICANT**

Name: Robert Fanch	Phone: 303-893-4288
Company: Fraser River Development Company	Email:
Mailing Address: 1500 Wynkoop St. Suite. 200 Denver, CO 80202	

**CONTACT PERSON**

Name: Jeff Vogel	Phone: 303-893-4288
Company: Vogel & Associates, LLC.	Email: jvogel@vogelassoc.com
Mailing Address: 165 S. Union Blvd., Suite 440 Lakewood, CO. 80228	

**TYPE OF APPLICATION (check all that apply)**

	Subdivision	Fee		Other Development	Fee
<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>		
	Sketch Plan	\$250.00		Zoning Variance	\$250.00
<input checked="" type="checkbox"/>	Preliminary Plat	\$500.00*		Special Use Permit	\$150.00
	Final Plat	\$750.00*		Rezoning Request	\$350.00
	Amended Final Plat	\$375.00*		Subdivision Exemption	\$300.00
	As-Built Plat	\$250.00		Amended Exemption	\$150.00
	Amended As-Built Plat	\$250.00*		Annexation	\$500.00***
				Utility Easement/ROW Vacation	\$250.00
	*Number of Lots:	7 x \$10.00		*Number of Lots:	x \$10.00
	TOTAL FEES:	\$ 570.00		TOTAL FEES:	\$
<input checked="" type="checkbox"/>	Minor Subdivision	Fee	<input checked="" type="checkbox"/>	Planned Development	Fee
	Final Plat	\$400.00*		Preapplication Conference	No Fee
	Amended Minor Sub.	\$200.00		Preliminary Development Plan	\$1,000.00**
				Final Development Plan	\$1,000.00**
			<input checked="" type="checkbox"/>	Amended Final Plan	\$500.00**
	* / ***Number of Lots:	x \$10.00		**Number of Lots:	x \$2.00
	TOTAL FEES:	\$		TOTAL FEES:	\$

\* In addition to the base fee, an additional \$10.00 per unit or lot  
\*\*\* In addition to the base fee, an additional \$10.00 per acre

\*\*In addition to the base fee, an additional \$2.00 per unit or lot

In addition to the base fees the applicant is required to pay the cost of any legal notices and adjoining property owner certified mailings. The applicant may also be subject to reimbursement fees as outlined within § 7-10-8 of the Town Code.





August 17, 2023

Mr. James Shockey, Community Development Director  
Ms. Shelia Booth, Contract Planner  
50 Vasquez Road  
P.O. Box 3327  
Winter Park, Colorado 80482

**Re: Roam Filing No. 4 Preliminary Plat, Major Site Plan, & Final Development Plan Amendment.**

Dear James,

I am pleased to submit on behalf of the Fraser River Development Company, the Roam Filing 4 Major Site Plan Submittal. Per the pre-application, and Final Development Plan and Preliminary Plat is being processed concurrently with the site plan. Outlined below is a summary of the project and the respective documents included for this submittal.

This project is located at the Northwest corner of Roam, between Rendezvous Way and Wanders Way, just West of Ski Idlewild Road. The Major Site Planning Application is for 7 Residential dwelling units/lots. A future phase will include 5 additional townhome lots. Each individual townhome includes a 2-car garage and pedestrian entry.

Roam Filing 4 is located within Planning Area 1 and the north side of Planning Area 3. As illustrated on the attached Final Development Plan (FDP) Amendment, the intent is to incorporate into the FDP and Planning Area 1 an outparcel that was purchased from the Town of Winter Park. A second parcel is also being incorporated into the FDP and Planning Area 3.

Access to the lots will be provided via an access drive off Ski Idlewild Road to the North and an access drive off Wanders Way to the South. Parking requirements for all 7 residential units have been achieved utilizing attached garages. Proposed pedestrian circulation connects to existing sidewalks along Ski Idlewild Road and Wanders Way. These walks will connect to the proposed Roam and downtown pedestrian system.

There is (1) 2-Plex building and (1) 5-Plex building. Each townhome unit is a 3-bedroom unit, including a 2-car garage, 2<sup>nd</sup> floor patio and roof top deck.

**A. Project Name:** Roam Filing No. 4 Preliminary Plat and Site Plan Application. Roam Final Development Plan, Amendment No. 3.

**B. Street Address:**

A RESUBDIVISION OF THE FINAL PLAT OF ROAM FILING NO. 1, AMENDED LOT 1, BLOCK 1 OF ROAM FILING NO. 1, PARCEL A AND LOT 1, BLOCK 1 HIDEAWAY PARK, SUBDIVISION EXEMPTION PLAT, LOTS 16 AND 17, A PART OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO.

**C. Project Team:**

Builder/Owner: Fraser River Development Company  
1500 Wynkoop St, Suite 200  
Denver, CO. 80202

Applicant: Jeff Vogel  
Vogel & Associates  
475 W. 12<sup>th</sup> Ave., Suite E  
Denver, CO. 80204  
(303) 893-4288

Architect: Michael Noda  
Neo Studio  
3560 Walnut St., Unit A  
Denver, CO. 80205  
(303) 758-3800

Civil Engineer: Topknot Engineering (TKE)  
Tony Krempin, Tony DePlata  
998 County Road 553 (POB 2225)  
Granby, CO. 80446  
(970) 281-5280

**D. Legal Description:**

A RESUBDIVISION OF THE FINAL PLAT OF ROAM FILING NO. 1, AMENDED LOT 1, BLOCK 1 OF ROAM FILING NO. 1, PARCEL A AND LOT 1, BLOCK 1 HIDEAWAY PARK, SUBDIVISION EXEMPTION PLAT, LOTS 16 AND 17, A PART OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO.

**E. Zoning District:** Existing Zoning – ROAM FDP (D-C). Parcels that are being included in the FDP are currently zoned D-C. The intent is for these parcels to include FDP D-C zoning.

**F. Lot Size:** 76,875 Sf (1.76 Ac)

**G. Site Plan Proposed Uses:** Residential

**H. FDP Proposed Uses:** The parcels to be included in the FDP shall include a Mixed-Use classification. See Roam FDP for permitted land uses.

**I. Site Plan Number of dwelling units:** 7 dwelling units

**J. Final Development Plan Proposed Density**

Planning Area 1

Planning Area 1 has been enlarged to include approximately 10.3 acres. Permitted density for Planning Area 1 will continue to be 25 DU/AC.

Planning Area 3

Planning Area 3 has being updated to include approximately 1.2 acres. Permitted density for Planning Area 3 will continue to be 28 DU/AC.

The total density permitted in the Final Development Plan will remain as originally approved (see enclosed density chart). This will include 1,076 dwelling units, 400 lodging units and 72,000 sqft. of commercial.

**K. Site Plan Number of bedrooms per dwelling unit:** 7 (3-Bedroom) townhome units each.

**L. Site Plan Size of residential and nonresidential space:**

**Residential Space:**

24' Middle Unit: 2,793 SF

24' End Unit: 2,942 SF

\*Totals include Garage/Flex Space and Roof (landing and exterior deck)

**Non-residential space:** N/A

**M. Site Plan Number of proposed off-street parking spaces:** All parking requirements for residential is met through individual parking garages proposed for each townhome unit. Each garage is a 2-car garage and will meet all parking requirements. There is no on-street parking proposed for this development.

**N. Transportation Impact Study**

Please see the Roam master transportation impact study that has been approved and on file. The transportation plan includes the land use and density that is proposed with this preliminary plat. The original density approved with the FDP is being maintained with no additional trips proposed.

**O. Filing 4 Estimated Construction Schedule:**

Estimated Construction Start: October 2023

Estimated Construction Completion: Fall 2025

**P. Forest Management Plan**

The site does not contain any existing trees. Dead trees were removed as part of the Filing 1 forest management plan.

Upon your review, we will be available to meet and provide additional information as required.

Sincerely,

Vogel & Associates, LLC

Jeffery Vogel, AICP

Principal

PRELIMINARY PLAT  
ROAM FILING NO. 4

A RESUBDIVISION OF PARCEL E OF THE FINAL PLAT OF ROAM FILING NO. 1, AMENDED LOT 1, BLOCK 1 OF ROAM FILING NO. 1, PARCEL A, AND LOT 1, BLOCK 1, HIDEAWAY PARK, SUBDIVISION EXEMPTION PLAT, LOTS 16 & 17, HIDE-AWAY PARK, AND TRACT I, MINOR SUBDIVISION PLAT OF ROAM FILING NO. 1. A PART OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO.

DEDICATION AND NOTARY CLAUSE:

KNOW ALL MEN BY THESE PRESENTS: THAT FRASER RIVER DEVELOPMENT COMPANY LLC, A COLORADO LIMITED LIABILITY COMPANY IS THE OWNER OF THAT REAL PROPERTY SITUATE IN THE TOWN OF WINTER PARK, GRAND COUNTY, COLORADO, MORE FULLY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

AMENDED LOT 1, BLOCK 1, HIDE-AWAY PARK, ROAM FILING NO. 1, PARCEL A, AND LOT 1, BLOCK 1 HIDEAWAY PARK, SUBDIVISION EXEMPTION PLAT, ACCORDING TO THE PLAT RECORDED JANUARY 23, 2020 AT RECEPTION NO. 202000701 AND;

LOTS 16 AND 17, BLOCK 1, HIDE-AWAY PARK, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 24, 1937 AT RECEPTION NO. 48279 AND;

PARCEL E, ROAM FILING NO. 1, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 11, 2019 AT RECEPTION NUMBER 209008310 AND;

TRACT I, MINOR SUBDIVISION PLAT ROAM FILING NO. 1, ACCORDING TO THE PLAT THEREOF RECORDED \_\_\_\_\_ 2023,

SAID PARCELS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**COMMENCING** AT THE NORTHWEST CORNER OF THE SOUTH HALF OF SAID NORTHEAST QUARTER OF SECTION 33, BEING A DISTANCE 2-1/2" BRASS CAP IN CONCRETE STAMPED "T1S R75W N1/16 S33 2022 PLS 34592";

THENCE ALONG THE NORTH LINE OF SAID SOUTH HALF OF THE NORTHEAST QUARTER, NORTH 89°44'21"EAST, A DISTANCE OF 151.41 FEET TO THE **POINT OF BEGINNING**;

THENCE CONTINUING ALONG SAID NORTH LINE, NORTH 89°44'21" EAST, A DISTANCE OF 73.59 FEET TO THE WESTERLY RIGHT-OF-WAY OF SKI IDLEWLD ROAD AS SHOWN ON SAID PLAT OF ROAM FILING NO. 1;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES:

- 1) SOUTH 07°40'04" EAST, A DISTANCE OF 100.54 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 225.00 FEET;
- 2) SOUTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 15°45'38", AN ARC LENGTH OF 61.89 FEET;

THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY, NON-TANGENT TO SAID CURVE, SOUTH 89°16'45" EAST, A DISTANCE OF 56.47 FEET TO THE SOUTHWESTERLY LINE OF AMENDED PARCEL A AS SHOWN ON SAID EXEMPTION PLAT, AND THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 175.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS NORTH 58°59'16" EAST;

THENCE ALONG SAID SOUTHWESTERLY LINE THE FOLLOWING TWO (2) COURSES:

- 1) SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 39°50'22", AN ARC LENGTH OF 121.68 FEET;
- 2) TANGENT TO SAID CURVE, SOUTH 70°51'14" EAST, A DISTANCE OF 28.71 FEET;

THENCE DEPARTING SAID SOUTHWESTERLY LINE, SOUTH 01°49'53" EAST, A DISTANCE OF 53.54 FEET TO THE MOST NORTHERLY CORNER OF SAID TRACT I;

THENCE ALONG THE EASTERLY AND SOUTHERLY LINES OF SAID TRACT I THE FOLLOWING FIVE (5) COURSES:

- 1) SOUTH 70°51'14" EAST, A DISTANCE OF 100.46 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 175.00 FEET;
- 2) SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 57°50'45", AN ARC LENGTH OF 176.68 FEET;
- 3) RADIAL TO SAID CURVE, SOUTH 76°59'31" WEST, A DISTANCE OF 61.05 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE WESTERLY HAVING A RADIUS OF 110.40 FEET, THE RADIUS POINT OF SAID CURVE BEARS SOUTH 76°42'05" WEST;
- 4) SOUTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 12°43'41", AN ARC LENGTH OF 24.52 FEET;
- 5) ALONG SAID SOUTHERLY LINE, NON-TANGENT TO SAID CURVE, SOUTH 84°22'15" WEST, A DISTANCE OF 35.59 FEET;

THENCE NORTH 01°54'54" WEST, A DISTANCE OF 25.01 FEET TO THE SOUTHEAST CORNER OF SAID LOT 17;

THENCE ALONG THE SOUTH LINE OF SAID LOTS 17 AND 16, SOUTH 89°29'32" WEST, A DISTANCE OF 109.60 FEET TO THE SOUTHWEST CORNER OF SAID LOT 16;

THENCE ALONG THE WEST LINE OF SAID LOT 16, NORTH 01°49'53" WEST, A DISTANCE OF 136.77 FEET TO THE NORTHWEST CORNER OF SAID LOT 16, ALSO BEING THE SOUTHEAST CORNER OF SAID AMENDED LOT 1, BLOCK 1;

THENCE ALONG THE SOUTH AND WEST LINES OF SAID AMENDED LOT 1, BLOCK 1 THE FOLLOWING THREE (3) COURSES:

- 1) NORTH 89°28'12" WEST, A DISTANCE OF 25.02 FEET;
- 2) NORTH 89°13'17" WEST, A DISTANCE OF 223.13 FEET;
- 3) NORTH 01°35'19" WEST, A DISTANCE OF 176.21 FEET TO SOUTH LINE OF SAID TRACT E;

THENCE ALONG THE SOUTH AND WEST LINES OF SAID TRACT E THE FOLLOWING TWO (2) COURSES:

- 1) NORTH 89°16'45" WEST, A DISTANCE OF 25.00 FEET;
- 2) NORTH 01°42'03" WEST, A DISTANCE OF 157.57 FEET TO THE **POINT OF BEGINNING**;

CONTAINING AN AREA OF 1.765 ACRES, (76,874 SQUARE FEET), MORE OR LESS.

THAT IT HAS CAUSED SAID REAL PROPERTY TO BE LAID OUT AND SURVEYED AS **ROAM FILING NO. 4**, AND DO HEREBY DEDICATE AND SET APART ALL THE STREETS, ALLEYS AND OTHER PUBLIC WAYS AND PLACES SHOWN ON THE ACCOMPANYING PLAT FOR THE USE OF THE PUBLIC FOREVER, AND DO HEREBY DEDICATE TO THE TOWN OF WINTER PARK THOSE PORTIONS OF SAID REAL PROPERTY WHICH ARE INDICATED AS EASEMENTS ON THE ACCOMPANYING PLAT AS PERMANENT EASEMENTS.

IN WITNESS WHEREOF, FRASER RIVER DEVELOPMENT COMPANY, LLC., A COLORADO LIMITED LIABILITY COMPANY, HAS CAUSED ITS NAME TO BE HEREUNTO SUBSCRIBED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

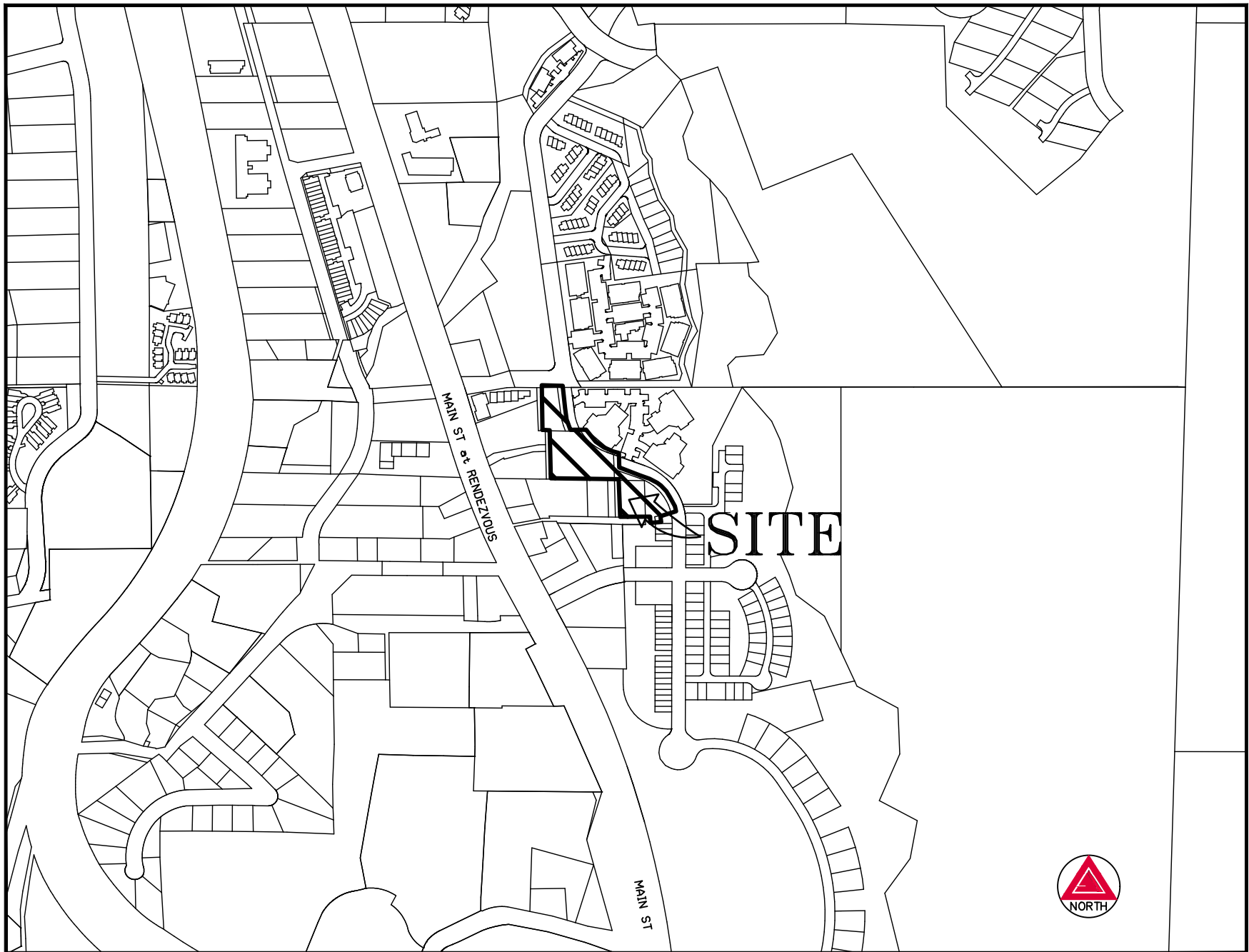
BY: \_\_\_\_\_  
ROBERT C. FANCH AS MANAGER OF  
FRASER RIVER DEVELOPMENT COMPANY, LLC

STATE OF COLORADO )  
                                  )SS  
COUNTY OF GRAND )

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_DAY OF \_\_\_, 20\_\_\_\_BY ROBERT C. FANCH AS MANAGER OF FRASER RIVER DEVELOPMENT COMPANY, LLC.

MY COMMISSION EXPIRES: \_\_\_\_\_.

**NOTARY PUBLIC** \_\_\_\_\_.



**VICINITY MAP**  
SCALE 1" = 500'

TRACT SUMMARY CHART					
TRACT	AREA (SF)	AREA (AC)	OWNERSHIP	MAINTENANCE	USE
A	15,149	0.348	F.R.D.C	F.R.D.C	COMMERCIAL/RESIDENTIAL/PRIVATE ACCESS EASEMENT/UTILITY EASEMENT/DRAINAGE EASEMENT/OPEN SPACE PRIVATE
B	24,632	0.565	F.R.D.C	F.R.D.C	COMMERCIAL/RESIDENTIAL/PRIVATE ACCESS EASEMENT/UTILITY EASEMENT/DRAINAGE EASEMENT/OPEN SPACE PRIVATE
C	12,369	0.284	HOA	HOA	UTILITY EASEMENT/DRAINAGE EASEMENT/OPEN SPACE PRIVATE/PUBLIC ACCESS
TRACTS TOTAL	52,150	1.197			

LAND SUMMARY CHART			
TYPE	AREA (SF)	AREA (AC)	% OF TOTAL AREA
RESIDENTIAL LOTS (7)	14,006	0.322	18.22
TRACTS (3)	52,150	1.197	67.84
ROW	10,718	0.246	13.94
TOTALS	76,874	1.765	100.00

LOT SUMMARY CHART	
LOT SIZE RANGE	AVERAGE LOT SIZE
1,568-2,206 SQ. FT.	2,000 SQ. FT.

**OWNER/DEVELOPER:**  
FRASER RIVER DEVELOPMENT  
COMPANY, LLC  
124 COUNTY RD 8317  
TABERNASH, CO 80470

**SURVEYOR:**  
AZTEC CONSULTANTS, INC.  
300 E. MINERAL AVE., SUITE 1  
LITTLETON, CO 80122

**LAND PLANNER:**  
VOGEL & ASSOCIATES, LLC.  
475 W. 12TH AVE, SUITE E  
DENVER, CO 80204  
CONTACT: JEFF VOGEL

**DATE  
PREPARED:**

MARCH 24, 2023

SURVEYOR'S CERTIFICATE:

I, ANTHONY K. PEALL, A DULY LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT OF ROAM FILING NO. 4, TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THAT SAID PLAT COMPLIES WITH THE REQUIREMENTS OF TITLE 38, ARTICLE 51, COLORADO REVISED STATUTES, AND THE MONUMENTS REQUIRED BY SAID STATUTE AND BY THE TOWN OF WINTER PARK SUBDIVISION REGULATIONS HAVE BEEN PLACED IN THE GROUND.

\_\_\_\_\_  
ANTHONY K. PEALL, CO PLS 38636  
AZTEC CONSULTANTS, INC.

FOR REVIEW

**NOTICE:** ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

**NOTICE:** PER THE STATE OF COLORADO BOARD OF LICENSURE FOR ARCHITECTS, PROFESSIONAL ENGINEERS, AND PROFESSIONAL LAND SURVEYORS RULE 1.6.B.2 THE WORD "CERTIFY" AS USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTY, EXPRESSED OR IMPLIED. THE SURVEY REPRESENTED HEREON HAS BEEN PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF.

LAST REVISED: 9/21/2023

GENERAL NOTES:

1. BASIS OF BEARINGS FOR THIS PLAT IS THE NORTH LINE OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN WHICH WAS ASSUMED TO BEAR NORTH 89°44'21" EAST, AS MONUMENTED AS SHOWN HEREON.
2. THIS PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY AZTEC CONSULTANTS INC., TO DETERMINE OWNERSHIP, RIGHTS OF WAY OR EASEMENTS OF RECORD, FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS OF WAY AND TITLE OF RECORD, AZTEC CONSULTANTS INC., RELIED UPON LAND TITLE GUARANTEE COMPANY TITLE COMMITMENT NUMBER ABS60016876 WITH AN EFFECTIVE DATE OF 02/08/2023 AT 5:00 P.M.
3. THE LEGAL DESCRIPTION SHOWN HEREON WAS PREPARED BY ANTHONY K. PEALL, AZTEC CONSULTANTS INC., 300 EAST MINERAL AVENUE, SUITE 1, LITTLETON, CO, 80122
4. THE U.S. SURVEY FOOT WAS USED FOR ALL MEASUREMENTS ON THIS SURVEY. PURSUANT TO C.R.S. 38-52.103(2) METRIC CONVERSION IS: ONE METER EQUALS 3937/1200 FEET.
5. ONSITE EASEMENTS ARE HEREBY DEDICATED BY THIS PLAT IN THE LOCATIONS AND FOR THE PURPOSES SHOWN HEREON.
6. SNOW STORAGE AREAS:  
TOTAL PROPOSED PAVING: 4,379 SQUARE FEET  
REQUIRED SNOW STORAGE: 1,095 SQUARE FEET  
PROPOSED SNOW STORAGE: 1,134 SQUARE FEET
7. TRACTS A AND B SHALL BE OWNED AND MAINTAINED BY FRASER RIVER DEVELOPMENT COMPANY LLC, ITS SUCCESSORS AND ASSIGNS, FOR COMMERCIAL, RESIDENTIAL, PRIVATE ACCESS EASEMENT, UTILITY EASEMENT, DRAINAGE EASEMENT, PRIVATE OPEN SPACE AND SNOW STORAGE PURPOSES.
8. TRACT C SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION FOR UTILITY EASEMENT, DRAINAGE EASEMENT, PRIVATE OPEN SPACE AND SNOW STORAGE PURPOSES.
9. TEN-FOOT (10') WIDE DRY UTILITY EASEMENTS ARE HEREBY DEDICATED ON PRIVATE PROPERTY ADJACENT TO THE FRONT AND SIDE LOT LINES OF EACH LOT IN THE SUBDIVISION OR PLATTED AREA IDENTIFIED AS SINGLE-FAMILY LOTS. TEN-FOOT (10') WIDE DRY UTILITY EASEMENTS ARE HEREBY DEDICATED ON PRIVATE PROPERTY ADJACENT TO ALL PUBLIC STREETS. THESE EASEMENTS ARE DEDICATED TO THE TOWN OF WINTER PARK FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEEES, INCLUDING, WITHOUT LIMITATION, VEGETATION, PUBLIC SERVICE COMPANY OF COLORADO (PSCO) AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCO AN EASEMENT ON ITS STANDARD FORM.
10. EACH TOWNHOME, DUPLEX, MULTI-FAMILY OR MULTI-USE BUILDING ON THE PROPERTY SHALL HAVE GAS METERS ON THE GABLE END OF ONE (1) END UNIT ("GAS METER BANK"). DEVELOPER, FUTURE HOME OWNER, OR METRO DISTRICT HEREBY GRANTS TO XCEL (PSCO) A NON-EXCLUSIVE UTILITY EASEMENT FOR (I) ONE GAS METER BANK ON THE END OF ONE (1) END UNIT PER BUILDING AND (II) ALL OTHER THINGS REASONABLY NECESSARY TO CONSTRUCT, INSTALL, MAINTAIN AND OPERATE SUCH GAS METER BANK ON EACH OF THE BUILDINGS (THE "GAS METERING EASEMENT"). ALL LINES AND OTHER FACILITIES RELATED TO SUCH GAS METER BANK, SUCH AS METER RISERS (BUT NOT INDIVIDUAL GAS METERS), SHALL BE THE PROPERTY OF THE DEVELOPER. ALL GAS METERS USED FOR SUCH GAS METER BANKS SHALL BE THE PROPERTY OF XCEL (PSCO). ALL OF THE FOREGOING RIGHTS AND BENEFITS OF XCEL (PSCO) WITH RESPECT TO THE GAS METERING EASEMENT SHALL BE BINDING UPON AND SHALL INURE TO THE BENEFIT OF SUCCESSORS AND ASSIGNS.
11. PER THIS PLAT, A BLANKET EASEMENT UPON, ACROSS, ABOVE, OVER, UNDER AND THROUGH THE SUBJECT PROPERTY IS GRANTED TO MOUNTAIN PARKS ELECTRIC, INC. AND XCEL (PSCO), FOR THE PURPOSE OF INGRESS TO AND EGRESS FROM, AND THE INSTALLATION, REPAIR, REPLACEMENT, OPERATION AND MAINTENANCE OF AN ELECTRIC DISTRIBUTION SYSTEM, INCLUDING ELECTRIC LINES AND ALL ASSOCIATED FACILITIES.

WITH RESPECT TO THE UTILITY EASEMENT GRANTED HEREBY, NO STRUCTURE SHALL BE ALLOWED CLOSER THAN TEN FEET (10') FROM ANY PRIMARY VOLTAGE POWER LINES OR WITHIN TEN FEET (10') AROUND ANY ABOVE GROUND EQUIPMENT. NO OTHER UTILITY LINE (WHETHER GAS, WATER, SEWER OR OTHER UTILITY) SHALL BE ALLOWED CLOSER THAN FIVE FEET (5') FROM ANY PRIMARY VOLTAGE POWER LINES OR WITHIN FIVE FEET (5') AROUND ANY ABOVE GROUND EQUIPMENT. NOT WITHSTANDING THE FOREGOING, UNDERGROUND COMMUNICATION FACILITIES SHALL NOT BE ALLOWED CLOSER THAN ONE FOOT (1') TO ANY POWER LINES AND ABOVE GROUND COMMUNICATION FACILITIES SHALL NOT BE CLOSER THAN TWO FEET (2') TO ANY ABOVE GROUND ELECTRIC FACILITIES. NO GRADE CHANGES (FILL OR CUT) IN EXCESS OF SIX INCHES (6") ARE PERMITTED WITHIN TEN FEET (10') OF ANY PRIMARY ELECTRIC LINE OR WITHIN FIVE FEET (5') OF ANY OTHER FACILITY, INCLUDING SECONDARY ELECTRIC LINES, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM MOUNTAIN PARKS ELECTRIC, INC.

MAYOR'S CERTIFICATE:

APPROVED AND ALL PUBLIC DEDICATIONS ACCEPTED THIS DAY OF \_\_\_\_\_, 20\_\_\_\_, BY THE TOWN COUNCIL OF THE TOWN OF WINTER PARK SITUATED IN GRAND COUNTY, COLORADO, ACCEPTANCE OF THIS PLATTED SUBDIVISION BY THE TOWN OF WINTER PARK DOES NOT CONSTITUTE AN ACCEPTANCE OF THE ROADS AND RIGHTS-OF-WAY REFLECTED HEREON FOR MAINTENANCE BY SAID TOWN, UNTIL SUCH ROADS AND RIGHTS-OF-WAY MEET TOWN SPECIFICATIONS AND ARE SPECIFICALLY ACCEPTED FOR MAINTENANCE BY RESOLUTION OF THE TOWN COUNCIL, THE MAINTENANCE, CONSTRUCTION, AND ALL OTHER MATTERS PERTAINING TO OF AFFECTING SAID ROADS AND RIGHTS-OF-WAY ARE THE SOLE RESPONSIBILITY OF THE OWNERS OF THE LAND EMBRACED WITHIN THE SUBDIVISION. THIS APPROVAL DOES NOT GUARANTEE THAT THE SIZE OR SOIL CONDITIONS OF ANY LOT SHOWN HEREON ARE SUCH THAT A BUILDING PERMIT MAY BE ISSUED.

ATTEST:

\_\_\_\_\_  
NICK KUTRUMBOS, MAYOR  
TOWN OF WINTER PARK, COLORADO

\_\_\_\_\_  
DANIELLE JARDEE, TOWN CLERK

PLANNER'S CERTIFICATE:


I, JEFF VOGEL, BEING A QUALIFIED PLANNER, CERTIFY THAT THIS PLAT OF ROAM FILING NO. 4, HAS BEEN ENGINEERED, DESIGNED AND PLANNED IN ACCORDANCE WITH ALL APPLICABLE DESIGN STANDARDS AND OTHER REQUIREMENTS OF THE TOWN OF WINTER PARK UNIFIED DEVELOPMENT CODE.

\_\_\_\_\_  
JEFF VOGEL  
VOGEL & ASSOCIATES, LLC.

PLANNING COMMISSION CERTIFICATE:

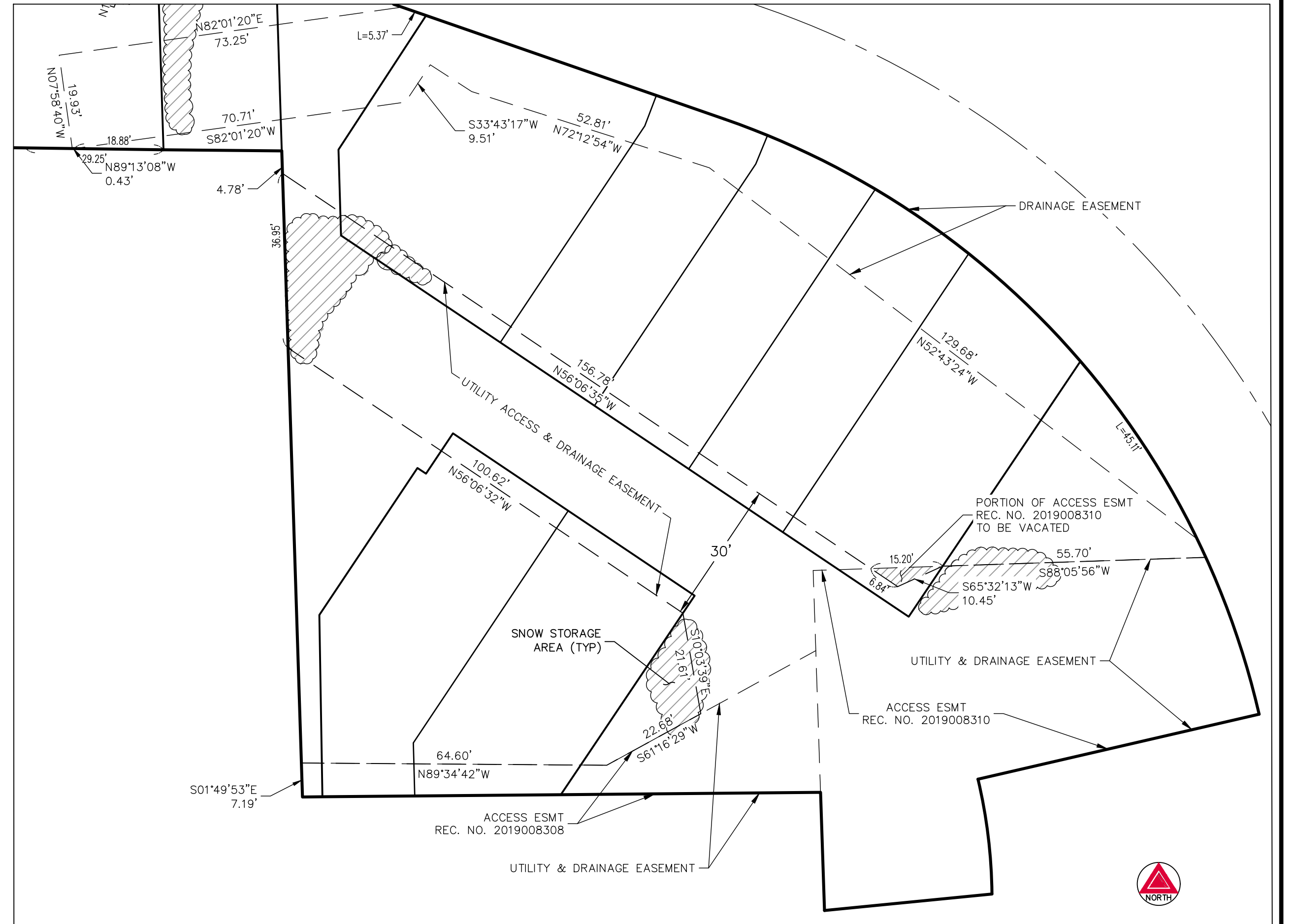
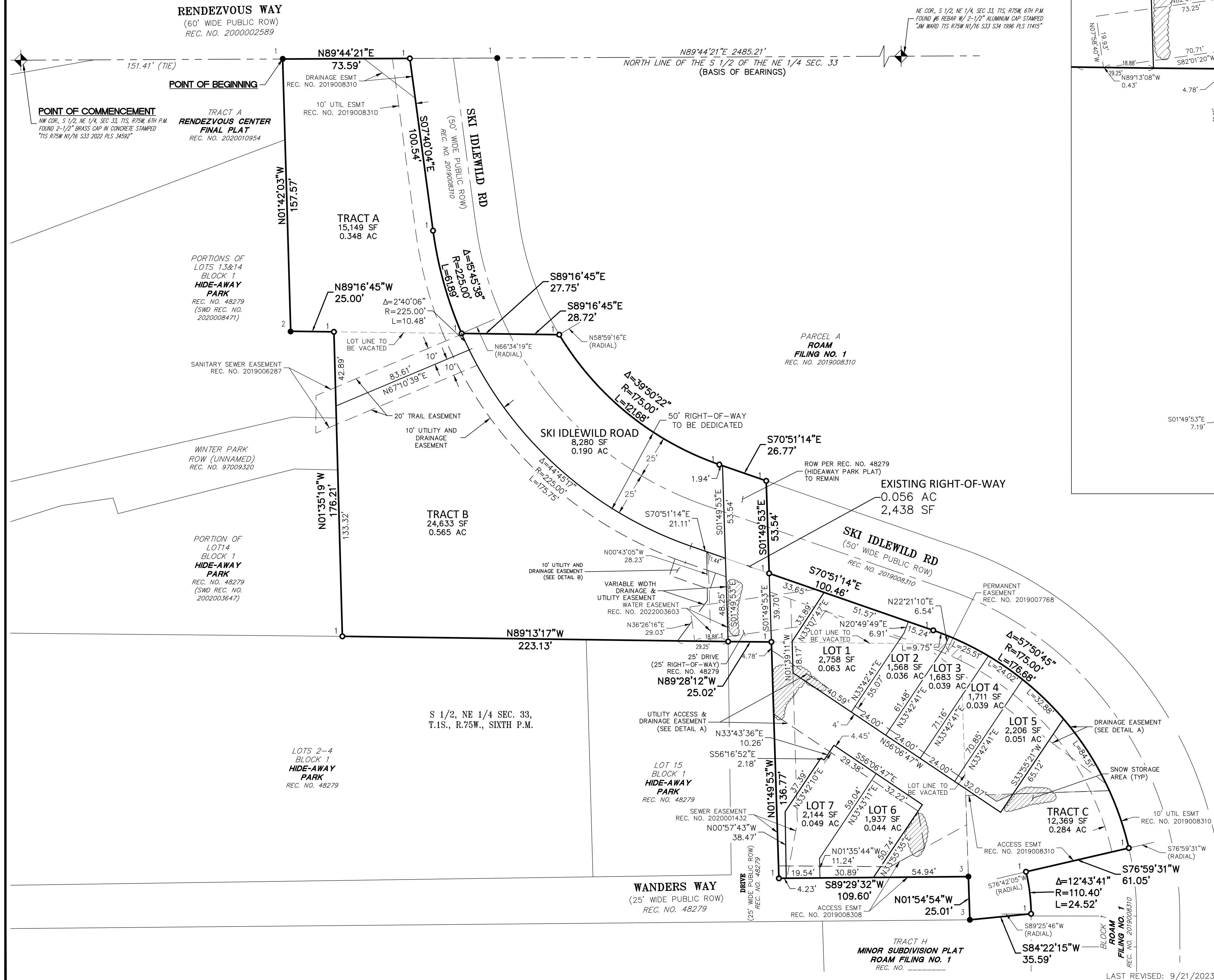
APPROVED THIS \_\_\_\_DAY OF \_\_\_, 20 BY THE TOWN OF WINTER PARK PLANNING COMMISSION, WINTER PARK, COLORADO.

\_\_\_\_\_  
BRAD HOLZWARTH  
CHAIRMAN

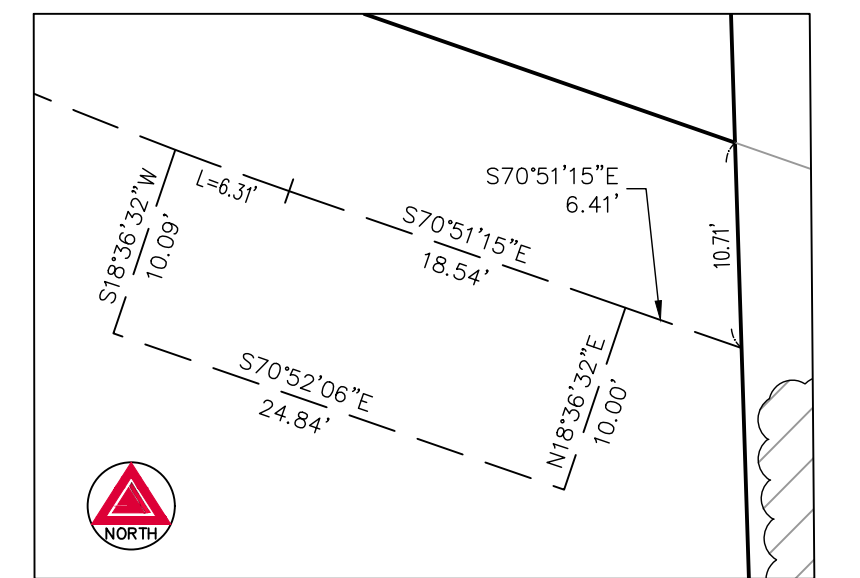
<div><div><div>Aztec</div><div>CONSULTANTS, INC.</div></div></div> <div>300 East Mineral Ave., Suite 1 Littleton, Colorado 80122 Phone: (303) 713-1898 Fax: (303) 713-1897 <a href="http://www.aztecconsultants.com">www.aztecconsultants.com</a></div>	<div>DEVELOPER</div> <div>FRASER RIVER DEVELOPMENT COMPANY LLC</div> <div>124 COUNTY RD 8317 TABERNASH, COLORADO</div>	<div>DATE OF PREPARATION:</div> <div>3/24/2023</div>
		<div>SCALE:</div> <div>NA</div>
	<div>Aztec Proj. No.: 181622-01</div> <div>Drawn By: BOL</div>	<div>SHEET 1 OF 2</div>

PRELIMINARY PLAT  
ROAM FILING NO. 4

A RESUBDIVISION OF PARCEL E OF THE FINAL PLAT OF ROAM FILING NO. 1, AMENDED LOT 1, BLOCK 1 OF ROAM FILING NO. 1, PARCEL A, AND LOT 1, BLOCK 1, HIDEAWAY PARK, SUBDIVISION EXEMPTION PLAT, LOTS 16 & 17, HIDE-AWAY PARK, AND TRACT I, MINOR SUBDIVISION PLAT OF ROAM FILING NO. 1.  
A PART OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO.



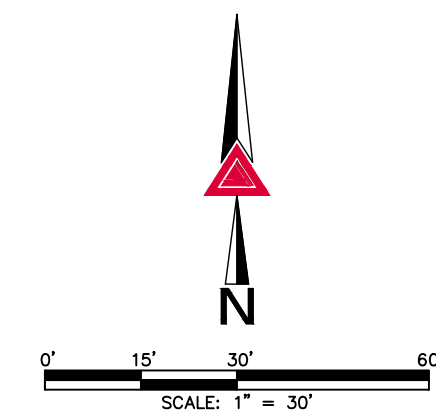
DETAIL A  
SCALE 1" = 20'



DETAIL B  
SCALE 1" = 10'

FOR REVIEW

MONUMENT SYMBOL LEGEND	
1	SET NO. 5 X 18" REBAR WITH 1-1/4" PINK PLASTIC CAP STAMPED "AZTEC LS 38636"
1	FOUND NO. 5 REBAR WITH 1-1/2" ALUMINUM CAP STAMPED "MICHEAL S KERVIN PLS 34592"
2	FOUND NO. 4 REBAR
3	FOUND NO. 5 REBAR



<b>AZTEC</b> CONSULTANTS, INC. 300 East Mineral Ave., Suite 1 Littleton, Colorado 80122 Phone: (303) 713-1898 Fax: (303) 713-1897 www.aztecconsultants.com	<b>DEVELOPER</b> FRASER RIVER DEVELOPMENT COMPANY LLC 124 COUNTY RD 8317 TABERNASH, COLORADO	
	DATE OF PREPARATION: 3/24/2023	SCALE: 1"=30'
AzTec Proj. No.: 181622-01		SHEET 2 OF 2



## MEMO

**TO** Planning Commission

**FROM** Shelia Booth, AICP, CPS Contracted Planner

**THROUGH** James Shockey, AICP, Community Development Director

**DATE** October 24, 2023

**RE** PUBLIC HEARING: River Walk Final Development Plan (PLN23-022) and Final Plat (PLN23-023)

**Property Owner:** Nassar Development on behalf of RiverWalk LLC

**Applicant:** Greg White, DTJ Design

**Location:** The north side of Ski Idlewild Road just east of Confluence Park.

**Legal Description:** Tract F, River Walk at Winter Park Subdivision, Filing 1 (Reception No. 2000002589) and "Idlewild Property" (Reception No. 2007012395)

**Existing Zoning:** R-2 (Multiple Family Residential)

**Proposed Zoning:** PD – R-2 (Planned Development Multiple Family Residential)

**Authority:**

Pursuant to § 5-B-3, Development Review Procedures Summary Table, of the Winter Park Unified Development Code (the "UDC"), the Planning Commission and Town Council consider the changing of the zoning of a parcel from one zoning district to a planned development within the Town of Winter Park. Development Plan approval, Preliminary Plat approval, Final Plat approval, and Site Plan approval are required before building permit issuance.

Pursuant to UDC § 5-C-3, Rezoning to Planned Development, the Planning Commission shall consider any changes at a public hearing and shall approve as submitted, disapprove, or approve with conditions.

This report includes comments from Town staff that should be considered as a part of the application decision.

**Applicable Provisions of the Unified Development Code (UDC):**

**§ 5-C-3, Rezoning to Planned Development**

Since this is an application for a Final Development Plan, the application must go through the PD Rezoning process.

§ 5-C-3 (F) gives guidance on determining which applications shall be approved:

H. Approval Criteria.

1. Innovative and Greater Benefit. As determined by Town Council, provides substantial public benefits that are appropriate and proportionate with the proposed development, which may include open space and trail dedication, affordable housing, infrastructure improvements,

- sustainable development, added public amenities, and/or alternative energy sources;
- 2. Transitioning Character. The character of the surrounding area is transitioning or being affected by other factors, such as traffic, new public facilities, adjoining uses, development transitions, deterioration, or environmental issues;
- 3. Compatibility with Area. Represents a high-quality development that provides a desired need for and benefit to the Town that could not otherwise be accomplished through base zoning;
- 4. Adequate Facilities. Provides all public improvements necessary for the development of the PD;
- 5. Town Code, Plans, and Policies. The rezoning conforms with the policies, intents, and requirements of the Town's Code of Ordinances and other adopted plans and policies; and
- 6. Adherence to Town's Code of Ordinances. Does not modify any of the procedures in this Code. In addition, meets all applicable Town regulations unless a variation is agreed to by the Town Council.

**Procedure:**

UDC § 5-C-3(E)(7): *Planning Commission Action*. After proper public notice, the Planning Commission shall:

- a. Receive a written recommendation from the Director regarding the proposed rezoning to PD;
- b. Hold a public hearing prior to taking action on the proposed rezoning to PD; and
- c. By majority vote, recommend to approve or deny the rezoning to PD as outlined in Sec. 5-A-3(C), Procedures.

UDC § 5-D-5(E)(4): *Planning Commission Action*. After proper public notice, the Planning Commission shall:

- a. Receive a written recommendation from the DRC regarding the final plat;
- b. Hold a public hearing prior to taking action on the final plat;
- c. Review the final plat for conformity with the approved preliminary plat, the statement of requirements, and other requirements; and
- d. By majority vote, recommend to approve or deny the final plat as outlined in Sec. 5-A-3(C), Procedures.

**Background:**

This property has two separate development histories. The largest portion is part of the River Walk at Winter Park Filing No. 1 subdivision that was platted in 2000 (Reception No. 2000002589). Much of the considerations for the plat at that time dealt with road connections, specifically the extension of Fraser Valley Parkway and impacts to wetlands and river crossings. The property also had numerous access easements that served adjacent properties. A smaller portion falls within the boundary of the "Idlewild Property", which was annexed into the Town in 2007 (Reception No. 2007012395) via Ordinance 399. The River Walk and Idlewild property owners are proposing a property swap to allow better development of their individual properties.

Tract F, River Walk at Winter Park Subdivision, Filing 1 is also subject to Ordinance 602 which imposed a proportional cost for the construction of Ski Idlewild Road. Per Section 3 of Ordinance 602, payment in full of \$285,464.15 is required prior to FDP submittal. The required amount was paid in full and acknowledged by the escrow agent on June 2, 2023.

The 7.73 acre River Walk FDP encompasses Tract F, River Walk at Winter Park Subdivision, Filing 1 and a portion of the “Idlewild Property.” It is located on the north side of Ski Idlewild Road just east of Confluence Park. The property is bordered by a residential property on the north, the future Sojourn at Idlewild residential development zoned P-D R-C (Residential Commercial) to the east, Ski Idlewild Road to the south and Confluence Park to the west. The northeast area abuts the R-2, Multiple Family zoned developments of River Glen Condominiums and Hi Country Haus.

#### **Anticipated Land Swap:**

This property owner and the owner of Sojourn at Idlewild to the east, intend to swap two (2) parcels of land within their respective properties to facilitate better designs for each project. The land swap will allow better access and residential layouts along the Ski Idlewild Road corridor. A minor plat (PLN22-039) was approved by the Town in May 2022, but has not yet been recorded. The amended Sojourn at Idlewild Final Development Plan and Final Plat were approved by the Council in August 2023.

The anticipated land swap has been incorporated into the accompanying River Walk at Winter Park Filing No. 2 final plat and into the approved Sojourn at Idlewild final plat.



In addition to the joint minor subdivision plat, the River Walk and Sojourn at Idlewild properties share several improvements including the proposed sewer, water, storm sewer and drainage systems. A letter dated March 23, 2023 was submitted to the Town acknowledging the need to coordinate between the two developments.

#### **Project Overview:**

The [River Walk Final Development Plan](#) proposes the entire 7.73 acres to be regulated under the Planned Development Multi-Family Residential (PD R-2) zone district. The FDP proposes a maximum 33-lot residential development containing single-family dwellings and community amenities. The subject area is proposed for a mix of front, side, and rear-loaded residential lots with lots ranging between 3,307 and 10,578 square feet. Access to the development will be from a private drive that accesses Ski Idlewild Road. Outlots within the plan are proposed for open space and other uses as noted in the below table. No improvements or disturbances will be permitted within 30 feet of the Fraser River waterline setback, on slopes in excess of 30 percent or within the designated wetland area. The exception being for the private deck, access trail and future Fraser River trail.

Land Use Summary						
Land Use	Maximum Residential Units	Area (SF)	Area (AC)	Percentage of Total	Maximum Residential Density (DU/AC)	Maximum Commercial (SF)
Residential	33	150,470.90	3.45	44.78%	4.28	0
Open Space		138,628.89	3.18	41.26%	0	0
Right-of-Way		45,782.78	1.05	13.63%	0	0
Shared Drive		1,124.99	0.03	0.33%	0	0
<b>Non-Res. Sub Total</b>		185,536.66	4.26	55.22%	0	0
<b>TOTAL</b>	<b>33</b>	<b>336,007.56</b>	<b>7.71</b>	<b>100.00%</b>	<b>4.28</b>	<b>0</b>

Area	Use	Acreage
<b>Lots 1-33</b>	Residential	3.452
<b>Outlot A</b>	Common Amenities Area	0.086
<b>Outlot B</b>	Common Open Space, Landscaping	0.059
<b>Outlot C</b>	Common Open Space, Landscaping	0.031
<b>Outlot D</b>	Wetland and Riparian Areas dedicated to the Town, Private Deck Access Trail (private), Future FraserRiver Trail (public)	2.922
<b>Outlot E</b>	Common Open Space, Private Deck Structure	0.048
<b>Outlot F</b>	Common Open Space, Private Deck Access Trail	0.038
<b>Private ROW A, B &amp; C</b>	Private Drive	1.080
<b>Total</b>		7.715

#### **Variance:**

A variance request was submitted to allow direct drainage discharge into the Fraser River. Since developed drainage will enter the Fraser River before the normal storm peak flow, the release of undetained flows will reduce the overall peak flow. Stormwater quality vaults will be used to treat all developed flows. The Town Engineer has reviewed the variance request and approved it on September 21, 2023.

#### **Density:**

Satisfactory. The River Walk FDP allows a maximum 33 residential units at a density of 4.28 DU/Ac with no size restrictions on dwelling size. Accessory dwelling units are allowed but do not count toward the residential maximum. ADU's are limited to 300 sq. ft. in size and must be served by a private driveway or parking space. Short-term rentals are also allowed and follow the regulations established in the FDP.

#### **Dimensional Standards:**

Satisfactory: The River Walk FDP sets the development standards for the property. The table below identifies those standards. The final plat conforms to the lot dimensions and setbacks established in the FDP. In addition to the standards below, garages have a minimum 20 feet of driveway and architectural features may encroach into the side and rear yard setbacks.

Type	Standard
Minimum Open Space	10%
Residential Lot Size	3,360 – 10,580 sq. ft.
Lot Depth	70-190 ft.
Lot Width	40-55 ft.
Maximum Building Height	35 ft.
Front Setback	5 ft.
Corner Setback	5 ft.
Side Setback	5 ft.
Side Setback – Ski Idlewild Road	10 ft.
Rear Setback – alley loaded	5 ft.
Rear Setback – front loaded	10 ft.
Maximum Building Coverage	40%

#### **Parking:**

Satisfactory: Parking shall comply with the UDC. Each residential dwelling will be provided off-street parking and on-street parking is not allowed on the private road (Apres Way).

#### **Access:**

Satisfactory: Primary vehicular access for the River Walk development will be taken from a private roadway (Apres Way) that intersects Ski Idlewild Road. This singular entrance terminates at a 24' wide, two-way traffic circle which then allows three exits: a) to the north on a dead-end drive for 10 lots ; b) to the southeast on a 21' paved alley providing rear lot access to 8 lots and c) a connection back to Apres Way. Additional private alleys and drives are proposed internal to the development to provide access to all residential lots. Apres Way is a 42' 6" right-of-way with a 24' pavement width and 2' curb whereas alleys and shared drives are 21' wide with 20' of pavement. A 20' wide emergency access with chain and padlock is provided to the east of the main roadway.

#### **Pedestrian Access:**

Satisfactory: Per the FDP, all pedestrian facilities shall comply with the UDC. The plan provides for internal sidewalk circulation, an internal private trail to the proposed "deck" and the future extension of the Fraser River trail.

#### **Transit:**

Satisfactory: An existing bus stop is located at the intersection of Ski Idlewild Road and River Road. No new stops are proposed.

#### **Parks, Trails and Open Space:**

Satisfactory: Open space is provided in Outlots A-F accounting for 3.183 acres or 41.25% of the development. Outlot D will be dedicated to the Town and will be a future extension of the Fraser River Trail constructed by the Town of Winter Park. Additionally, the FDP and plat anticipate a

community amenity area internal to the residential development along with trail connections and a raised platform/deck.

**5% Land Dedication:**

Section 4-B-3 of the UDC requires either the dedication, reservation or conveyance of areas suitable for public purposes such as parks, flood channels, scenic areas and greenbelts of five percent (5%) of the total area of the subdivision, or a payment in lieu of such dedication. The FDP and plat dedicate Outlot D to the Town of Winter Park. The proposed area is 38% of the total subdivision.

**Landscaping and Revegetation:**

Satisfactory. The FDP states that all landscaping requirements of the UDC shall apply. There are exceptions for street tree locations due to the compact nature of the development and utilities that allow for grouping and placement modifications. The Landscape Plan, Exhibit I provides a Landscape Tabulation table which shows conformance with the UDC for the project's boundaries and common areas. Landscaping for individual lots will be assessed separately upon Site Plan Application submittals.

**Utilities:**

Satisfactory: With this development, the existing 8" sanitary sewer line will be relocated and upgraded to a 12" line. Water will be extended from the existing 12" main in Ski Idlewild Road providing a second water connection for future development to the north.

**Wetlands:**

Satisfactory. The wetlands have been placed in Outlot D which will be dedicated to the Town of Winter Park. Per the FDP, there will be no disturbance or improvements in this area with the exception of trails and the proposed "deck." During previous application review, the US Army Corps of Engineers verified and concurred with the Wetland Delineation Report. The UDC states that "No buildings shall be constructed within a wetland, unless approved and permitted by the U.S. Army Corps of Engineers, the Planning Commission, and the Town Council." Since the proposed deck is not considered a "building" no additional approvals are required. The development will own and maintain the "deck" within the wetland.

**Snow Storage:**

Satisfactory: The River Walk FDP states that snow storage will be in compliance with the UDC and no exceptions are proposed. Snow storage areas shall comprise a minimum of 25% of all driving surfaces, gravel shoulders, parking areas, and pedestrian walkways. The final plat includes a plat note stating that wetlands adjacent to snow storage areas will be protected and snow storage easements are identified. Per the Snow Storage Plan in the FDP, total paved surface area is 42,074 sq. ft. requiring 11,019 sq. ft. of snow storage with 14,249 sq. ft. proposed .

**Grading and Drainage:**

Satisfactory: The Sojourn at Idlewild/Riverwalk Tract F Subdivision Phase II Drainage Report was submitted for review. A 24" stormwater outfall from the Sojourn development enters the site from the east and extends westerly to a stormwater quality vault. The existing water quality vault in Ski Idlewild road was properly sized for developed flows from this property. The proposed vault on the Sojourn property will treat the northern half of the project. The Sojourn and Riverwalk property owners will need to agree on final design and cost allocations for the final designed vault. As noted earlier, the applicant requested a variance to allow the release of undetained flows in the Fraser River. The Town Engineer has reviewed the request and found it to be reasonable and has approved the variance.

**School Impact Fee:**

Satisfactory: Dedication of a school site was not deemed reasonably necessary for this project; therefore, it is subject to a fee-in-lieu of dedication. Section 4-B-6 of the UDC states the payment of cash by the applicant is subject to the land calculations rates of Table 4-B-3, School Land Dedication Calculations. Resolution 2050, Series 2023 set the price per unit. The school impact fees shall be payable prior to final plat recordation.

**Development Improvements Agreement (DIA):**

Satisfactory: A draft [Development Improvement Agreement](#) has been submitted along with an [Engineers' Estimate of Probable Cost](#) (EEOPC). The DIA and EEOPC include improvements (water, sewer, roadway, landscaping, drainage/erosion control, etc.) associated with the proposed project guaranteed (120%). The DIA shall be approved prior to site disturbance.

**Construction Plans:** ([View Construction Plans here.](#))

Partially satisfactory. The applicant submitted the Construction Plans for Riverwalk Tract F Subdivision (current date 2023-0804) including drainage, signage, stormwater, grading, utilities, water and sanitary sewer plans. The Town Engineer reviewed the plans and, in the September 11, 2023 comment letter identified remaining modifications and additions needed prior to approval. Concerns included inadequate pipe sizing for drainage, connecting the dead-end sidewalk on the west side of Apres Way, including recommendations from the Geotechnical Report, and providing road profiles, storm infrastructure and grading improvements.

**Review Agency Comments:** ([View agency comment letters here.](#))

- **CDOT**  
On August 22, 2023, Brian Killian, Region 3 Access Program Manager, stated the traffic volumes for this development have been included in the existing access permit and CDOT has no additional comments.
- **Colorado Geological Survey**  
On September 5, 2023, Amy Crandall, Engineering Geologist, stated CGS has reviewed the resubmittal documents and has no further comment .
- **Colorado Parks and Wildlife**  
On April 16, 2023, Serena Rocksund, District Wildlife Manager, stated they reviewed the applicant's response to preliminary plat comments and the ERC Wildlife Report. They appreciated the teams incorporating wildlife-friendly fencing, minimized lighting, education signage for pet owner, posted nocturnal and season closure hours, bear resistant trash receptables, stormwater runoff treatments an noxious weed mitigation efforts. The also acknowledged the incorporation of CPW and ECR Wildlife Report recommendations regarding the deck. They recommend that the wetlands and upland riparian habitat be preserved and undisturbed from human encroachments.
- **East Grand Fire Protection District No. 4**  
On September 4, 2023, Ryan Mowrey, Assistant Fire Marshal, provided a letter with a summary of the EGFPD criteria and an analysis of compliance. The letter provided two additional comments.
  - The final plat will still need a “note” requiring automatic fire suppression sprinklers

systems for all building and residences in Riverwalk.

- Additional “No Street Parking” signs will be required on all roads in the signage plan to indicate no street parking throughout Riverwalk including the alley.

- **Grand County Water and Sanitation District #1 (GCWSD#1)**

On September 11, 2023, Cooper Karsh, Senior Engineer at JVA representing the District identified four additional modifications needed. These included finalizing the District's review of the offsite utility designs, recordation of offsite easements prior to or concurrent to approval, construction agreements between all parties related to the offsite improvements and removal of the highpoint in the 8" water line on Apres Way.

- **JVA**

On September 11, 2023, Cooper Karsh, Senior Engineer provided a review and update to the materials provided for River Walk plat and development plan. JVA required the following considerations: 1) The elevated deck shall meet all permit requirements for USACE and Town; 2) all offsite easements must be recorded prior to or concurrent with the plat and construction plans; 3) review of the proposed 24" pipe outlet due to concerns it is inadequate; 4) connection of the dead-end sidewalk on Apres Way; 5) provide road profiles, storm infrastructure and grading improvements in the construction plans; 6) provide drawing 6 identified on the contents but not included; and 7) provide existing contours.

- **Mountain Parks Electric, Inc.**

On August 31, 2023, Jean Johnston, Right of Way Specialist, provided an email identifying four issues and a redline markup. The review included comments related to Note 9 on the plat regarding gage metered buildings, providing space for meters with easements, separate requirements and concerns with the location of storm pipe in close proximity to electric lines.

- **Xcel Energy**

On August 31, 2023, Julie Gittins, Design Planner, responded in an email that non-exclusive language is needed on the plat and a need to stake running lines to ensure clearances with proposed landscape installation.

All contacted agencies provided a response.

**§ 5-B-8 Public Notice Requirements:**

This Final Development Plan and this Final Plat application have had proper public notification pursuant to § 5-B-8 of the UDC. A Newspaper Publication (PUB) was published in the Middle Park Times on October 12, 2023, providing notification of the hearing and requesting comments. A Surrounding Property Owners Mailing (ML) was sent to property owners within 300' of the Property on October 10, 2023. A Property Posting (PO) was posted on October 10, 2023.

No comments have been received as of October 18, 2023.

**Staff Recommendation:**

Staff finds the applicant has submitted all required materials within the timeframe required and all materials comply with the conditions of § 5-C-3 and § 5-D-5 of the UDC and conform to all applicable policies and regulations of the UDC. Staff therefore recommends approval subject to the following conditions:

1. The Final Plat shall be modified to incorporate the modifications identified in the Redline Dated October 18, 2023.
2. The Final Development Plan shall be modified to incorporate the modifications identified in the Redline Dated October 18, 2023.
3. Ownership and maintenance of the proposed “deck” and private trail within Outlot D shall be established in writing between the Town and applicant prior to recordation of the FDP and Plat.
4. The Sojourn at Idlewild minor subdivision plat (PLN22-024) shall be recorded.
5. Applicant shall address to East Grand Fire Protection District’s satisfaction all comments made by EGFPD in the letter dated September 4, 2022.
6. Applicant shall address to Grand County Water and Sanitation District’s satisfaction all comments made by GCWSD in the letter dated September 11, 2022.
7. Applicant shall address to JVA’s satisfaction all comments made by JVA in the letter dated September 11, 2022.
8. Applicant shall address to Mountain Parks Electric, Inc’s satisfaction all comments made by MPEI in the email dated August 31, 2022.
9. Applicant shall address to Xcel Energy’s satisfaction all comments made by Xcel in the email dated August 31, 2022.

However, this is a decision for the Commission to make, and the Commission may choose to approve or deny the FDP and Plat based on the testimony and evidence it hears. Two sample motions are included below for convenience only. They do not limit the evidence the Commission can rely on or the decision the Commission makes.

**Sample Motion for Approval:**

I move to recommend approval of the River Walk at Winter Park Final Development Plan (PLN23-022) and River Walk at Winter Park Filing No. 2 final plat (PLN23-023) as it was determined the applications are in conformance with § 5-C-3 and § 5-D-5 of the UDC with the staff conditions outlined above

**Sample Motion for Denial:**

I move to deny the River Walk at Winter Park Final Development Plan (PLN23-022) and River Walk at Winter Park Filing No. 2 final plat (PLN23-023) as it was determined the application is NOT in conformance with § 5-C-3 and § 5-D-5 of the UDC ***[insert explanation supported by the evidence here].***

**TOWN OF WINTER PARK**

P.O. Box 3327 • 50 Vasquez Road • Winter Park, CO 80482

Phone: 970-726-8081 • Fax: 970-726-8084

Website: www.winterparkgov.com

**LAND USE REVIEW APPLICATION FORM****PROJECT INFORMATION**

Project Name: <b>RiverWalk at Winter Park (Tract F)</b>	Date: <b>March 06, 2023</b>
Street Address (or general location if not addressed): <b>North of Ski Idlewild Rd and East of Fraser River</b>	
Schedule Number(s) or Parcel Number(s): <b>158728403003</b>	
Site Area (in square feet or acres): <b>7.71 ac</b>	Existing Zoning: <b>R-2</b>
Existing Land Use: <b>Residential / Vacant</b>	
Legal Description: <b>RIVER WALK AT WINTER PARK FLG NO 1 Tract: F</b>	

**OWNER / APPLICANT**

Name: <b>David Nassar</b>	Phone: <b>303-775-5502</b>
Company: <b>Nassar Development</b>	Fax:
Mailing Address: <b>3000 Airport Road, Suite 203</b>	Email: <b>david@nassardevelopment.com</b>
<b>Erie, Colorado 80516</b>	

**CONTACT PERSON**

Name: <b>Greg White</b>	Phone: <b>303-443-7533</b>
Company: <b>DTJ Design</b>	Fax:
Mailing Address: <b>3101 Iris Avenue, Suite 301</b>	Email: <b>gwhite@dtjdesign.com</b>
<b>Boulder, Colorado 80301</b>	

**TYPE OF APPLICATION (check all that apply)**

	Subdivision	Fee		Other Development	Fee
✓			✓		
	Sketch Plan	\$250.00		Zoning Variance	\$250.00
	Preliminary Plat	\$500.00*		Special Use Permit	\$150.00
✓	Final Plat	\$750.00*		Rezoning Request	\$350.00
	Amended Final Plat	\$375.00*		Subdivision Exemption	\$300.00
	As Built Plat	\$250.00		Amended Exemption	\$150.00
				Annexation	\$500.00*
	*Number of Lots:	<b>33</b> x \$10.00		*Number of Lots:	x \$10.00
	TOTAL FEES:	\$ <b>1,080.00</b>		TOTAL FEES:	\$
	Minor Subdivision	Fee		Planned Development	Fee
✓			✓		
	Final Plat	\$400.00*		Preapplication Conference	No Fee
	Amended Minor Sub.	\$250.00		Preliminary Development Plan	\$1,000.00**
			✓	Final Development Plan	\$1,000.00**
				Amended Final Plan	\$500.00**
	*Number of Lots:	x \$10.00		**Number of Lots:	<b>33</b> x \$2.00
	TOTAL FEES:	\$		TOTAL FEES:	\$ <b>1,066.00</b>

\* In addition to the base fee, an additional \$10.00 per unit or lot

\*\* In addition to the base fee, an additional \$2.00 per unit or lot

In addition to the base fees the applicant is required to pay the cost of any legal notices and adjoining property owner certified mailings. The applicant may also be subject to reimbursement fees as outlined within Section 7-10-8 of the Town Code.

### BRIEF DESCRIPTION OF THE PROJECT

Application for both Final Plat and Final Development Plan review for 7.71 acre residential development which is proposed to include 33 single family lots, as well as community infrastructure (roads and utilities) and amenities.

Tract F is owned by River Walk, LLC and Nassar Development, LLC is the authorized development company.

### AFFIDAVIT

I, \_\_\_\_\_ being duly sworn, declare that I am (please check one) \_\_\_\_\_ the authorized representative to act for the property owner, \_\_\_\_\_ the owner of the property involved in this application and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects true and correct to the best of my knowledge and belief. By signing this application, I have read and agree to the reimbursement fees that may be charged for review of this project as outlined in Section 7-10-8 of the Town Code. At a minimum, this project will require consultants for engineering review and legal review and this shall serve as the written notice required by Section 7-10-8 of the Town Code for these two consultants.

  
 \_\_\_\_\_  
 Signature of Owner

March 6, 2023

\_\_\_\_\_  
 Date

  
 \_\_\_\_\_

March 06, 2023

\_\_\_\_\_  
 Date

Acceptance of this application and required filing fee does not constitute a complete application. Plans and other material required to constitute a complete application are listed in the application procedure.

### STAFF USE ONLY (do not write below this line)

Application Received By:

Case #

Date / Time:

Total Fees: \$

Date Paid:

Check #

Additional Comments:



## PROJECT DESCRIPTION / NARRATIVE

Project: River Walk at Winter Park ("Tract F")  
Date: March 02, 2023  
To: James Shockey, Community Development Director, Town of Winter Park  
From: Greg White, DTJ Design  
Re: River Walk at Winter Park Filing No. 1 Tract F

### A. Legal Description

Tract F, River Walk at Winter Park Filing No. 1, according to the plat recorded March 17, 2000, at Reception No. 2000-002589 as amended by ratification recorded November 28, 2000, at Reception No. 2000-011075, County of Grand, State of Colorado.

Tract F is currently zoned R-2 (Multiple-Family Residential) and is currently vacant. Nassar Development has a history of creating memorable places from mountain town custom homes to small development infill in Denver. The parcel is owned by RiverWalk, LLC and Nassar Development, LLC is the authorized development company. Applicant address: 3000 Airport Road, Unit 203, Erie, Colorado 80516.

### B. Adjoining Property Owners

Refer to Site Plan for adjacent property owner information.

### C. Development Character

The components that will make up the 7.71-acre neighborhood are a carefully planned mix of homes across 33 lots. The intentional design approach is to create an identifiable and compact single family cluster neighborhood, influenced by Traditional Neighborhood Development design principles of community space, fostering interaction, and prioritizing pedestrian movement over automobiles. As you enter the neighborhood, a mix of rear-loaded and side-loaded homes will front onto the arrival lane and create a setting for spontaneous porch interactions. The homes along the river will be walk-out homes thoughtfully located along the river corridor.

The core of the neighborhood is a community gathering/social space where homes are strategically located to create the 'walls' of the community gathering space and provide for a defined architectural edge. The Oval will include a community amenity shade structure with a gathering plaza and a small lawn. The community space is intended to allow for flexibility that encourages both daily and event activities. A fire pit, family style seating and deep shaded overhangs will encourage activity. The space will be layered with festive lights and landscape that will create a place that residents will take pride in. Potential activities/events include, barbeques, music, holiday parties, and wine tasting. These community events will have a place to happen and will be encouraged with the programming by the management team run by an experienced hospitality team.

In addition to the amenities described above, the plan also includes a raised structure (within Outlot 'E') with built-in seating for private community gathering, bird watching, and relaxing within nature adjacent to the river.

All common spaces will be maintained by the community HOA. Nassar Development has been working with both the adjacent land developers and Town staff to understand the community needs and aid in facilitating neighborhood design that will provide for a memorable place, preserve natural resources, and provide for community trails and multi-modal connections.

#### **D. Development Schedule**

The applicant intends to build out the project within a 5-year timeline while reacting to ever evolving market conditions.

#### **E. Proposed Common Open Space**

The residents will have access to the future Fraser River Trail expansion via Ski Idlewild Road, Ski Trail and existing street sidewalk community connections. The residents will also have access to a private, community gathering place with a small lawn as well as a gathering structure for a varied number of recreational opportunities. See below section for specifics for easements.

#### **F. Covenants, Grants and Easements**

The wetland area will be dedicated to the Town for the future construction and maintenance of the future Fraser River Trail. The platform structure and associated access trail will be signed as a private amenity and not for public use.

The HOA community would be controlled through Declaration of Covenants, Conditions, and Restrictions. The CC&Rs have been included with the Final Development Plan and Final Plat submittal.

#### **G. Future Sales and Leases**

All lots within the development will be for sale and shall allow for short-term rentals.

#### **H. Quantitative Site Data**

See site plan for specific information.

#### **I. Wetland, Wildlife, Physiographic, and Traffic Report**

We are considering ways to minimize impact to the wetlands through wildlife friendly fencing to keep people out of the wetland as well as low impact trail design and impact trail design and interpretive signage to educate the public about the importance of the wetlands. See separate, attached Wetland, Wildlife, Geotech, and Traffic Reports for specific information. The CC&R's (included in the Final Development Plan and Final Plat submittal) describe specific requirements for minimizing undesired interactions with wildlife.

#### **J. Additional Information**

##### **Affordable Housing**

The Developer and Town Staff have been negotiating a Resort District Real Estate Transfer Assessment also known as the "Resort District RETA". The Resort District RETA shall be in addition to the existing Real Estate Transfer Tax administered by the Town under Title 1, Chapter 10 of the Town Code, as amended (the "RETT").

In consideration for the Resort District RETA, the Town agrees that the terms shall apply to the Property and any portion of the Property transferred by Developer to a third party. The Town shall use the funds generated by the Resort District RETA exclusively for the construction, maintenance, or acquisition of workforce, affordable, or community housing, as the Town may determine in its discretion. The RETA will be in lieu of the \$3 per square foot Affordable Housing Fee assessed at time of building permit.

### **Accessory Dwelling Units**

Accessory dwelling units (ADU) will play an integral part of the neighborhood for employees of adjacent businesses as well as being a built-in caretaker for any home that is not occupied year-round. By keeping the ADU design small and compact they will contribute to the town's goal of providing affordable housing and growing its workforce housing, especially in proximity to Highway 40. The ADU units will be permitted on a lot-by-lot basis and will meet the Town of Winter Park UDC code requirements for parking, design, and other ADU-specific criteria.

### **Short Term Rental**

The short-term rental (STR) model will also be an important component of the project, by helping to create a vibrant community for the owners and visitors. This will help to diversify housing options in the community and create a more diverse consumer base, close to Downtown, during the winter and summer seasons. We are envisioning an approach that allows for short-term rentals that will be collectively managed by a HOA-specific management company. All the single family lots would be entitled with the potential for use as a short-term rental.

In consideration of the Resort District Real Estate Transfer Assessment (.5%) and the General Real Estate Transfer Assessment (1%), any future licensing or registration cap to limit or restrict the permitted number of short-term rental units shall not apply to this development as per the Development Agreement.

### **Access to Public Transit**

The site is located adjacent to Ski Idlewild which is part of the Red Line/Rendezvous Lift winter bus route and currently there are two stops – one located to the north at Ski Idlewild Road and Rendezvous Road (1,750 ft); and one located to the south at Ski Idlewild Road and Sawyer Circle (865 ft). Beyond public transit and with the site's proximity to downtown (less than ¼ mile along Ski Idlewild Road to Hideaway Park), access to future Fraser River Trail and Ski Trail, the future residents and their guests will have several mobility options.

### **Housing, School, Traffic, Parks, Fire, and Utilities Community Impact Statement**

**Housing:** This development will offer a variety of small lot, single family and smaller ADU housing options for residents. The applicant has agreed to participate in the RETA which will fund additional community housing projects.

**School:** Based on the number of units within this development there should be minimal impact to East Grand School District.

**Traffic:** The trip generation is expected to be within the parameters of the current design of Ski Idlewild Road and that it is sufficient to accommodate the planned traffic volume of this development.

**Parks:** The residents will have access to the future Fraser River Trail expansion (via Ski Idlewild Road), Ski Trail and existing street sidewalk community connections. The residents will have access to a private community gathering space with a small lawn and a community facility to provide several social and recreation opportunities.

**Fire:** We have met and coordinated with the East Grand Fire District, and they have noted that there will be no issue with providing emergency services to this development. All buildings will comply with the Town of Winter Park Fire Mitigation measures (UDC Sec. 3-C-4.D and Sec. 3.B).

**Utilities:** This development provides adequate water and sewer connections per applicable state and local code. As part of this development and the adjacent Sojourn development, the existing sewer line will be upgraded to a 12" line and will be extended across the Fraser River, connecting to the existing main located along High County Drive. A looped water connection will be provided into Sojourn as well.

### **Architectural Style**

The architectural style will be a blend of traditional architectural forms with gables and shed roofs as well as incorporating the mountain vernacular using large beams and decorative steel elements to create a unique character that will define the neighborhood. Recessed garages and alley-loaded garages will be incorporated where possible for thoughtful architectural elevations and design. The architecture will also serve to foster spontaneous interaction with fellow residents and visitors through the use of street-oriented porches/gathering spaces and the community-based amenities. The building materials will be in accordance with the Town of Winter Park UDC.

### **Conclusion**

Nassar Development is committed to working with the town to maintain valuable natural resources and enhance recreational and sustainable opportunities for both residents and visitors. By working with the town to provide connectivity for the Fraser River Trail we hope to enhance both the community groups and recreational experiences for the town. The neighborhood design, common space and attention to architectural design will all work together to create a special and memorable community that will be intrinsically Winter Park.

# RIVER WALK AT WINTER PARK

## FINAL DEVELOPMENT PLAN

Town of Winter Park, Colorado

October 11, 2023

Prepared for Town of Winter Park

Prepared by DTJ Design

**RIVER WALK AT WINTER PARK ("TRACT F")**  
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EXHIBIT C	<b>DEVELOPMENT STANDARDS</b> Development Standards Slope Preservation & Grading Parking Pedestrian Facilities Retaining Walls Wetlands Accessory Dwelling Units Roadway Facility Design Maximum Building Height Fencing Landscape Outdoor Lighting Snow Storage Utilities Building Materials Wildfire Hazard Mitigation
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**RIVER WALK AT WINTER PARK ("TRACT F")**  
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**FINAL DEVELOPMENT PLAN**

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<b>EXHIBIT J</b>	<b>TITLE COMMITMENT</b>

## **EXHIBIT A - INTRODUCTION**

### **APPLICANT & DESIGN TEAM INFORMATION**

**OWNER/DEVELOPER NASSAR DEVELOPMENT, LLC**

3000 Airport Road, Suite 203  
Erie, Colorado 80516  
303-775-5502  
Contact: David Nassar

**OWNER**

**RIVERWALK, LLC**

3000 Airport Road, Suite 203  
Erie, Colorado 80516  
303-775-5502  
Contact: David Nassar

**LAND PLANNING/  
APPLICANT**

**DTJ DESIGN**

3101 Iris Avenue, Suite 130  
Boulder, Colorado 80301  
303-5443-7533  
Contact: Greg White, RLA

**CIVIL ENGINEERING/  
DRAINAGE**

**TKE CIVIL & STRUCTURAL ENGINEERING**

PO Box 225  
Granby, Colorado 80446  
970-531-2860  
Contact: Anthony Krempin, PE

**SURVEYOR**

**CORE CONSULTANTS**

3473 South Broadway Boulevard  
Englewood, Colorado 80113  
303-703-4444  
Contact: Sam Gallucci III, PE

**WETLANDS &  
ECOLOGICAL  
CONSULTATION**

**ECOLOGICAL RESOURCE CONSULTANTS, INC**

2820 Wilderness Place, Suite A  
Boulder, Colorado 80301  
303-679-4820  
Contact: Dave Blauch

**GEOTECHINICAL  
ENGINEER**

**CTL THOMPSON**

1790 Airport Road #2  
PO Box 4928  
Breckenridge, Colorado 80424  
970-453-2047  
Contact: George Benecke III, PE

**TRANSPORTATION  
CONSULTATION**

**ALDRIDGE TRANSPORTATION CONSULTANTS, LLC**

1082 Chimney Rock Road  
Highlands Ranch, Colorado 80126  
303-703-9112  
Contact: John Aldridge, PE

## **PROJECT INTRODUCTION**

This River Walk at Winter Park Final Development Plan Designation, is approved this XX day of XX, 2023 by the Town Council of Winter Park, Colorado, hereinafter referred to as the "Town" for certain real property located in Winter Park and described in attached Exhibit A, hereinafter referred to as the "Property". This establishes the land uses which will govern the Property, a Development Plan ("Plan") and development guidelines and conditions which must be adhered to by Nassar Development and RiverWalk, LLC and its successors, heirs, or assigns collectively referred to as the "Owner/Developer". This Designation also specifies improvements which must be made and conditions which must be fulfilled in conjunction with this Designation by the Owner/Developer.

Where this Designation does not address a specific development standard or requirement of the Town of Winter Park Unified Development Code ("Development Code") currently in effect, the Development Code shall apply. Where the Designation addresses a specific development standard or requirement, the provisions of this Designation shall supersede the provisions of the Development Code. Use and development of the Property shall be in accordance with the specific requirements of this Designation, and in substantial compliance with the Plan attached herein.

## **DEVELOPMENT INTENT**

This Designation is proposed to create a neighborhood with an intentional design approach to create an identifiable and compact single family cluster neighborhood which is influenced by Traditional Neighborhood Development design principles of community space, fostering interaction, and prioritizing pedestrian movement over automobiles. Along with protection of the open space/wetland area, providing additional housing options including short-term rentals, accessory dwelling units, and furthers the goals and policies as reflected in the Town of Winter Park Unified Development Code (UDC).

## **LEGAL DESCRIPTION**

Tract F-1, River Walk at Winter Park, Filing No. 1 Replat, according to the plat to be recorded at Reception No. TBD, County of Grand, State of Colorado.

## **ADJACENT PROPERTY OWNERS**

IDLEWILD, LLC  
10325 Bristleridge Court  
Parker, Colorado 80134

TOWN OF WINTER PARK (CONFLUENCE PARK & SKI IDLEWILD ROAD)  
PO Box 3327  
Winter Park, Colorado 80482

WHEELER FAMILY TRUST  
PO Box 658  
Winter Park, Colorado 80482

## **EXISTING ZONING & CONDITIONS SUMMARY**

The existing conditions are but not limited to existing topography, wetlands, vegetation, human-made elements, etc. and have been evaluated and serve as a backbone of the plan. These exhibits have been included in this document.

The Property is approximately 7.71 acres and is currently undeveloped. Adjacent parcels include the Town of Winter Park's Confluence Park to the west; Ski Idlewild Road to the south; Sojourn at Idlewild planned development to east; and an existing single-family residence (The Wheelers) to the north.

Vehicle and emergency access to the Property is provided to the south via Ski Idlewild Road (collector road). The Red Line / Rendezvous Lift bus route provides winter season transportation options with two stops in close proximity to the site (one located +/- ¼ mile to the north and one located +/- ¼ mile to the south. The future Ski Trail (located immediately adjacent Sojourn property) and the future Fraser River Trail (located adjacent to the Property, paralleling the Fraser River) will provide additional mobility options.

The property generally rises from the northwest to the southeast. The rise reflects approximately thirty-five (35) feet in elevation. There are very limited areas of slopes greater than thirty (30) percent, and these are shown on the Existing Conditions Plan included in this document.

The Fraser River delineates the western boundary of the Property, and Ski Idlewild Road delineates the southern boundary of the Property.

Existing vegetation includes pines, shrubs, and grasses. The site is generally split into two vegetation communities: grassland upslope of the river with both native and non-native species, and the wetland along the Fraser River with mix of pines, shrubs, and grasses. The existing wetland has been mapped and the included Wetland Report summarizes the jurisdictional determination of these wetlands. The intent is to incorporate preservation of these wetlands and existing drainage corridor.

The delineated wetland area comprises 2.89 acres (37.5%) of the Property, and the regulatory 100-Year Floodplain (Zone AE) comprises 1.32 acres (17.1%) of the Property.

The Property is located within the Town of Winter Park, Grand County, Colorado and is currently zoned R-2 (Multiple Family Residential).

## EXHIBIT B - DEVELOPMENT PLAN

Development of the Property shall be in accordance with the attached Plan and the following specific requirements of this Designation.

### A. Proposed Zoning

The Development proposes a re-zoning from R-2 to PD (Planned Development) with an underlying zoning of R-2.

### B. Land Use and Density Summary

The Land Use Summary provides a summary of the Property, proposed densities, and dwelling units per acre.

Land Use Summary						
Land Use	Maximum Residential Units	Area (SF)	Area (AC)	Percentage of Total	Maximum Residential Density (DU/AC)	Maximum Commercial (SF)
Residential	33	150,470.90	3.45	44.78%	4.28	0
Open Space		138,628.89	3.18	41.26%	0	0
Right-of-Way		45,782.78	1.05	13.63%	0	0
Shared Drive		1,124.99	0.03	0.33%	0	0
<b>Non-Res. Sub Total</b>		185,536.66	4.26	55.22%	0	0
<b>TOTAL</b>	<b>33</b>	<b>336,007.56</b>	<b>7.71</b>	<b>100.00%</b>	<b>4.28</b>	<b>0</b>

1. A maximum of thirty-three (33) single-family residential principal dwelling units, additionally accessory dwelling units (ADU) are allowed on all residential lots.
2. Accessory dwelling units are allowed per the Town of Winter Park Unified Development Code.
3. Short-term rentals (STRs) are allowed per the Town of Winter Unified Development Code. Additional regulations have been set forth in the Development Agreement under Section #5.
4. No size restriction pertains to any single-family residence. Regardless of lot size, no additional density shall be permitted in this Plan beyond the permitted thirty-three (33) dwelling units. However, lot lines may be adjusted to create more consistency among lot sizes, but in no way may the adjustment of lot lines create a means to add additional dwelling density to the Plan. Any Lot Line Adjustments shall conform to the lot layout as depicted in the Site Plan (included in this document), to the greatest extent possible.
5. Right-Of-Way A, B, and C are private right-of-way for circulation and shall remain free from residential development. On-street parking is not permitted within Right-Of-Way A, B, and C. Right-Of-Way A, B, and C are intended for private drives and alleys and include but not limited to vehicular pavement, curb/gutter, pedestrian pavement, site lighting, landscape plantings, and seasonal snow storage. Right-Of-Way A, B, and C shall be preserved as private open space, subject to the limited use allowances as set forth in this Designation and the permitted uses, which shall be executed and duly recorded in conjunction with the Final Plat to be adopted concurrently with the or subsequent to the recordation of this Designation.

6. Outlot A is private open space and shall remain free from residential development. Outlot A is intended for a common community amenity structure(s) and related outdoor activities, including but not limited to shade shelter, outdoor kitchen/barbecue grills, fire feature, site furnishings, seatwalls, site lighting, hardscape, open lawn, landscape plantings, and seasonal snow storage. Outlot A (Private Open Space) shall be preserved as private open space, subject to the limited use allowances as set forth in this Designation and the permitted uses, which shall be executed and duly recorded in conjunction with the Final Plat to be adopted concurrently with the or subsequent to the recordation of this Designation.
7. Outlot B is private open space and shall remain free from residential development. Outlot B is intended for private open space and buffer / screen to adjacent development and includes but not limited to utilities, walls, fencing, landscape plantings, and seasonal snow storage. Outlot B (Private Open Space) shall be preserved as private open space, subject to the limited use allowances as set forth in this Designation and the permitted uses, which shall be executed and duly recorded in conjunction with the Final Plat to be adopted concurrently with the or subsequent to the recordation of this Designation.
8. Outlot C is private open space and shall remain free from residential development. Outlot C is intended for private open space and includes but not limited to utilities, walls, fencing, landscape plantings, and seasonal snow storage. Outlot C (Private Open Space) shall be preserved as private open space, subject to the limited use allowances as set forth in this Designation and the permitted uses, which shall be executed and duly recorded in conjunction with the Final Plat to be adopted concurrently with the or subsequent to the recordation of this Designation.
9. Outlot D is public open space and shall remain free from residential development. Outlot D is intended for public open space for wetland conservation and construction of the future Fraser River Trail . Outlot D (Public Open Space) shall be dedicated to the Town and be protected and preserved as public open space, subject to the limited use allowances as set forth in this Designation and the permitted uses, which shall be executed and duly recorded in conjunction with the Final Plat to be adopted concurrently with the or subsequent to the recordation of this Designation.
10. Outlot E is private open space and shall remain free from residential development. Outlot E is intended for private open space and includes the private covered deck / amenity feature and associated access trail. The private covered deck / amenity feature shall not exceed a maximum of twenty feet (20') in height. Outlot E (Private Open Space) shall be protected and preserved as private open space, subject to the limited use allowances as set forth in this Designation and the permitted uses, which shall be executed and duly recorded in conjunction with the Final Plat to be adopted concurrently with the or subsequent to the recordation of this Designation.
11. No improvements or disturbances shall be permitted in the thirty (30) foot Fraser River waterline setback per the Town of Winter Park Unified Development Code unless specifically shown on the Development Plans, nor shall any improvements or disturbances be located on slopes in excess of thirty (30) percent slope or on the lots or within the designated wetland area located within Outlot D except for the private deck access trail and future Fraser River trail. However, forest management activities, landscape and revegetation may be allowed in these areas upon Town review and approval in accordance with the Unified Development Code.

## EXHIBIT C - DEVELOPMENT STANDARDS

Development of the Property shall be in accordance with the attached Plan and the following specific requirements of this Designation.

Development Standards	
Standard Type	Standard
Minimum Open Space <sup>1</sup>	10%
Residential Lot Size (SF)	3,360 – 10,580
Lot Depth (FT)	70 - 190
Lot Width (FT)	40 - 55
Max. Building Height (FT) <sup>1</sup>	35
Front Setback (FT) <sup>2 3</sup>	5
Corner Setback (FT)	5
Side Setback (FT) <sup>4 6</sup>	5 / 10
Rear Setback (FT) <sup>5 7</sup>	5 / 10
Max. Building Coverage <sup>1</sup>	40%

1. As defined in the Town of Winter Park Unified Development Code.
2. Front Setback is measured from the Right-Of-Way (R.O.W.).
3. Front-loaded garages shall have a minimum of twenty (20) feet driveway, measured from face of the garage to the edge of curb.
4. Minimum building separation shall be as specified above. Roof overhangs, bay or box windows, fireplaces, cantilevers, and other architectural features may be located within the side setback provided that the encroachment does not exceed twenty-four (24) inches.
5. Roof overhangs, bay or box windows, fireplaces, cantilevers, and other architectural features may be located within the rear setback provided that the encroachment does not exceed twenty-four (24) inches. Decks, patios, and covered porches may extend within ten (10) feet of the property line.
6. A ten (10) feet wide side setback will be required for lots adjacent to Ski Idlewild Road.
7. Five (5) feet rear setback for alley-loaded lots; ten (10) feet rear setback for front-loaded lots.

### A. Slope Preservation and Grading

1. Grading and slopes shall be in compliance with the Town of Winter Park Unified Development Code, Chapter 3, Article 3.I., Section D.

### B. Parking

1. The Property shall comply with the Town of Winter Park Unified Development Code pertaining to parking.
2. On-street parking is not permitted within the Property.
3. Guest parking is allowed on driveways where the depth curb is twenty (20) feet or greater, measured from face of garage to edge of roadway.
4. Shared parking is allowed within driveways with a shared access easement.

### C. Pedestrian Facilities

1. Pedestrian Facilities shall be subject to Town of Winter Park Unified Development Code, Chapter 4, Article 4.A., Section 4-A-5.

2. The Property shall comply with the Town of Winter Park Unified Development Code pertaining to Pedestrian Facilities.
3. The Property will provide internal pedestrian circulation in accordance with the Town of Winter Park Unified Development Code, Chapter 4, Article 4.A., Section 4-A-5.
4. Apres Way will provide a three and half (3'-6") foot wide sidewalk along the entirety of the northeast side of the road and a three and half (3'-6") foot sidewalk from the existing Ski Idlewild Road attached sidewalk to the shared driveway along the southwest side of Apres Way. This is shown on the Site Plan included in this document.
5. The loop portion of Apres Way will provide a three and half (3'-6") foot wide sidewalk around the outside perimeter of the road. This is shown on the Site Plan included in this document.

#### **D. Retaining Walls**

1. Retaining Walls shall be subject to the Town of Winter Park Unified Development Code.
2. Retaining walls may encroach into required setbacks in the following circumstances:
  - a. It is shown that the wall cannot be located within the setback due to structural issues;
  - b. They are an appropriate engineering solution needed to mitigate risk to life and property;
  - c. They are necessary to retain soils and stabilize sites; or their use is part of an approved landscape plan, erosion control plan, slope stability plan, or stormwater management plan.

#### **E. Wetlands**

1. Wetlands shall be subject to the Town of Winter Park Unified Development Code.

#### **F. Accessory Dwelling Units**

1. Any Accessory Dwelling Unit (ADU) shall:
  - a. Have a minimum size of three hundred (300) square-feet not to exceed fifty (50) percent of the gross floor area of the principal dwelling.
  - b. Include a kitchen which shall include, but not limited to a sink, refrigerator and a range.
  - c. Include a bathroom which shall include, but not limited to a sink, toilet, shower and/or bathtub.
  - d. Be provided with a separate entrance from the principal dwelling.
  - e. Not be subdivided and/or subsequently sold as fee simple ownership. It shall remain as part of the property where the principal dwelling is located.
2. Accessory Dwelling Unit's shall be:
  - a. Served by a private driveway or parking space that is separate or shared with the principal dwelling unit.
  - b. Detached ADU's are to be separated from the principal dwelling unit by a minimum of ten (10) feet.
  - c. Attached ADU's are allowable provided it has a separate entrance.
3. Located to the rear or the side of the principal dwelling unit.
4. Where a principal residential use is expanded to accommodate an attached or detached ADU, the expansion shall be designed, clad, painted, and roofed in a manner that is comparable to the principal dwelling unit.
5. Accessory Dwelling Units will be subject to the requirements set forth in the Town of Winter Park Unified Development Code.

### **G. Roadway Facilities**

1. Roadway Facilities shall be subject to the Town of Winter Park Standards and Specifications for Design and Construction, and the American Association of State Highway and Transportation, A Policy on Geometric Design of Highways and Street 2011 (AASHTO Standards).
2. The Property shall comply with the Town of Winter Park Standards and Specifications for Design and Construction and American Association of State Highway and Transportation pertaining to roadway facilities.
3. Access to the Property is provided from Ski Idlewild Road along the southern property boundary.
4. The maximum allowable grades for roads and alleys on the Property is ten (10) percent. Refer to the Development Grading Plan included in this document for proposed road and alley locations and grades.
5. Proposed roadway standards and cross sections are included in this document.

### **H. Maximum Building Height**

1. Maximum Building Height shall be measured according to the Town of Winter Park Unified Development Code.

### **I. Fence**

1. Fencing shall be subject to the Town of Winter Park Unified Development Code.
2. All fencing shall be wildlife friendly and comply with Colorado Parks & Wildlife Wildlife-friendly Fencing Guidelines.

### **J. Landscape**

1. Landscape shall be subject to the Town of Winter Unified Development Code.
2. The Property shall comply with the Town of Winter Park Unified Development Code allowing outdoor watering to the extent permitted.
3. Tree clearing within the Property will be limited to designated development areas and prudent forest management practices, including forest thinning, and spraying and other mountain pine beetle or similar pest defense techniques.
4. Portions of the required perimeter landscape buffer include the required municipal utilities which are in conflict with the required landscape buffer. In location of conflicts, trees will be grouped together where feasible and shrubs provided in accordance with the required landscape screen per the Town of Winter Park Landscape Design Regulations and Guidelines.
5. Due to the compact nature of the Development, the required street trees may be allowed to be located on the private right-of-way line or within five (5) feet of the right-of-way line and within the residential lots and counted towards the street tree requirement. This is to allow for necessary utility clearances and will help eliminate snow removal damage to the street trees.
6. Street trees will be installed by the Developer and be required to be maintained by the Homeowner.

### **K. Outdoor Lighting**

1. Outdoor Lighting shall be subject to the Town of Winter Park Unified Development Code.

### **L. Snow Storage Guidelines**

1. Snow storage shall be subject to the Town of Winter Park Unified Development Code.

2. Specific snow storage locations and area calculations are shown on the Snow Storage Plan included in this document.
3. Wherever possible snow storage areas will be located at the ends of roads or in other locations that are easily accessible to snowplows & not encroaching onto roadways or private properties.

**M. Utilities**

1. Utility design shall comply with International Building Code as adopted by the Town of Winter Park Municipal Code, Title 6, Building Regulations. The Utility Plan is included in this document.
2. Development of this Property (and the adjacent Sojourn at Idlewild development) requires the existing sewer line to be upgraded to a twelve (12) inch line and provide a second water connection for future development uphill of the Property.

**N. Building Materials**

1. Building Materials shall be subject to the Town of Winter Park Unified Development Code.
2. Prior to issuance of a residential building permit, all lots may be subject to an architectural review process to be conducted by the Homeowner Association (HOA) or other appointed representative as outlined in the recorded covenants, conditions, and restrictions (CCRs).

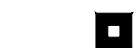
**O. Wildfire Hazard Mitigation**

1. Wildfire Hazard Mitigation shall be subject to the Town of Winter Park Unified Development Code.

## **EXHIBIT D - PLANS**

- A. VICINITY MAP**
- B. EXISTING CONDITIONS PLAN**
- C. SITE PLAN**
- D. FENCING PLAN**
- E. CIRCULATION PLAN**
- F. GRADING & DRAINAGE PLAN**
- G. UTILITY PLAN**
- H. TREE PROTECTION PLAN**
- I. LANDSCAPE PLAN**
- J. SNOW STORAGE PLAN**

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Last Plotted 10/11/2023 1:59:30 PM  
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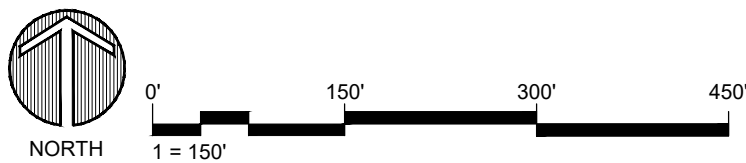


SITE PLAN LEGEND

	LIMIT OF WORK
	PROPERTY LINE / RIGHT-OF-WAY
	EASEMENT LINE
	LOT SETBACK LINE

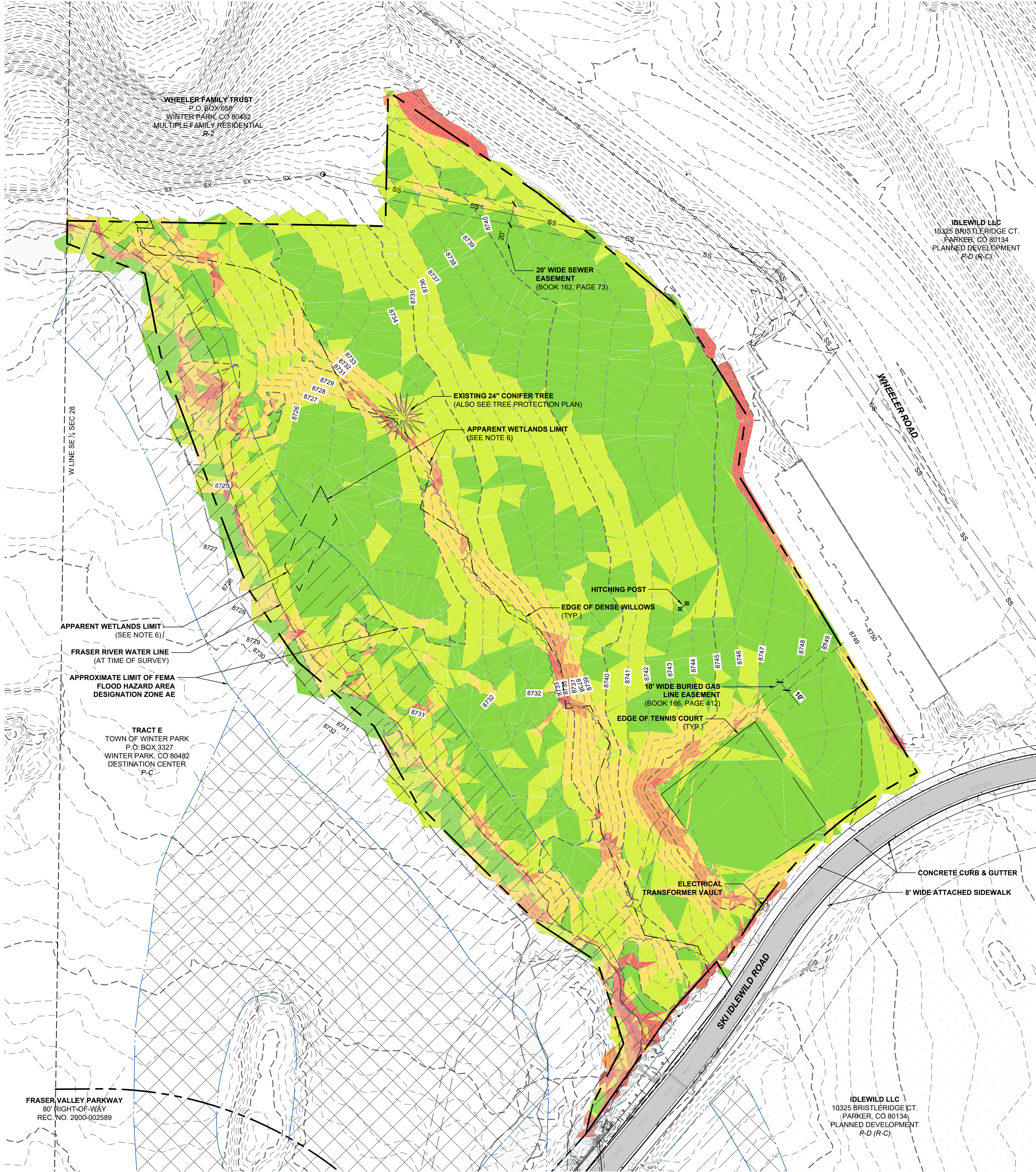
SITE PLAN NOTES

- SEE CIVIL GRADING/DRAINAGE (SHEET 6 OF 11) AND UTILITY PLAN (SHEET 7 OF 11) FOR STREET CURB AND GUTTER, DRAINAGE INFRASTRUCTURE, UTILITIES AND ASSOCIATED IMPROVEMENTS.
- SEE SITE FENCING PLAN (SHEET 4 OF 11) FOR FENCING SPECIFICS.
- SEE SNOW STORAGE PLAN (SHEET 9 OF 11) FOR SNOW STORAGE SPECIFICS.
- DRIVEWAYS SHOWN ARE DIAGRAMMATIC - FINAL DRIVEWAYS TO BE COORDINATED WITH SPECIFIC LOT ARCHITECTURE AND TO BE SHOWN ON FINAL BUILDING PLAN DRAWINGS.
- ACCESSORY DWELLING UNITS (ADUs) MAY BE PROVIDED BASED ON THE FINAL SITE AND BUILDING CONDITIONS.



DRAWN BY:	GGV
CHECKED BY:	GBW
PROJECT NO.:	2021080
ISSUE DATE:	10/11/2023
REVISIONS:	

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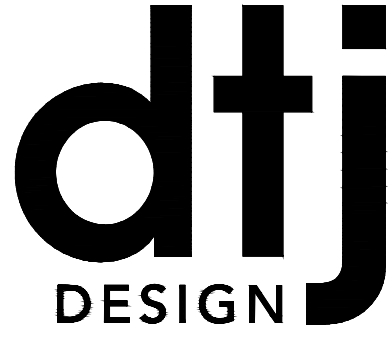
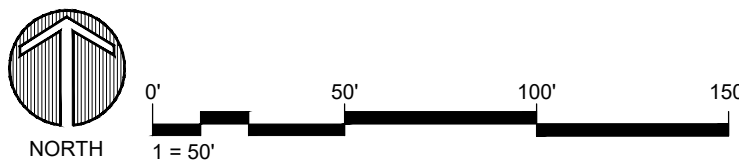


EXISTING CONDITIONS  
NOTES

1. ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED ON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BE COMMENCED MORE THAN 10 YEARS FROM THE DATE OF THE CERTIFICATION SHOWN.
2. THE SUBJECT PROPERTY BOUNDARY DEPICTED IS SUBJECT TO MINOR REVISIONS PER THE APPROVAL OF THE TRACT F, RIVER WALK AT WINTER PARK FILING NO. 1 EXEMPTION PLAT (DATED 03/17/2022)
3. BASIS OF BEARING IS THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 28 DEPICTED HEREON, BETWEEN THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF SECTION 28, A FOUND  $\frac{3}{8}$ " ALUMINUM CAP LS 25971, AND THE WESTERLY MOST CORNER OF THE SUBJECT PROPERTY, A FOUND NO. 3 REBAR W/ WASHER, SAID LINE HAVING A MEASURED BEARING OF N00°26'14"E.
4. CONTOUR INTERVAL: 1 FOOT
5. LINEAL UNIT OF MEASURE: FEET
6. THE DELINEATED WETLAND WAS LOCATED DURING THE COURSE OF THIS FIELD SURVEY. THE WETLAND LIMITS DEPICTED HEREON IS BASED ON LOCATIONS AND ADDITIONAL INFORMATION PROVIDED BY OTHERS. THE CERTIFYING SURVEYOR OF THE SURVEY MAKES NO WARRANTY AS TO THE LIMITS, EXTENT, LOCATION OR BOUNDARY OF WETLAND AREAS ON OR ADJACENT TO THE SUBJECT PROPERTY.

SLOPE ANALYSIS

NO.	MIN. SLOPE	MAX. SLOPE	COLOR
1	0.00%	5.00%	Green
2	5.00%	10.00%	Light Green
3	10.00%	20.00%	Yellow
4	20.00%	30.00%	Orange
5	30.00%	99999900.00%	Red



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RIVERWALK AT WINTER PARK  
FINAL DEVELOPMENT PLAN

NASSAR DEVELOPMENT  
TOWN OF WINTER PARK, COLORADO

DRAWN BY: GGV  
CHECKED BY: GBW  
PROJECT NO.: 2021080  
ISSUE DATE: 10/11/2023  
REVISIONS:

SHEET TITLE:  
  
EXISTING  
CONDITIONS PLAN

SHEET NUMBER:

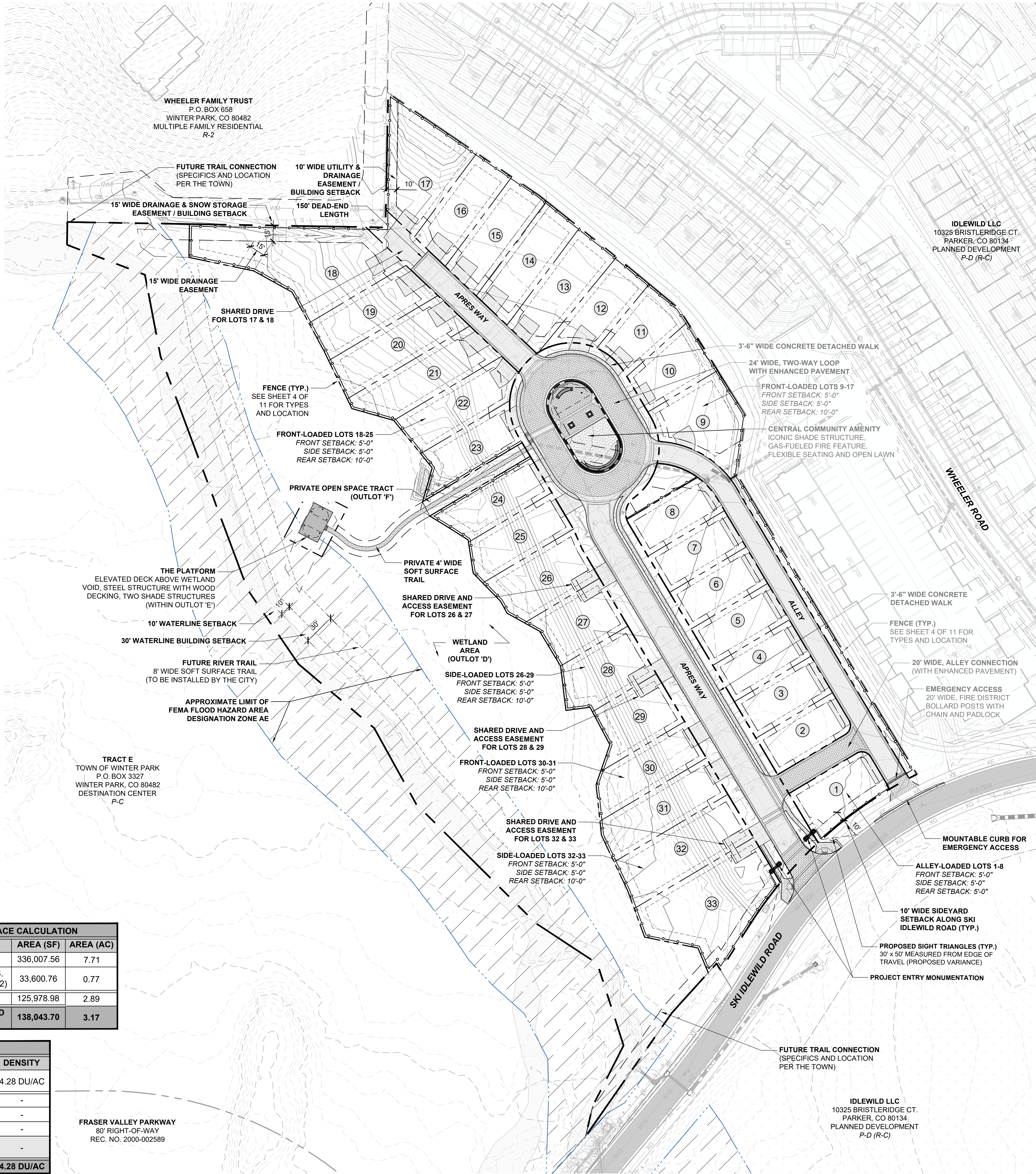
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MAX BUILDING COVERAGE SUMMARY			
LOT TYPE	AREA	QTY.	TOTAL
60 X 60 FRONT LOAD	2,576	3	7,728
30 X 85 FRONT LOAD (WALKOUT)	2,550	6	15,300
30 X 85 SIDE LOAD (WALKOUT)	2,550	2	5,100
45 X 55 PAIRED	2,170	4	8,680
30 X 70 FRONT LOAD	2,100	3	6,300
30 X 70 FRONT LOAD (WALKOUT)	2,100	4	8,400
30 X 70 REAR LOAD	1,995	8	15,960
30 X 60 FRONT LOAD	1,800	3	5,400
TOTAL UNIT BUILDING COVERAGE	18		72,868
PATIOS & BALCONIES	150	33	4,950
PRIVATE DRIVEWAY			8,808
SIDEWALK			2,514
SHARED DRIVE			3,862
AMENITY PLAZA			2,175
SOFT SURFACE PATH			918
WETLAND DECK			640
TOTAL SITE BUILDING COVERAGE			23,867
TOTAL SITE+UNIT BLDG. COVERAGE			96,735
TOTAL SITE AREA			336,007.56
PERCENTAGE OF BUILDABLE AREA			28.79%

OPEN SPACE CALCULATION			
AREA	AREA (SF)	AREA (AC)	
TOTAL SITE	336,007.56	7.71	
10% MINIMUM O.S. REQUIREMENT (R-2)	33,600.76	0.77	
WETLAND AREA	125,978.98	2.89	
TOTAL PROPOSED OPEN SPACE	138,043.70	3.17	

SITE TABULATION							
LAND USE	TYPE	MAX HT.	UNITS	AREA (SF)	AREA (AC)	PERCENTAGE	DENSITY
RESIDENTIAL	SINGLE FAMILY	35'-0"	33	150,470.90	3.45	44.78%	4.28 DU/AC
OPEN SPACE	-	-	-	138,628.89	3.18	41.26%	-
R.O.W.	-	-	-	45,782.78	1.05	13.63%	-
SHARED DRIVE	-	-	-	1,124.99	0.03	0.33%	-
NON-RESIDENTIAL SUBTOTAL	-	-	-	185,536.66	4.26	55.22%	-
TOTAL			33	336,007.56	7.71	100.00%	4.28 DU/AC

NOTE: PROJECT ASSUMES UP TO 20 ACCESSORY DWELLING UNITS  
(FINAL LOT DESIGNATION TBD) - NOT INCLUDED IN THE ABOVE UNIT TOTAL



SITE PLAN LEGEND

---

LIMIT OF WORK

---

PROPERTY LINE / RIGHT-OF-WAY

---

EASEMENT LINE

---

LOT SETBACK LINE

SITE PLAN NOTES

1. SEE CIVIL GRADING/DRAINAGE (SHEET 6 OF 11) AND UTILITY PLAN (SHEET 7 OF 11) FOR STREET CURB AND GUTTER, DRAINAGE INFRASTRUCTURE, UTILITIES AND ASSOCIATED IMPROVEMENTS.

2. SEE SITE FENCING PLAN (SHEET 4 OF 11) FOR FENCING SPECIFICS.

3. SEE SNOW STORAGE PLAN (SHEET 9 OF 11) FOR SNOW STORAGE SPECIFICS.

4. DRIVEWAYS SHOWN ARE DIAGRAMMATIC - FINAL DRIVEWAYS TO BE COORDINATED WITH SPECIFIC LOT ARCHITECTURE AND TO BE SHOWN ON FINAL BUILDING PLAN DRAWINGS.

5. ACCESSORY DWELLING UNITS (ADUs) MAY BE PROVIDED BASED ON THE FINAL SITE AND BUILDING CONDITIONS.

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RIVERWALK AT WINTER PARK

FINAL DEVELOPMENT PLAN

NASSAR DEVELOPMENT

TOWN OF WINTER PARK, COLORADO

DRAWN BY: GGV

CHECKED BY: GBW

PROJECT NO.: 2021080

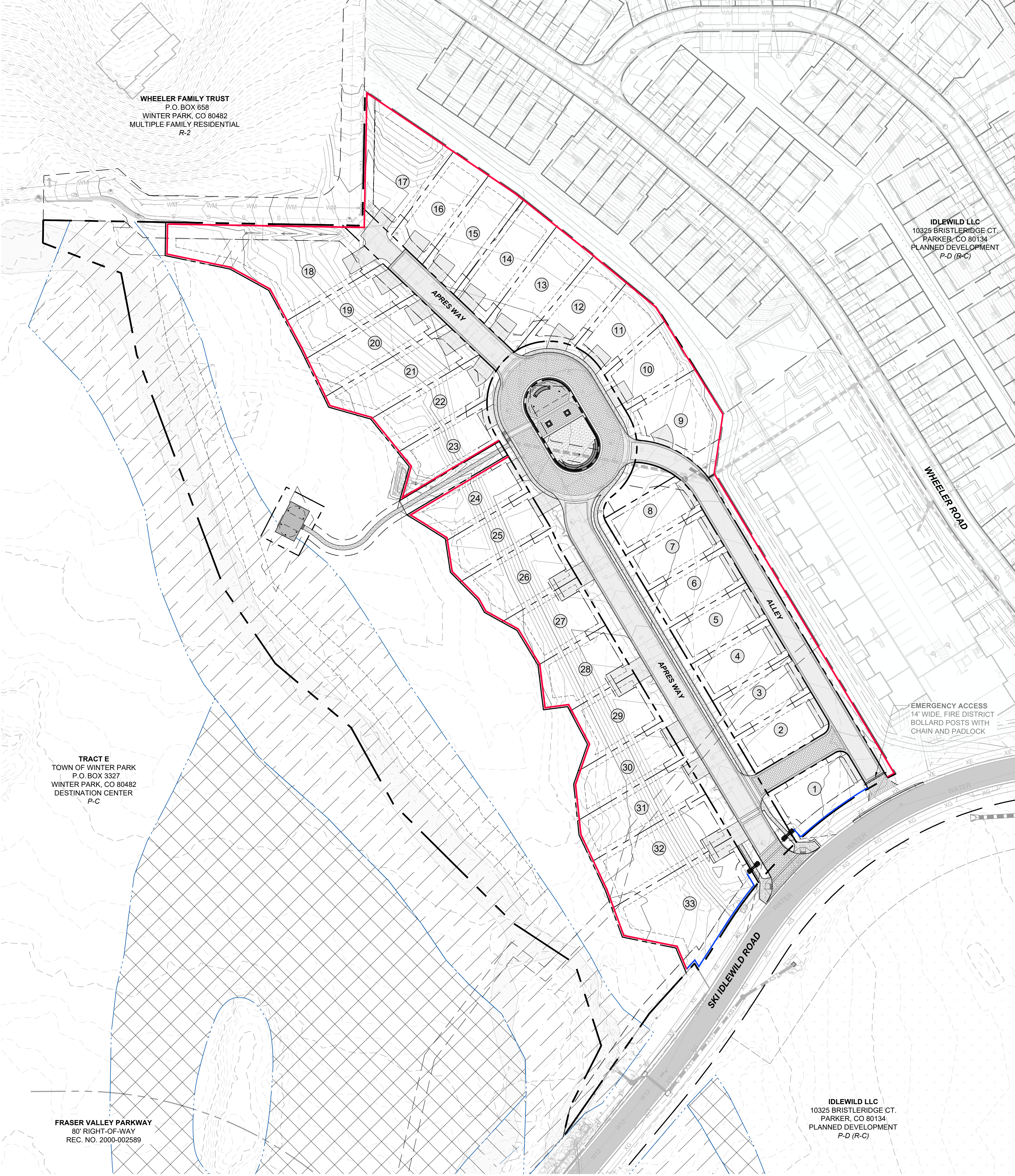
ISSUE DATE: 10/11/2023

REVISIONS:

SHEET TITLE: SITE PLAN

SHEET NUMBER: 3 OF 10

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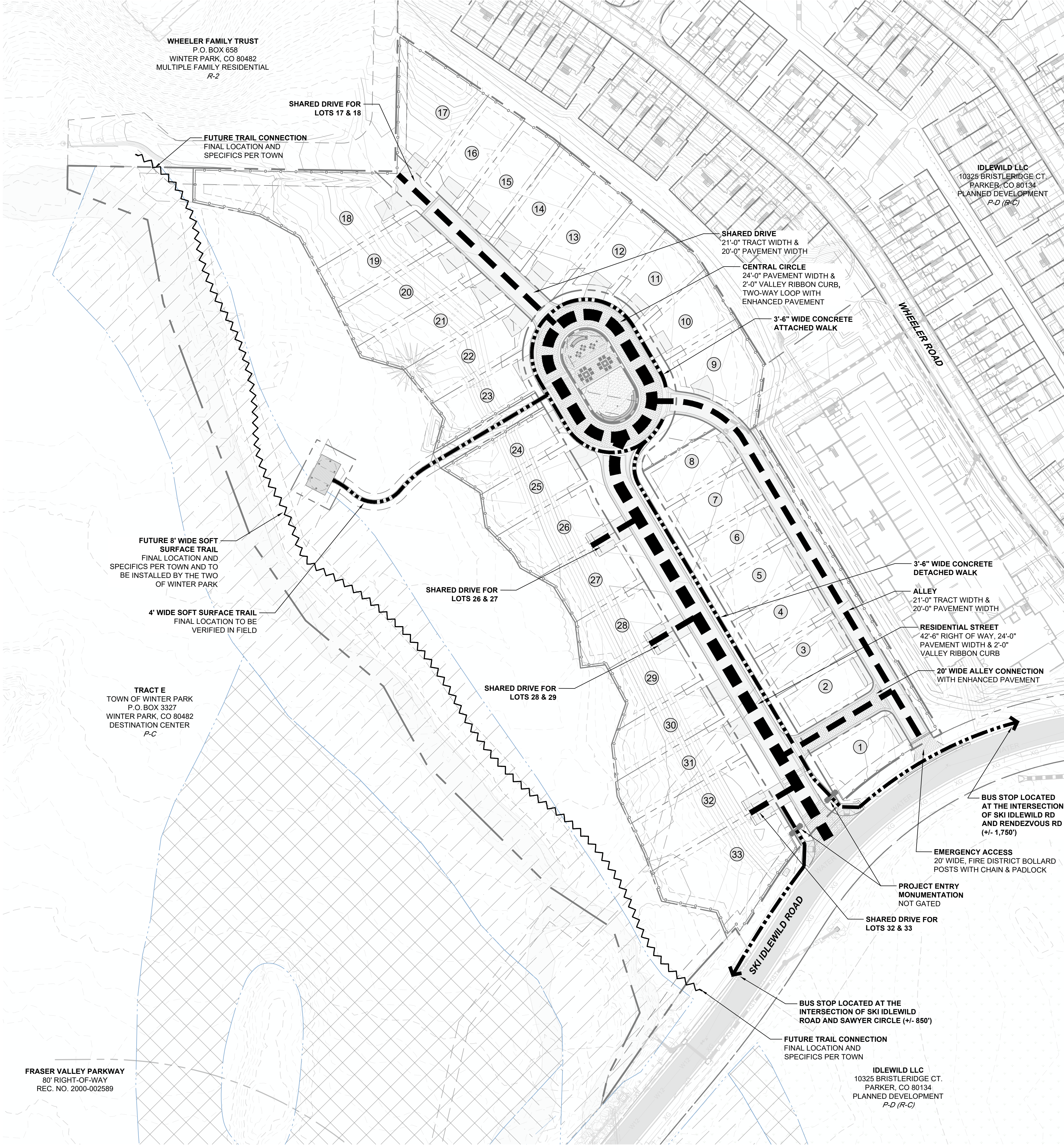
**FENCING LEGEND**

---	LIMIT OF WORK
- - - -	PROPERTY LINE / RIGHT-OF-WAY
- . - . -	EASEMENT LINE
- - - - -	LOT SETBACK LINE
---	ENHANCED FENCE (FIVE-RAIL FENCE)
---	PERIMETER FENCE (THREE-RAIL FENCE)

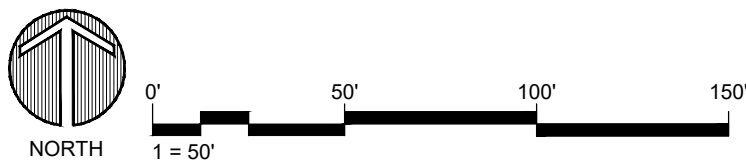
**SITE PLAN NOTES**

- SEE CIVIL GRADING/DRAINAGE (SHEET 6 OF 11) AND UTILITY PLAN (SHEET 7 OF 11) FOR STREET CURB AND GUTTER, DRAINAGE INFRASTRUCTURE, UTILITIES AND ASSOCIATED IMPROVEMENTS.
- SEE SITE PLAN (SHEET 3 OF 11) FOR SITE PLAN SPECIFICS.
- SEE SNOW STORAGE PLAN (SHEET 9 OF 11) FOR SNOW STORAGE SPECIFICS.
- DRIVEWAYS SHOWN ARE DIAGRAMMATIC - FINAL DRIVEWAYS TO BE COORDINATED WITH SPECIFIC LOT ARCHITECTURE AND TO BE SHOWN ON FINAL BUILDING PLAN DRAWINGS.
- IT IS THE INTENTION OF THIS PLAN THAT THE ACCESSORY DWELLING UNIT S (ADU) WILL PROVIDE WORKFORCE HOUSING.

Drawing: UA2021080.10 Nassar Winter Park\05 CAD\Streets\EDP\L103 - Circulation Plan.dwg  
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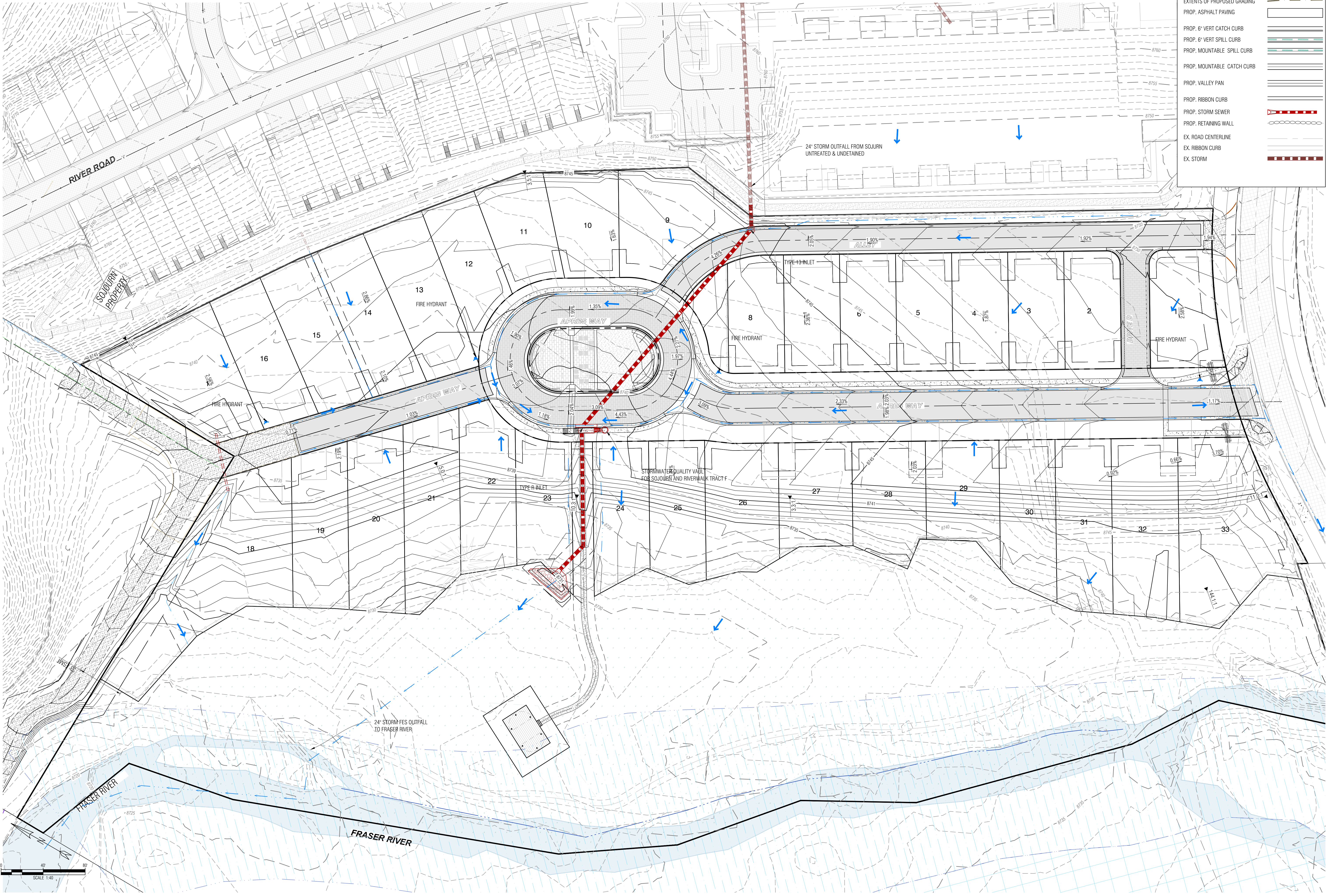


CIRCULATION LEGEND	
	LIMIT OF WORK
	PROPERTY LINE / RIGHT-OF-WAY
	EASEMENT LINE
	PEDESTRIAN CIRCULATION
	PRIMARY VEHICULAR CIRCULATION
	SECONDARY VEHICULAR CIRCULATION
	FUTURE PEDESTRIAN CIRCULATION



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Last Plotted 10/6/2023 9:31:59 AM  
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GRADING LEGEND	
BOUNDARY	
PROP. RIGHT-OF-WAY LINE	
PROP. ROAD CENTERLINE	
ACCESS & UTILITY ESMT	
EXISTING 2' CONTOURS	
PROPOSED 2' CONTOURS	
EXTENTS OF PROPOSED GRADING	
PROP. ASPHALT PAVING	
PROP. 6' VERT CATCH CURB	
PROP. 6' VERT SPILL CURB	
PROP. MOUNTABLE SPILL CURB	
PROP. MOUNTABLE CATCH CURB	
PROP. VALLEY PAN	
PROP. RIBBON CURB	
PROP. STORM SEWER	
PROP. RETAINING WALL	
EX. ROAD CENTERLINE	
EX. RIBBON CURB	
EX. STORM	

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RIVERWALK AT WINTER PARK

FINAL DEVELOPMENT PLAN

NASSAR DEVELOPMENT  
WINTER PARK, COLORADO

DRAWN BY: TK

CHECKED BY: TK

PROJECT NO.: 2021080

ISSUE DATE: 09/27/2023

REVISIONS:

SHEET TITLE:

Grading & Drainage Plan

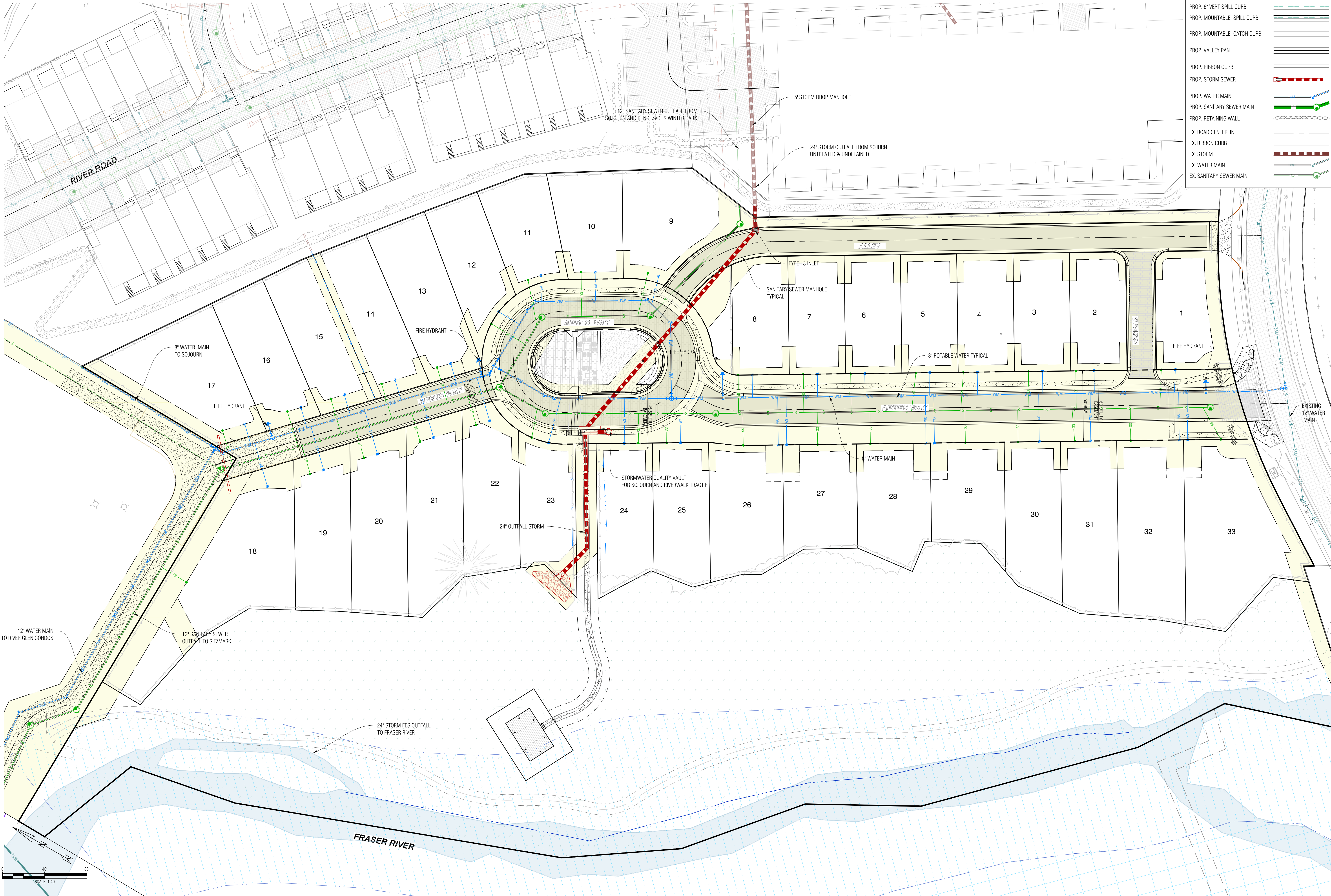
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6 of 10

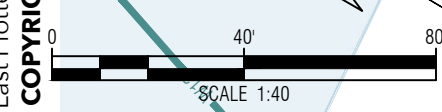
RIVERWALK AT WINTER PARK  
FINAL DEVELOPMENT PLAN

NASSAR DEVELOPMENT  
WINTER PARK, COLORADO

UTILITY LEGEND	
BOUNDARY	
PROP. RIGHT-OF-WAY LINE	
PROP. ROAD CENTERLINE	
ACCESS & UTILITY ESMT	
PROP. ASPHALT PAVING	
PROP. 6" VERT CATCH CURB	
PROP. 6" VERT SPILL CURB	
PROP. MOUNTABLE SPILL CURB	
PROP. MOUNTABLE CATCH CURB	
PROP. VALLEY PAN	
PROP. RIBBON CURB	
PROP. STORM SEWER	
PROP. WATER MAIN	
PROP. SANITARY SEWER MAIN	
PROP. RETAINING WALL	
EX. ROAD CENTERLINE	
EX. RIBBON CURB	
EX. STORM	
EX. WATER MAIN	
EX. SANITARY SEWER MAIN	



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CHECKED BY:	TK
PROJECT NO.:	2021080
ISSUE DATE:	09/27/2023
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SHEET TITLE:  
Utility Plan

SHEET NUMBER:

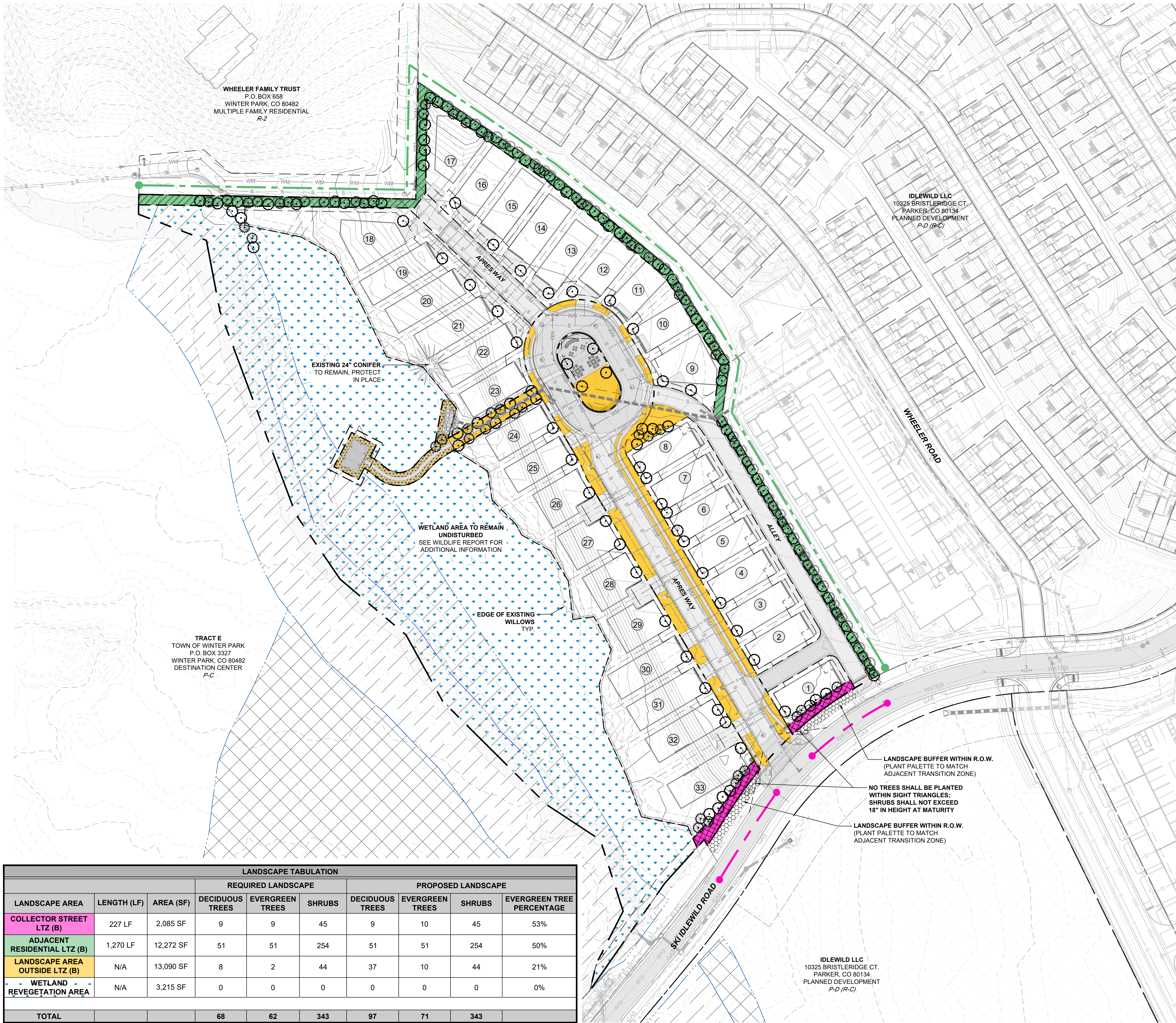
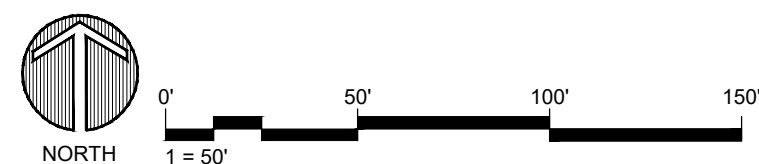
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## LANDSCAPE LEGEND

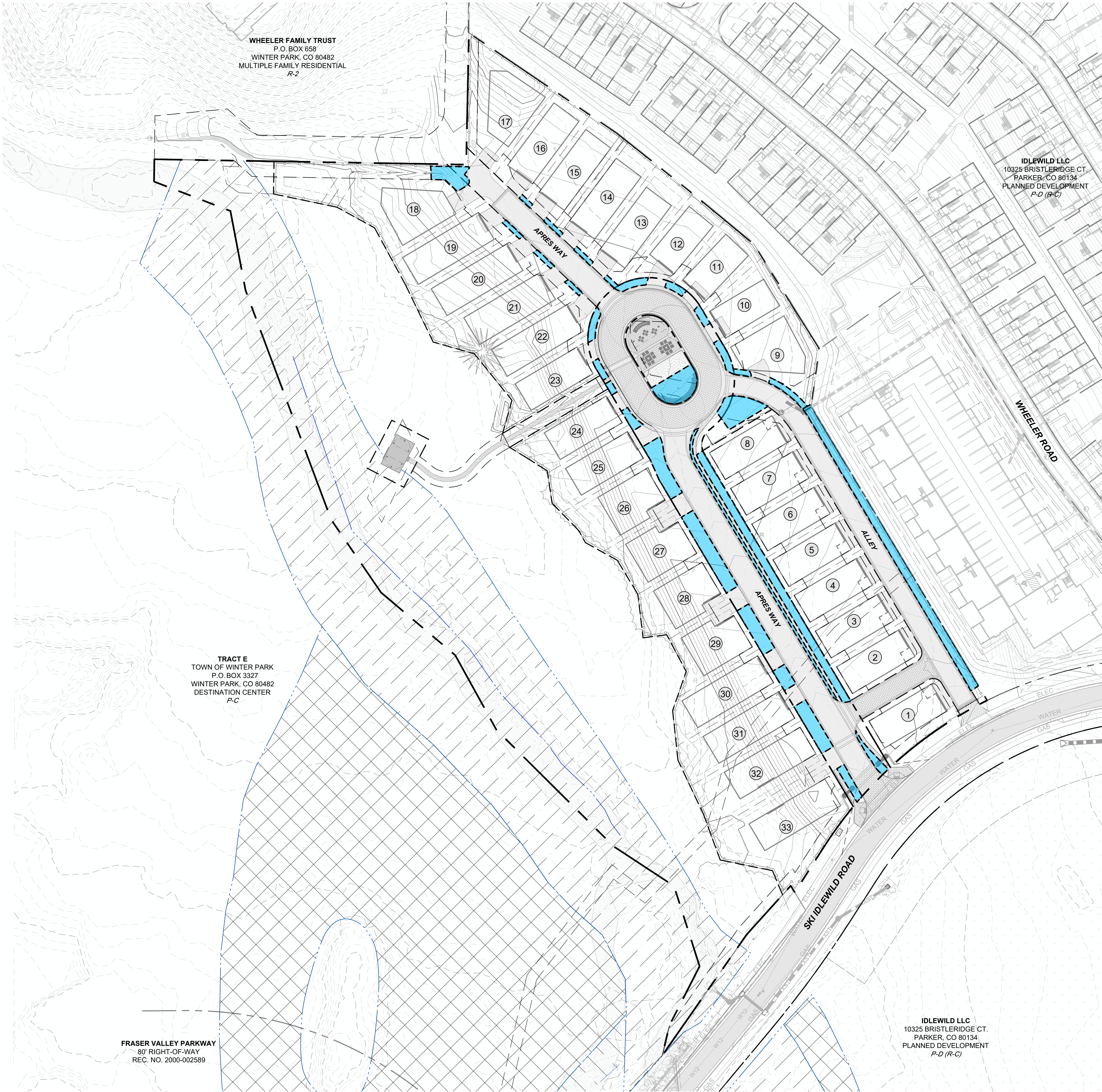
- LIMIT OF WORK
- DECIDUOUS TREE
- EVERGREEN TREE
- LANDSCAPE AREA OUTSIDE LTZ (B)
- COLLECTOR STREET LTZ (B)
- ADJACENT RESIDENTIAL LTZ (B)
- WETLAND RE-VEGETATION AREA / OUTSIDE LTZ (B)
- PROPOSED LANDSCAPE & MAINTENANCE EASEMENT
- EXISTING WETLAND AREA (TO BE UNDISTURBED)

## LANDSCAPE NOTES

- COLLECTOR STREET LTZ (B) - SKI IDLEWILD ROAD IS DEFINED BY THE DEFINED BY THE REQUIRED LTZ ON ADJACENT STREETS. LAND USE CATEGORY EXEMPT; ADJACENT COLLECTOR STREET - VACANT, D-C).
- LTZ (B) REQUIRES 4 DECIDUOUS TREES, 4 EVERGREEN TREES, AND 20 SHRUBS PER 100 LINEAL FEET.
- MINIMUM LANDSCAPE REQUIREMENTS FOR ADJACENT MULTI-FAMILY LTZ WILL FALL UNDER THE LTZ (B) AREA AND REQUIRES 4 DECIDUOUS TREES, 4 EVERGREEN TREES, AND 20 SHRUBS PER 100 LINEAL FEET.
- LANDSCAPE AREA OUTSIDE LTZ (B) IS DEFINED AS "AREAS OUTSIDE LTZs BUT WITHIN SEVENTY-FIVE FEET (75') OF BUILDINGS, RECREATION STRUCTURES, PARKING LOTS, DRIVEWAYS AND ROADS". LANDSCAPE MINIMUM REQUIREMENT IS 1 TREE AND 5 SHRUBS PER 1,500 SF OF AREA. AT LEAST 20% OF BOTH THE TREES AND SHRUBS SHALL BE EVERGREEN.
- ALL LANDSCAPE DEFINITIONS AND REQUIREMENTS ARE BASED ON THE TOWN OF WINTER PARK LANDSCAPE DESIGN AND REGULATIONS AND GUIDELINES.
- WITHIN SNOW STORAGE AREAS, GROUND COVER SHALL BE USED SO THAT THE VISIBLE COBBLE/MULCH COVERS LESS THAN 50% WITHIN THREE YEARS AFTER PLANTING.
- LANDSCAPE LIGHTING IS PROHIBITED IN RES ZONE DISTRICTS (R-1 & R-2) AS OUTLINED IN GUIDELINE 6 OF THE RES ARCHITECTURAL GUIDELINES AND DESIGN REGULATIONS.
- ALL PERIMETER & PRIVACY FENCES ARE TO BE NO GREATER THAN 5' HT. (SEE SITE DETAILS FOR CONCEPTUAL FENCE SPECIFICS).
- FINAL PLANT MATERIAL WILL BE DETERMINED AT THE TIME OF CONSTRUCTION BASED ON INDUSTRY AVAILABLE PLANT MATERIAL.
- GRADING TO BE APPROVED PRIOR TO PLANTING. ALL TREES ARE TO BE STAKED WITH WOOD LATH WITH SPECIES AND SIZE LABELS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL TREES SHALL BE INSTALLED PRIOR TO SHRUB, PERENNIAL & GROUND COVER MATERIAL.
- THE HORIZONTAL DISTANCE BETWEEN TREES AND ANY SITE UTILITIES OR INFRASTRUCTURE SHALL BE IN COMPLIANCE WITH CODES OF THE LOCAL GOVERNING AUTHORITY.
- ALL TURF AREAS ARE TO BE SEED - PBSI SHADY LAWN MIX AVAILABLE FROM PAWNEE BUTTES SEED, INC. OR APPROVED EQUAL. SEED TO BE HYDROSEED AND APPLY FERTILIZER AT 400 LBS. PER ACRE OF 10-20-20. PROVIDE SOIL AMENDMENT OF PREMIUM 3 COMPOST (AVAILABLE FROM PIONEER SAND), INCORPORATE MIN. 4 CUBIC YARDS PER 1,000 SQUARE FEET AND TILL TO A DEPTH OF 6" INCHES.
- ALL PLANTING MIX AREAS TO RECEIVE SOIL AMENDMENT OF 5 CY / 1,000 SF.
- SOIL AMENDMENT TO BE BIOCOMP CLASS 1 COMPOST. TILL IN SOIL AMENDMENT TO DEPTH PER DETAIL (TBD).
- STOCK TOPSOIL PER CIVIL PLANS.
- MULCH TO BE 3" DEPTH RED CEDAR WOOD MULCH (PROVIDE SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION).
- IRRIGATION SYSTEM TO BE A COMPLETE, AUTOMATIC, BELOW-GRADE SPRINKLER SYSTEM CONSISTING OF SPRAY HEADS AND DRIP LINES (WHERE APPROPRIATE). THE SYSTEM WILL BE DESIGNED AN IRRIGATION SPECIALIST (IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL CODES) & THE PLANS WILL BE INCLUDED IN THE BUILDING PERMIT SUBMITTAL SET.



LANDSCAPE TABULATION									
LANDSCAPE AREA	LENGTH (LF)	AREA (SF)	REQUIRED LANDSCAPE			PROPOSED LANDSCAPE			
			DECIDUOUS TREES	EVERGREEN TREES	SHRUBS	DECIDUOUS TREES	EVERGREEN TREES	SHRUBS	EVERGREEN TREE PERCENTAGE
COLLECTOR STREET LTZ (B)	227 LF	2,085 SF	9	9	45	9	10	45	53%
ADJACENT RESIDENTIAL LTZ (B)	1,270 LF	12,272 SF	51	51	254	51	51	254	50%
LANDSCAPE AREA OUTSIDE LTZ (B)	N/A	13,090 SF	8	2	44	37	10	44	21%
WETLAND REVEGETATION AREA	N/A	3,215 SF	0	0	0	0	0	0	0%
TOTAL			68	62	343	97	71	343	



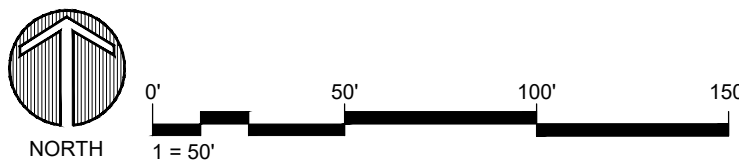
SNOW STORAGE LEGEND

- LIMIT OF WORK
- - - PROPERTY LINE / RIGHT-OF-WAY
- - - EASEMENT LINE
- - - LOT SETBACK LINE
- [Blue Hatched Box] SNOW STORAGE AREA

SNOW STORAGE NOTES

- SNOW STORAGE AREAS SHALL BE LOCATED AT LOGICAL POINTS FOR SNOW PLOW OPERATIONS. USE LANDFORMS AND PLANT MATERIALS TO CREATE AN ATTRACTIVE APPEARANCE DURING THE SUMMER.
- A PERIPHERY AREA EQUAL TO AT LEAST 25 PERCENT OF THE PARKING LOT AND DRIVES SHALL BE DESIGNED FOR SNOW STORAGE.

SNOW STORAGE REQUIREMENT			
AREA OF PAVED ROAD	% OF AREA REQ'D	REQ'D AREA	PRV'D AREA
44,074 SF	25%	11,019 SF	14,350 SF



DRAWN BY: GGV  
CHECKED BY: GBW  
PROJECT NO.: 2021080  
ISSUE DATE: 10/11/2023  
REVISIONS:

SHEET TITLE:  
SNOW STORAGE PLAN

SHEET NUMBER:

## **APPENDIX**

EXHIBIT E	TRANSPORTATION IMPACT STUDY
EXHIBIT F	PHASE III DRAINAGE REPORT
EXHIBIT G	GEOTECHNICAL ENGINEERING REPORT
EXHIBIT H	WETLAND DELINEATION REPORT
EXHIBIT I	WILDLIFE REPORT
EXHIBIT J	TITLE COMMITMENT

FINAL PLAT  
RIVER WALK AT WINTER PARK FILING NO. 2  
TRACT F-1, REPLAT OF TRACT F, RIVER WALK AT WINTER PARK FILING NO. 1 - EXEMPTION PLAT  
A PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE 6TH P.M.  
TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO

DEDICATION CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS: THAT RIVERWALK LLC, A COLORADO LIMITED LIABILITY COMPANY, IS THE OWNER OF THAT REAL PROPERTY SITUATE IN THE TOWN OF WINTER PARK, GRAND COUNTY, COLORADO, MORE FULLY DESCRIBED AS FOLLOWS:

TRACT F-1, REPLAT OF TRACT F, RIVER WALK AT WINTER PARK FILING NO. 1 – EXEMPTION PLAT RECORDED ON \_\_\_\_\_, 202\_\_\_ AT RECEPTION NO. \_\_\_\_\_

THAT RIVERWALK, LLC, A COLORADO LIMITED LIABILITY COMPANY, HAS CAUSED SAID REAL PROPERTY TO BE LAID OUT AND SURVEYED AS RIVER WALK AT WINTER PARK FILING NO. 2, AND DOES HEREBY DEDICATE AND SET APART ALL THE OPEN SPACE AND EASEMENTS SHOWN ON THE ACCOMPANYING PLAT TO THE TOWN OF WINTER PARK, OR THE RIVER WALK HOMEOWNERS ASSOCIATION, OR THE GRAND COUNTY WATER AND SANITATION DISTRICT #1 AS INDICATED.

IN WITNESS WHEREOF, \_\_\_\_\_ AS MANAGER OF RIVERWALK, LLC, A COLORADO LIMITED LIABILITY COMPANY, HAS CAUSED HIS NAME TO BE  
HEREUNTO SUBSCRIBED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

MANAGER OF RIVERWALK, LLC, A COLORADO LIMITED LIABILITY COMPANY

STATE OF COLORADO )  
COUNTY OF )SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS DAY OF \_\_\_\_\_, 20\_\_\_\_ BY MANAGER OF RIVERWALK, LLC, A COLORADO LIMITED LIABILITY COMPANY

MY COMMISSION EXPIRES: \_\_\_\_\_

NOTARY PUBLIC \_\_\_\_\_

SURVEYOR’S NOTES

1.) THE BASIS OF BEARINGS FOR THIS SURVEY IS BASED ON THE WEST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, T1N, R75W 6TH P.M. SHOWN TO BEAR NORTH 00°47'27" EAST, AS MONUMENTED AND SHOWN HEREON.

2.) THE EXTERIOR BOUNDARY, RECORDED EASEMENTS AND RIGHTS-OF-WAY, IF ANY, ARE SHOWN ON THE ACCOMPANYING PLAT AS DISCLOSED IN THE LAND TITLE GUARANTEE COMPANY POLICY NUMBER OX60014229.9198111, WITH A POLICY DATE OF AUGUST 18, 2021 AT 5:00 P.M. LANDS SHOWN HEREON MAY ALSO BE SUBJECT TO THE EXCEPTIONS IN SAID COMMITMENT NUMBER. OTHER INTERESTS OR EASEMENTS MAY EXIST. PER THE REQUEST OF THE OWNER OR OWNERS AGENT, NO ADDITIONAL RESEARCH WAS COMPLETED BY CORE CONSULTANTS, INC.

3.) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT FLOOD INSURANCE RATE MAP NUMBER 08049C0991C, WITH AN EFFECTIVE DATE JANUARY 2, 2008; THE SUBJECT PROPERTY PARTIALLY LIES WITHIN OTHER AREAS-ZONE X, "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN," AND PARTIALLY LIES WITHIN ZONE AE, "BASE FLOOD ELEVATIONS DETERMINED," AND PARTIALLY LIES WITHIN OTHER FLOOD AREAS-ZONE X, "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE OF FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD."

4.) THE PARCEL MAY BE SUBJECT TO RIGHTS, INTERESTS, AGREEMENTS, OBLIGATIONS, RIGHTS-OF-WAY OR EASEMENTS IN FAVOR OF ANY PERSON OR ENTITY BURDENING THE SUBJECT PROPERTY WHICH EXIST OR ARE CLAIMED TO EXIST WITH RESPECT TO: A) ANY IRRIGATION DITCH AND/OR LATERAL; (B) RESERVOIR AND/OR RESERVOIR RIGHTS; (C) SPRINGS AND/OR SPRING RIGHTS; (D) WELL AND/OR WELL RIGHTS; AND (E) THE WATER AND/OR WATER RIGHTS ASSOCIATED WITH THE FOREGOING WHICH MAY BE LOCATED UPON THE LAND OR ASSOCIATED WITH THE LAND.

5.) THE U.S. SURVEY FOOT WAS USED FOR ALL MEASUREMENTS ON THIS SURVEY. PURSUANT TO C.R.S. 38-52.103(2).

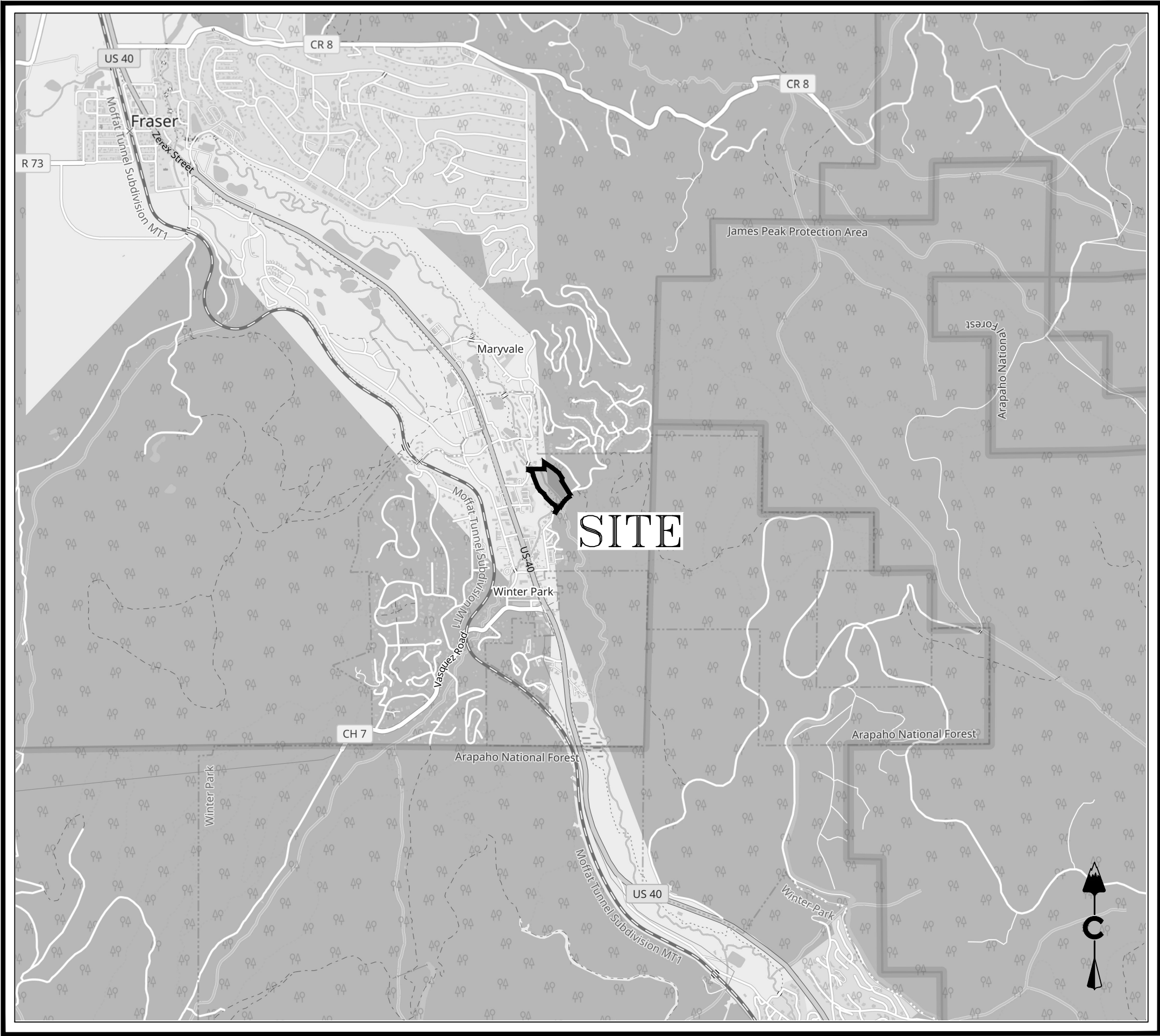
6.) FIELDWORK WAS COMPLETED ON MARCH 4, 2022, BY BRIAN MILLER. HORIZONTAL AND VERTICAL MEASUREMENTS WERE OBTAINED BY USING A LEICA TS15 AND GS16 GPS SYSTEM. A COMBINATION OF CONVENTIONAL AND GPS MEASUREMENTS WERE UTILIZED.

SURVEYOR’S CERTIFICATE

I, MARK A. HALL, A DULY REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT OF RIVER WALK AT WINTER PARK FILING NO. 2 TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE BY ME OR UNDER MY DIRECTION, AND THAT SAID PLAT COMPLIES WITH THE REQUIREMENTS OF TITLE 38, ARTICLE 51, COLORADO REVISED STATUTES, AND THAT THE MONUMENTS REQUIRED BY SAID STATUTE AND BY THE TOWN OF WINTER PARK UNIFIED DEVELOPMENT CODE HAVE BEEN PLACED ON THE GROUND. THIS PLAT IS A TRUE AND ACCURATE REPRESENTATION OF SAID SURVEY.

MARK A. HALL  
PROFESSIONAL LICENSED COLORADO  
LAND SURVEYOR PLS NO. 36073  
FOR AND ON BEHALF OF CORE CONSULTANTS, INC.

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.



VICINITY MAP  
SCALE: 1" = 2,000'

DEVELOPMENT NOTES

1.) THE GEOTECHNICAL REPORT REQUIRES THAT ALL STRUCTURES HAVE ENGINEERED FOUNDATIONS. A SITE SPECIFIC SOIL AND FOUNDATION REPORT IS REQUIRED TO BE PROVIDED WITH SUBMITTAL OF A BUILDING PERMIT APPLICATION TO THE TOWN OF WINTER PARK BUILDING DEPARTMENT THAT RECOMMENDS THE MOST APPROPRIATE FOUNDATION SYSTEM FOR EACH STRUCTURE. SUBSURFACE STRUCTURES AND IMPROVEMENTS SHALL COMPLY WITH GEOTECHNICAL REPORT INCLUDING GROUNDWATER RECOMMENDATIONS.

2.) PER THIS PLAT, A BLANKET EASEMENT UPON, ACROSS, ABOVE, OVER, UNDER AND THROUGH THE SUBJECT PROPERTY IS GRANTED TO MOUNTAIN PARKS ELECTRIC, INC. AND XCEL FOR THE PURPOSE OF INGRESS AND EGRESS FROM, AND THE INSTALLATION, REPAIR, REPLACEMENT, OPERATION AND MAINTENANCE OF AN ELECTRIC DISTRIBUTION SYSTEM, INCLUDING ELECTRIC LINES AND ALL ASSOCIATED FACILITIES. WITH RESPECT TO THE ELECTRIC UTILITY EASEMENT GRANTED HEREBY, NO STRUCTURE SHALL BE ALLOWED CLOSER THAN TEN FEET (10') AROUND ANY ABOVE GROUND EQUIPMENT. NO OTHER UTILITY LINE (WHETHER GAS, WATER, SEWER OR OTHER UTILITY) SHALL BE ALLOWED CLOSER THAN FIVE FEET (5') FROM ANY PRIMARY VOLTAGE POWER LINES OR WITHIN FIVE FEET (5') AROUND ANY ABOVE GROUND EQUIPMENT. NOT WITHSTANDING THE FOREGOING, UNDERGROUND COMMUNICATION FACILITIES SHALL NOT BE ALLOWED CLOSER THAN ONE FOOT (1') TO ANY POWER LINES AND ABOVE GROUND COMMUNICATION FACILITIES SHALL NOT BE CLOSER THAN TWO FEET (2') TO ANY ABOVE GROUND ELECTRIC FACILITIES. NO GRADE CHANGES (FILL OR CUT) IN-EXCESS OF SIX INCHES (6") ARE PERMITTED WITHIN TEN FEET (10') OF ANY PRIMARY ELECTRIC LINE OR WITHIN FIVE FEET (5') OF ANY OTHER FACILITY, INCLUDING SECONDARY ELECTRIC LINES, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM MOUNTAIN PARKS ELECTRIC, INC.

3.) THE HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR SNOW REMOVAL WITHIN THE PRIVATE STREETS. SNOW SHALL NOT BE PUSHED OR STORED ON PUBLIC RIGHT-OF-WAY. DURING MAJOR SNOW EVENTS, SNOW IS TO BE HAULED OUT. THE TOWN OF WINTER PARK SHALL BE RESPONSIBLE FOR SNOW REMOVAL WITHIN THE TERMS OUTLINED IN THE RIVERWALK FINAL DEVELOPMENT PLAN.

4.) BUILDING SETBACKS ARE SHOWN HEREON.

5.) WILDLIFE WILL BE PROTECTED BY THE FOLLOWING MEASURES:  
A) ALL DOMESTIC DOGS WILL BE UNDER CONTROL OF THE OWNER WHEN OUTSIDE OF THE HOME;  
B) HIKE/BIKE TRAILS WILL BE SITED TO AVOID WILDLIFE AREAS TO THE EXTENT PRACTICABLE;  
C) ALL TRASH RECEPTACLES SHALL BE WILDLIFE PROOF CONTAINERS; AND  
D) ANY FENCING INSTALLED ON THIS SUBDIVISION SHALL CONFORM TO THE DESIGN CRITERIA OF THE COLORADO DIVISION OF WILDLIFE PUBLICATION TITLED "FENCING WITH WILDLIFE IN MIND."

6.) TO PROTECT AGAINST WILDFIRES AND ENHANCE FOREST HEALTH THE FOLLOWING WILDFIRE MITIGATION MEASURES ARE REQUIRED:  
A) WATER HYDRANTS WILL BE SITED AT APPROPRIATE DISTANCES;  
B) ALL DEAD VEGETATION LOCATED WITHIN 50' OF A STRUCTURE SHALL BE PRUNED OR REMOVED; AND  
C) UTILITIES WILL BE CONSTRUCTED UNDERGROUND.

7.) WETLANDS ADJACENT TO SNOW STORAGE LOCATIONS SHALL BE PROTECTED FROM DAMAGE.

DEVELOPMENT NOTES (CONTINUED)

8.) TO ENSURE STORM DRAINAGE FACILITIES FUNCTION AS THEY ARE DESIGNED TO, CONTINUED MAINTENANCE IS REQUIRED. MAINTENANCE OF DRAINAGE FACILITIES MAY INCLUDE CLEARING DEBRIS FROM INLETS, CULVERTS, CHANNELS, DITCHES, OR DETENTION FACILITIES. RESPONSIBILITY FOR MAINTENANCE OF DRAINAGE IMPROVEMENTS LIES WITH THE BOUNDARY, EXCEPT AS MODIFIED BY SPECIFIC AGREEMENT. MAINTENANCE RESPONSIBILITY WILL BE DELINEATED ON ALL FINAL PLATS.

THE POLICY OF THE TOWN SHALL BE TO REQUIRE THAT THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES, INCLUDING INLETS, PIPES, CULVERTS CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND, EXCEPT AS MODIFIED BY SPECIFIC AGREEMENT AND THAT THIS RESPONSIBILITY SHALL BE NOTED ON THE FINAL PLAT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE PURPOSE OF OPERATIONS AND MAINTENANCE, ALL SUCH COSTS WILL BE ASSESSED TO THE PROPERTY OWNER.

9.) ALL BUILDINGS ON THE PROPERTY SHALL HAVE GAS METERS ON THE GABLE END OF ONE (1) END UNIT ("GAS METER BANK"). RIVERWALK LLC HEREBY GRANTS TO XCEL (PSCO) A NON-EXCLUSIVE UTILITY EASEMENT FOR (I) ONE GAS METER BANK ON THE END OF ONE (1) END UNIT PER BUILDING AND (II) ALL OTHER THINGS REASONABLY NECESSARY TO CONSTRUCT, INSTALL, MAINTAIN AND OPERATE SUCH GAS METER BANK ON EACH OF THE BUILDINGS (THE "GAS METERING EASEMENT"). ALL LINES AND OTHER FACILITIES RELATED TO SUCH GAS METER BANK, SUCH AS METER RISERS (BUT NOT INDIVIDUAL GAS METERS), SHALL BE THE PROPERTY OF A HOMEOWNERS' ASSOCIATION DESIGNATED BY RIVERWALK LLC. ALL GAS METERS USED FOR SUCH GAS METER BANKS SHALL BE THE PROPERTY OF XCEL (PSCO). ALL OF THE FOREGOING RIGHTS AND BENEFITS OF XCEL (PSCO) WITH RESPECT TO THE GAS METERING EASEMENT SHALL BE BINDING UPON AND SHALL INURE TO THE BENEFIT OF RIVERWALK LLC SUCCESSORS AND ASSIGNS.

10.) PER THIS PLAT, A BLANKET EASEMENT IS GRANTED FOR THE PURPOSES OF A TRAIL ACROSS OUTLOT D.

11.) THE ZONE DISTRICT IS PLANNED DEVELOPMENT (P-D) WITH AN UNDERLYING ZONE DISTRICT OF MULTIPLE-FAMILY RESIDENTIAL (R-2).

12.) AUTOMATIC FIRE SUPPRESSION SPRINKLERS SYSTEMS ARE REQUIRED FOR ALL BUILDINGS AND RESIDENCES IN THE RIVER WALK AT WINTER PARK FILING NO. 2 DEVELOPMENT.

PLANNER’S CERTIFICATE

I, ANTHONY E. KREMPIN, BEING A QUALIFIED PROFESSIONAL ENGINEER OR PLANNER, CERTIFY THAT THIS PLAT OF RIVER WALK AT WINTER PARK FILING NO. 2, HAS BEEN ENGINEERED, DESIGNED AND PLANNED IN ACCORDANCE WITH ALL APPLICABLE DESIGN STANDARDS AND OTHER REQUIREMENTS OF THE TOWN OF WINTER PARK UNIFIED DEVELOPMENT CODE.

ANTHONY E. KREMPIN, PE

PLANNING COMMISSION CERTIFICATE

APPROVED THIS DAY OF \_\_\_\_\_, 20\_\_\_\_, BY THE WINTER PARK PLANNING COMMISSION, WINTER PARK, COLORADO.

DAVID BARKER, CHAIR  
PLANNING COMMISSION  
TOWN OF WINTER PARK, COLORADO

MAYOR’S CERTIFICATE

APPROVED AND ALL PUBLIC DEDICATIONS ACCEPTED THIS DAY OF \_\_\_\_\_, 20\_\_\_\_, BY THE TOWN COUNCIL OF THE TOWN OF WINTER PARK SITUATED IN GRAND COUNTY, COLORADO. ACCEPTANCE OF THIS PLATTED SUBDIVISION BY THE TOWN OF WINTER PARK DOES NOT CONSTITUTE AN ACCEPTANCE OF THE ROADS AND RIGHTS-OF-WAY REFLECTED HEREON FOR MAINTENANCE BY SAID TOWN. UNTIL SUCH ROADS AND RIGHTS OF WAY MEET TOWN SPECIFICATIONS AND ARE SPECIFICALLY ACCEPTED FOR MAINTENANCE BY RESOLUTION OF THE TOWN COUNCIL, THE MAINTENANCE, CONSTRUCTION, AND ALL OTHER MATTERS PERTAINING TO OR AFFECTING SAID ROADS AND RIGHTS-OF-WAY ARE THE SOLE RESPONSIBILITY OF THE OWNERS OF THE LAND EMBRACED WITHIN THE SUBDIVISION. THIS APPROVAL DOES NOT GUARANTEE THAT THE SIZE OR SOIL CONDITIONS OF ANY LOT SHOWN HEREON ARE SUCH THAT A BUILDING PERMIT MAY BE ISSUED.

ATTEST:

NICK KUTRUMBOS, MAYOR  
TOWN COUNCIL  
TOWN OF WINTER PARK, COLORADO

DANIELLE JARDEE, TOWN CLERK  
TOWN OF WINTER PARK, COLORADO

SHEET INDEX

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SHEET 2 – PLAT  
SHEET 3 – PLAT  
SHEET 4 – PLAT  
SHEET 5 – PLAT  
SHEET 6 – EASEMENT DETAIL  
SHEET 7 – EASEMENT DETAIL  
SHEET 8 – EASEMENT DETAIL

OWNER

RIVERWALK, LLC, A COLORADO  
LIMITED LIABILITY COMPANY  
3000 AIRPORT DRIVE, UNIT 203  
ERIE, CO 80516-8129

DEVELOPER

NASSAR DEVELOPMENT, LLC,  
A COLORADO LIMITED LIABILITY COMPANY  
3000 AIRPORT DRIVE, UNIT 203  
ERIE, CO 80516-8129

PLANNER

DTJ DESIGN, INC.,  
3101 IRIS AVENUE, SUITE 130  
BOULDER, CO 80301

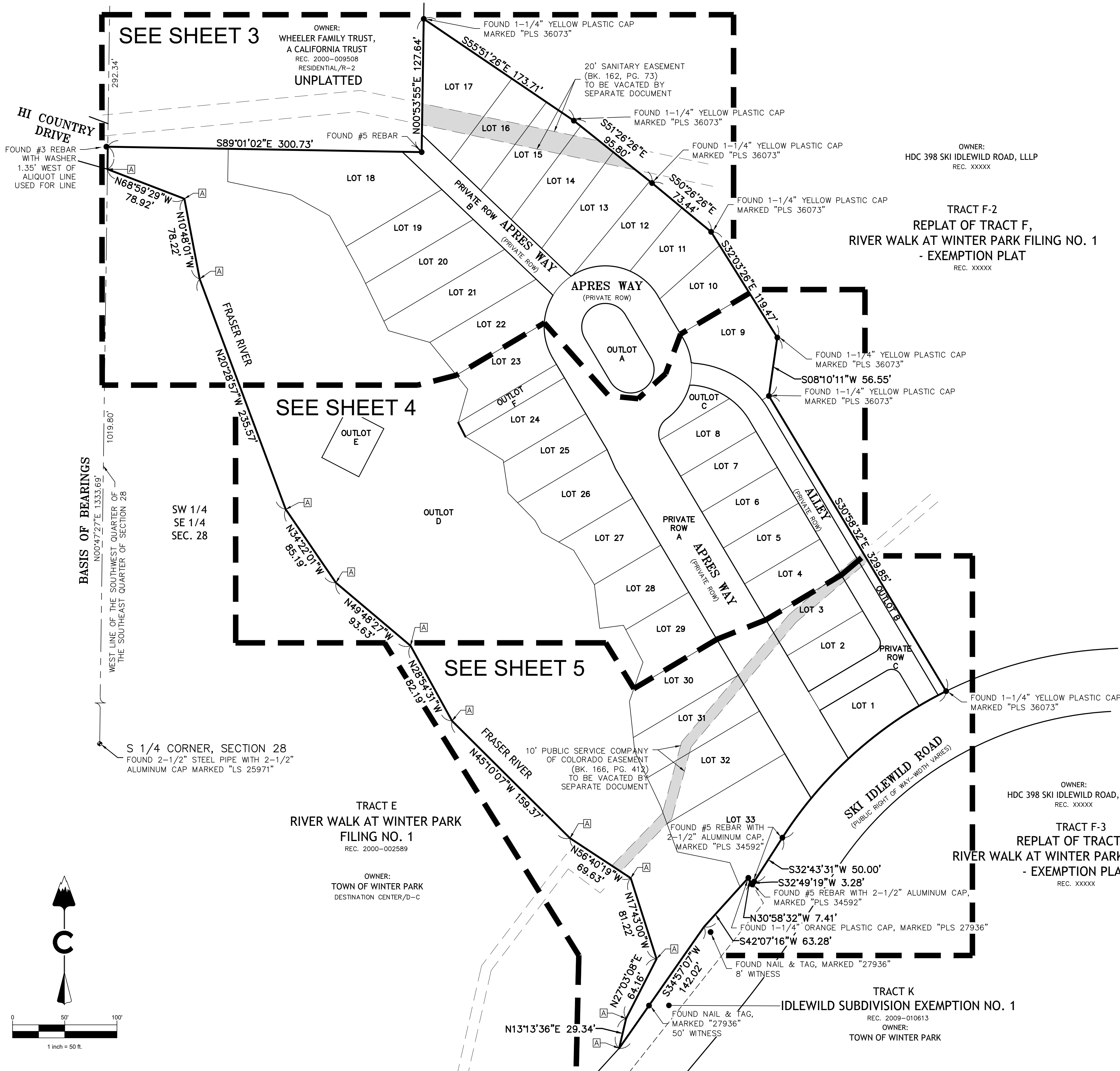
SURVEYOR

CORE CONSULTANTS, INC.  
3473 S. BROADWAY BLVD.  
ENGLEWOOD, CO 80113

RIVER WALK AT WINTER PARK FILING NO. 2 TRACT F-1, REPLAT OF TRACT F, RIVER WALK AT WINTER PARK FILING NO. 1 – EXEMPTION PLAT SW 1/4 OF SE 1/4 OF SEC. 28, T.1S., R.75W., 6TH PM TOWN OF WINTER PARK, COUNTY OF GRAND, COLORADO		
	CORE CONSULTANTS, INC. 3473 SOUTH BROADWAY, ENGLEWOOD, CO 80113 303.703.4444 LIVEYOURCORE.COM	DATE: 10/10/2023 DRAWN BY: SLG3 QA/QC: MAH JOB NO.: 20-237-002 SHEET 1 OF 8 SHEETS

FINAL PLAT  
RIVER WALK AT WINTER PARK FILING NO. 2

TRACT F-1, REPLAT OF TRACT F, RIVER WALK AT WINTER PARK FILING NO. 1 - EXEMPTION PLAT  
A PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE 6TH P.M.  
TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO



CALCULATIONS:

**PARKING:**  
ALLEY-LOADED LOTS (1-8): 2-CAR GARAGE  
FRONT-LOADED LOTS (10-16, 19-25, 30-31): 2-CAR GARAGE + 1-2 DRIVEWAY PARKING FOR GUESTS  
SIDE-LOADED LOTS (9, 17, 18, 32-33): 2-CAR GARAGE + 1-2 DRIVEWAY PARKING FOR GUESTS  
PAIRED LOTS (26-29): 2-CAR GARAGE + 1 DRIVEWAY PARKING FOR GUESTS  
TOTAL = 91

**RESIDENTIAL LOTS:**  
SINGLE-FAMILY LOTS = 27 LOTS 4,605 SQ.FT. AVERAGE LOT SIZE  
PAIRED HOMES = 6 LOTS 4,241 SQ.FT. AVERAGE LOT SIZE  
AVERAGE LOT SIZE = 4,561 SQ.FT.  
MAXIMUM LOT SIZE (LOT 18) = 11,218 SQ.FT.  
MINIMUM LOT SIZE (LOT 8) = 3,307 SQ.FT.

**COMMUNITY CENTER:**  
COMMUNITY AMENITY BUILDING FOOTPRINT (PART OF OUTLOT A) = 800 SQ.FT.  
AMENITY PLAZA AREA = 1,900 SQ. FT.

**SNOW STORAGE:**  
PAVED AREAS = 44,074 SQ.FT.  
SNOW STORAGE = 13,488 SQ.FT.

**OPEN SPACE:**  
TOTAL OPEN SPACE = 137,871 SQ.FT. (3.165 ACRES)

LAND USE / AREA TABLE							
	AREA (SQFT)	AREA (ACRE)	AREA (%)	OWNER	MAINTENANCE	PURPOSE	USE RESTRICTION
LOTS 1-33	150,369	3.452	44.75%	HOMEOWNER'S ASSOCIATION/RESIDENT	HOMEOWNER'S ASSOCIATION/RESIDENT	RESIDENTIAL	N/A
OUTLOTS A-F	138,630	3.183	41.25%	HOMEOWNER'S ASSOCIATION	HOMEOWNER'S ASSOCIATION	COMMUNITY CENTER/LANDSCAPE	SEE TABLE BELOW
PRIVATE ROW A, B, C	47,046	1.080	14.00%	HOMEOWNER'S ASSOCIATION	HOMEOWNER'S ASSOCIATION	PRIVATE DRIVE	NO ON-STREET PARKING ALLOWED
TOTAL	336,045	7.715	100.00%				

OUTLOT TABLE							
	AREA (SQFT)	AREA (ACRE)	AREA (%)	OWNER	MAINTENANCE	PURPOSE	USE RESTRICTION
OUTLOT A	3,727	0.086	2.69%	HOMEOWNER'S ASSOCIATION	HOMEOWNER'S ASSOCIATION	COMMON AMENITY	MULTI-FUNCTION COMMUNITY ACTIVITY AND EVENT SPACE, SNOW STORAGE
OUTLOT B	2,554	0.059	1.84%	HOMEOWNER'S ASSOCIATION	HOMEOWNER'S ASSOCIATION	COMMON OPEN SPACE/LANDSCAPE	FENCING, WALLS, LANDSCAPE, SNOW STORAGE, PROJECT SIGNAGE
OUTLOT C	1,354	0.031	0.98%	HOMEOWNER'S ASSOCIATION	HOMEOWNER'S ASSOCIATION	COMMON OPEN SPACE/LANDSCAPE	FENCING, WALLS, LANDSCAPE, SNOW STORAGE, PROJECT SIGNAGE
OUTLOT D	127,267	2.922	91.80%	TOWN OF WINTER PARK	TOWN OF WINTER PARK	WETLAND AND RIPARIAN AREAS, PRIVATE DECK ACCESS TRAIL, FUTURE T.O.W.P. RIVER TRAIL	NO OTHER DEVELOPMENT, PERIMETER FENCING
OUTLOT E	2,080	0.048	1.50%	HOMEOWNER'S ASSOCIATION	HOMEOWNER'S ASSOCIATION	COMMON OPEN SPACE, PRIVATE DECK STRUCTURE	NO OTHER DEVELOPMENT
OUTLOT F	1,648	0.038	1.19%	HOMEOWNER'S ASSOCIATION	HOMEOWNER'S ASSOCIATION	COMMON OPEN SPACE, PRIVATE DECK ACCESS TRAIL	NO OTHER DEVELOPMENT
TOTAL	138,630	3.183	100.00%				

LEGEND:

- [A] = NO MONUMENT FOUND, NO MONUMENT SET. LIES IN FRASER RIVER.  
UE = UTILITY EASEMENT  
SB = BUILDING SETBACK  
SE = COMMUNITY MONUMENT & SIGN EASEMENT  
SSE = SNOW STORAGE EASEMENT  
DE = DRAINAGE EASEMENT  
LE = LANDSCAPE EASEMENT

NOTE: BOUNDARY DIMENSIONS ARE BOTH RECORD PER REPLAT OF TRACT F, RIVER WALK AT WINTER PARK FILING NO. 1 - EXEMPTION PLAT AND RESOLVED/MEASURED.

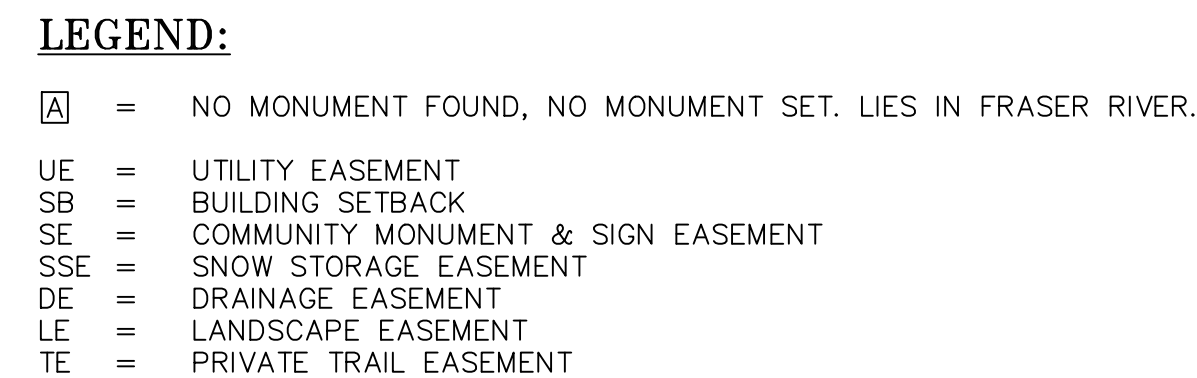
RIVER WALK AT WINTER PARK FILING NO. 2  
TRACT F-1, REPLAT OF TRACT F, RIVER WALK AT WINTER PARK FILING NO. 1 - EXEMPTION PLAT  
SW 1/4 OF SE 1/4 OF SEC. 28, T.1S., R.75W., 6TH PM  
TOWN OF WINTER PARK, COUNTY OF GRAND, COLORADO

**CORE**  
LAND DEVELOPMENT - ENERGY  
PUBLIC INFRASTRUCTURE

CORE CONSULTANTS, INC.  
3473 SOUTH BROADWAY,  
ENGLEWOOD, CO 80113  
303.703.4444  
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DATE: 10/10/2023  
DRAWN BY: SLG3  
QA/QC: MAH  
JOB NO.: 20-237-002  
SHEET 2 OF 8 SHEETS

**TRACT F-1, REPLAT OF TRACT F, RIVER WALK AT WINTER PARK FILING NO. 1 - EXEMPTION PLAT  
A PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE 6TH P.M.  
TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO**

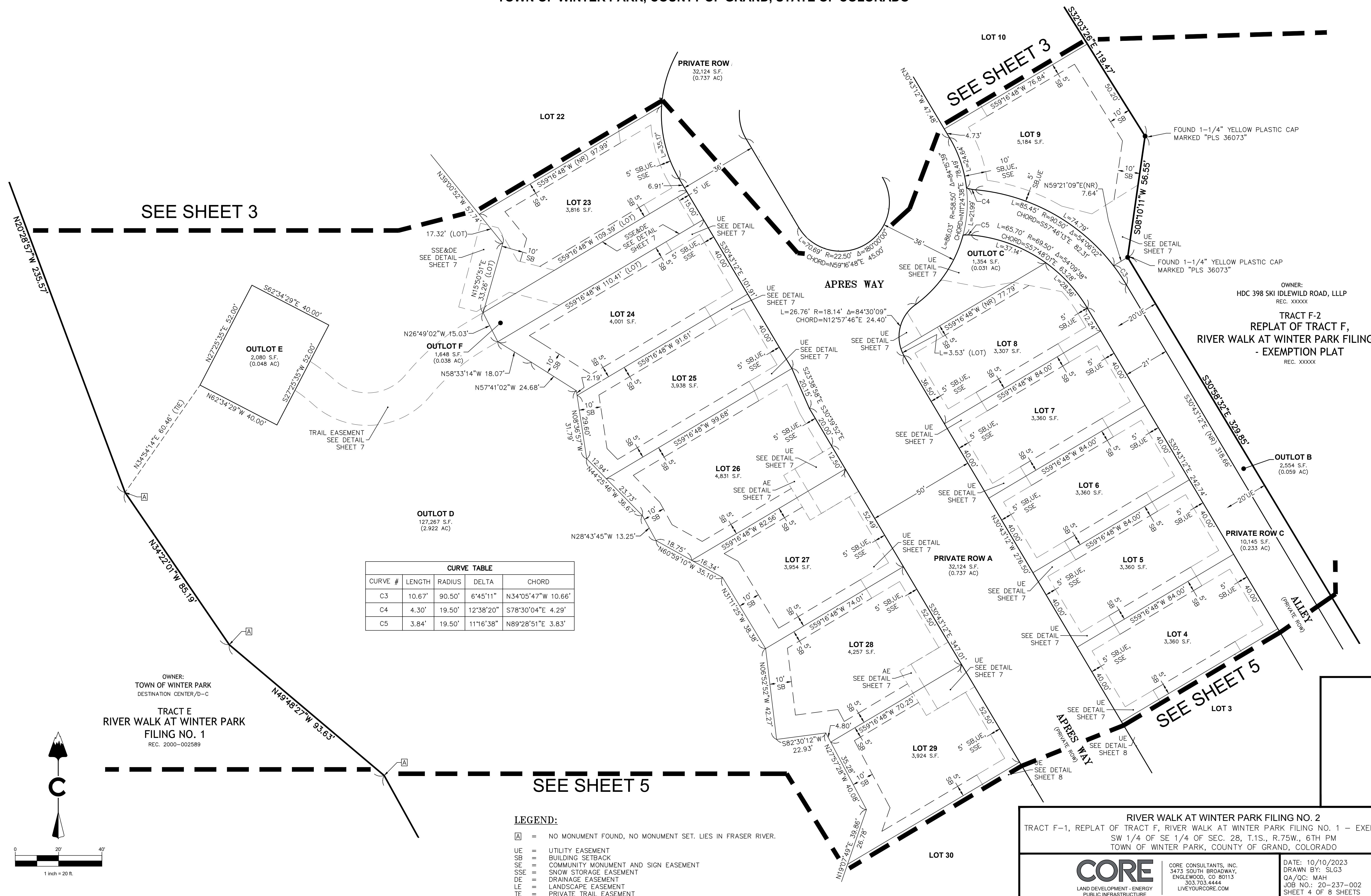


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SHEET 3 OF 8 SHEETS

**TRACT F-1, REPLAT OF TRACT F, RIVER WALK AT WINTER PARK FILING NO. 1 - EXEMPTION PLAT  
A PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE 6TH P.M.  
TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO**



OWNER:  
HDC 398 SKI IDELWOLD ROAD, LLLP  
REC. XXXXX

TRACT F-2  
REPLAT OF TRACT F,  
RIVER WALK AT WINTER PARK FIL  
- EXEMPTION PLAT  
REC. XXXXX

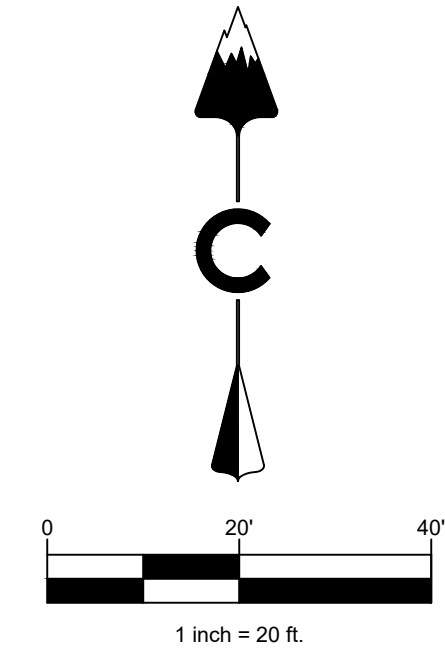
FINAL PLAT  
**RIVER WALK AT WINTER PARK FILING NO. 2**  
TRACT F-1, REPLAT OF TRACT F, RIVER WALK AT WINTER PARK FILING NO. 1 - EXEMPTION PLAT  
A PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE 6TH P.M.  
TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO

OWNER:  
HDC 398 SKI IDLEWILD ROAD, LLLP  
REC. XXXXX  
TRACT F-2

SEE SHEET 4

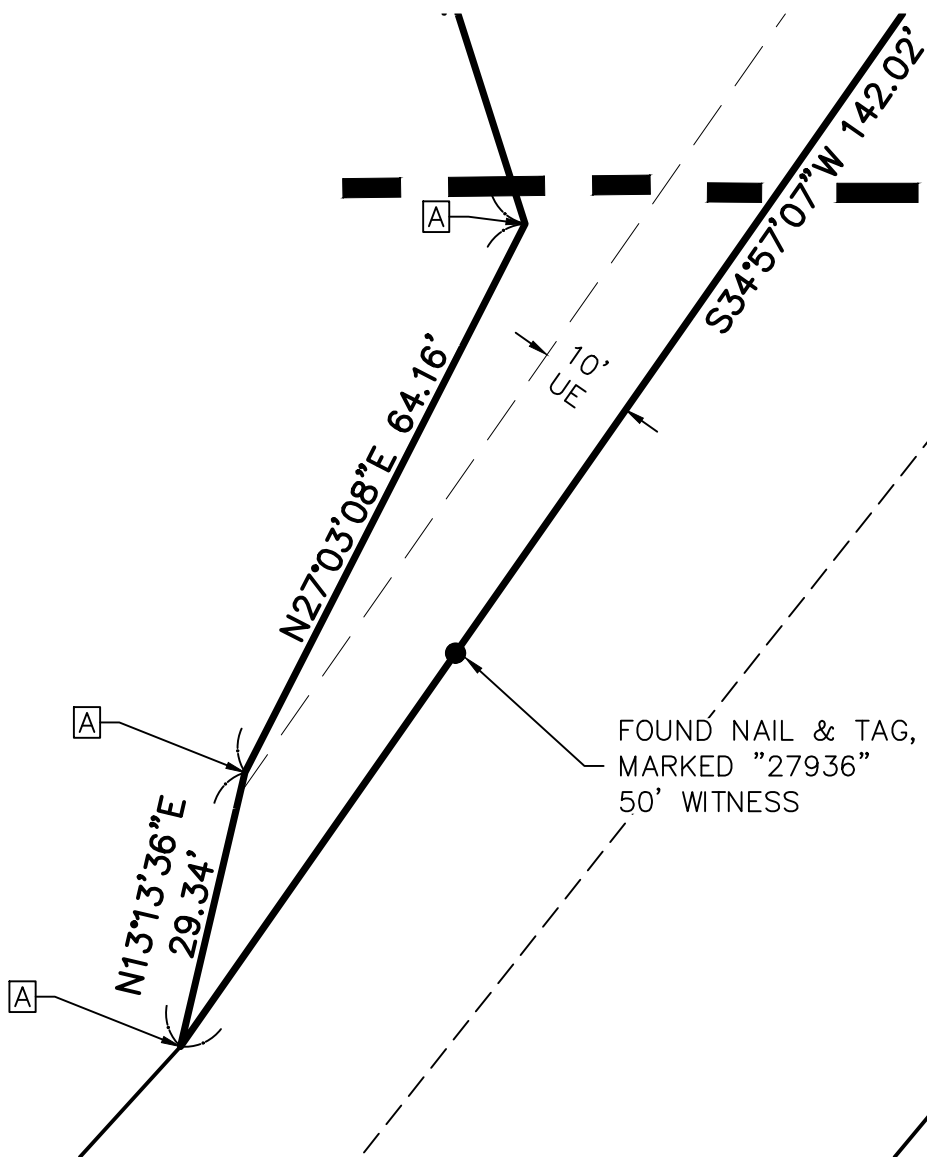
SEE SHEET 7

CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD
C6	8.50'	395.00'	1°13'57"	S63°00'53"W 8.50'



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SSE = SNOW STORAGE EASEMENT  
DE = DRAINAGE EASEMENT  
LE = LANDSCAPE EASEMENT  
TE = PRIVATE TRAIL EASEMENT



MATCH LINE

OWNER:  
TOWN OF WINTER PARK  
DESTINATION CENTER/D-C

TRACT E  
RIVER WALK AT WINTER PARK  
FILING NO. 1  
REC. 2000-002589

OUTLOT D  
127,267 S.F.  
(2,922 AC)

LOT 29

LOT 30  
4,284 S.F.

LOT 31  
4,901 S.F.

LOT 32  
6,065 S.F.

LOT 33  
8,677 S.F.

LOT 3  
3,360 S.F.

LOT 2  
3,341 S.F.

LOT 1  
3,994 S.F.

OUTLOT B  
2,554 S.F.  
(0.059 AC)

SKI IDLEWILD ROAD  
(PUBLIC RIGHT OF WAY-WIDTH VARIES)

OWNER:  
HDC 398 SKI IDLEWILD ROAD, LLLP  
REC. XXXXX

TRACT F-3  
REPLAT OF TRACT F,  
RIVER WALK AT WINTER PARK FILING NO. 1  
- EXEMPTION PLAT  
REC. XXXXX

TRACT K  
IDLEWILD SUBDIVISION EXEMPTION NO. 1  
REC. 2009-010613

RIVER WALK AT WINTER PARK FILING NO. 2  
TRACT F-1, REPLAT OF TRACT F, RIVER WALK AT WINTER PARK FILING NO. 1 - EXEMPTION PLAT  
SW 1/4 OF SE 1/4 OF SEC. 28, T.1S., R.75W., 6TH PM  
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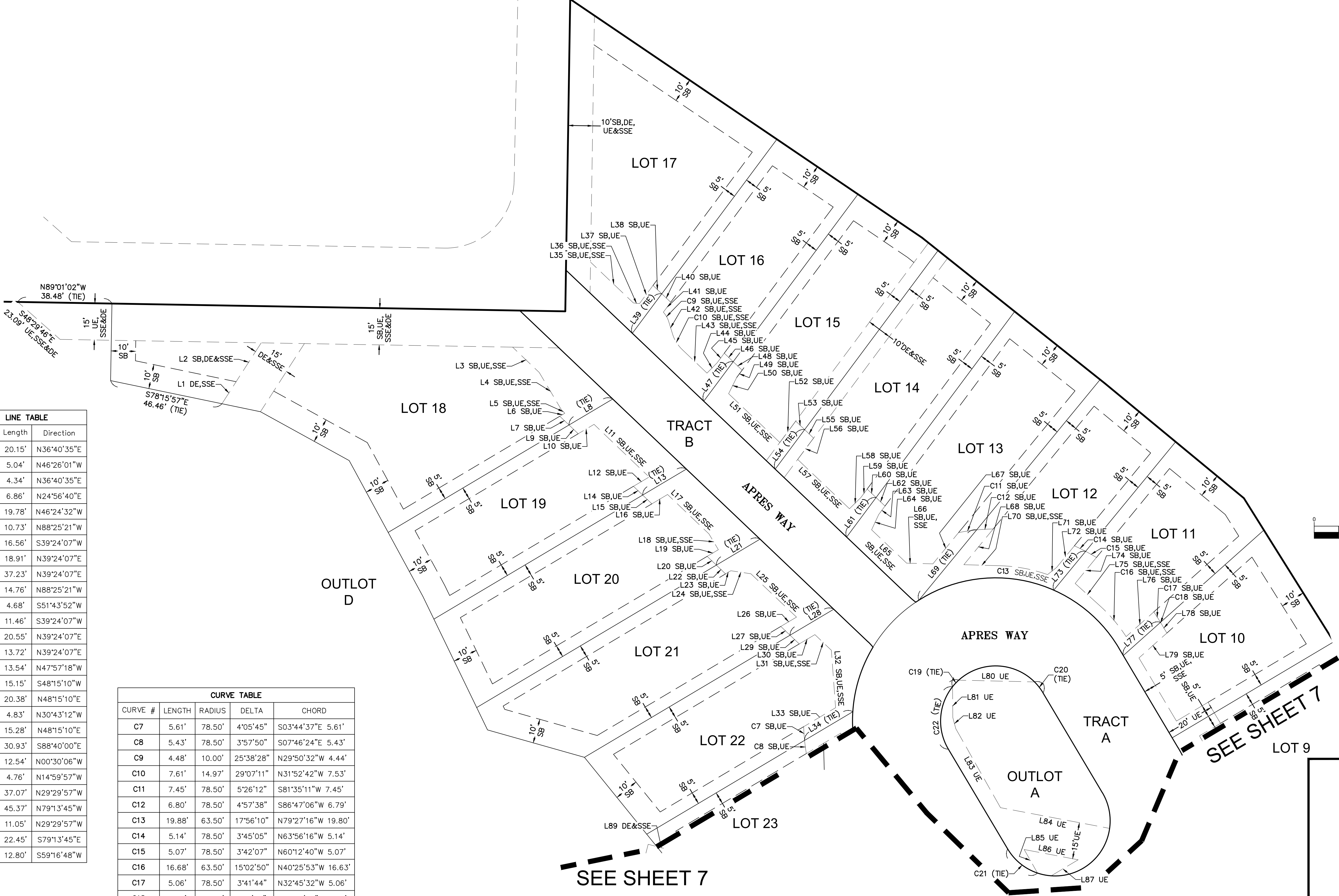
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SHEET 5 OF 8 SHEETS

FINAL PLAT  
RIVER WALK AT WINTER PARK FILING NO. 2  
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A PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE 6TH P.M.  
TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO

LINE TABLE		
Line #	Length	Direction
L1	10.72'	N32°48'57"E
L2	18.90'	N32°48'57"E
L3	15.03'	S46°26'01"E
L4	17.86'	S30°43'12"E
L5	1.86'	S45°52'42"E
L6	2.41'	S59°16'48"W
L7	5.19'	S46°26'01"E
L8	20.78'	S59°16'48"W
L9	5.19'	S46°26'01"E
L10	7.53'	N59°16'48"E
L11	31.14'	S46°17'36"E
L12	7.45'	S59°16'48"W
L13	20.78'	N59°16'48"E
L14	5.19'	S46°26'01"E
L15	5.19'	S46°26'01"E
L16	7.45'	N59°16'48"E
L17	23.34'	S46°26'01"E
L18	7.53'	S30°43'12"E
L19	5.33'	S59°16'48"W
L20	5.19'	S46°26'01"E
L21	20.78'	N59°16'48"E
L22	5.19'	S46°26'01"E
L23	2.52'	N59°16'48"E
L24	8.29'	S81°22'20"E
L25	25.70'	S46°26'01"E
L26	7.45'	S59°16'48"W
L27	5.19'	S46°26'01"E
L28	20.78'	N59°16'48"E
L29	5.19'	S46°26'01"E
L30	7.45'	N59°16'48"E
L31	9.29'	S46°26'01"E
L32	23.54'	S04°10'09"E
L33	15.16'	S59°16'48"W
L34	22.94'	N59°16'48"E
L35	24.17'	N46°23'34"W
L36	2.52'	N84°04'14"W
L37	9.24'	S36°40'34"W
L38	4.95'	N46°26'01"W
L39	20.15'	N36°40'43"E
L40	5.04'	N46°26'01"W
L41	5.06'	N36°40'44"E
L42	5.27'	N17°01'18"W
L43	13.96'	N46°24'32"W
L44	5.89'	S44°27'54"W
L45	4.92'	S36°40'52"W
L46	5.04'	N46°26'01"W
L47	20.15'	N36°40'52"E
L48	5.04'	N46°26'01"W
L49	3.70'	N36°40'53"E
L50	7.43'	N26°35'45"E
L51	28.91'	N46°24'28"W
L52	10.87'	S36°40'52"W
L53	5.04'	N46°26'01"W
L54	20.15'	N36°40'52"E
L55	5.04'	N46°26'01"W
L56	10.88'	N36°40'53"E
L57	29.21'	N46°24'32"W
L58	6.50'	S45°31'05"W
L59	4.34'	S36°40'35"W
L60	5.04'	N46°26'01"W

LINE TABLE		
Line #	Length	Direction
L61	20.15'	N36°40'35"E
L62	5.04'	N46°26'01"W
L63	4.34'	N36°40'35"E
L64	6.86'	N24°56'40"E
L65	19.78'	N46°24'32"W
L66	10.73'	N88°25'21"W
L67	16.56'	S39°24'07"W
L68	18.91'	N39°24'07"E
L69	37.23'	N39°24'07"E
L70	14.76'	N88°25'21"W
L71	4.68'	S51°43'52"W
L72	11.46'	S39°24'07"W
L73	20.55'	N39°24'07"E
L74	13.72'	N39°24'07"E
L75	13.54'	N47°57'18"W
L76	15.15'	S48°15'10"W
L77	20.38'	N48°15'10"E
L78	4.83'	N30°43'12"W
L79	15.28'	N48°15'10"E
L80	30.93'	S88°40'00"E
L81	12.54'	N00°30'06"W
L82	4.76'	N14°59'57"W
L83	37.07'	N29°29'57"W
L84	45.37'	N79°13'45"W
L85	11.05'	N29°29'57"W
L86	22.45'	S79°13'45"E
L87	12.80'	S59°16'48"W

CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD
C7	5.61'	78.50'	4°05'45"	S03°44'37"E 5.61'
C8	5.43'	78.50'	3°57'50"	S07°46'24"E 5.43'
C9	4.48'	10.00'	25°38'28"	N29°50'32"W 4.44'
C10	7.61'	14.97'	29°07'11"	N31°52'42"W 7.53'
C11	7.45'	78.50'	5°26'12"	S81°35'11"W 7.45'
C12	6.80'	78.50'	4°57'38"	S86°47'06"W 6.79'
C13	19.88'	63.50'	17°56'10"	N79°27'16"W 19.80'
C14	5.14'	78.50'	3°45'05"	N63°56'16"W 5.14'
C15	5.07'	78.50'	3°42'07"	N60°12'40"W 5.07'
C16	16.68'	63.50'	15°02'50"	N40°25'53"W 16.63'
C17	5.06'	78.50'	3°41'44"	N32°45'32"W 5.06'
C18	0.26'	78.50'	0°11'29"	N30°48'56"W 0.26'
C19	3.72'	22.50'	9°28'26"	S43°10'06"W 3.72'
C20	5.70'	22.50'	14°31'07"	N37°58'45"W 5.69'
C21	15.99'	22.50'	40°42'56"	S51°04'40"E 15.65'
C22	27.16'	22.50'	69°09'05"	S03°51'21"W 25.54'



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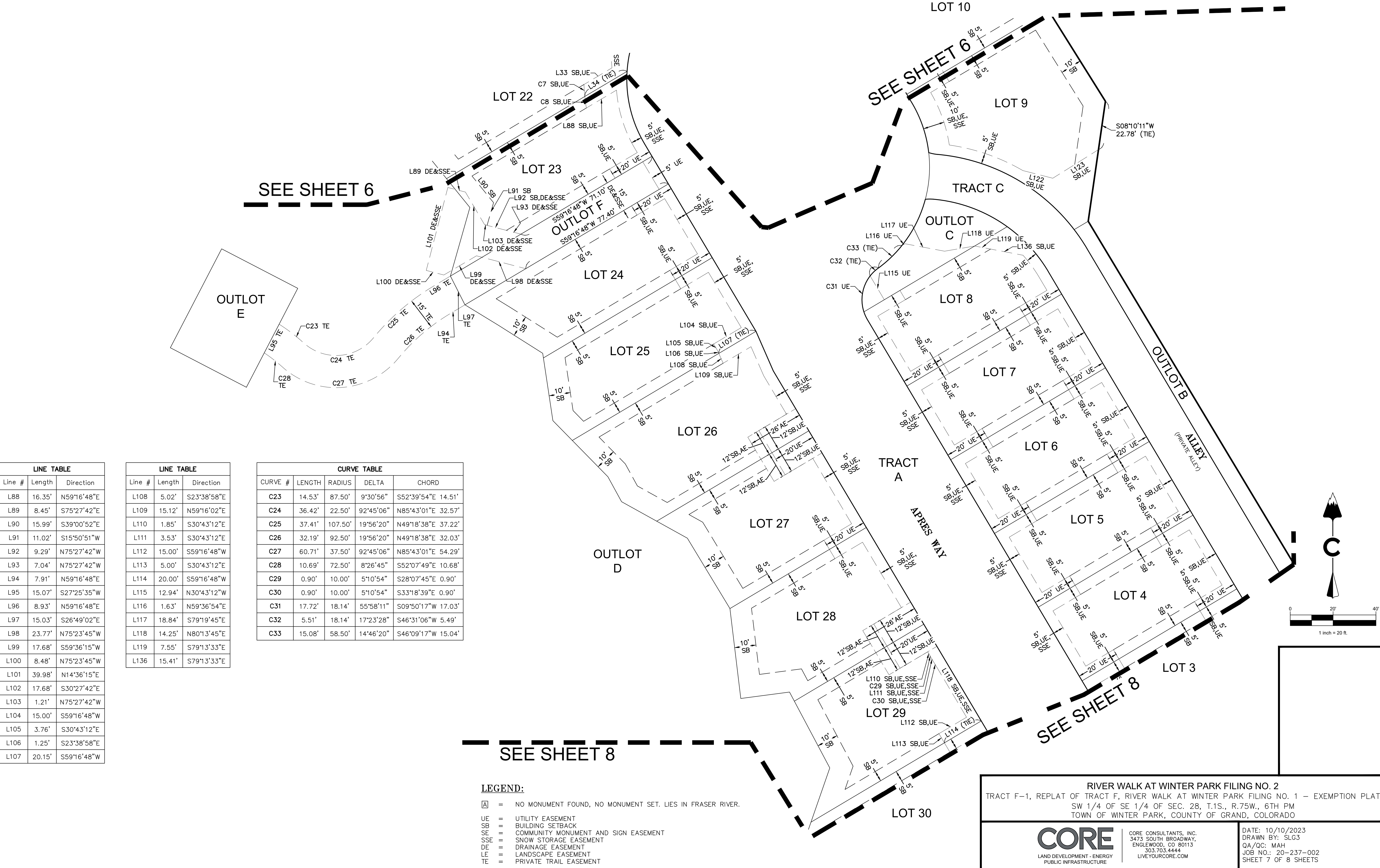
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SW 1/4 OF SE 1/4 OF SEC. 28, T.1S., R.75W., 6TH PM  
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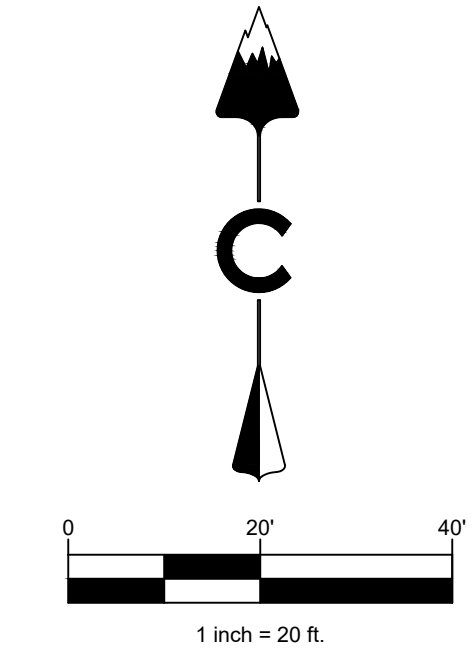
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TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO



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LINE TABLE		
Line #	Length	Direction
L120	20.00'	S59°16'48"W
L121	12.51'	S30°43'12"E
L122	15.00'	N59°16'49"E
L123	10.96'	S30°43'17"E
L124	10.54'	S30°43'12"E
L125	18.49'	S30°43'12"E
L126	1.15'	N41°26'15"W
L127	4.95'	N76°12'59"W
L128	23.52'	N30°43'12"W
L129	15.00'	N59°16'48"E
L130	20.00'	N59°16'48"E
L131	5.00'	N30°43'12"W
L132	44.00'	N59°16'48"E
L133	5.00'	S30°43'12"E
L134	10.50'	S59°16'48"W
L135	5.00'	S30°43'12"E

CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD
C34	14.27'	10.00'	81°47'01"	S10°10'19"W 13.09'
C35	9.11'	15.00'	34°46'44"	N58°49'37"W 8.97'



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