

#### TOWN OF WINTER PARK PLANNING COMMISSION Tuesday, February 27, 2024 8:00 AM

#### AGENDA

#### I. Call to Order

#### II. Roll Call of Commission Members

#### III. Public Comment

This time is reserved for anyone from the public to speak about items not on the agenda. The Planning Commission is not prepared to decide on matters brought up during this time, but if warranted, will place them on a future agenda.

#### IV. Conflict of Interest

#### V. Consent Agenda:

a. Approval of Minutes - February 13, 2024

#### VI. General Business:

- a. PUBLIC HEARING: Major Site Plan 115 Discovery Drive Metes and Bounds Property
   Winter Park Resort Snowmaking System Phase II Upgrade (PLN24-010)
- b. Minor Site Plan 12, 16, 20, 24, 28, 30, 34, and 38 Wheeler Road (Building 1) and 52, 56, 60, 62, 66, and 70 Wheeler Road (Building 2) Sojourn at Idlewild Subdivision (PLN24-012 and PLN24-013)

#### VII. Director's Report:

This time is reserved for specific items from staff requiring Commission direction and for relaying important information to the Commission.

a. Study Session - Three-Mile Plan

#### VIII. Planning Commission Items of Discussion

This time is reserved for Commission discussion items that are not listed on the agenda.

Online Meeting Login Instructions - See next page

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Passcode: 113389

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- +1 253 205 0468 US
- +1 253 215 8782 US (Tacoma)
- +1 346 248 7799 US (Houston)
- +1 669 444 9171 US
- +1 669 900 6833 US (San Jose)
- +1 564 217 2000 US
- +1 646 931 3860 US
- +1 689 278 1000 US
- +1 929 436 2866 US (New York)
- +1 301 715 8592 US (Washington DC)
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#### **Public Hearing Process**

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#### TOWN OF WINTER PARK PLANNING COMMISSION Tuesday, February 13, 2024 8:00 AM

#### **MINUTES**

**DATE:** Tuesday, February 13, 2024

**MEETING:** Winter Park Planning Commission

**PLACE:** Town Hall Council Chambers and Zoom Meeting Call

PRESENT: Chair Dave Barker, Commissioners Doug Robbins, Chris Tagseth, Thomas

McDonald (on Zoom), and Roger Kish are present. Also present are Community Development Director James Shockey, Town Planner Hugh Bell, and Assistant

Town Attorney Austin Flanagan (on Zoom).

**OTHERS** 

**PRESENT:** None.

#### I. Call to Order

Chair Barker calls the meeting to order at 8:02 a.m.

#### II. Roll Call of Commission Members

Vice Chair Brad Holzwarth and Commissioner Angela Sandstrom are absent today.

#### III. Public Comment

No comments received.

#### IV. Conflict of Interest

No one comes forward.

#### V. Consent Agenda:

a. Approval of Minutes – January 23, 2024

Commissioner Kish moves and Commissioner Tagseth seconds the motion approving the Consent Agenda. Motion carries 5,0.

#### VI. General Business:

 a. Minor Site Plan – Building A, Village Center Condominiums of Winter Park – 78491 Highway 40 (PLN24-001)

Town Planner Hugh Bell presents the staff report to the Commissioners. Applicants Chris Furman and Jamie Pawlak are present in the Chambers.

Planner Bell states that Staff recommends approval of the Minor Site Plan with fifteen (15) conditions.

The Commissioners begin discussions amongst themselves and Staff. The Commissioners have several comments and questions, which generally include:

- 1. Whether the number of existing parking spaces are adequate for the proposed and existing uses.
- 2. Outdoor lighting and the extent to which the UDC requires existing nonconforming lighting to be brought into conformance.

Assistant Town Attorney Austin Flanagan states that he needs more time to analyze the language of the

UDC regarding existing nonconforming outdoor lighting.

Chair Barker then allows the Applicants to begin their presentation. Mr. Chris Furman begins. He states that there are certain conditions around the outdoor lighting that complicate this project.

The Commissioners then discuss if it is advisable to modify the conditions so the project can proceed.

The Commissioners and the Staff then read and analyze the Staff conditions. They put emphasis on the lighting fixtures. Planner Bell takes notes to make some modifications.

Commissioner Kish moves and Commissioner Tagseth seconds the motion to approve the Minor Site Plan for 78491 Highway 40 (PLN24-001) with the following modifications to Staff's recommended conditions:

- 1. Modifying Condition 6 to state, "Applicant shall submit manufacturer spec sheets for all existing fixtures so Staff can determine if fixtures on the property conform with Article 3.K, Outdoor Lighting. If they do not, then Applicant shall bring said fixtures on the property into conformance."
- 2. Modifying Condition 7 to state, "Applicant shall submit Photometric Plan of existing parking lot lighting. If the footcandle levels of the existing lighting do not comply with the requirements in Table 3-K-6, Parking Lot Requirements, Applicant shall bring all fixtures **on the property** into conformance and provide a new Photometric Plan confirming such conformance."
- 3. Modifying Condition 8 to state, "Applicant shall indicate BUG Rating for all **new** outdoor lighting fixtures."

Motion carries 5,0.

#### VII. Director's Report:

- a. Study Session Bufferyards Power Point Presentation at the meeting.
- b. Study Session Three-Mile Plan Power Point Presentation at the meeting.

Planner Bell presents the first item (Bufferyards) in a Power Point presentation, which includes information such as:

- Background.
- 2021 International Wildland Urban Interface Code.
- 2023 Grand County Community Wildfire Protection Plan.
- Defensible space. The Commissioners discuss how this would be applied in high density areas. There is also mention of HOAs' roles in educating residents and enforcing regulations.
- Implementing defensible space requirements. This item includes some suggestions and ideas. The Commissioners offer ideas for where this could occur in the platting or annexation processes.
- Water conservation.

Planner Bell takes notes from the Commissioners to incorporate their feedback and ideas into future study sessions.

The Commission is near its time limit so they decide to postpone the second item (Three-Mile Plan) to a future meeting.

#### VIII. Planning Commission Items of Discussion

Director Shockey announces that the Commissioners will be receiving an email from Staff regarding the upcoming audit of the Planning Division. He also mentions that the proposed wetland Text Amendment will be presented to Town Council at their workshop on Tuesday, February 20<sup>th</sup>.

There being no further business to discuss, upon a motion regularly adopted, the meeting was adjourned at 10:18 a.m.

The next scheduled	l meeting of th	e Planning	Commission	will be Tuesda	v, Februar	v 27, 20	)24, at 8:00 a.m.
					/ )	,	.,

Irene Kilburn, Planning and Building Technician II and Hugh Bell, Planner





TO Planning Commission

FROM Hugh Bell, Planner

THROUGH James Shockey, AICP, Community Development Director

DATE February 27, 2024

RE PUBLIC HEARING: Major Site Plan – 115 Discovery Drive – Metes and Bounds

Property – Winter Park Resort Snowmaking System Phase II Upgrade (PLN24-010)

**Applicant:** Justin Dreitzler of Garney Construction

**Property Owner:** United States of America – USDA

**Architect:** Abbey Stein of GEI Consultants, Inc.

Address: 115 Discovery Drive (the "Property")

#### **Legal Description:**

METES & BOUNDS 75 ALL 3167.385 AC +/- IN PT SEC 3-5, 8-11, 14-17, 21-23 T2S R75W, Town of Winter Park, County of Grand, State of Colorado

**Zoning:** O-S-F (Open Space, Forestry, Agriculture, and Recreational)

#### **Authority:**

Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Planning Commission considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park. Major Site Plan approval is required before building permit issuance.

#### Site Plan Approval Criteria:

The site plan shall be evaluated and may be approved in accordance with the following criteria:

- 1. Comprehensive Plan. Conformance with the Comprehensive Plan;
- 2. This UDC. Conformance with the standards of this UDC; and
- 3. Design Guidelines. Conformance with the Design Guidelines in Appendix A.

#### § 5-B-8 Public Notice Requirements:

This application has had proper public notification pursuant to § 5-B-8 of the UDC. A Newspaper Publication (PUB) was published in the Middle Park Times on February 15, 2024, providing notification of the hearing and requesting comments. A Property Posting (PO) was posted on February 13, 2024. As seen in Table 5-B-8, Required Public Notice by Application Type, Table Note No. 1, the Applicant is exempt from providing the Surrounding Property Owner Mailing as both buildings meet the criteria in said note.

No public comments have been received as of February 23, 2024.



#### **Project Overview:**

Request to construct two (2) new pumphouses for snowmaking at Winter Park Resort. The purpose of these buildings is to house valves, piping, and other mechanical, electrical, and snowmaking equipment.

Primary Pumphouse ("PP"): 2,500 sqft. Canal Pumphouse ("CP"): 1,344 sqft.

#### Variances:

No Administrative or Board of Adjustment variance requests are included with the application.

#### **Homeowner and Master Association Review:**

N/A, no HOA or master association governs the Property.

#### **Construction Plans:**

Satisfactory.

#### **Material and Color:**

Partially satisfactory. Exposed concrete is proposed for both building's exteriors. The UDC requires that such concrete be board-formed or "detailed", which the latter term staff interprets to mean smooth (§ 3-B-3(C), Permitted Materials).

Applicant shall confirm in writing that they will treat the exposed concrete on building exteriors with one of the methods approved in § 3-B-3(C), Permitted Materials.

#### **Outdoor Lighting:**

Partially satisfactory. One (1) fixture is proposed and it contains the International Dark Sky Association (IDA) approval stamp as required in Article 3.K, Outdoor Lighting. Each fixture is limited to 1,500 lumens and shall have a BUG (backlight, uplight, and glare) Rating that doesn't exceed B1 U0 G1. The BUG Rating is B1 U0 G1. Each fixture is proposed at 4,270 lumens, which exceeds the permitted amount.

Building fixtures shall not exceed the height of the eave line, parapet wall, or twenty-one feet (21'), whichever is less; heights are not indicated.

Photometric plans are required for nonresidential and multifamily projects. The applicant has submitted a request to be exempted as allowed in § 3-K-4. Staff has approved this exemption given the proposed lights are IDA compliant and given the buildings are far away from any homes.

Fixture Name	Proposed # of Fixtures	Proposed Lumens per Fixture	Total Proposed Lumens	Proposed CCT
Cree Lighting- XSP Series - Type C	PP: 7 CP: 3	4,270	42,700	3000K

- Applicant shall submit specification sheets for outdoor lighting fixtures that comply with the 1,500-lumen limit per fixture as required in § 3-K-4, Non-Residential and Multifamily Lighting Requirements
- > Upon selecting the new outdoor lighting fixtures, Applicant shall update the Outdoor Lighting Tabulation on the Major Site Plan Application Form and the Building Elevations for staff's review.



Applicant shall indicate mounting heights for each fixture.

#### Setbacks:

The Planning Commission shall determine setbacks for structures in the O-S-F zone district on a case-by-case basis. Staff finds setbacks adequate.

#### **Building Coverage:**

N/A. There is no building coverage limit in O-S-F zoning.

#### **Building Height:**

Partially satisfactory. Maximum midpoint building height is limited to 55' in O-S-F zoning. Existing and proposed grades are not indicated on building elevations so staff cannot properly measure building height.

PP maximum midpoint: 24'-8" CP maximum midpoint: 14'-0"

Applicant shall submit building elevations showing existing and proposed grades so staff can properly measure building height.

#### Access:

Partially satisfactory. Both buildings are accessed via Resort access roads.

#### <u>Parking:</u>

N/A. The public cannot park at the buildings, only contractor vehicles will park there and this will happen only in the summer and autumn. Parking in the winter is nonexistent as the buildings have no road access in winter.

#### Off-Street Loading:

N/A.

#### **Bufferyards and Revegetation:**

N/A. This project does not affect any of the existing bufferyards as it is set far within the lot.

#### **Snow Storage:**

Satisfactory. Footnote 3, Table 3-H-5-1, Snow Storage Standards, requires that snow storage is required only if the facility is utilized during snow months. This being the case, there is more than adequate space for snow storage in each proposed structure's vicinity.

#### Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:

Satisfactory.

#### **Trash Enclosures:**

N/A. No trash enclosures are necessary for the buildings.

#### Signage:

N/A. Signage is not contemplated.



#### **Development Improvements Agreement (DIA):**

N/A. No public improvements are contemplated.

#### Staff Recommendation:

Staff recommends the Planning Commission approve the Major Site Plan with the recommended staff conditions, finding that all criteria set forth in UDC Section 5-E-1(H) have been met. Staff's recommended conditions of approval are below:

- 1. Applicant shall confirm in writing that they will treat the exposed concrete on building exteriors with one of the methods approved in § 3-B-3(C), Permitted Materials.
- 2. Applicant shall submit specification sheets for outdoor lighting fixtures that comply with the 1,500-lumen limit per fixture as required in § 3-K-4, Non-Residential and Multifamily Lighting Requirements
- 3. Upon selecting the new outdoor lighting fixtures, Applicant shall update the Outdoor Lighting Tabulation on the Major Site Plan Application Form and the Building Elevations for staff's review.
- 4. Applicant shall indicate mounting heights for each fixture.
- 5. Applicant shall submit building elevations showing existing and proposed grades so staff can properly measure building height.

However, this is a decision for the Commission to make, and the Commission may choose to approve or deny based on the testimony and evidence it hears. Two sample motions are included below for convenience only. They do not limit the evidence the Commission can rely on or the decision the Commission makes.

#### **Sample Motion for Approval:**

I move to approve the Major Site Plan, finding it in conformance with § 5-E-1 of the UDC, as set forth in the staff memo with the conditions outlined in the staff recommendation.

#### Sample Motion for Denial:

I move to deny the Major Site Plan, finding the applicant has failed to meet the criteria required in § 5-E-1 of the UDC, specifically: [articulate specific reasons for denial for failure to conform with the Comprehensive Plan; the UDC; or Design Guidelines]



#### **Project Information:**

Project Name: WPR Snowmaking System Phase II Upgrade

Street Address: 115 Discovery Drive Winter Park, CO 80482

#### **Owner Information:**

Owner Name: Winter Park Resort

Owner Contact: Doug Laraby

Owner Phone Number: (970)726-1509

Owner Email: <u>dlaraby@winterparkresort.com</u>

Owner Address: 85 Parsenn Road, Winter Park, CO 80482

#### **Contractor Information:**

Contractor Name: Garney Construction

Contractor Phone Number: (303)791-3600

Project Manager: Justin Dreitzler ~ (970)817-1860

Contractor Email: <a href="mailto:jdreitzler@garney.com">jdreitzler@garney.com</a>

Contractor Address: 7911 Shaffer Parkway, Littleton, CO 80217

#### **Engineer Information:**

Engineer Name: GEI Consultants

Engineer Phone Number: (303)662-0100

Engineer Contact: Abby Stein

Engineer Email: <a href="mailto:astein@geiconsultants.com">astein@geiconsultants.com</a>

Engineer Address: 4601 Dtc Blvd Ste 900, Denver, CO 80237



Legal Description: METES & BOUNDS 75 ALL 3167.385 AC +/- IN PT SEC 3-5, 8-11, 14-17, 21-23 T2S

R75W

**Zoning District:** O-S-F

Lot Size (acreage & sq. ft.): 3,167.385 acres

**All Proposed Uses:** THIS PROJECT ENTAILS THE CONSTRUCTION OF NEW SNOWMAKING PIPELINES AND PUMP STATIONS TO PROVIDE WINTER PARK RESORT MORE ROBUST

**SNOWMAKING CAPABILITIES** 

Number of Dwelling Units: N/A (non-residential)

Number of Bedrooms per Dwelling Unit: N/A (non-residential)

**Size of Residential Space:** N/A (this is a non-residential space)

**Size of Non-Residential Space:** 3,844 sq. ft.

Number of Proposed Off-Street Parking: 0

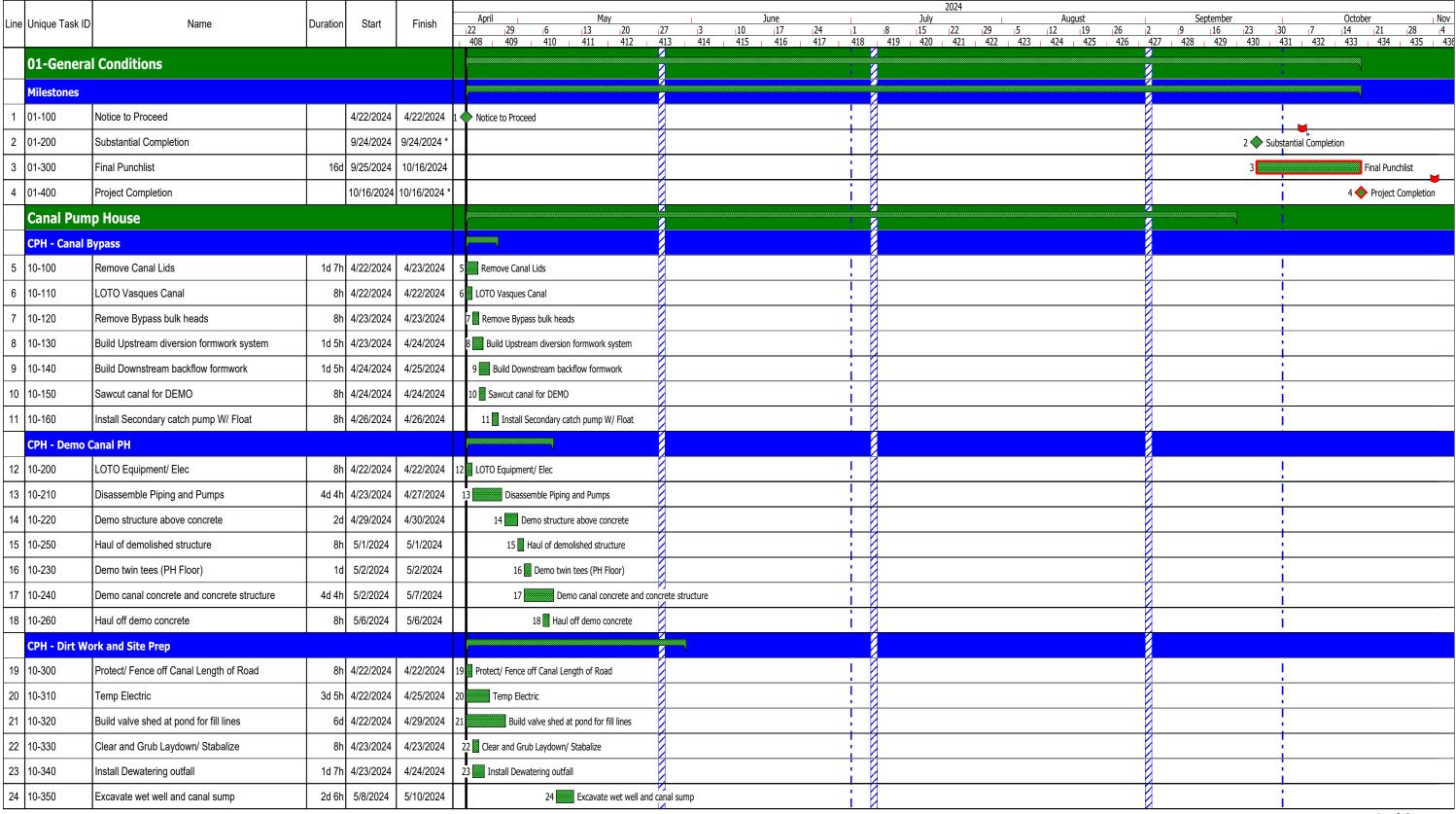
Construction Schedule: (see pg. 3-8)



#### Snow Making Phase II Season 2







2/7/2024, 2:22:26 PM



#### Snow Making Phase II Season 2



#### ADVANCING WATER

			1	T	1			2024		
Line	Jnique Task ID	Name	Duration	Start	Finish -	April May    22   29   6   13   20   2    408   409   410   411   412   4	June 27  3  10  17  24  1  13   414   415   416   417   418	Tuly August	September           2         9         16         23         30           427         428         429         430         4	October         Nov           0         7         14         21         28         4           31         432         433         434         435         436
25	10-360	Rough grade Bottom of ex slope to NW corner	81	5/10/2024	5/10/2024	25 Rough grade Bottom of e	ex slope to NW corner			
26	10-370	Install french drain / dewatering system	2d 6h	5/10/2024	5/13/2024	26 Install french drain /	dewatering system			
27	10-380	E/L/B 12" and 20" resivoir fill lines	140	5/14/2024	5/31/2024	27	E/L/B 12" and 20" resivoir fill lines		!	
	CPH - Structu	ire								
28	10-400	Fine grade BO Wet Well 9355.00	81	5/14/2024	5/14/2024	28 Fine grade BO Wet	Well 9355.00			
29	10-410	Fine grade canal sump slab	81	5/14/2024	5/14/2024	29 Fine grade canal su	ımp slab			
30	10-420	F/R/P Canal sump slab	3d 5h	5/15/2024	5/18/2024	30 F/R/P Canal	sump slab			
31	10-430	Set precast wet well	3d 5h	5/15/2024	5/18/2024	31 Set precast	wet well			
32	10-440	F/R/P Canal sump walls	4d 4h	5/20/2024	5/24/2024	32 F/F	R/P Canal sump walls		i	
33	10-450	Set 2 36" wet well intake pipes	10	5/25/2024	5/28/2024	33	Set 2 36" wet well intake pipes			
34	10-460	Backfill excavation to bottom of canal slab	20	5/29/2024	5/30/2024		Backfill excavation to bottom of canal slab			
35	10-470	F/R/P Canal slab 3 Pours	6d 2h	5/31/2024	6/7/2024		35 F/R/P Canal slab 3 Pours		!	
36	10-480	F/R/P Canal Walls 6 Pours	8d 8h	6/5/2024	6/14/2024		F/R/P Canal Walls 6 Pours			
37	10-490	Shore Canal walls for backfill	2d 6h	6/15/2024	6/18/2024		37 Shore Canal walls for ba	ckfill		
38	10-500	Install canal slide gate	20	6/15/2024	6/18/2024		38 Install canal slide gate			
39	10-510	Install Precast Canal Lids	4d 4h	6/15/2024	6/20/2024		39 Install Precast Canal	Lids		
40	10-520	Backfill to botom of footer	2d 6h	6/19/2024	6/21/2024		40 Backfill to botom o	f footer		
41	10-530	Install Underslab snowmaking pipe	40	6/19/2024	6/24/2024		41 Install Undersla	snowmaking pipe		
42	10-540	Clean canal main channel	81	6/21/2024	6/21/2024		42 Clean canal main			
43	10-550	Shut down Vasques canal	81	6/22/2024	6/22/2024		43 Shut down Vaso	ues canal		
44	10-560	Remove Canal Bulkheads	20	6/24/2024	6/25/2024		44 Remove Car			
45	10-570	Demo and fix bypass tie in (Upstream and Downstream)	60	6/24/2024	7/1/2024		45 Dem	o and fix bypass tie in (Upstream and Downstream)		
46	10-580	F/R/P PH footers	50	6/25/2024	7/1/2024		46 F/R/	P PH footers		
47	10-590	Install perimeter drain	30	7/2/2024	7/5/2024		47	Install perimeter drain		
48	10-600	Block out stem walls for pipe chase	1d 7h	7/2/2024	7/3/2024		48	Block out stem walls for pipe chase	i	
49	10-610	F/R/P Stem Walls	50	7/2/2024	7/9/2024		49	F/R/P Stem Walls		
50	10-620	Pour floor drain slab and walls	2d 6h	7/2/2024	7/5/2024		50	Pour floor drain slab and walls		
51	10-640	Start Vasques flow through new canal		7/2/2024	7/2/2024		51 🄷 S	tart Vasques flow through new canal	!	
52	10-650	Demo bypass channel	140	7/2/2024	7/22/2024		52	Demo bypass channel		
53	10-630	Install/Inspect underslab elec conduit	60	7/5/2024	7/12/2024		5	Install/Inspect underslab elec conduit		
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#### Snow Making Phase II Season 2



#### ADVANCING WATER

	ADVA	NCING WATER		_						
						April May	June	2024 July August	September	October Nov
Line	nique Task ID	Name	Duration	Start	Finish	22   29   6   13   20	27 3 10 17 24 1	July August   8   15   22   29   5   12   19   26	2  9  16  23  3	0  7  14  21  28  4 131   432   433   434   435   436
		D 15111 DOO	4 1 71	7/15/2024	7//0/000/	408 409 410 411 412	413   414   415   416   417   418	419   420   421   422   423   424   425   426	427   428   429   430   4	131 <sub> </sub> 432 <sub> </sub> 433 <sub> </sub> 434 <sub> </sub> 435 <sub> </sub> 436
54 1		Backfill to BOS	1d 7h	7/15/2024	7/16/2024			54 Backfill to BOS		
55 1	)-670	F/R/P PH Slab 1 Pour	4d	7/17/2024	7/22/2024		!	55 F/R/P PH Slab 1 Pour		
56 1	)-680	Pour door entries and driveways	1d 7h	7/17/2024	7/18/2024			56 Pour door entries and driveways		
57 1	)-700	Pour back pilasters	8h	7/23/2024	7/23/2024			57 Pour back pilasters		
58 1	)-710	Saw cut control joint	8h	7/23/2024	7/23/2024			58 Saw cut control joint		
59 1	)-720	PEMB	30d	7/23/2024	9/3/2024			59	Install PEMB	 
60 1	)-740	Pour pipe chase piers	2d 6h	7/23/2024	7/25/2024			60 Pour pipe chase piers		
61 1	)-730	Install Torrent skid	2d	7/24/2024	7/25/2024		i	61 Install Torrent Skid		
62 1	)-750	Install pipe chase	12d	7/26/2024	8/12/2024		i	62 Install pipe chase		
63 1	)-780	Install above ground yard pipe (through pipe chase)	60	8/13/2024	8/20/2024			63 Install above	ground yard pipe (through pipe chase)	
64 1	)-770	Rough in above slab electrical	4d 4h	8/16/2024	8/22/2024		!	64 Rough in a	bove slab electrical	
65 1	)-760	Install Interior piping	9d	8/20/2024	8/30/2024		!	65	Install Interior piping	
66 1	)-790	Install Lighting Fixtures	4d 4h	8/23/2024	8/29/2024			66 E	nstall Lighting Fixtures	
67 1	)-810	Install HM door frames	4d 4h	8/29/2024	9/5/2024			67	Install HM door frames	
68 1	)-820	Teminate Torrent Skid	1d	8/29/2024	8/29/2024			68	Teminate Torrent Skid	
69 1	)-830	Teminate Pumps	3d	8/30/2024	9/4/2024			69	Teminate Pumps	
70 1	)-800	Check pump rotation	8h	9/3/2024	9/3/2024				Check pump rotation	
71 1	)-840	Install overhead door	8h	9/4/2024	9/4/2024				71 Install overhead door	
72 1	)-860	Start-up Equipment and Funcitonal Test	4d	9/5/2024	9/10/2024				72 Start-up Equipment and F	uncitonal Test
73 1	)-850	Install Window	2d 6h	9/6/2024	9/10/2024				73 Install Window	
74 1	)-870	Install Louver	8h	9/11/2024	9/11/2024				74 Install Louver	
75 1	)-900	Run torrent skid to fill reservoir	7d	9/11/2024	9/19/2024				75 Run torrent	skid to fill reservoir
76 1	)-880	Install Fan	8h	9/12/2024	9/12/2024				76 Install Fan	
77 1	)-890	Install Unit Heater	8h	9/13/2024	9/13/2024				77 Install Unit Heater	I
P	rimary Pu	mp House						2 <u>7</u>		
P	PH - Dirt Wo	rk and Site Prep								
78 2	)-100	Clear and grub pumpstation area	2d	4/22/2024	4/23/2024	78 Clear and grub pumpstation area	!			<u></u>
79 2	)-110	Excavate pumpstation to B.O. footer	4d	4/24/2024	4/29/2024	79 Excavate pumpstation to B.O. footer				
80 2	)-120	Grade french drain and Install dewatering system	2d	4/30/2024	5/1/2024	80 Grade french drain and Install dewat	· Kl			
P	PH - Structu	re					7	2	2	
			1				<u> </u>			3 of 6



## Snow Making Phase II Season 2



ADVA	NCING	WAT	EF

	ADVA	INCING WATER										
						April May	June		2024 July August	September		October Nov
Line	Jnique Task ID	Name	Duration	Start	Finish	<sub>1</sub> 22 <sub>1</sub> 29 <sub>1</sub> 6 <sub>1</sub> 13 <sub>1</sub> 20	27   3   10   17   24   1	1	S   15   22   29   5   12   19   26   419   420   421   422   423   424   425   426	2  9  16  23  3	0 7	14   21   28   4   422   424   425   426
01	20-200	Install undersleb engumeking nine	50	5/2/2024	5/8/2024			118	419   420   421   422   423   424   425   426	427   428   429   430   4	31   432	433   434   435   436
		Install underslab snowmaking pipe	1				-	-8				
82	20-210	Install underslab plumbing (SS and WL)	50	5/2/2024	5/8/2024	82 Install underslab plumbing (S						
83	20-220	Route main electric feed into building	30	5/2/2024	5/6/2024	Route main electric feed into buil	ding					
84	20-230	F/R/P floor drains	20	5/9/2024	5/10/2024	84 F/R/P floor drains						
85	20-240	F/R/P PPH footers	60	5/9/2024	5/16/2024	85 F/R/P PPH foote	[A] PTS I					
86	20-250	F/R/P PPH stem walls	70	5/17/2024	5/25/2024	86 <u>86</u> F	F/R/P PPH stem walls					
87	20-260	Install Perimeter Drain	20	5/17/2024	5/20/2024	87 Install Per	imeter Drain					
88	20-270	Backfill Perimeter drain and exterior stemwalls	30	5/28/2024	5/30/2024	8	8 Backfill Perimeter drain and exterior stemwalls					
89	20-280	Install Underslab electrical/Inspect	5d 3h	5/28/2024	6/3/2024	8	Install Underslab electrical/Inspect					
90	20-290	F/R/P Man door entries	2d 6h	5/31/2024	6/3/2024		90 F/R/P Man door entries					
91	20-300	Backfill to B.O. slab	1d 7h	6/4/2024	6/5/2024		91 Backfill to B.O. slab					
92	20-310	Pour back pilasters	81	6/4/2024	6/4/2024		92 Pour back pilasters					
93	20-320	F/R/P PH Slab 1	5d 3h	6/6/2024	6/12/2024		93 F/R/P PH Slab 1					
94	20-330	F/R/P PH Slab 2	2d 6h	6/13/2024	6/15/2024		94 F/R/P PH Slab 2					
95	20-340	Install PEMB	360	6/17/2024	8/5/2024		95	///	Install PEMB			
96	20-350	Install second level stairs	40	7/10/2024	7/15/2024				96 Install second level stairs			
97	20-360	Install Torrent Pump skid	2d 6h	7/10/2024	7/12/2024				97 Install Torrent Pump skid			
98	20-370	Rough in electrical above slab	4d 4h	7/10/2024	7/16/2024				98 Rough in electrical above slab			
99	20-380	Install Interior piping	90	7/15/2024	7/25/2024		!		99 Install Interior piping			
100	20-390	Teminate Pump Skid	1d 7h	7/15/2024	7/16/2024		!		100 Teminate Pump Skid			
101	20-410	Interior Framing	10d 6h	7/17/2024	7/31/2024				101 Interior Framing			
102	20-420	Install Lights and recepts.	4d 4h	7/17/2024	7/23/2024				102 Install Lights and recepts.			
103	20-400	Install fine bubbler system	8d 8h	7/17/2024	7/29/2024				103 Install fine bubbler system			
104	20-430	HVAC Ducts and units	13d 3h	7/24/2024	8/12/2024				104 HVAC Ducts and units			
105	20-440	Rough in plumbing	4d 4h	7/24/2024	7/30/2024				105 Rough in plumbing			
106	20-450	Start up fuctional test fine bubbler	2d 6h	7/30/2024	8/1/2024				106 Start up fuctional test fine bubbler			
107	20-460	Install plumbing finishes	2d 6h	7/31/2024	8/2/2024		!		107 Install plumbing finishes			
108	20-470	Install overhead doors	2d 6h	8/6/2024	8/8/2024				108 Install overhead doors			
109	20-480	Install HM exterior doors	2d 6h	8/6/2024	8/8/2024				109 Install HM exterior doors			
110	20-490	Install windows	10d 6h	8/6/2024	8/20/2024				110 Install window	S		
							/			r.i		4 of 6



#### Snow Making Phase II Season 2



#### ADVANCING WATER

							2024		
Line Unique Task I	D Name	Duration	Start	Finish	April May   22   29   6   13   20     408   409   410   411   412	June         June           27         3         10         17         24         1           413         414         415         416         417         418	July   August   15   12   19   126	September   2  9  16  23  3  427   428   429   430   4	October Nov 0   7   14   21   28   4   31   432   433   434   435   436
111 20-500	Install Louvers and vents	4d 4h	8/6/2024	8/12/2024			111 Install Louvers and vents		
112 20-510	Build PH deck	4d 4h	8/6/2024	8/12/2024			112 Build PH deck		
113 20-520	HVAC Controls and start up	2d 6h	8/13/2024	8/15/2024		!	113 HVAC Controls and	start up	
114 20-530	Drywall rooms	4d 4h	8/21/2024	8/27/2024			114 Dryw	all rooms	
115 20-540	Interior doors and windows	3d 5h	8/28/2024	9/3/2024			115	Interior doors and windows	
116 20-550	Start up fuctional test torrent skid	3d	9/20/2024	9/24/2024				116 Start ι	p fuctional test torrent skid
Snowmak	ing Valve Houses								
PT 5 Control	Building								
117 40-100	LOTO Pumps and valves	8h	6/25/2024	6/25/2024		117 LOTO Pump	ra os and valves		
118 40-110	LOTO Electrical Gear	8h	6/26/2024	6/26/2024		118 LOTO Elec	LA trical Gear		
119 40-120	Demo pumps and piping	4d 4h	6/27/2024	7/2/2024		119 C	ריז Demo pumps and piping		
120 40-130	Demo electrical gear	2d 6h	6/27/2024	6/29/2024		<u></u>	ra o electrical gear		
121 40-140	Fab air header	13d 3h	7/3/2024	7/23/2024		121	Fab air header		
122 40-150	Fab water header	13d 3h	7/3/2024	7/23/2024		122	Fab water header		
123 40-160	Install new valves and headers	7d 1h	7/24/2024	8/2/2024			123 Install new valves and headers		
124 40-170	Install new actuators	4d 4h	8/5/2024	8/9/2024			124 Install new actuators		
125 40-180	Wire actuators and PLC	6d 2h	8/12/2024	8/20/2024		i	125 Wire actuators	and PLC	
126 40-190	Start up functional test actuators	1d 7h	8/21/2024	8/22/2024			k)	nctional test actuators	
PT 40 and 9	D								
127 40-200	Install actuators on all valves	4d 4h	6/25/2024	6/29/2024		127 Insta	I lactuators on all valves		
128 40-210	9d Install blind flanges and cut holes for valves	2d 6h	6/26/2024	6/28/2024		128 9d Ins	tall blind flanges and cut holes for valves		
129 40-220	Run conduit to actuators (Power and Comms)	6d 2h	7/1/2024	7/10/2024		129	Run conduit to actuators (Power and Comms)		
130 40-230	Wire flow meters	8h	7/11/2024	7/11/2024			130 Wire flow meters		
131 40-240	Wire actuators	2d 6h	7/11/2024	7/15/2024			131 Wire actuators		
132 40-250	Start up fuction test PLC and actuators	1d 7h	7/16/2024	7/17/2024		i	132 Start up fuction test PLC and actuators		
133 40-260	Punch list 40 & 9B (GEI)	3d 5h	7/18/2024	7/23/2024			133 Punch list 40 & 9B (GEI)		
Final Grad	ding and Sitework								
134 30-100	PH Road to Canal Pump house	13d 3h	6/1/2024	6/17/2024		134 PH Road to Canal Pump h	IOUSE		
135 30-110	Final grade around Primary PH	13d 3h	6/18/2024	7/3/2024		135	Run 2" WL from Disco Park bathrooms to primary PH		
136 30-120	Final grade Canal PH	1d 7h	7/3/2024	7/5/2024		136	Run 4" SS to septic tank		
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## Snow Making Phase II Season 2



	ADVANCING WATER													·V	тм											
1 :-	e Unique Task ID	Name	Duration	Ctout	Finish	April	1	Ma	Лау	T		June			202 <sup>,</sup> July	14	l	August	1	Se	eptember	1		October		Nov
LII			Duration	Start	Finish	22   408	29 6 409 410	13 ) 411	20   412	27 3 413 414	10 415	17 416	24 1 417 41	18	July  8  15  22  419   420   42	2   29 21   422	5 423	12   19 424   425	26 2 426 4	9 27   428	16  23   429   4	30 <sub> </sub> 30 30 <sub> </sub> 431	<sub>1</sub> 7 L <sub>1</sub> 432	14 <u>2</u>	1 28 134 43	4 5 436
13	7 30-130	Run 2" WL from Disco Park bathrooms to primary PH	3d 5h	7/8/2024	7/11/2024								i	137 137	Build leachfeil	d						i				
13	30-140	Run 4" SS to septic tank	2d 6h	7/12/2024	7/16/2024										138 Final gra	ade Canal PH	I					Į.				
13	9 30-150	Build leachfeild	2d 6h	7/17/2024	7/19/2024								1		139 Fir	nal grade aro	ound Primary	PH								
14	30-160	Seed Poucupine ski run	8h	7/22/2024	7/22/2024										140	Seed Poucup	oine ski run									
14	1 30-170	Install final seeding and BMPS	4d 4h	7/23/2024	7/29/2024										141	Inst	tall final seed	ing and BMPS								
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M	    lestone Appear	ances																				:				
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Diamond



## MAJOR SITE PLAN APPLICATION FORM

The Planning Division is here to assist you with your Major Site Plan Application ("Application") pursuant to Site Plan (Sec. 5-E-1) in the Unified Development Code (UDC). Applications are administratively and legislatively reviewed and approval is required. The Application will be reviewed in accordance with the procedures and requirements outlined in Sec. 5-E-1 in the UDC.

This publication outlines the Major Site Plan Application process and submittal requirements.

A Pre-Application Conference shall occur prior to submittal of the Application (§ 5-B-4). All submittal items shall be submitted in PDF format in accordance with the Site Development and Permit Decision File Naming Conventions to <a href="mailto:permits@wpgov.com">permits@wpgov.com</a>. Ensure your application is complete by checking each of the required submittal (RS) boxes below.

1	Requi	ired Ite	ms	
Plan Sheet	t(s)	RS*	Item #	Submittal Items
		V	1.	Major Site Plan Application Form. Executed.
		V	2.	Land Use Review Application Form. Executed.
			3.	Development Improvements Agreement (DIA) Form. Executed.
			4.	<b>Title Commitment.</b> Including Schedules A and B. The applicant shall provide a title insurance commitment proving the applicant's ownership of the land to be platted and that all land to be dedicated or conveyed to the Town is free and clear from all liens and encumbrances except as expressly agreed to by the Town.
Plan Sheet(s)			5.	<ul> <li>Narrative. Shall include the following:</li> <li>A. Project name.</li> <li>B. Street address.</li> <li>C. Name, address, email and telephone number of owner, applicant, HOA, project manager, architect, engineer, surveyor, and land planner.</li> <li>D. Legal description.</li> <li>E. Zoning district.</li> <li>F. Lot size (acreage and sq. ft.).</li> <li>G. All proposed uses.</li> <li>H. Number of dwelling units.</li> <li>I. Number of bedrooms per dwelling unit.</li> <li>J. Size of residential and nonresidential space (sq. ft.).</li> <li>K. Number of proposed off-street parking spaces.</li> <li>L. Construction schedule indicating major milestones for project. If project will be phased, each phase shall have its own development schedule.</li> </ul>
			6.	<b>Project Drawings.</b> Shall contain project name, legal description, date of preparation, north arrow, legend, vicinity map, and topography at two-foot (2') intervals. Shall be sized ARCH D (24"x36"). Shall be oriented so that north is up.
			6A.	Topographic Survey.

		B. Location where buildings intersect the existing and proposed grades for each profile.
		scale of 1/8"=1'.  A. Profiles.
V	6E.	<b>Building Elevations.</b> See Article 3.A, Lot and Building Standards. Shall have a minimum
	6D.	<b>Street Address Plan.</b> See Article 4.A, <i>Subdivision Design</i> . Street names and unit numbers.
		R. Walkways and paths.
		Q. Utilities, proposed and existing. For mains and service lines.
		P. Top of foundation elevations. For main corners of each structure.
		O. Structures, proposed and existing.
		<ul><li>M. Storage areas for soil, construction equipment, and other materials.</li><li>N. Street ROW, proposed and existing, public and private. Type, location, and name.</li></ul>
		L. Snow storage areas.
		walls. Draw a line to tie the structure to a point on the property line.
		K. Setback distances from all existing and proposed structures, including retaining
		J. Setback distances as required by zoning district. From all property lines.
		I. Property lines.
		H. Parking spaces. Dimensioned and counted.
		outdoor kitchens, sculptures, etc.  G. Parking areas for construction workers' vehicles.
		fencing, signage, fire features, water features, hot tubs, pools, affixed barbeque grills,
		F. Other improvements. Retaining walls, berms, trash receptacles, trash enclosures,
		E. Limit of disturbance.
		percent (20%), slopes greater than thirty percent (30%), and geologic hazard areas.
		floodway fringes, wetlands, forests and woodlands, slopes greater than twenty
		D. Environmental features. Includes riparian buffers, floodplains, floodways, and
		easements, provide reception numbers on file with the Grand County Clerk and Recorder's Office.
		C. Easements, proposed and existing, public and private. Type and location. If existing
		the site's total acreage; and percentage of building coverage to open space.
		drives, sidewalks, and parking areas; easements; areas to be designated open space;
		building footprint (including roof overhangs, decks, porches, balconies, and patios);
		B. Building coverage ratio table. Shall include area (sq. ft. and acreage) of the following:
		acceptable means."
		<ul> <li>b. "The "limit of disturbance" line shall be delineated prior to construction with flags, roping, four foot (4') tall orange construction fencing, or other</li> </ul>
		plan."  h. "The "limit of disturbance" line shall be delineated prior to construction with
		vegetation will occur beyond the "limit of disturbance" line, as shown on this
		a. "No disturbance, grading, or removal of significant natural features and
		A. Protection notes.
		dimensioned.
	6C.	<b>Site Plan.</b> Shall have a minimum scale of 1"=20'. All elements listed below shall be
		<b>G.</b> Utility Plan
		<ul><li>E. Roadway Plan and Profile</li><li>F. Stormwater Management Plan (if applicable)</li></ul>
		D. Revegetation, Erosion, and Sediment Control Plan  E. Roadway Plan and Brofile
		C. Phasing Plan (if applicable)
		B. Parking Plan
		A. Grading and Drainage Plan
		scale and shall align with one another.
		Standards and Specifications for Design and Construction. All plans shall be at the same
	6B.	<b>Construction Plans.</b> Shall have a minimum scale of 1"=20' and be in conformance with the

		<ul><li>C. Building materials. Shall be annotated to correspond with Building Materials Board.</li><li>D. Location of outdoor lighting fixtures.</li></ul>
	6F.	<b>Floorplans.</b> Shall have a minimum scale of 1/8"=1'. All plans shall be black and white, at the same scale, and shall align with one another. Shall include a roof plan.
	6G.	<b>Photometric Plan.</b> See Article 3.K, <i>Outdoor Lighting</i> . Shall have a minimum scale of 1"=20'. Shall include cut sheets for all proposed outdoor lighting fixtures with International Dark Sky Association (IDA) Approval Symbol. Shall indicate mounting heights.
V	6Н.	Outdoor Lighting Tabulation. See "Outdoor Lighting Tabulation" below.
		<ul> <li>Landscaping Plan. See Article 3.I, Landscaping, Buffering, and Screening. Shall have a minimum scale of 1"=20'. Shall include the following:</li> <li>A. Proposed species name.</li> <li>B. Property lines labeled with required bufferyard types.</li> <li>C. Structures, existing and proposed.</li> <li>D. Landscaping, existing and proposed.</li> <li>E. Hardscaping, existing and proposed.</li> <li>F. Top-of-wall and bottom-of-wall elevations of all retaining walls and site walls.</li> </ul>
	6J.	<b>Bufferyard Tabulation.</b> See "Bufferyard Tabulation" below.
	6K.	<b>Tree Removal and Protection Plan.</b> See Article 3.G, <i>Tree Removal and Protection</i> . All trees proposed for protection greater than four inches (4") in caliper. No trees are to be removed
	7.	<ul> <li>Building Materials Board. Shall be annotated to correspond with Building Elevations. Shall include photographs of swatches demonstrating color and material composition for the following:</li> <li>A. Decks</li> <li>B. Doors (incl. garage and entry doors)</li> <li>C. Fascia</li> <li>D. Fencing</li> <li>E. Foundation</li> <li>F. Gates</li> <li>G. Railings</li> <li>H. Roofs</li> <li>I. Siding</li> <li>J. Soffits</li> <li>K. Window and door trim</li> <li>L. Window glass type</li> </ul>
	8.	Renderings. Shall be 3D, in color, and accurate in scale.
	9.	<b>Colorado Department of Transportation (CDOT) Access Permit.</b> If accessing onto Highway 40.
	10.	<b>Geologic Hazard Mitigation Study.</b> See Article 3.C, Resource Identification and Sensitive Lands Protection.
	11.	Phase III Drainage Report.
	12.	Final Geotechnical Report.
	13.	Engineer's Estimate of Probable Cost.
	14.	Traffic Impact Study (TIS) or Traffic Impact Analysis (TIA). As applicable.
		Wetland Delineation. See Article 3.C, Resource Identification and Sensitive Lands Protection. If applicable.
	16.	<b>Wildfire Hazard Mitigation Study.</b> See Article 3.C, Resource Identification and Sensitive Lands Protection.

	$\boxtimes$	17.	Hillside and Ridgel Sensitive Lands Pro		-	-									
		18.	Ability to Serve Let							•					
			terms of quality, q		_	•									
			applicable water a	nd sanita	ation dis	trict.									
		19.		er of Evidence from Developer. Testifying that the site plan meets all requirements in											
			the UDC.	ounding Property Owner Mailing for Public Notice Affidavit Form. See Sec. 5-B-8,											
		20.		-		_									
			Public Notice Requ												
			no later than eight		•		uired pu	iblic hea	ring or fi	inal dec	ision confirm	ııng			
		24	such notification h		·				L - II I	L					
		21.	File Naming Conve		-						ea pursuant t	.0			
Danisha d Cod	:	(DC*)	the Site Developm	ent and	Periiii L	Pecision	riie ivaii	iiiig Coii	ventions	· ·					
Required Sul	omittai	( <b>K5</b> **) =													
1												-			
Bufferyard 1															
	-		eryard types per lot	line and	list of p	roposed	planting	gs propo	sed per	lot line.	See Sec. 3-I-				
5, Bufferyar	ds, for i	requirem	ients.									┛			
											Deficiency				
				es	es	es	es	eq	pa		(if any)				
				Ē	Ē	Tre	Tre	ui	vid	¥					
				Evergreen Trees Required	[	Deciduous Trees Required	sn -	Shrubs Required	Shrubs Provided	Berm Height					
				ire	dec	le ire	on dec	S F	S F	≚					
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N Lot Line															
Length:		linear fe	eet												
Adjacent p	ropert	- ies are zo	oned:												
Bufferyard	Type:	АВС	(circle one)												
S Lot Line			·									1			
Length:		linear fe	eet												

**E Lot Line** 

W Lot Line

Length: \_\_\_\_\_ linear feet
Adjacent properties are zoned: \_\_\_\_
Bufferyard Type: A B C D (circle one)

Length: \_\_\_\_\_ linear feet
Adjacent properties are zoned: \_\_\_\_
Bufferyard Type: A B C D (circle one)

#### **Outdoor Lighting Tabulation**

See Article 3.K, *Outdoor Lighting,* for requirements. Ensure each fixture's cut sheet contains the International Dark Sky Association (IDA) Approval Symbol.

Fixture Name	Proposed # of Fixtures	Proposed Lumens per Fixture	Proposed Correlated Color Temperature (in degrees Kelvin)
Cree Lighting- XSP Series - Type C ( Canal Pump House)	3	4L - 4,270	3,000K
Cree Lighting- XSP Series - Type C ( Primary Pump House)	7	4L - 4,270	3,000K

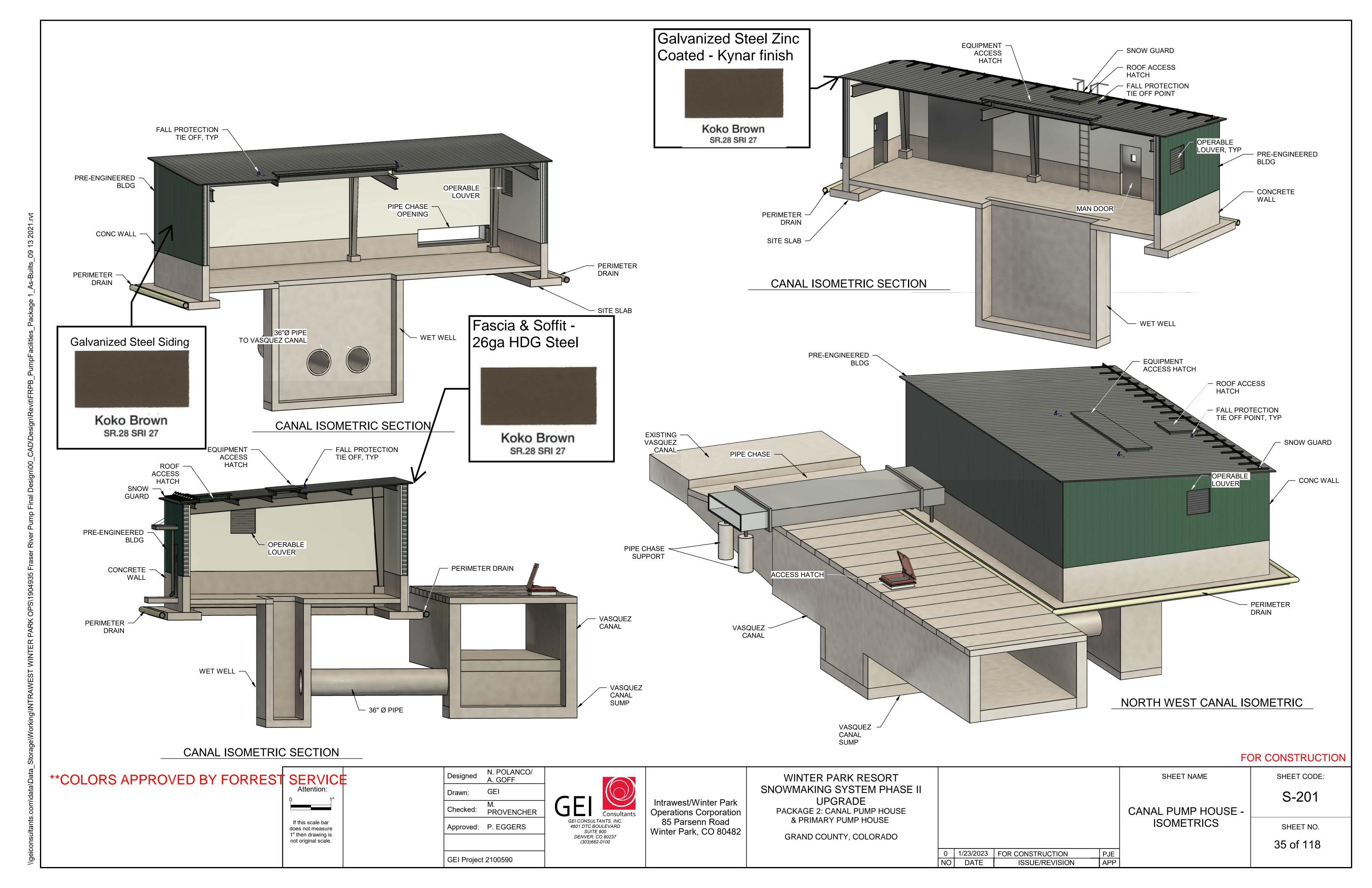
<b>2</b> Process for Approval – See Se	ec. 5-E-1, Site Plan.
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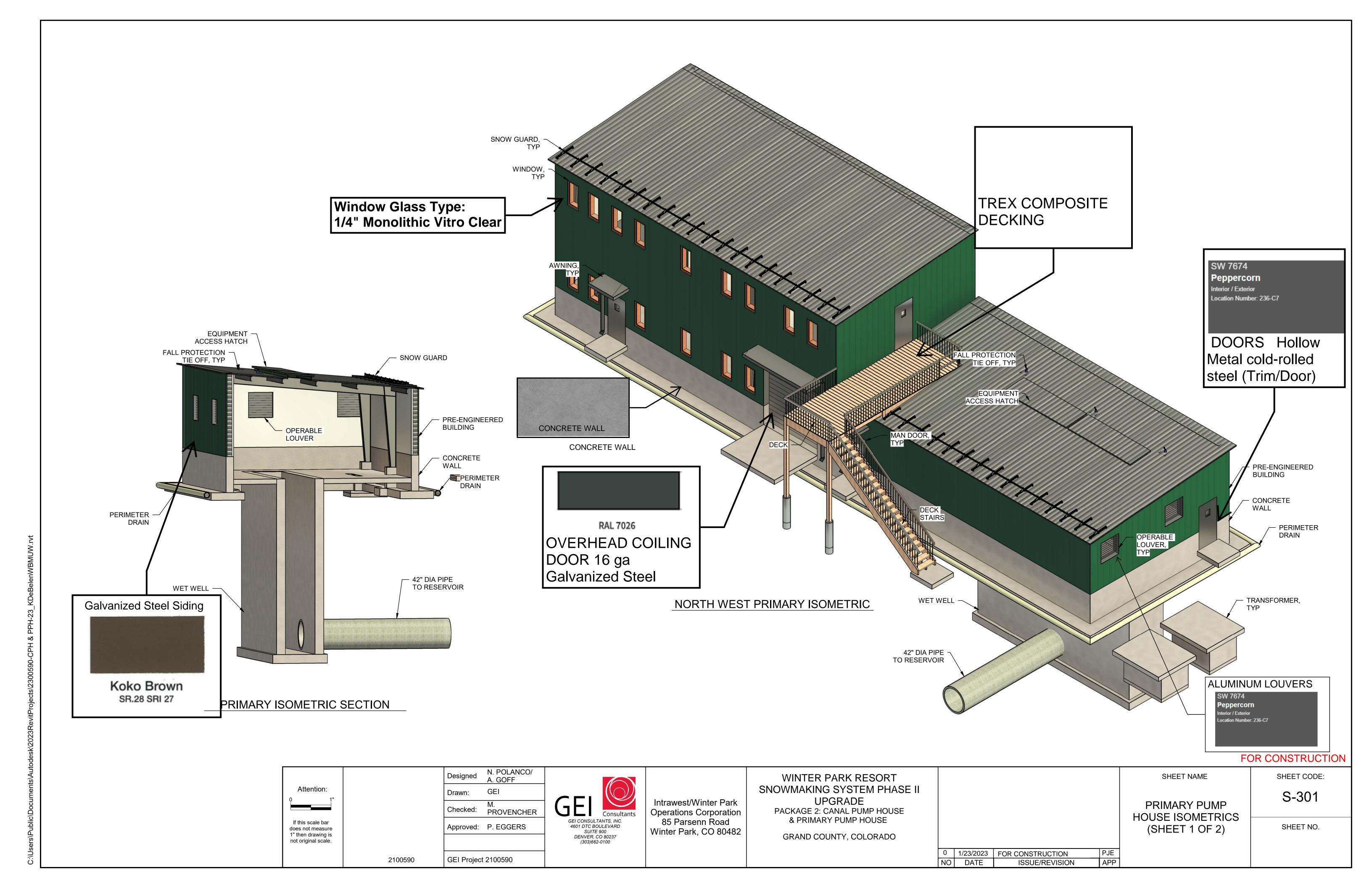
**3** Fees – See Sec. 5-B-6, Application Fees. An invoice will be sent once the planning file has been created.

\$0.05 per gross square foot of residential and non-residential space.

#### 4 Applicant's Certification Statement

I, <u>Dugan Madrick</u>, as Applicant and duly representative of the owner, hereby certify that the information included upon the attached submittal items are true and accurate; and that the development of the site will occur in accordance with the submittal items.





# BUILDING MATERIALS BOARD

PRE-MANUFACTURED METAL BUILDING -

ROOF: GALVANIZED STEEL ZINC COATING; KYNAR FINISH KOKO BROWN

SIDING: GALVANIZED STEEL ZINC COATING; KYNAR FINISH KOKO BROWN

FASCIA & SOFFIT: 26 GA HOT DIPPED GALVANIZED STEEL; KYNAR FINISH KOKO BROWN

OVERHEAD COILING DOOR: 16 GA GALVANIZED STEEL; FACTORY COATED CHARCOAL GRAY; RAL 7026

DOORS & DOOR TRIM: HOLLOW METAL; COLD-ROLLED CARBON STEEL; PAINTED SHERWIN WILLIAMS: PEPPERCORN

WINDOWS & WINDOW TRIM: DARK BRONZE ALUMINUM; PAINTED SHERWIN WILLIAMS: PEPPERCORN

WINDOW GLASS TYPE: 1/4" MONOLITHIC VITRO CLEAR

LOUVERS: ALUMINUM; PAINTED SHERWIN WILLIAMS: PEPPERCORN

## **COLOR SELECTION CHART**



## **BUILDING STANDARD COLOR SELECTIONS (WeatherX)**



- Oil Canning Is Not A Cause For Rejection.
- Alliance Recommends Intermediate Beads On All A-12 Panels.
- Alliance Does Not Recommend Lengths Greater Than 20'-0" On A-12 Panels.
- Alliance Recommends Striated Profile on Alliance-Lok 16 and NFS-16.

#### Warranty Information (See back panel for specific paint system data)

- All Panels have an AZ50 Galvalume substrate with a 25 year rust through perforation warranty.
- WeatherX colors have a 40 year adhesion and a 30 year chalk and fade warranty.
- Fluropon colors have a 35 year adhesion and a 30 year chalk and fade warranty.
- Acrylume(AZ55) has a 25 year rust through perforation warranty.
- · Warranties furnished upon request.





#### SpectraShield Powder Coat Finish

#### **Great Looking, Long-Lasting Finish**

Choose from a palette of more than 180 standard RAL colors to incorporate your rolling doors seamlessly into your design with a SpectraShield® factory applied polyester powder coat finish. Layered on top of the standard Cornell GalvaNex<sup>™</sup> finish, SpectraShield includes a zirconium pre-treatment followed by a baked-on polyester powder coating. Pencil hardness to be rated at H or better per ASTM D3363.

All coiling doors are subject to wear. Durability of the finish varies with the door's use,



Your Authorized Cornell Dealer:

#### **Corrosion-Resistant and Environmentally Friendly**

Our powder coat finishes offer total coverage and a smooth look and feel that is tough and lasting. This finish outperforms field-applied coatings in color retention, corrosion resistance, UV stability and durability. It also contains no solvents, so it emits no polluting VOCs.

#### **Available Products and Options**

Powder coating is available for standard service doors, fire-rated coiling doors, insulated doors and counter doors as an option. In addition to the curtain, we can provide a powder coat finish to guides, bottom bars, hoods and brackets.

#### **CycleShield™ Finish for High-Cycle Rolling Doors**

Providing added durability and wear-prevention, this finish is provided as standard in gray, tan and white for Cornell's 1024 High-Cycle Doors and the Extreme 300 Series Performance Door. This specialized powder coating system features a low coefficient of friction wear-resistance to include a base coat consistent with ASTM A653 and a zirconium pre-treatment followed by a rust inhibiting baked-on polyester powder coat. Consult the factory for other RAL color availability.



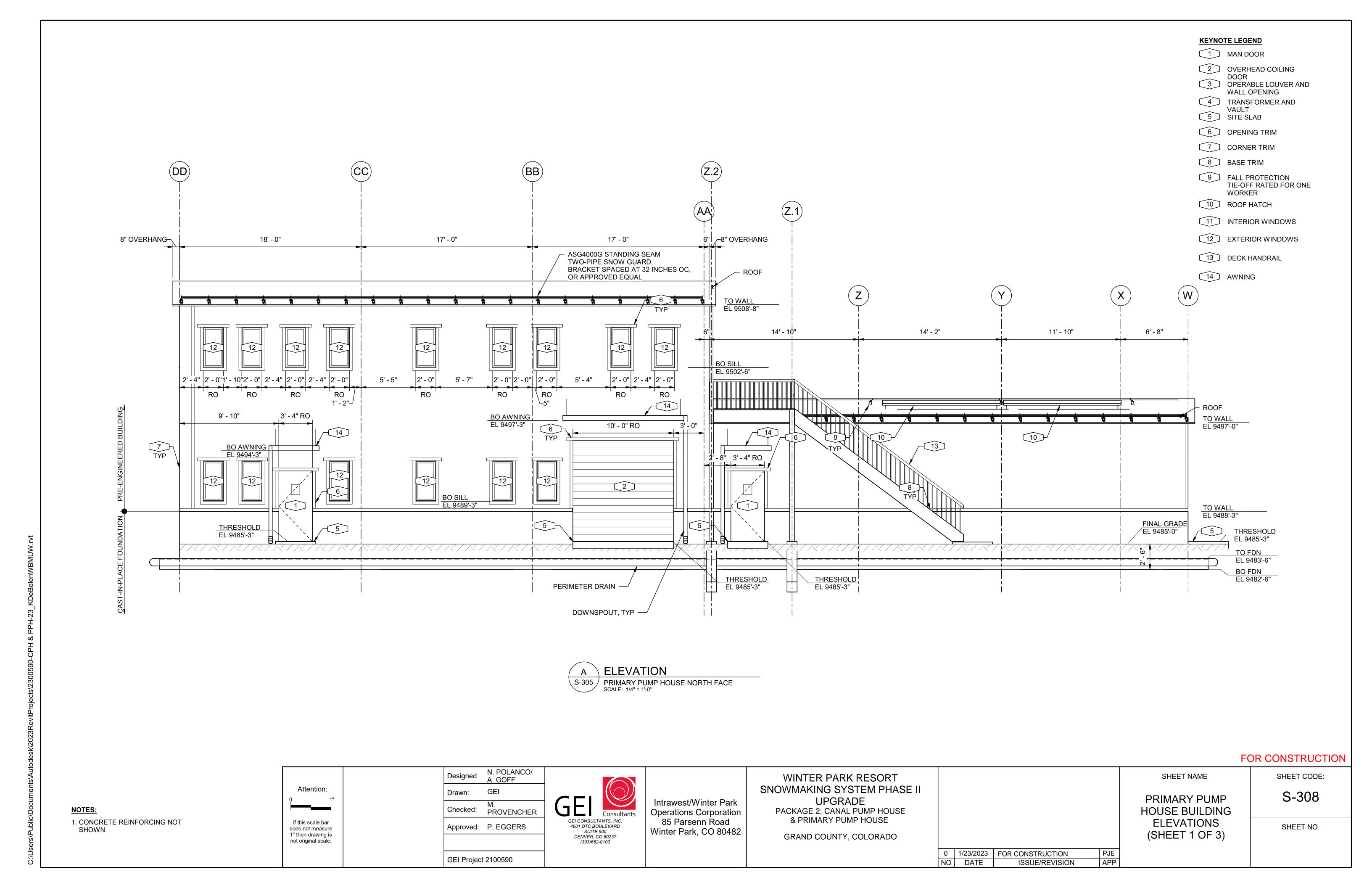
rhead C	oiling Door	S				_						
RAL 1000	RAL 1019	RAL 2008	RAL 3014	RAL 4008	RAL 5014	_	RAL 6006	RAL 6022	RAL 7006	RAL 7030	RAL 7045	RAI
RAL 1001	RAL 1020	RAL 2009	RAL 3015	RAL 4009	RAL 5015	-	RAL 6007	RAL 6024	RAL 7008	RAL 7031	RAL 7046	RAL
RAL 1002	RAL 1021	RAL 2010	RAL 3016	RAL 4010	RAL 5017	_	RAL 6008	RAL 6025	RAL 7009	RAL 7032	RAL 7047	RAL
RAL 1003	RAL 1023	RAL 2011	RAL 3017	RAL 5000	RAL 5018	_	RAL 6009	RAL 6026	RAL 7010	RAL 7033	RAL 8000	RAL
RAL 1004	RAL 1024	RAL 2012	RAL 3018	RAL 5001	RAL 5019		RAL 6010	RAL 6027	RAL 7011	RAL 7034	RAL 8001	RAL
RAL 1005	RAL 1027	RAL 3000	RAL 3020	RAL 5002	RAL 5020		RAL 6011	RAL 6028	RAL 7012	RAL 7035	RAL 8002	RAL
RAL 1006	RAL 1028	RAL 3001	RAL 3022	RAL 5003	RAL 5021		RAL 6012	RAL 6029	RAL 7013	RAL 7036	RAL 8003	RAL
RAL 1007	RAL 1032	RAL 3002	RAL 3027	RAL 5004	RAL 5022		RAL 6013	RAL 6032	RAL 7015	RAL 7037	RAL 8004	RAL
RAL 1011	RAL 1033	RAL 3003	RAL 3031	RAL 5005	RAL 5023	-	RAL 6014	RAL 6033	RAL 7016	RAL 7038	RAL 8007	RAL
RAL 1012	RAL 1034	RAL 3004	RAL 4001	RAL 5007	RAL 5024	•	RAL 6015	RAL 6034	RAL 7021	RAL 7039	RAL 8008	RAL
RAL 1013	RAL 1037	RAL 3005	RAL 4002	RAL 5008	RAL 6000		RAL 6016	RAL 7000	RAL 7022	RAL 7040	RAL 8011	RAL
RAL 1014	RAL 2000	RAL 3007	RAL 4003	RAL 5009	RAL 6001	-	RAL 6017	RAL 7001	RAL 7023	RAL 7042	RAL 8012	RAL
RAL 1015	RAL 2001	RAL 3009	RAL 4004	RAL 5010	RAL 6002	-	RAL 6018	RAL 7002	RAL 7024	RAL 7043	RAL 8014	RAL
						Г						
RAL 1016	RAL 2002	RAL 3011	RAL 4005	RAL 5011	RAL 6003		RAL 6019	RAL 7003	RAL 7026	RAL 7044	RAL 8015	RAL
RAL 1017	RAL 2003	RAL 3012	RAL 4006	RAL 5012	RAL 6004		RAL 6020	RAL 7004	COR	NELL	RAL 8016	RAL
										Innovative door solutions.		
RAL 1018	RAL 2004	RAL 3013	RAL 4007	RAL 5013	RAL 6005		RAL 6021	RAL 7005	I		RAL 8017	RAL

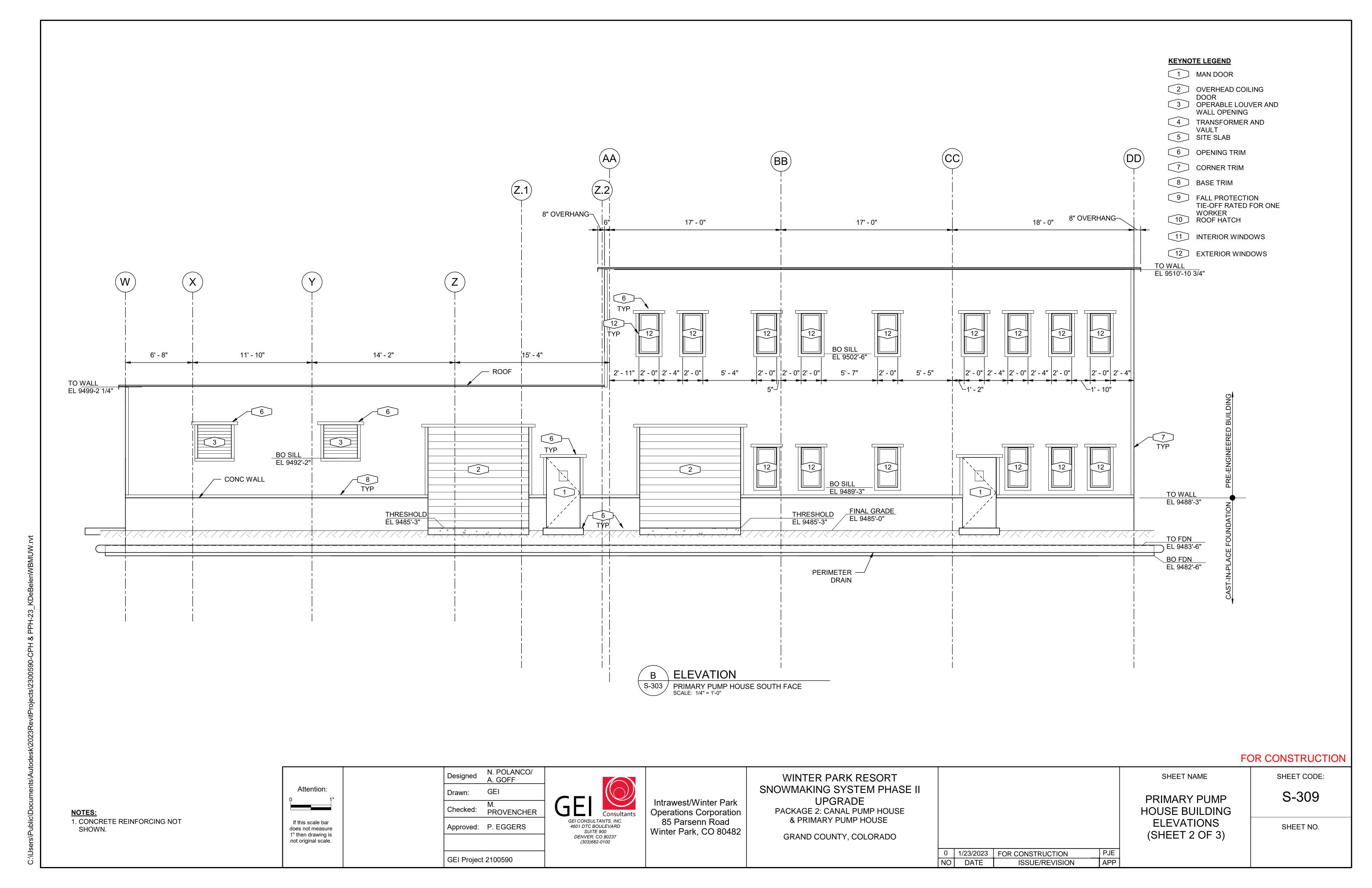
## Dark Neutrals

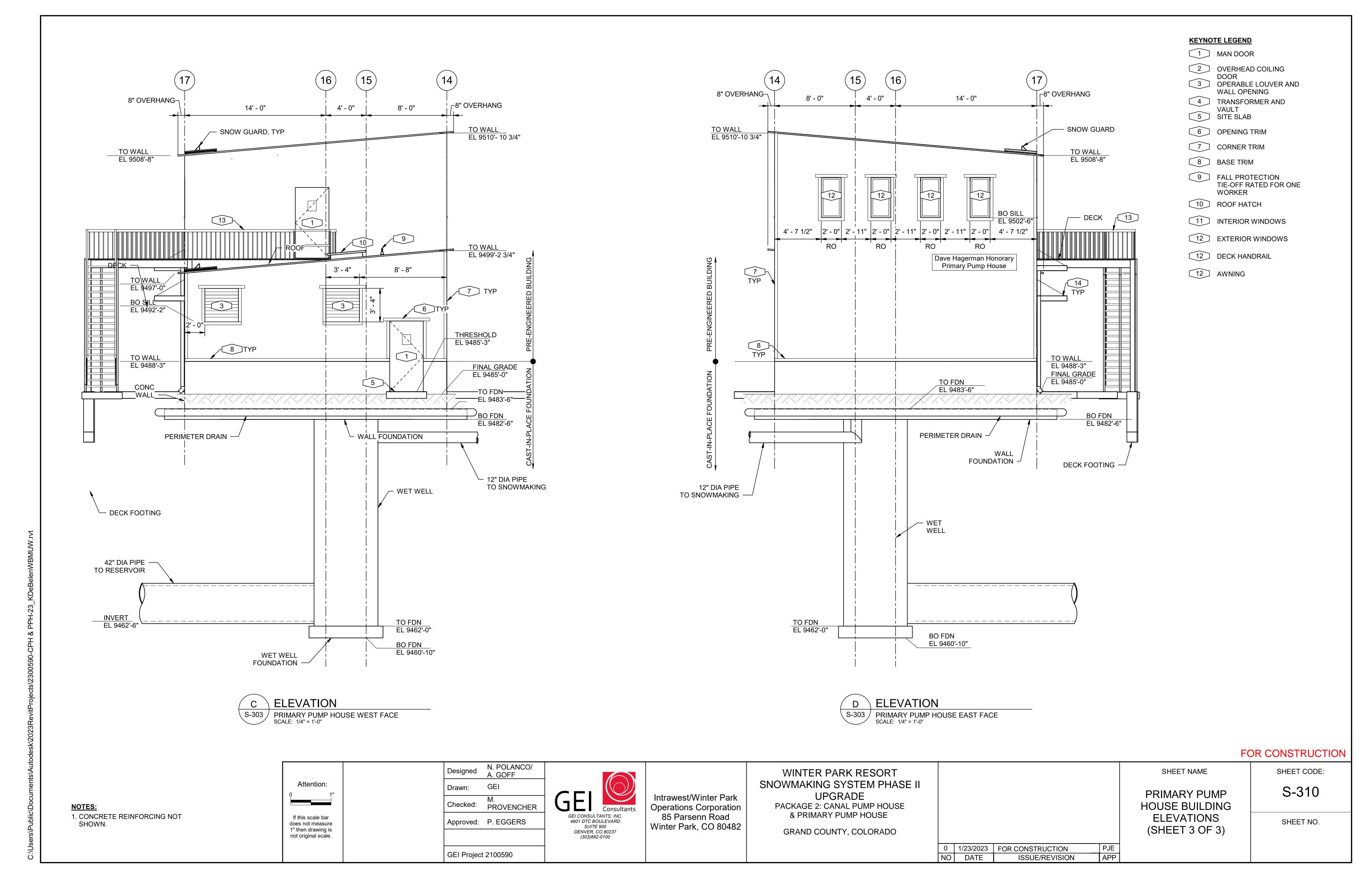
Dark Neutrals

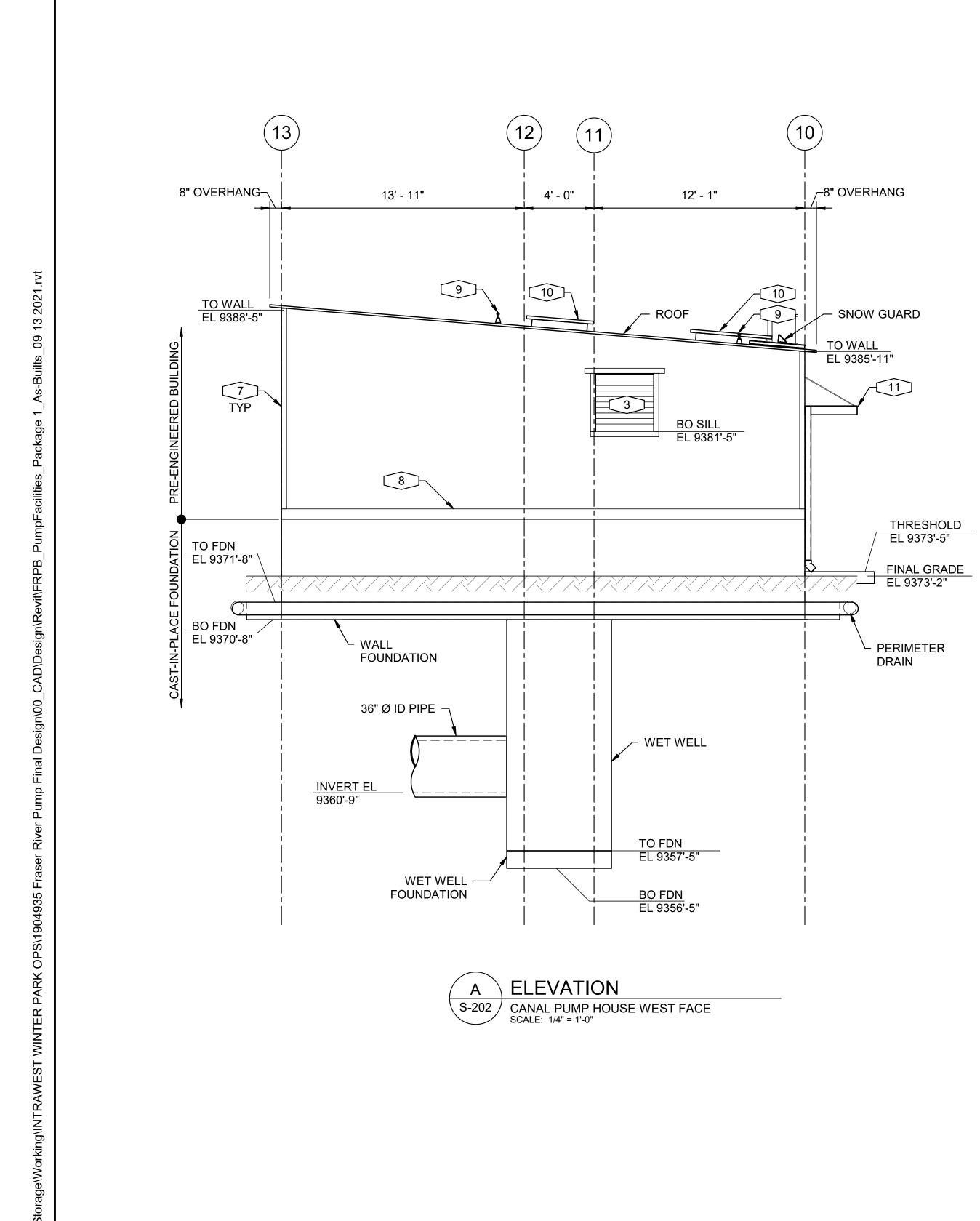
Sherwin Williams - SW7674 Peppercorn Window Trim & Door/ Door Trim

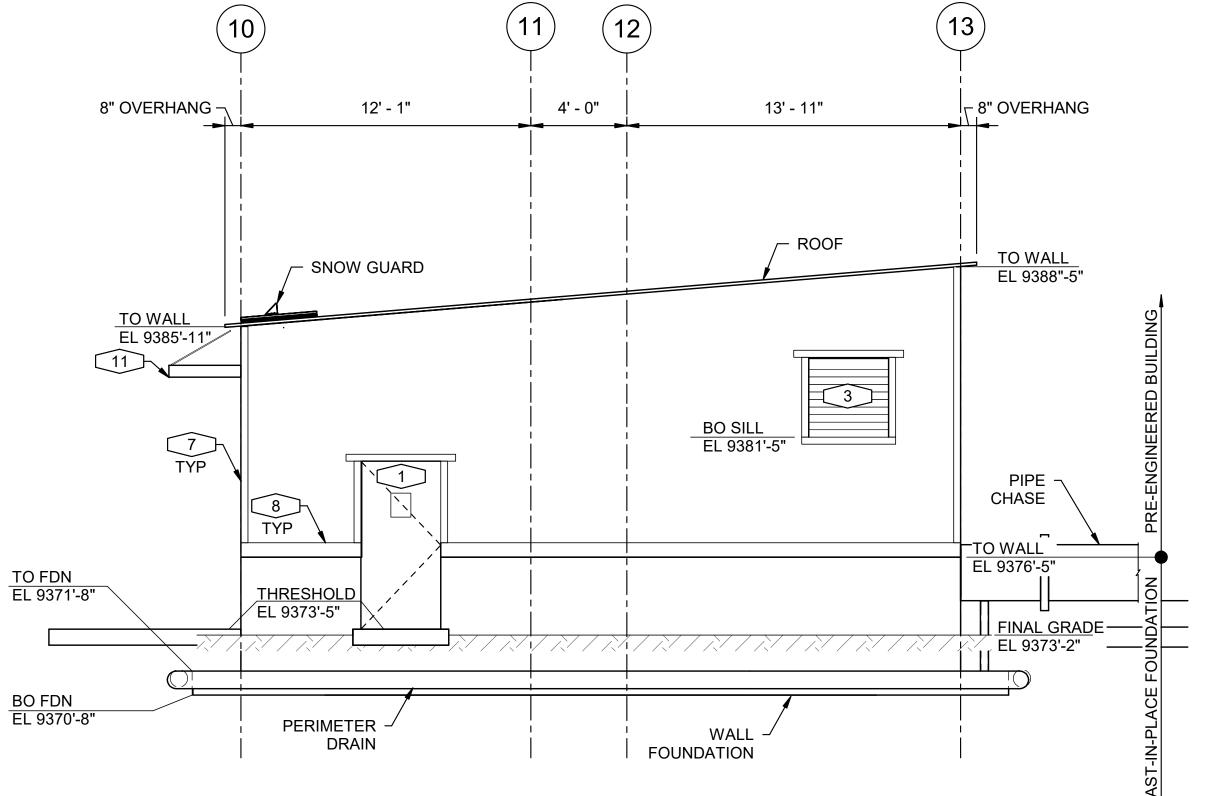
SW 7630 Raisin	SW 6258 Tricorn Black Expert Pick	SW 6990 Cardar Expert Pick	SW 6991 Black Magk	SW 6989 Domino	SW 9175 Deep Forest Brown	SW 6992 Inkwell
SW 6993 Black of Night	SW 6006 Black Bean	SW 9182 Rojo Marrón	SW 6279 Black Swan	SW 6988 Bohemian Black	SW 6994 Greenblack	SW 2735 Rockweed
SW 6076 Turkish Coffee	SW 9600 Armory Emerald Designer Edition	SW 9580 Cracked Pepper Emerald Designer Edition	SM 9605 Clove Emerald Designer Edition	SW 9183 Dark Clove	SW 7069 Iron Ore Mer. 2022 Color of the Marich	SW 7675 Sealskin Expert Pick
SW 7749 Laurel Woods	SW 7076 Cyberspace Oct. 2021 Color of the March	SW 9645 Big Dipper Emerald Designer Edition	SW 7041 Van Dyke Brown	SW 7027 Hickory Smoke	SW 9640 Sea Mariner Expert Pick	SW 7615 Sea Serpent
SW 7020 Black Fox	SW 9660 Tarragon Emerald Designer Edition	SW 7055 Enduring Bronze	SW 7510 Chateau Brown	SW 9520 Nocturne Emerald Designer Edition	SW 9515 Tungsten Emerald Designer Edition	SW 7034 Status Bronze
SW 9530 Momentum Emerald Designer Edition	SW 7048 Urbane Bronze 2021 Color of The Year	5W 9575 Metropolis Emerald Designer Edition	Stony Creek Emerald Designer Edition	5W 7545 Pier	SW 9604 Tea Leaf Emerald Designer Edition	SW 7520 Dark Brown
5W 9620 Prelude Emerald Designer Edition	5W 7674 Peppercorn	5W 9615 Prospect Emerald Designer Edition	SW 7054 Oak Leaf Brown	5W 9525 Hidden Trail Emerald Designer Edition	5W 9565 Forged Steel Expert Pick	SW 9535 Nettie Expert Pick











KEYNOTE LEGEND

NOTES:

SHOWN.

1. CONCRETE REINFORCING NOT

1 MAN DOOR

2) (5DU5AD 20U IV)

2 OVERHEAD COILING
DOOR
3 OPERABLE LOUVER AND

WALL OPENING

4 TRANSFORMER AND VAULT

5 SITE SLAB

6 OPENING TRIM

7 CORNER TRIM

8 BASE TRIM

9 FALL PROTECTION TIE-OFF RATED FOR ONE WORKER

10 ROOF HATCH

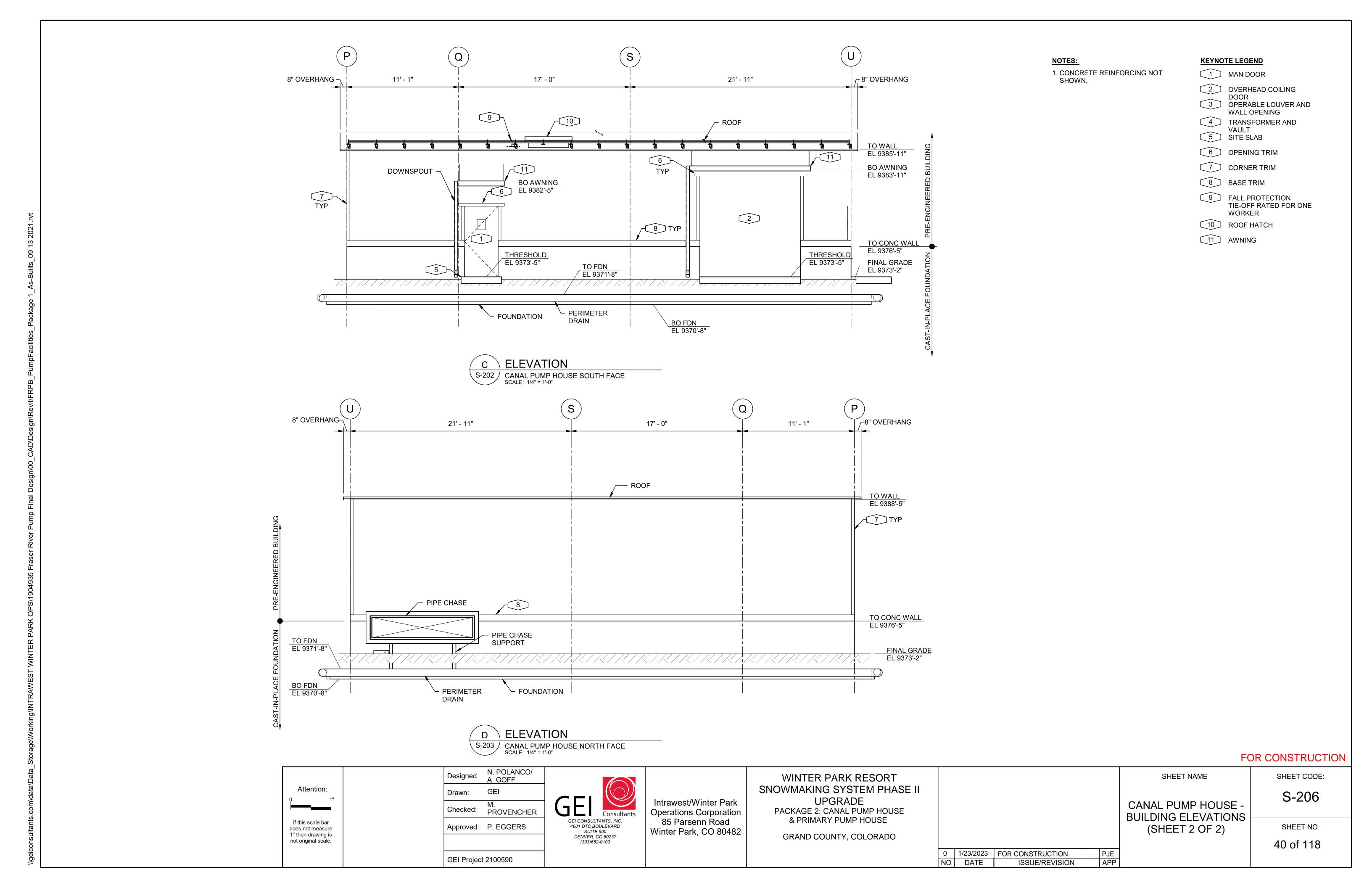
11 AWNING

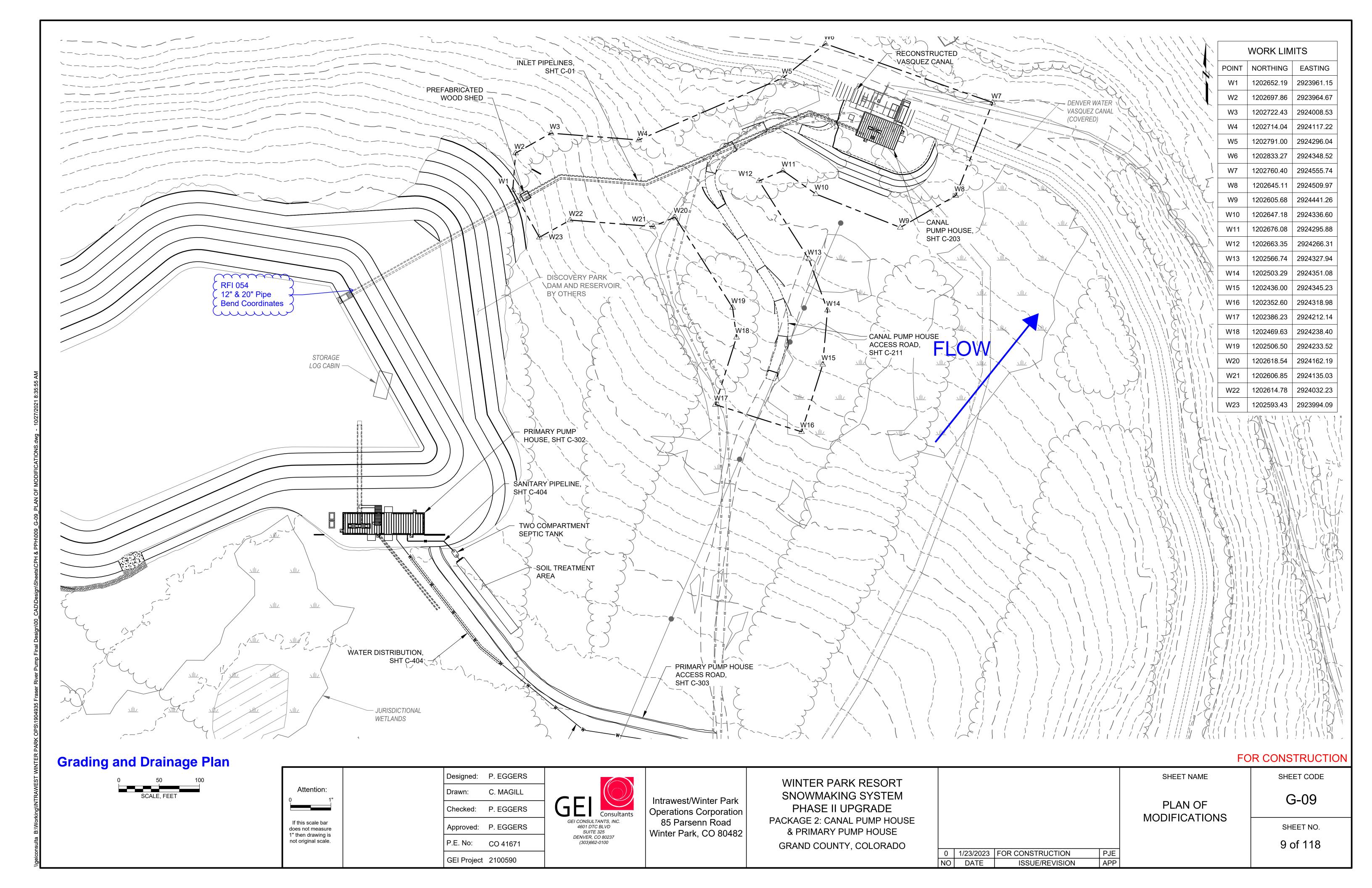
S-202 CANAL PUMP HOUSE EAST FACE SCALE: 1/4" = 1'-0"

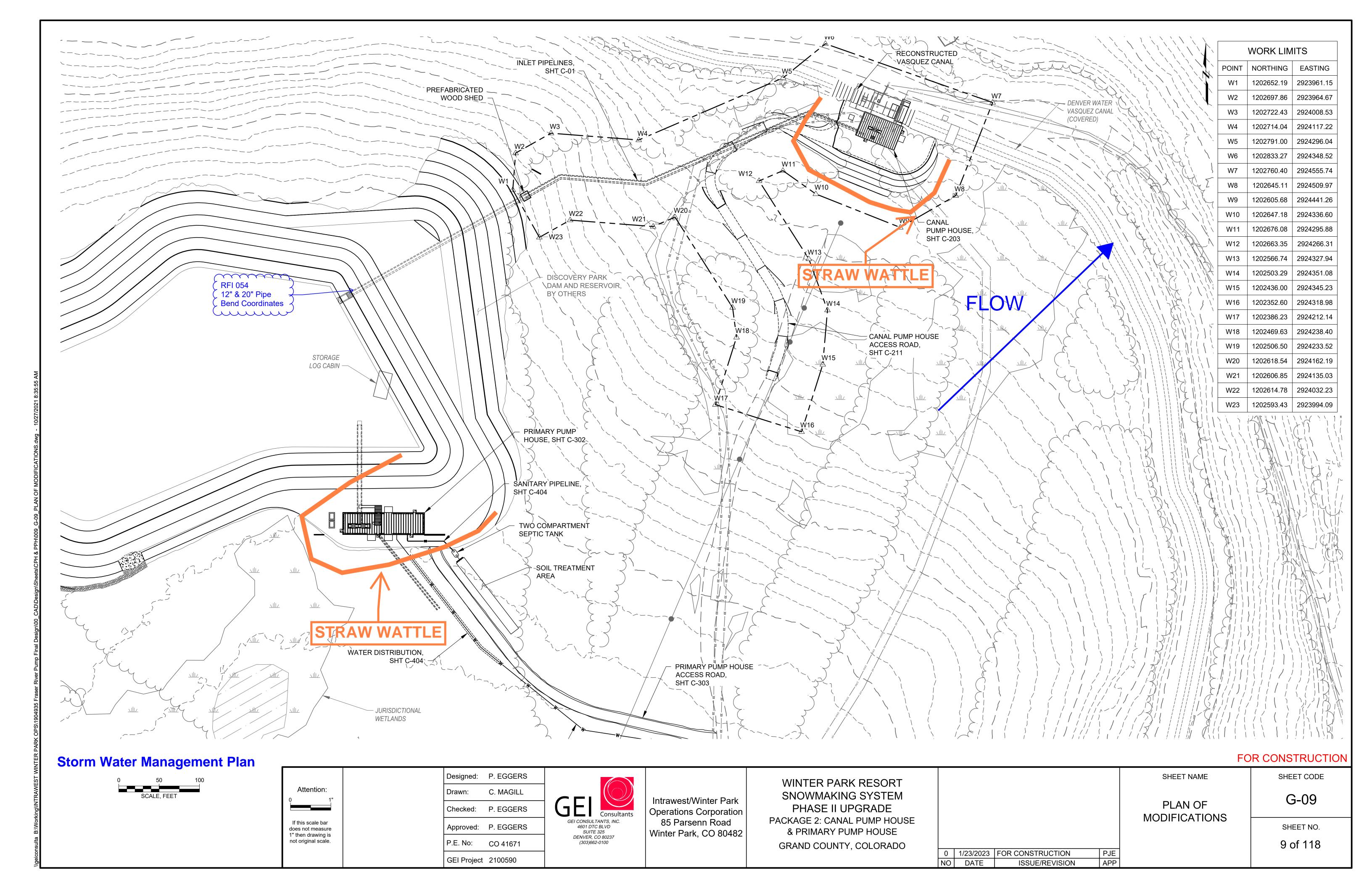
ELEVATION

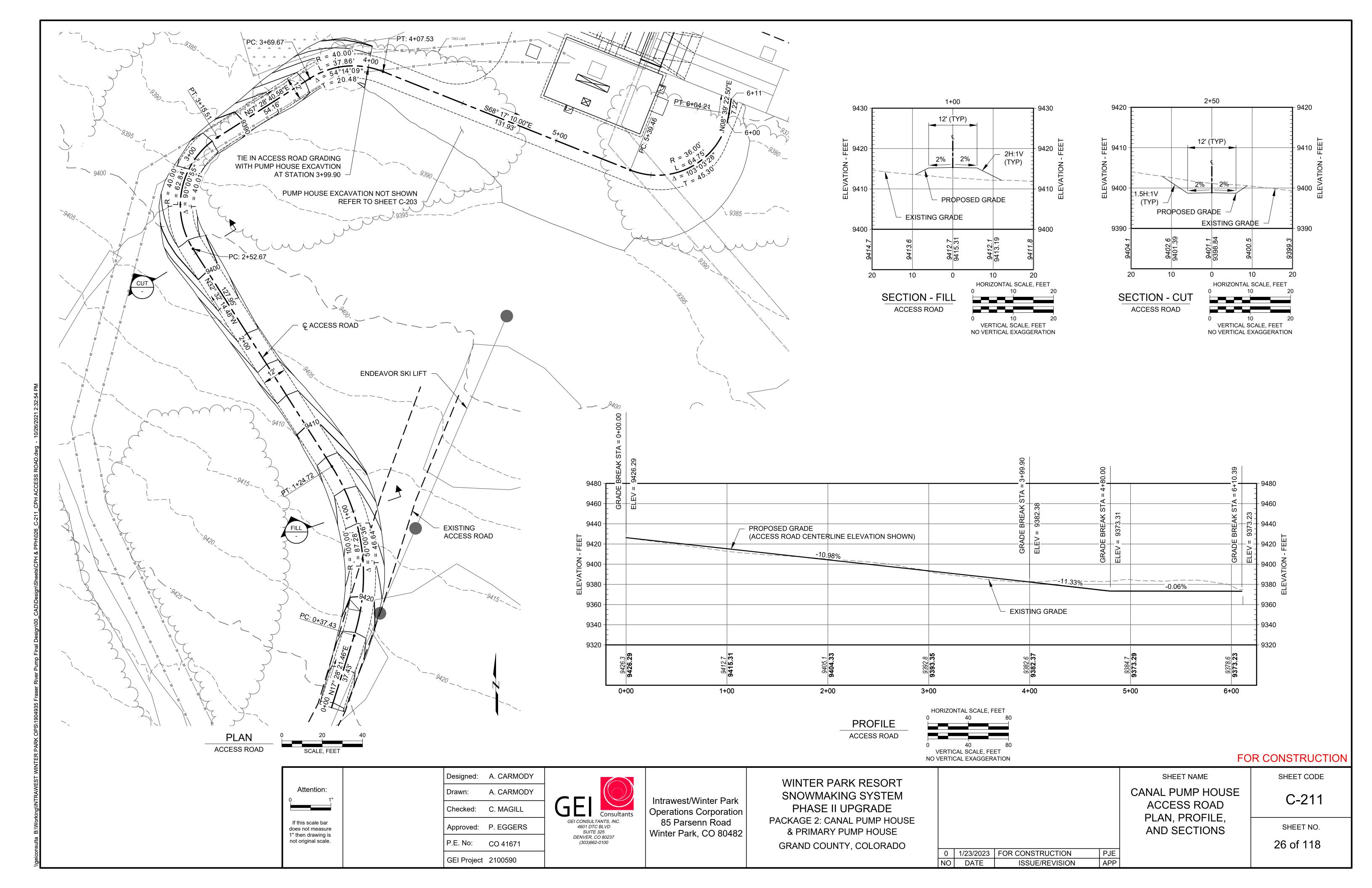
## FOR CONSTRUCTION

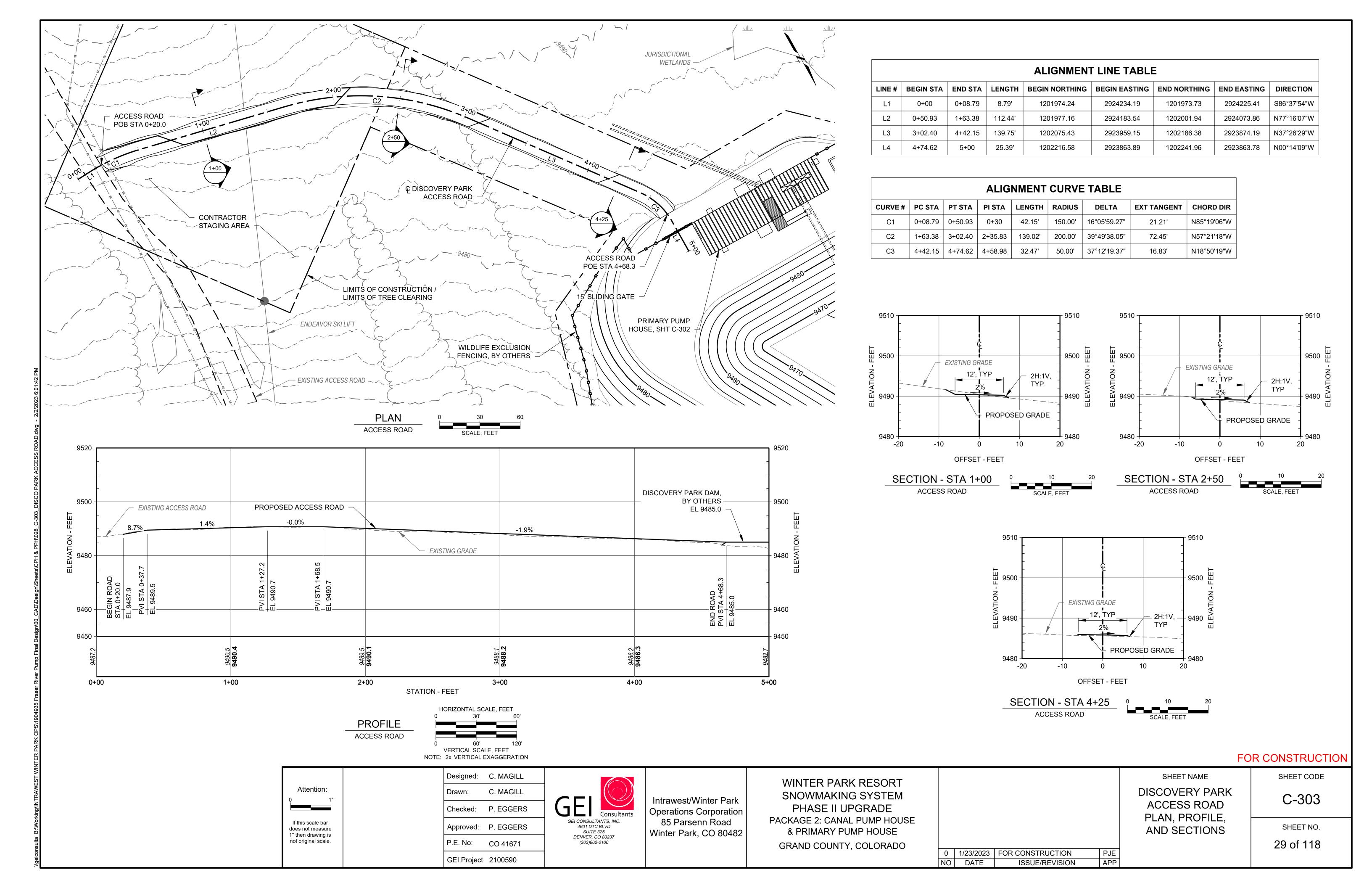
N. POLANCO/ A. GOFF Designed WINTER PARK RESORT SHEET NAME SHEET CODE: SNOWMAKING SYSTEM PHASE II Attention: GEI Drawn: S-205 **UPGRADE** Intrawest/Winter Park CANAL PUMP HOUSE -Checked: PACKAGE 2: CANAL PUMP HOUSE PROVENCHER **Operations Corporation BUILDING ELEVATIONS** 85 Parsenn Road & PRIMARY PUMP HOUSE GEI CONSULTANTS, INC. If this scale bar 4601 DTC BOULEVARD SUITE 900 DENVER, CO 80237 (303)662-0100 SHEET NO. Approved: P. EGGERS (SHEET 1 OF 2) does not measure Winter Park, CO 80482 1" then drawing is GRAND COUNTY, COLORADO not original scale. 39 of 118 FOR CONSTRUCTION 0 1/23/2023 GEI Project 2100590 APP ISSUE/REVISION DATE

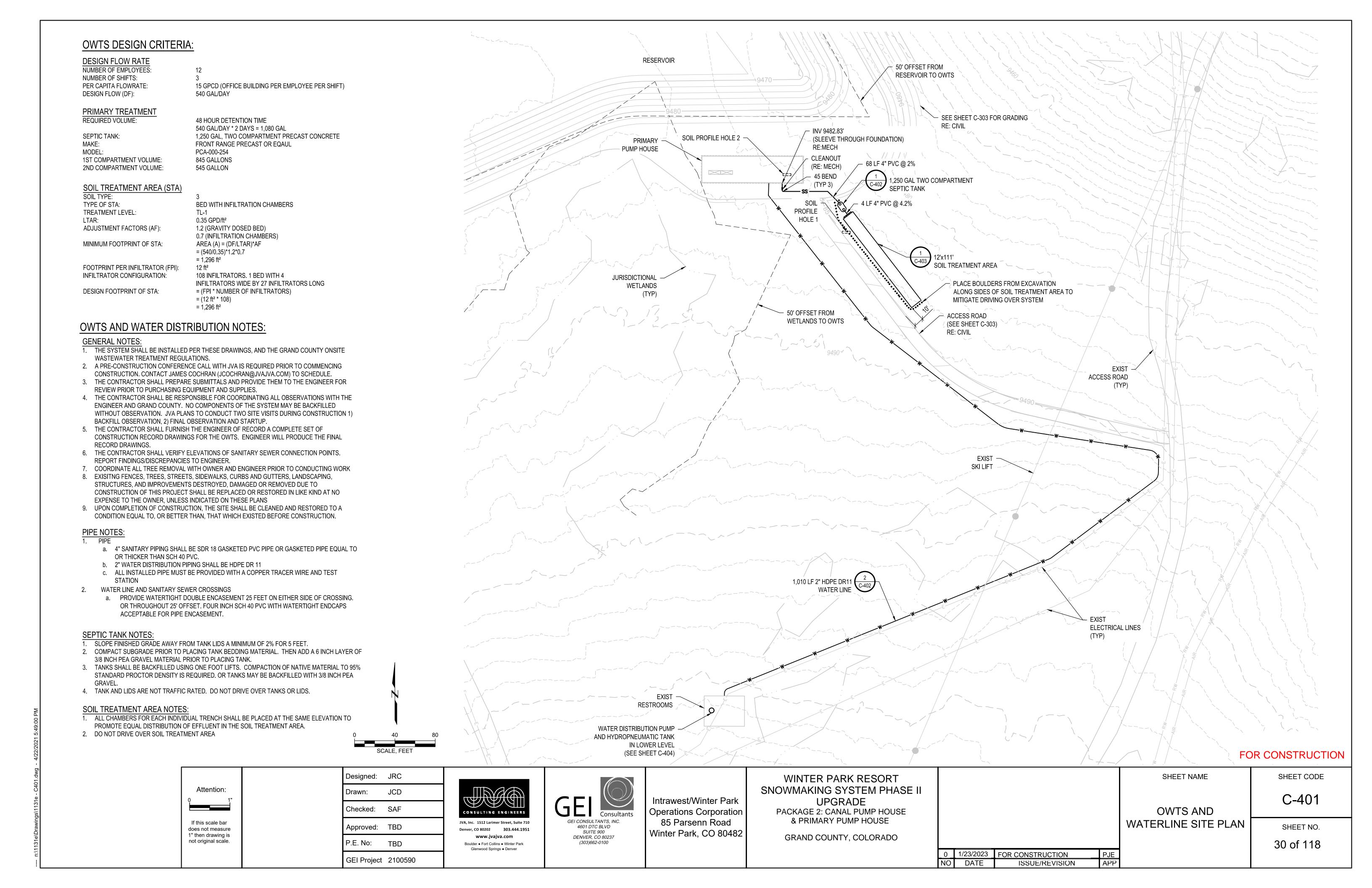


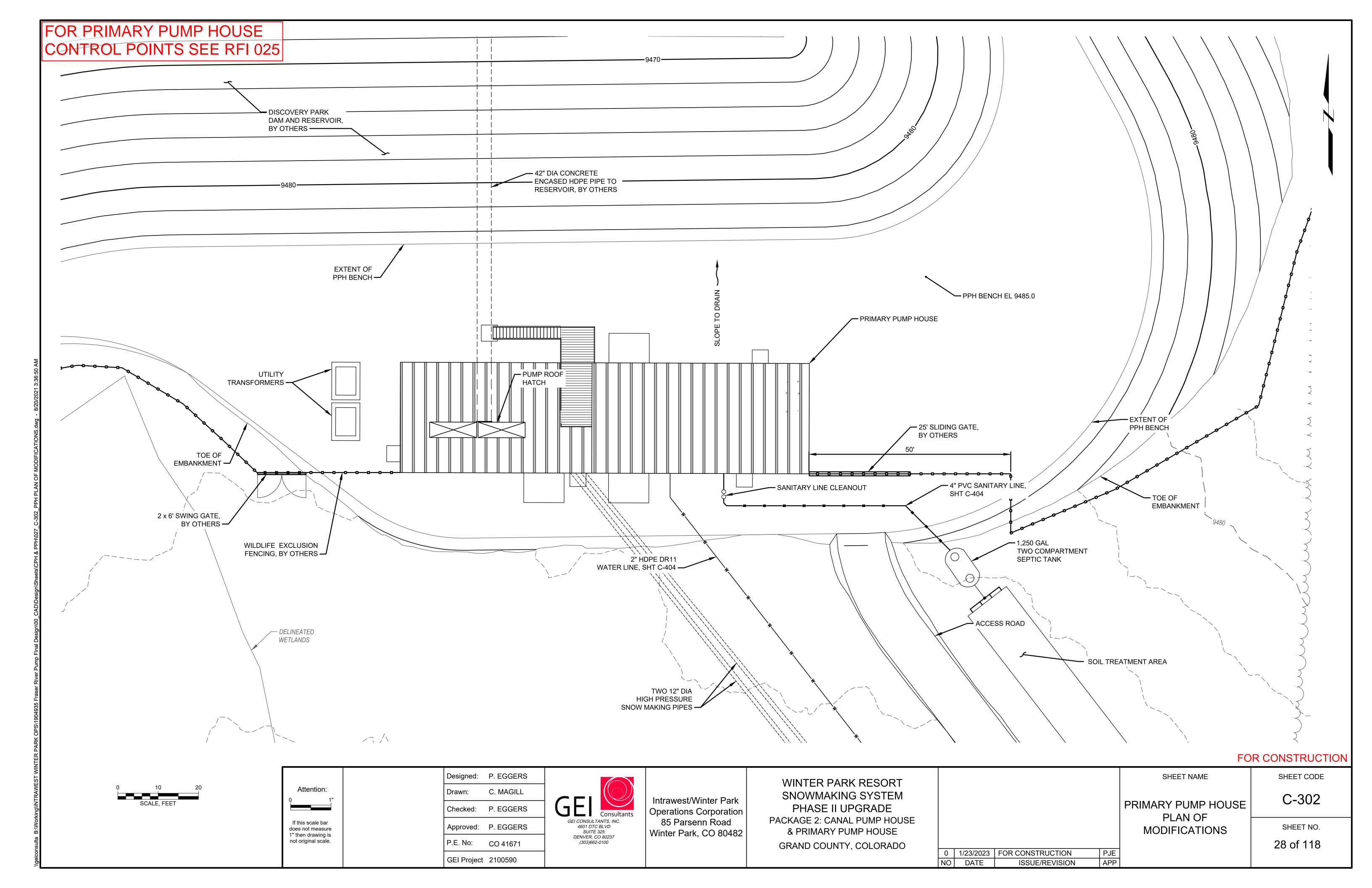










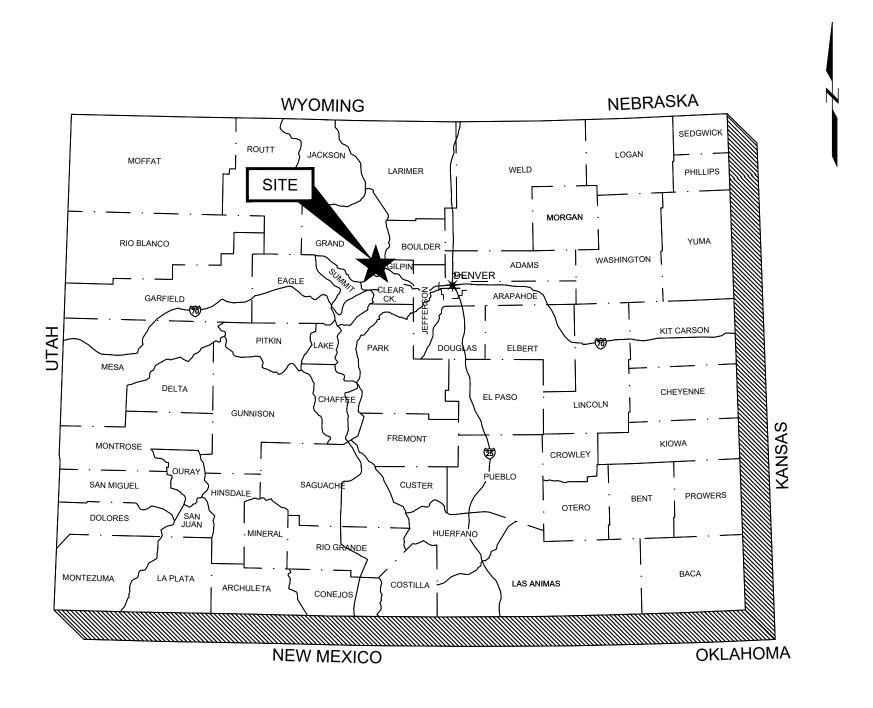


# WINTER PARK RESORT SNOW MAKING SYSTEM PHASE II UPGRADE

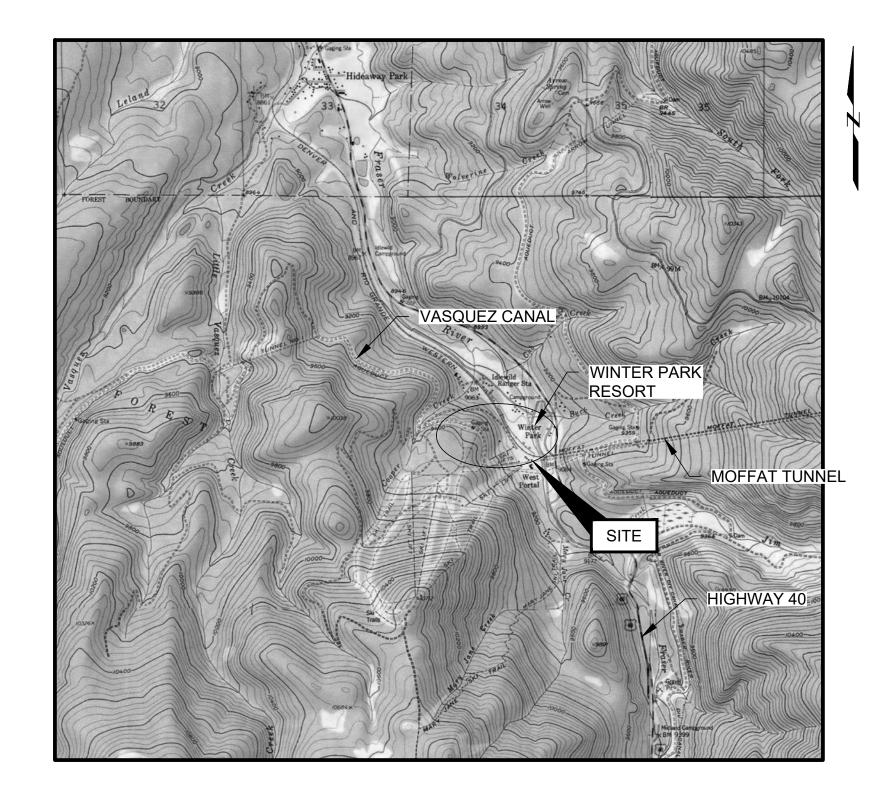
PACKAGE 2: CANAL PUMP HOUSE & PRIMARY PUMP HOUSE FOR CONSTRUCTION

No disturbance, grading or removal of significant natural features and vegetation will occur beyond the "limit of disturbance" line, as shown on this plan "The "limit of disturbance" line shall be delineated prior to construction with

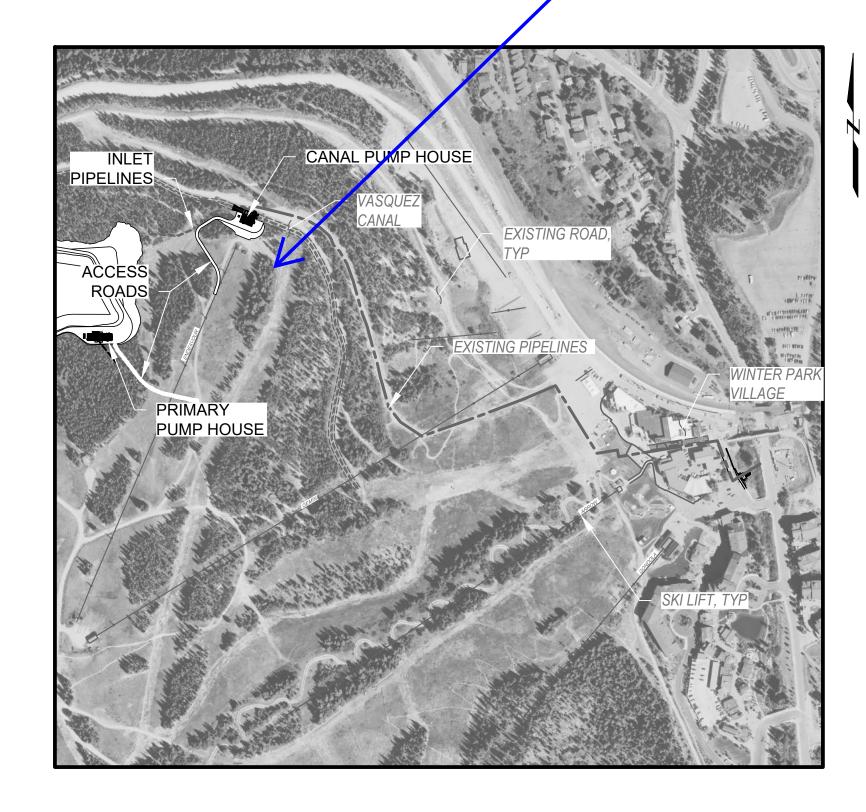
flags, roping, four foot (4') tall orange construction fencing, or other acceptable means."



STATE MAP
(NOT TO SCALE)



(NOT TO SCALE)



SITE LOCATION MAP
(NOT TO SCALE)

# PROJECT NARRATIVE:

THIS PROJECT ENTAILS THE CONSTRUCTION OF NEW SNOWMAKING PIPELINES AND THREE PUMP STATIONS TO PROVIDE WINTER PARK RESORT MORE ROBUST SNOWMAKING CAPABILITIES. THE FRASER RIVER PUMP BACK PROJECT - WATER CONVEYANCE FACILITIES, PACKAGE 2 - INCLUDES THE FOLLOWING PERMANENT ELEMENTS:

- CANAL PUMP HOUSE AND RECONSTRUCTED PORTION OF VASQUEZ CANAL
- PRIMARY PUMP HOUSE
- APPROXIMATELY 500 FEET OF 12-INCH-DIAMETER SNOWMAKING PIPELINE AND APPURTENANT STRUCTURES
- APPROXIMATELY 500 FEET OF 20-INCH-DIAMETER SNOWMAKING PIPELINE AND APPURTENANT STRUCTURES
- ASSOCIATED ELECTRICAL AND FIBER OPTIC SYSTEM UPGRADES

PREPARED FOR:

INTRAWEST / WINTER PARK
OPERATIONS CORPORATION
85 PARSENN RD
WINTER PARK, CO 80482
(970)726-1500

PREPARED BY:

GEI CONSULTANTS, INC. 4601 DTC BOULEVARD SUITE 325 DENVER, CO (303)662-0100



FOR CONSTRUCTION

SHEET CODE

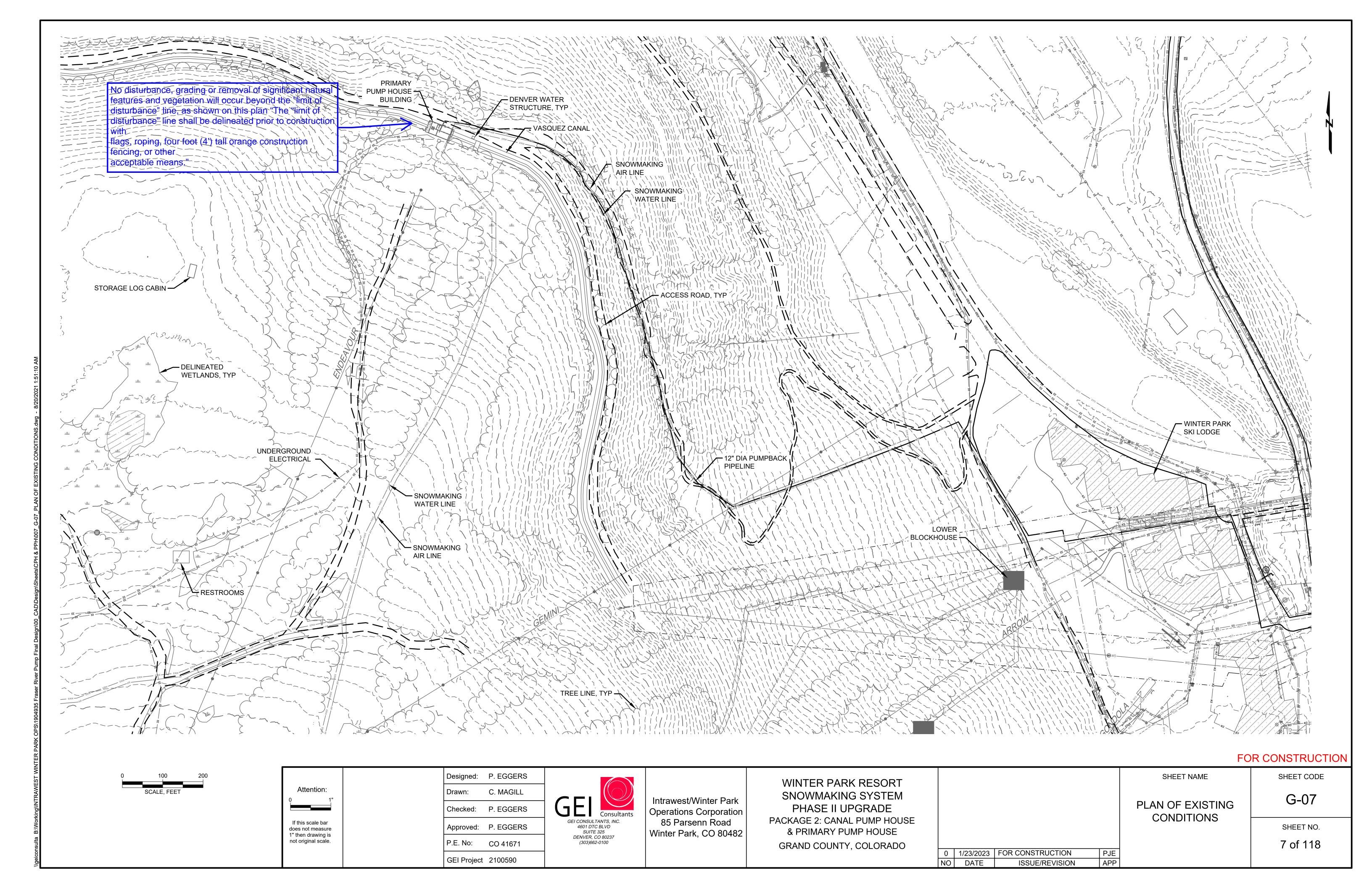
G-01

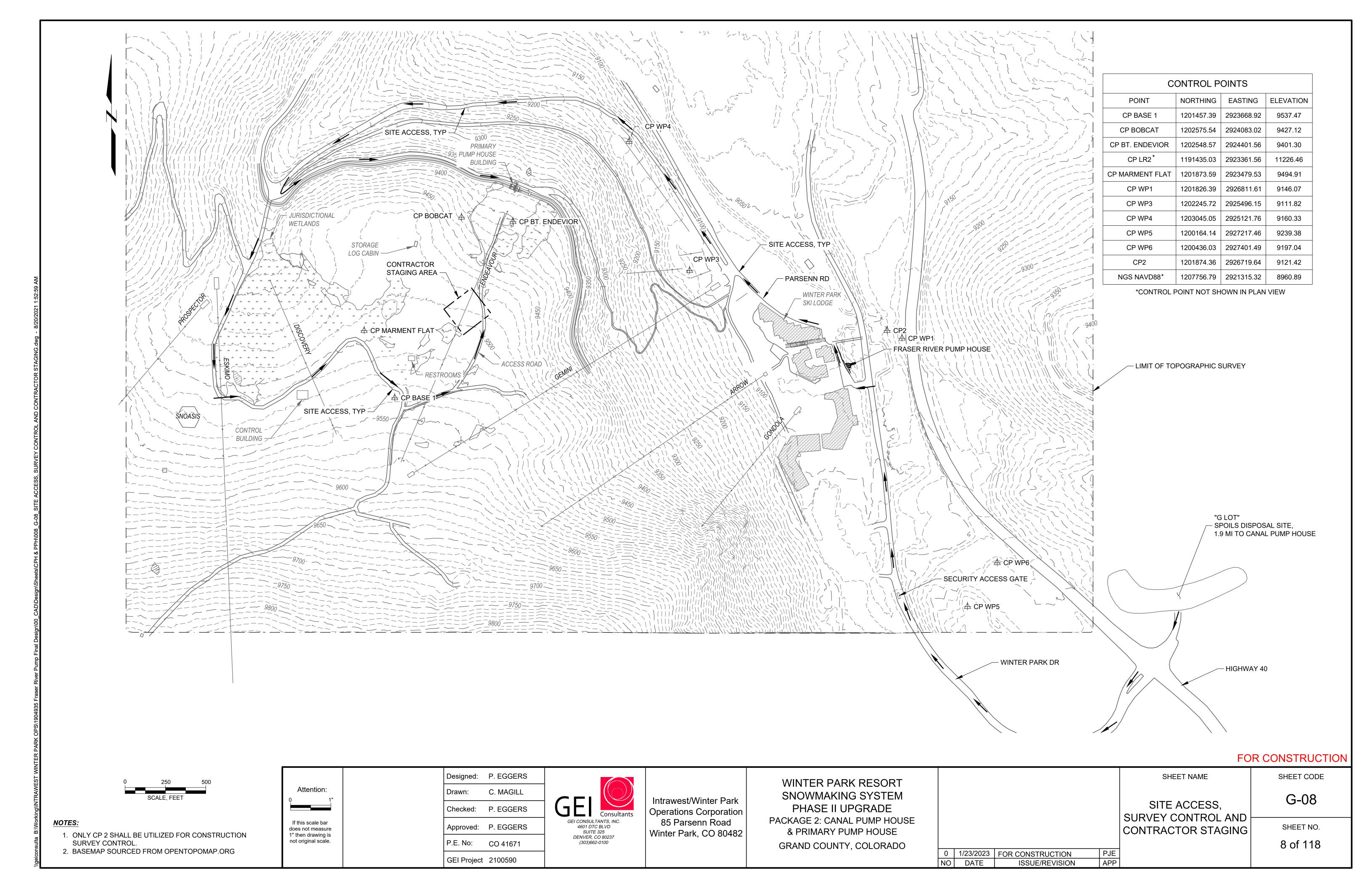
SHEET NO.

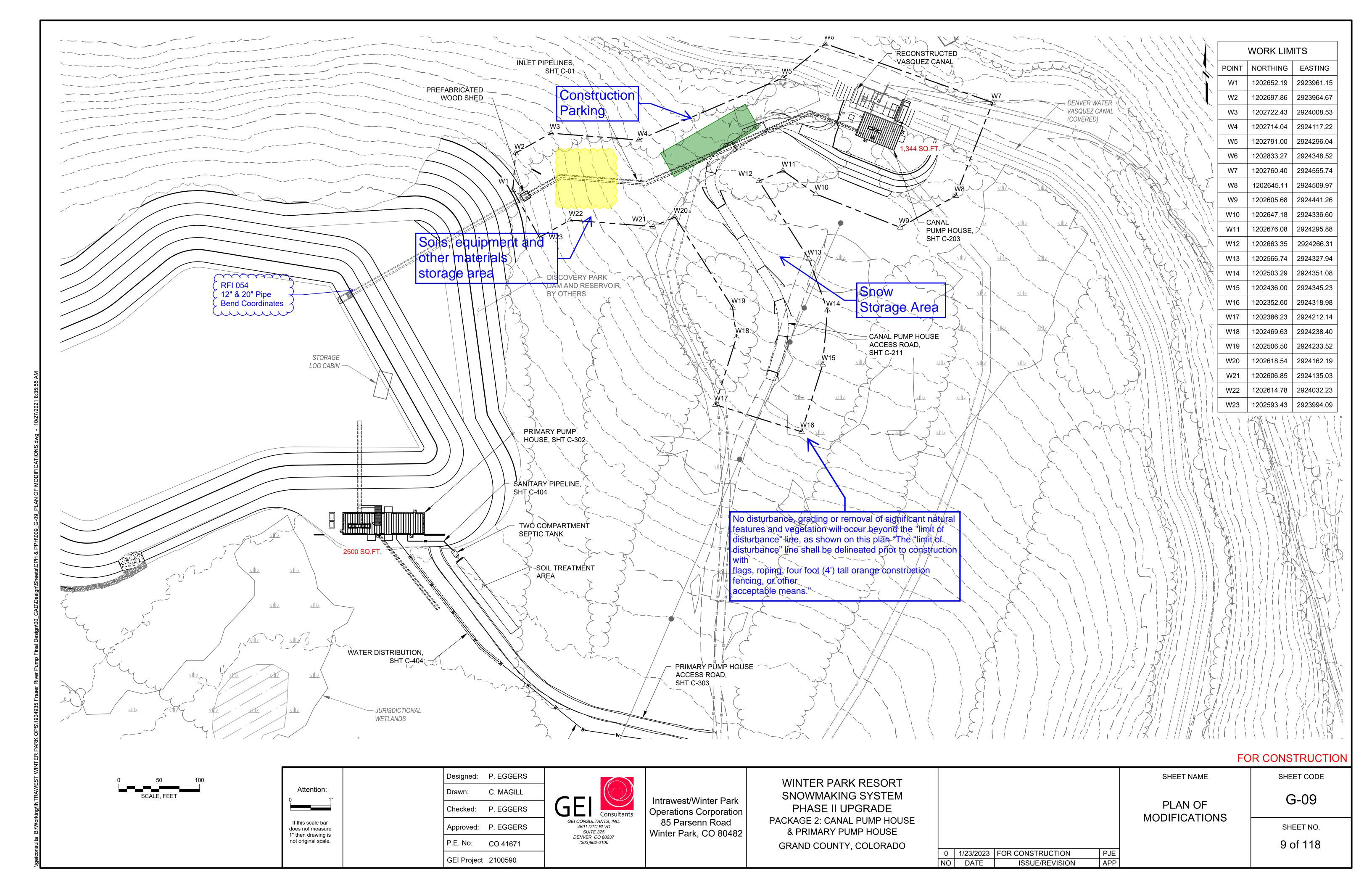
1 of 118

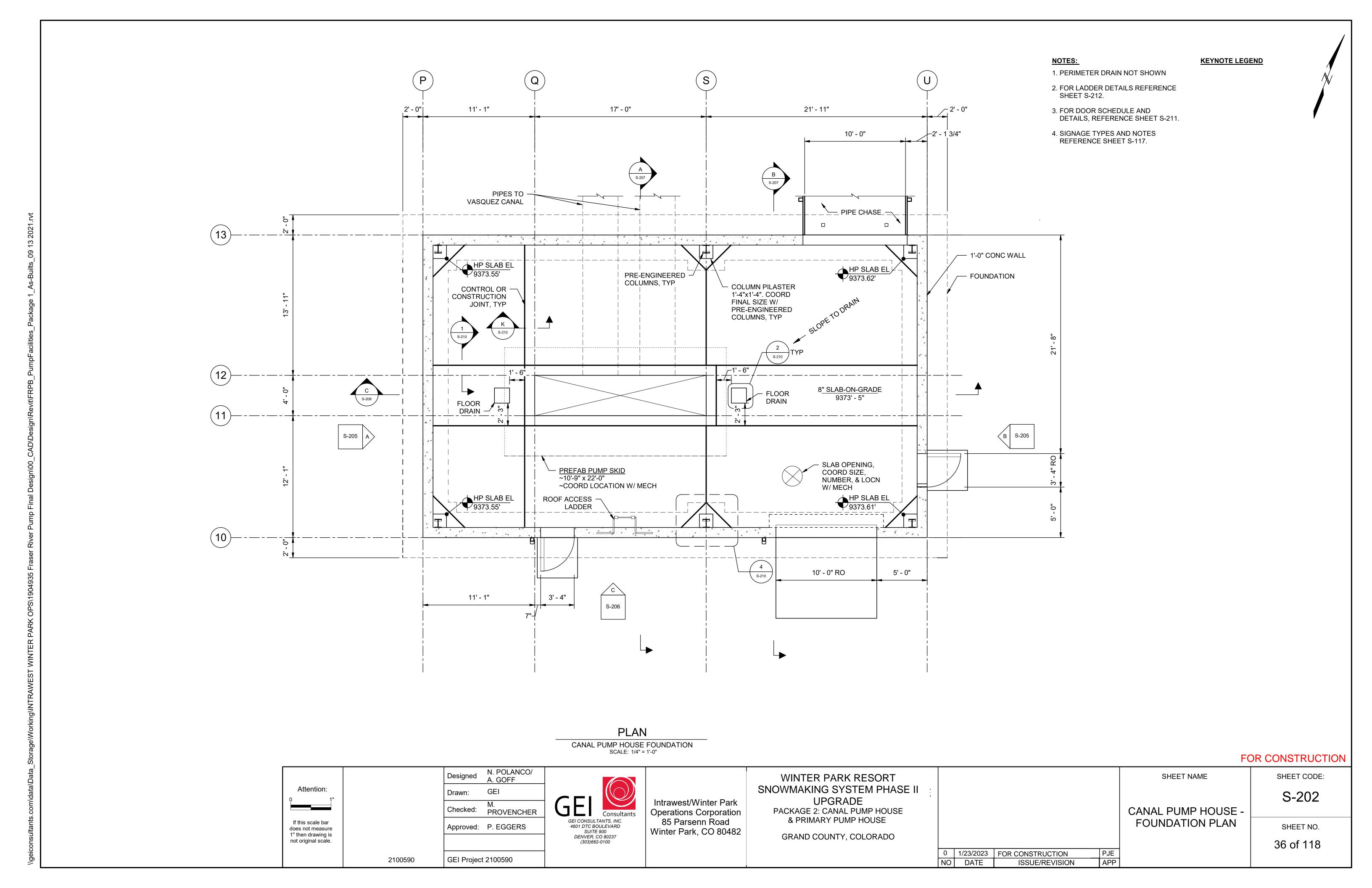
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, IS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF GEI CONSULTANTS AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF GEI CONSULTANTS.

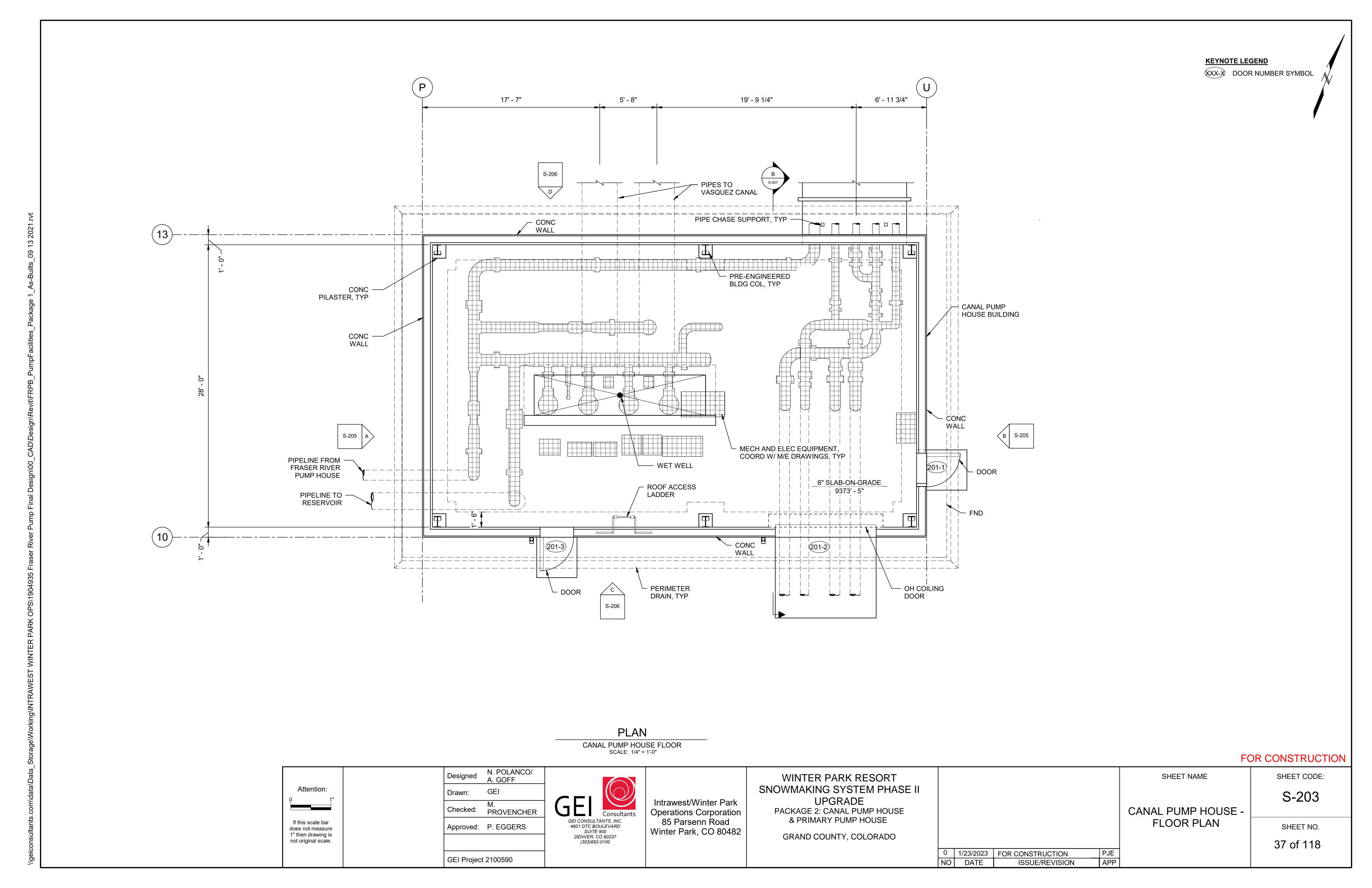
GEI PROJECT NO. 2100590 JANUARY 23, 2023





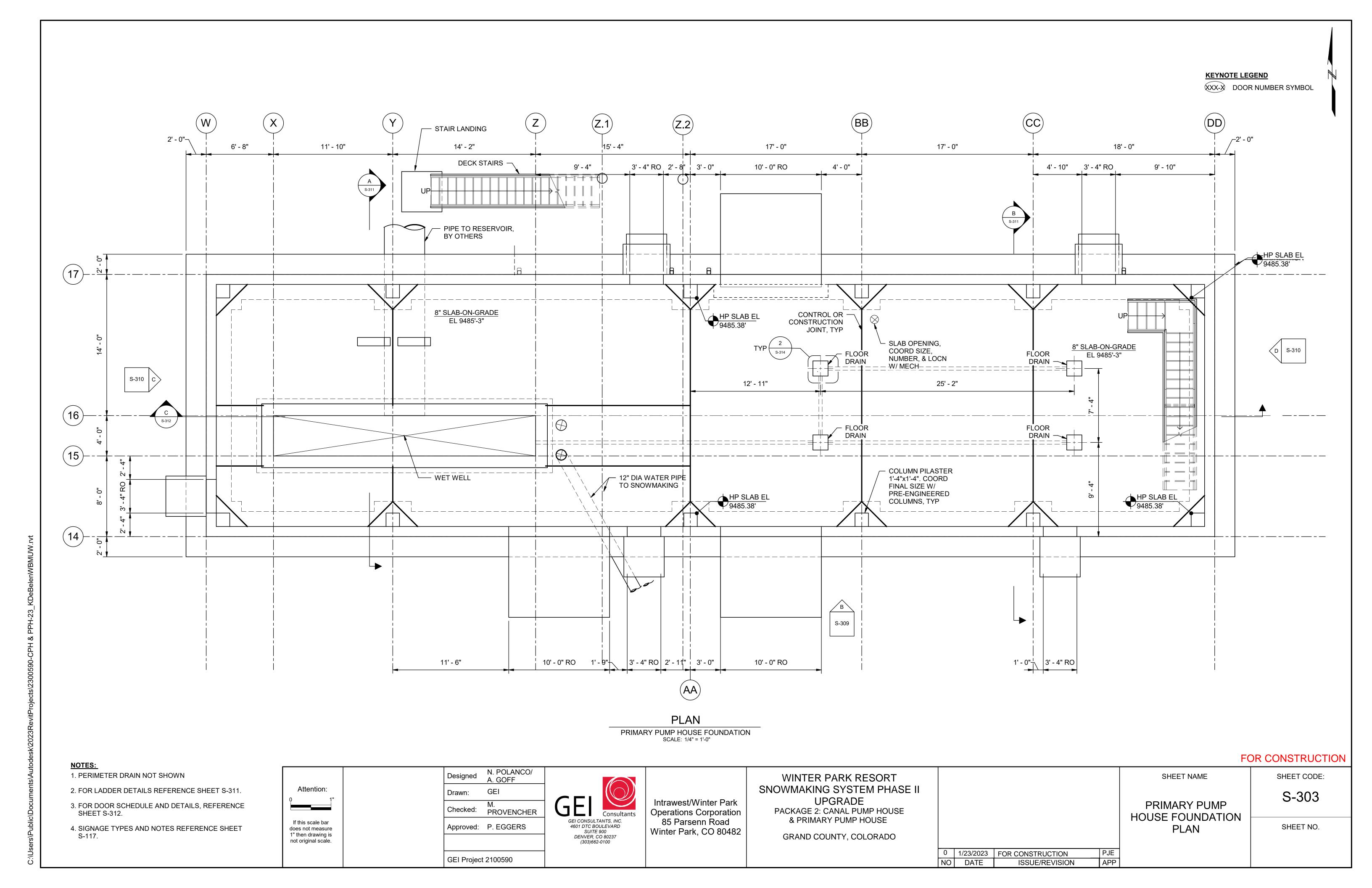


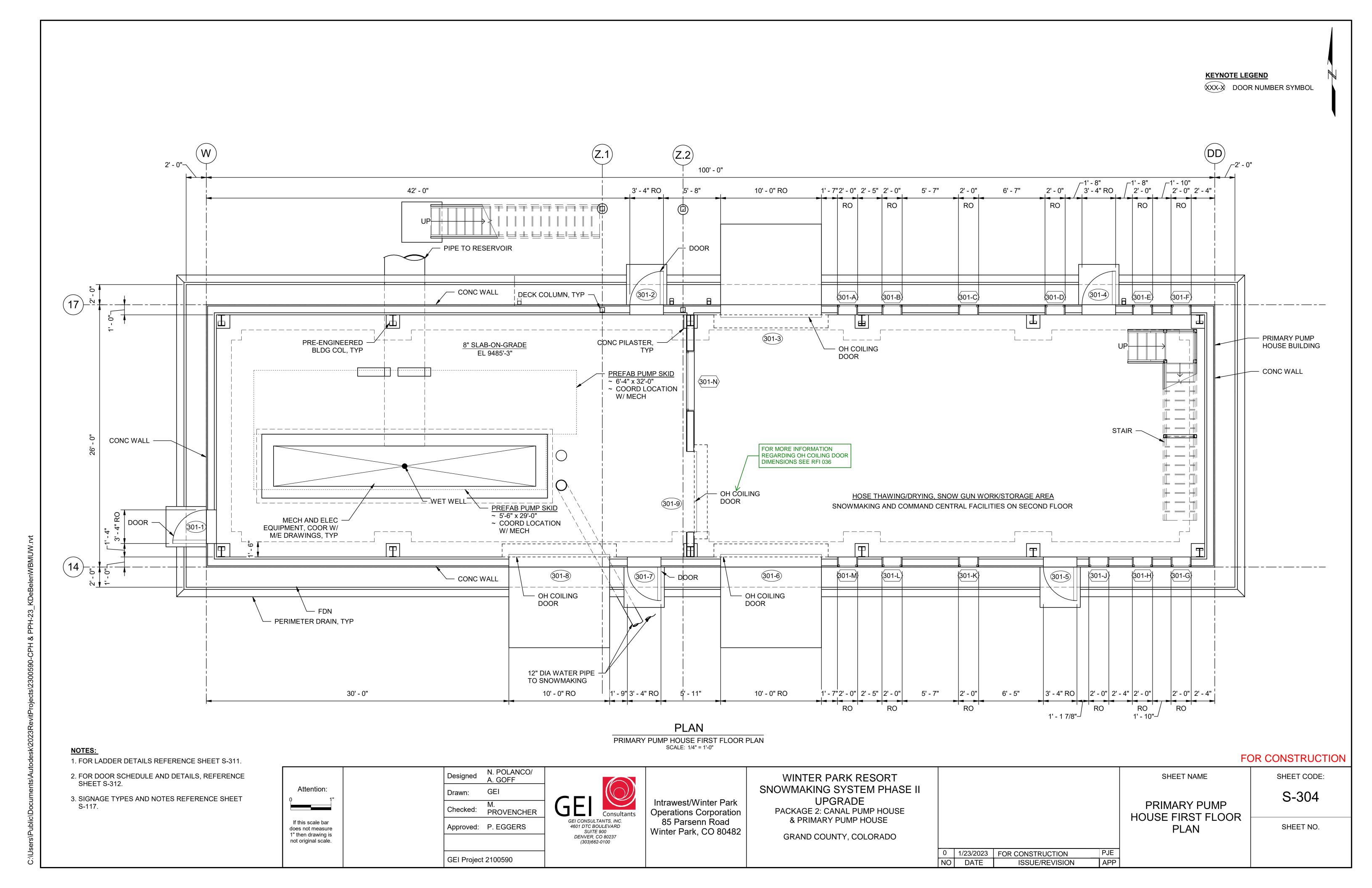




NOTES:

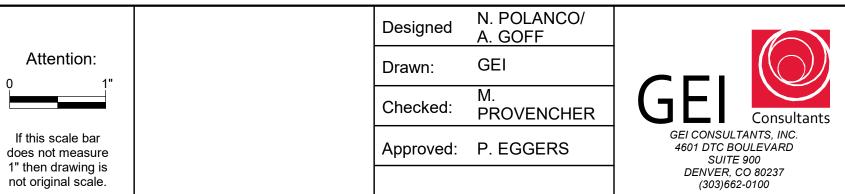
**KEYNOTE LEGEND** 





**KEYNOTE LEGEND** XXX-X DOOR NUMBER SYMBOL

- 1. FOR LADDER DETAILS REFERENCE SHEET S-311.
- 2. FOR DOOR SCHEDULE AND DETAILS, REFERENCE SHEET S-312.
- 3. SIGNAGE TYPES AND NOTES REFERENCE SHEET
- 4. BATHROOM STALL WALLS TO BE FULL HEIGHT INTERIOR WALLS.



GEI Project 2100590

Intrawest/Winter Park **Operations Corporation** 85 Parsenn Road Winter Park, CO 80482

WINTER PARK RESORT SNOWMAKING SYSTEM PHASE II **UPGRADE** 

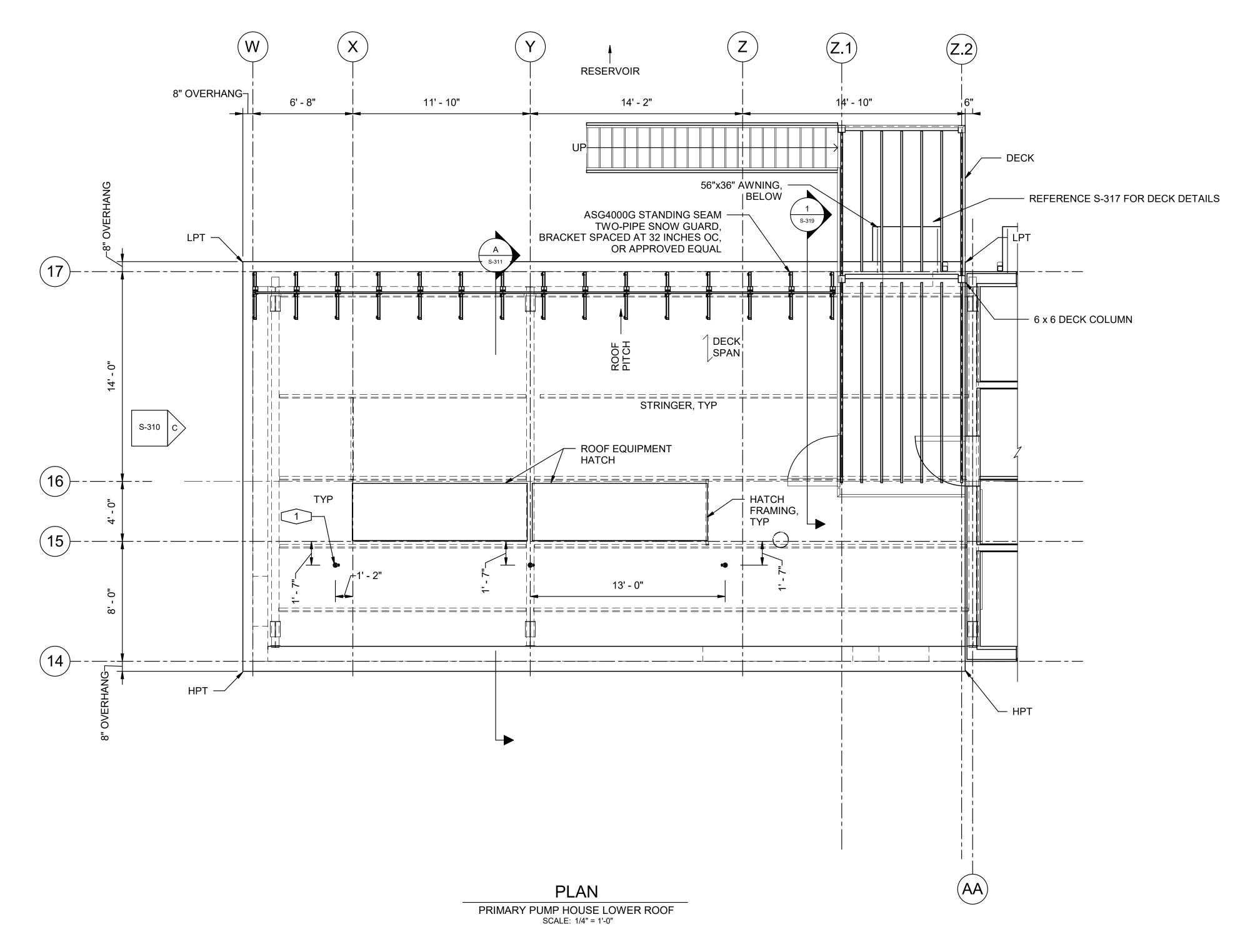
PACKAGE 2: CANAL PUMP HOUS & PRIMARY PUMP HOUSE

PACKAGE 2: CANAL PUMP HOUSE & PRIMARY PUMP HOUSE			
GRAND COUNTY, COLORADO			
	0	1/23/2023	FOR CONSTRUCTION
	NO	DATE	ISSUE/REVISION

PJE APP

FOR CONSTRUCTION

SHEET NAME SHEET CODE: S-305 PRIMARY PUMP HOUSE SECOND SHEET NO. FLOOR PLAN



- 1. CONTRACTOR SHALL COORDINATE DRAWINGS FOR ALL ROOF PENETRATIONS.
- 2. ALL CURB AND ROOF OPENING SIZES SHALL BE COORDINATED WITH ACTUAL EQUIPMENT FURNISHED.
- 3. HPT INDICATES HIGH POINT ROOF.
- 4. LPT INDICATES LOW POINT ROOF.
- 5. DEVELOP ROOF SYSTEM TO ACCOMODATE FUTURE SOLAR SYSTEMS.

N. POLANCO/ A. GOFF Designed Attention: GEI Drawn: Checked: PROVENCHER If this scale bar does not measure Approved: P. EGGERS 1" then drawing is not original scale.

GEI Project 2100590

4601 DTC BOULEVARD SUITE 900 DENVER, CO 80237 (303)662-0100

Intrawest/Winter Park **Operations Corporation** 85 Parsenn Road Winter Park, CO 80482

WINTER PARK RESORT SNOWMAKING SYSTEM PHASE II UPGRADE

PACKAGE 2: CANAL PUMP HOUSE & PRIMARY PUMP HOUSE

GRAND COUNTY, COLORADO

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ISSUE/REVISION

FOR CONSTRUCTION

S-306 PRIMARY PUMP HOUSE LOWER ROOF SHEET NO. PLAN

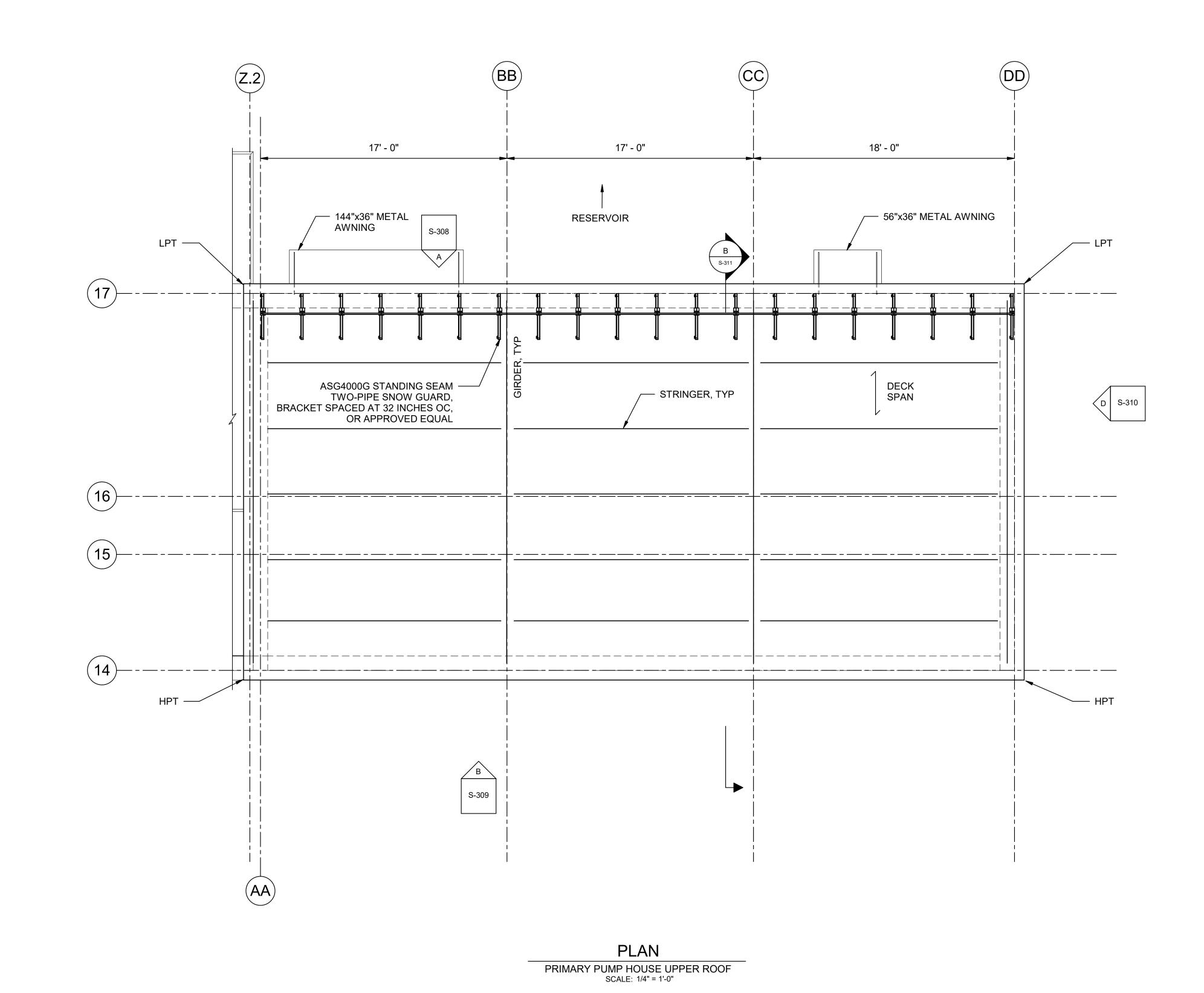
SHEET NAME

PJE

APP

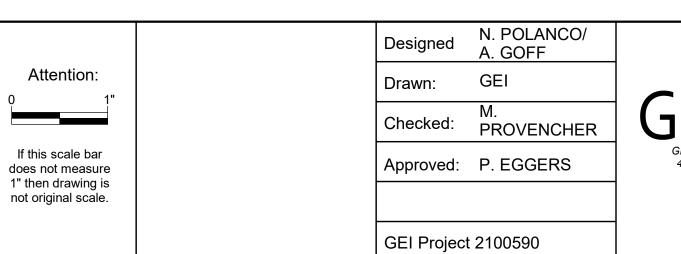
SHEET CODE:





### NOTES:

- CONTRACTOR SHALL COORDINATE DRAWINGS FOR ALL ROOF PENETRATIONS.
- 2. ALL CURB AND ROOF OPENING SIZES SHALL BE COORDINATED WITH ACTUAL EQUIPMENT FURNISHED.
- 3. HPT INDICATES HIGH POINT ROOF.
- 4. LPT INDICATES LOW POINT ROOF.
- 5. DEVELOP ROOF SYSTEM TO ACCOMODATE FUTURE SOLAR SYSTEMS.



# Consultants GEI CONSULTANTS, INC. 4601 DTC BOULEVARD SUITE 900 DENVER, CO 80237 (303)662-0100

Intrawest/Winter Park
Operations Corporation
85 Parsenn Road
Winter Park, CO 80482

# WINTER PARK RESORT SNOWMAKING SYSTEM PHASE II UPGRADE PACKAGE 2: CANAL PUMP HOUSE

PACKAGE 2: CANAL PUMP HOUSE & PRIMARY PUMP HOUSE

GRAND COUNTY, COLORADO

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NO	DATE	ISSUE/REVISION	AF

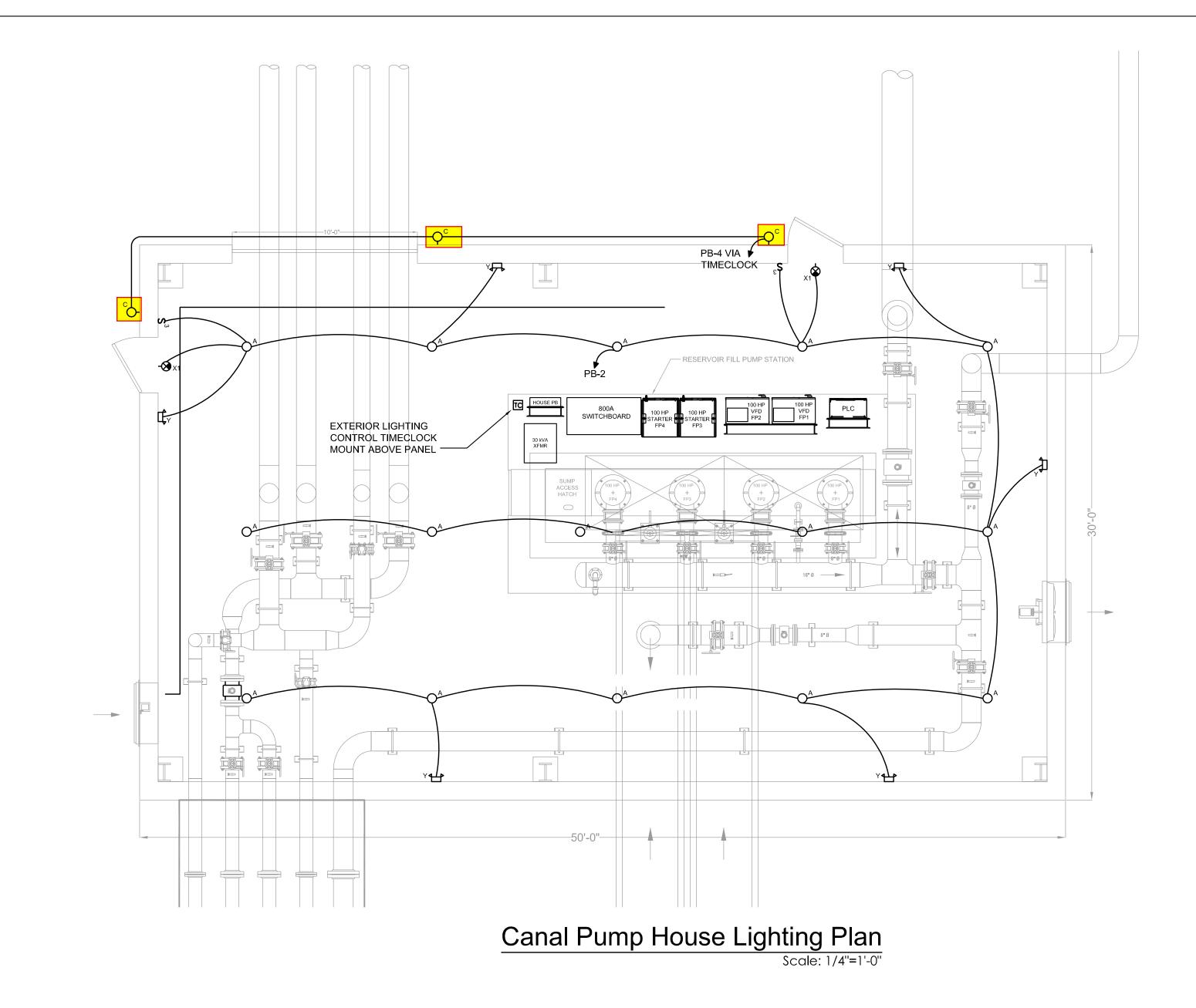
SHEET NAME SHEET CODE:

S-307

PRIMARY PUMP HOUSE UPPER ROOF PLAN

SHEET NO.

FOR CONSTRUCTION



# FOR CONSTRUCTION

SHEET CODE

E-201

Attention: If this scale bar does not measure 1" then drawing is not original scale.

Designed: AEI AEI Drawn: Checked: DJA Approved: DJA P.E. No: CO 30498

GEI Project 2100590

<u>ackerman</u> engineering, inc. 3000 Youngfield St, Suite 264 Wheat Ridge, Colorado 80215 Ph 303-278-7297 Fx 303-278-9009 www.aeiconsulting.com



Intrawest/Winter Park Operations Corporation 85 Parsenn Road Winter Park, CO 80482

WINTER PARK RESORT SNOWMAKING SYSTEM PHASE II UPGRADE
PACKAGE 2: CANAL PUMP HOUSE

& PRIMARY PUMP HOUSE

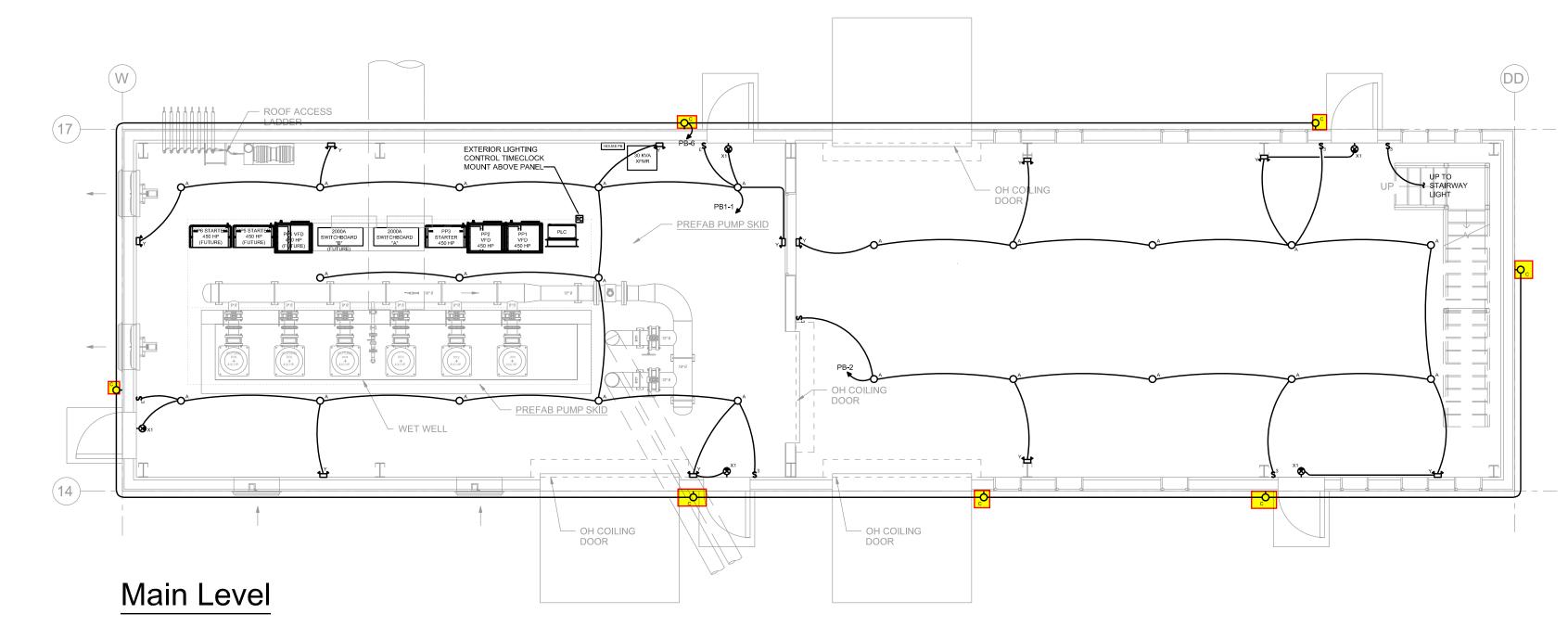
GRAND COUNTY, COLORADO

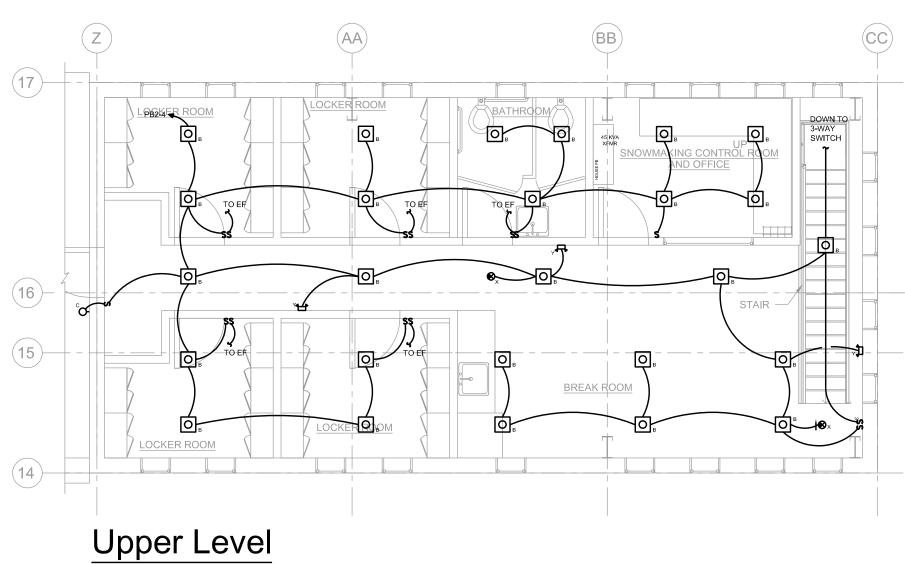
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SHEET NAME

CANAL PUMP HOUSE LIGHTING PLAN

SHEET NO. 111 of 118

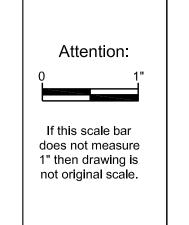




Pump House Lighting Plan
Scale: 1/4"=1'-0"

# FOR CONSTRUCTION

SHEET CODE



Designed: AEI AEI Drawn: Checked: DJA Approved: DJA P.E. No: CO 30498 GEI Project 2100590

<u>ackerman</u> engineering, inc. 3000 Youngfield St, Suite 264 Wheat Ridge, Colorado 80215 Ph 303–278–7297 Fx 303–278–9009 www.aeiconsulting.com



Intrawest/Winter Park Operations Corporation 85 Parsenn Road Winter Park, CO 80482

# WINTER PARK RESORT SNOWMAKING SYSTEM PHASE II UPGRADE PACKAGE 2: CANAL PUMP HOUSE

& PRIMARY PUMP HOUSE

GRAND COUNTY, COLORADO
GRAND COUNTY, COLORADO

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NO	DATE	ISSUE/REVISION	APP	

PRIMARY PUMP HOUSE LIGHTING PLAN

SHEET NAME

E-301 SHEET NO. 115 of 118 LIGHTING & 1210 South Jason St. Denver, CO 80223 303-762-3537

Description: Project:

Notes:

XSPW-B-WM-3ME-4L-30K-UL-BK

Winter Park Snowmaking Phase 2

Type:

#### **XSP Series**

XSPW™ LED Wall Mount Luminaire featuring Cree TrueWhite® Technology

Rev. Date: VersionB V5 12/13/2021

#### **Product Description**

The XSPW™ LED wall mount luminaire has a slim, low profile design intended for outdoor wall mounted applications. The rugged lightweight aluminum housing and mounting box are designed for installation over standard single gang J-Boxes and mud ring single gang J-Boxes. The luminaire allows for through-wired or conduit entry from the top, bottom, sides and rear. The housing design is intended specifically for LED technology including a weathertight LED driver compartment and thermal management. Optic design features industry-leading NanoOptic® Precision Delivery Grid™ system in multiple distributions.

Applications: General area and security lighting

#### Performance Summary

NanoOptic® Precision Delivery Grid™ optic

Assembled in the USA by Cree Lighting from US and imported parts

Initial Delivered Lumens: Up to 8,475

CRI: Minimum 70 CRI (3000K, 4000K & 5700K); 90 CRI (5000K)

CCT: 3000K, 4000K, 5000K, 5700K

Limited Warranty\*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

- Requires other Synapse components to complete

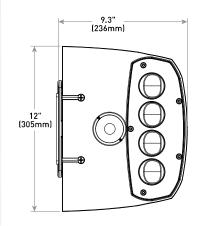
- Refer to DIM10-220F spec sheet for details

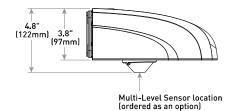
#### Accessories

#### Field-Installed Beauty Plate Hand-Held Remote XA-SENSREM WM-PLT12\*\* - 12" (305mm) Square WM-PLT14\*\* - 14" (356mm) Square - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required - Covers holes left by incumbent wall packs Synapse® SimplySnap 10V Interface DIM10-220F

system







Lumen Package	Weight
2L, 4L, 6L	11.0 lbs. (5.0kg)
8L	11.8 lbs. (5.4kg)

#### **Ordering Information**

Example: XSPW-B-WM-2ME-2L-30K-UL-BK

XSPW	В	WM						
Product	Version	Mounting	Optic	Lumen Package*		Voltage	Color Options	Options
XSPW	В	WM Wall	ZME Type II Medium 3ME Type III Medium 4ME Type IV Medium	2L 2.490 lumens 4L 4.270 lumens 6L 6.100 lumens 8L 8,475 lumens	30K 3000K - 70 CRI 40K 4000K - 70 CRI 50K 5000K - 90 CRI 57K 57000K - 70 CRI	UL Universal 120-277V UH Universal 347-480V 34 347V - For use with P option only	BK Black BZ Bronze SV Silver WH White	ML Multi-Level - Refer to ML spec sheet for details - Available with UL voltage only P Button Photocell - Not available with ML or PML options - Available with UL and 34 voltages only PML Programmable Multi-Level - Refer to PML spec sheet for details - Available with UL voltage only

<sup>\*</sup> Lumen Package selection codes identify approximate light output only. Actual lumen output levels may vary depending on CCT and optic selection. Refer to Initial Delivered Lumen tables for specific lumen values















<sup>\*</sup>See http://creelighting.com/warranty for warranty terms

<sup>\*\*</sup> Must specify color

Notes:

#### XSPW™ LED Wall Mount Luminaire

#### **Product Specifications**

#### **CREE TRUEWHITE® TECHNOLOGY**

A revolutionary way to generate high-quality white light, Cree TrueWhite® Technology is a patented approach that delivers an exclusive combination of 90+ CRI, beautiful light characteristics and lifelong color consistency, all while maintaining high luminous efficacy - a true no compromise solution.

#### CONSTRUCTION & MATERIALS

- Slim, low profile design
- Luminaire housing specifically designed for LED applications with advanced LED thermal management and driver
- Luminaire mounting box designed for installation over standard single gang J-Boxes and mud ring single gang J-Boxes
- Luminaire can also be direct mounted to a wall and surface wired
- Secures to wall with four 3/16" (5mm) screws (by others)
- · Conduit entry from top, bottom, sides, and rear
- Exclusive Colorfast DeltaGuard® finish features an E-coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Silver, black, white and bronze are available
- Weight: 2L, 4L, 6L 11.0 lbs. (5.0kg); 8L 11.8 lbs. (5.4kg)

#### ELECTRICAL SYSTEM

- Input Voltage: 120-277V or 347-480V, 50/60Hz
- Power Factor: > 0.9 at full load
- Total Harmonic Distortion: < 20% at full load
- Integral 10kV/5kA surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type  $\ensuremath{\mathsf{C/D}}$  breaker should be used to address inrush current
- Designed with 0-10V dimming capabilities. Controls by others
- 10V Source Current: 0.15 mA
- Refer to Dimming spec sheet for details
- Operating Temperature Range: -40  $^{\circ}$ C +50  $^{\circ}$ C [-40  $^{\circ}$ F +122  $^{\circ}$ F]

#### **REGULATORY & VOLUNTARY QUALIFICATIONS**

- · cULus Listed
- Suitable for wet locations
- Designed for downlight applications only
- Enclosure rated IP66 per IEC 60598
- ANSI C136.2 10kV/5kA surge protection, tested in accordance with IEEE/ ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- . Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117  $\,$
- · Meets Buy American requirements within ARRA
- · RoHS compliant. Consult factory for additional details
- Dark Sky Friendly, IDA Approved when ordered with 30K CCT. Please refer to <a href="https://www.darksky.org/our-work/lighting/lighting-for-">https://www.darksky.org/our-work/lighting/lighting-for-</a> industry/fsa/fsa-products/ for most current information
- DLC and DLC Premium qualified versions available. Please refer to https://www.designlights.org/search/ for most current information
- CA RESIDENTS WARNING: Cancer and Reproductive Harm -

Lumen	CCT/CRI	System Watts	Efficacy	Total Current (A)					
Package	CCI/CRI	120- 480V	Епісасу	120V	208V	240V	277V	347V	480\
	30K/70 CRI	20	125	0.17	0.10	0.08	0.07	0.06	0.05
2L	40K/70 CRI	19	131	0.16	0.09	0.08	0.07	0.06	0.04
ZL	50K/90 CRI	24	104	0.20	0.11	0.10	0.08	0.07	0.05
	57K/70 CRI	19	131	0.16	0.09	0.08	0.07	0.06	0.04
	30K/70 CRI	33	129	0.28	0.16	0.14	0.13	0.10	0.07
,,	40K/70 CRI	31	138	0.27	0.15	0.13	0.12	0.09	0.07
4L	50K/90 CRI	40	107	0.34	0.20	0.17	0.16	0.12	0.09
	57K/70 CRI	31	138	0.26	0.15	0.13	0.12	0.09	0.07
	30K/70 CRI	51	120	0.43	0.25	0.22	0.19	0.14	0.11
	40K/70 CRI	47	130	0.40	0.23	0.20	0.18	0.14	0.10
6L	50K/90 CRI	60	102	0.51	0.29	0.25	0.23	0.17	0.13
	57K/70 CRI	47	130	0.40	0.23	0.20	0.17	0.14	0.10
	30K/70 CRI	77	110	0.65	0.38	0.32	0.28	0.22	0.16
	40K/70 CRI	72	118	0.61	0.35	0.31	0.27	0.21	0.15
8L	50K/90 CRI	78	89	0.66	0.37	0.33	0.29	0.22	0.16
	57K/70 CRI	71	119	0.60	0.35	0.30	0.26	0.20	0.15

\* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V or 347- 480V +/- 10%

XSPW Series	XSPW Series Ambient Adjusted Lumen Maintenance Factors <sup>1</sup>									
Ambient	Initial LMF	25K hr Reported <sup>2</sup> LMF	50K hr Reported <sup>2</sup> LMF	75K hr Estimated³ LMF	100K hr Estimated <sup>3</sup> LMF					
5°C (41°F)	1.03	0.98	0.96	0.94	0.92					
10°C (50°F)	1.03	0.98	0.96	0.94	0.92					
15°C (59°F)	1.02	0.97	0.95	0.93	0.92					
20°C [68°F]	1.01	0.96	0.95	0.93	0.91					
25°C (77°F)	1.00	0.96	0.94	0.92	0.90					
30°C (86°F)	0.99	0.95	0.93	0.91	0.89					
35°C (95°F)	0.98	0.94	0.92	0.90	0.88					
40°C (104°F)	0.97	0.93	0.91	0.89	0.87					

<sup>1</sup>Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the Temperature Zone Reference Document for outdoor average nighttime ambient

conditions,

2 in accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED.

3 Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED.

Project:

Notes:

Description: XSPW-B-WM-3ME-4L-30K-UL-BK

Winter Park Snowmaking Phase 2

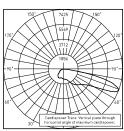
Type:

#### XSPW™ LED Wall Mount Luminaire

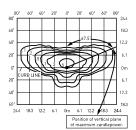
#### Photometry

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: http://creelighting.com/products/outdoor/wall-mount/xsp-series-wall

#### 2ME



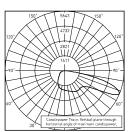
CESTL Test Report #: PL12798-001A XSPW-B-\*\*-2ME-8L-40K-UL Initial Delivered Lumens: 8,622



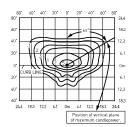
XSPW-B-\*\*-2ME-8L-40K-UL Mounting Height: 15' (4.6) A.F.G. Initial Delivered Lumens: 8,475 Initial FC at grade

Type II Medium Distribution										
Lumen Package	3000K		4000K		5000K		5700K			
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11		
2L	2,490	B1 U0 G1								
4L	4,270	B1 U0 G1								
6L	6,100	B1 U0 G2								
8L	8,475	B2 U0 G2	8,475	B2 U0 G2	6,925	B1 U0 G2	8,475	B2 U0 G2		

#### 3МЕ



CESTL Test Report #: PL12366-007A XSPW-B-\*\*-3ME-8L-40K-UL Initial Delivered Lumens: 8,543



XSPW-B-\*\*-3ME-8L-40K-UL Mounting Height: 15' [4,6m] A.F.G. Initial Delivered Lumens: 8,475 Initial FC at grade

Type III Medium Distribution										
	3000K		4000K	4000K		5000K		5700K		
Lumen Package	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11		
2L	2,490	B1 U0 G1								
4L	4,270	B1 U0 G1								
6L	6,100	B1 U0 G2								
8L	8,475	B2 U0 G2	8,475	B2 U0 G2	6,925	B1 U0 G2	8,475	B2 U0 G2		

<sup>\*</sup> Initial delivered lumens at 25°C [77°F]. Actual production yield may vary between -10 and +10% of initial delivered lumens
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <a href="https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf">https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf</a>

<sup>\*</sup> Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <a href="https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf">https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf</a>

LIGHTING & 1210 South Jason St. CONTROLS Denver, CO 80223 303-762-3537

Description: XSPW-B-WM-3ME-4L-30K-UL-BK

Project: Winter Park Snowmaking Phase 2 Notes:

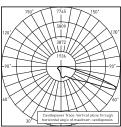
Type:

#### XSPW™ LED Wall Mount Luminaire

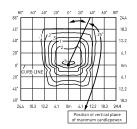
#### Photometry

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: http://creelighting.com/products/outdoor/wall-mount/xsp-series-wall

#### 4ME



RESTL Test Report #: PL14415-001A XSPW-B-\*\*-4ME-8L-40K-UL Initial Delivered Lumens: 8,763



XSPW-B-\*\*-4ME-8L-40K-UL Mounting Height: 15' (4.6m) A.F.G. Initial Delivered Lumens: 8,475 Initial FC at grade

Type IV Medium Distribution								
	3000K		4000K		5000K		5700K	
Lumen Package	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
2L	2,490	B1 U0 G1						
4L	4,270	B1 U0 G1						
6L	6,100	B1 U0 G2						
8L	8,475	B1 U0 G2	8,475	B1 U0 G2	6,925	B1 U0 G2	8,475	B1 U0 G2



<sup>\*</sup> Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <a href="https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf">https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf</a>

# **MEMO**



TO Planning Commission

FROM Hugh Bell, Planner

THROUGH James Shockey, AICP, Community Development Director

DATE February 27, 2024

RE Minor Site Plan – 12, 16, 20, 24, 28, 30, 34, and 38 Wheeler Road (Building 1) and 52, 56, 60,

62, 66, and 70 Wheeler Road (Building 2) - Sojourn at Idlewild Subdivision (PLN24-012 and

PLN24-013)

**Property Owner:** Highland Development Company

**Applicant:** Ryan Hanneman of RHAP Architecture and Planning

Architect: Ryan Hanneman of RHAP Architecture and Planning

#### Legal Description:

Lots 1-14, Sojourn at Idlewild Subdivision (the "Property").

**Zoning:** P-D (Planned Development) with R-C (Residential-Commercial) underlay. The property was annexed into the Town in 2007; the Annexation and Zoning Plan (the "AZP") governs the development standards (Reception No. 2007012395).

#### Authority:

Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Planning Commission considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park. Minor Site Plan approval is required before building permit issuance.

#### Variances:

No Board of Adjustment (BOA) or Administrative Variance Requests are included with the application.

#### Architecture:

Two (2) new townhome complexes, Buildings 1 and 2.

Building 1 contains eight (8) dwelling units ("DU"). Lots 1 and 8 have a two-car garage and Lots 2-7, a single-car garage. Building 2 contains six (6) DU. All lots (9-14) contain only a single-car garage.

#### **Title Commitment:**

Satisfactory.



#### Homeowner's Association Review:

N/A. The HOA has not yet been created. All lots are under the same ownership, and the owner has approved the designs.

#### Density:

Satisfactory. 20 DU/acre are permitted for Single Family Attached ("SFA") uses. Density was approved with the Final Plat.

#### **Minimum Lot Dimensions:**

N/A. The AZP does not stipulate minimum lot dimensions for SFA uses.

#### **Material and Color:**

Unsatisfactory. Window glass type is not indicated. Building 2's primary materials (i.e., the board/batten and brick veneer) are colored white, which staff believes contradicts Guideline 3.8.2 from the Design Guidelines, which suggests "incorporat[ing] materials with natural (earth) tones and muted colors". There are future buildings which will resemble Building 2 and three out of four brick veneers are proposed to be white as well. The Renderings for Building 2 indicate a black brick veneer, but the Materials Board indicates white. Staff wants the Commissioners to discuss this and is adding this under "Planning Commission Items for Discussion" below.

- Applicant shall indicate window glass type.
- Applicant shall clarify if the Building 2's Renderings or Material Board should be referenced for the correct proposed color of brick veneer color and shall revise whichever is incorrect.

#### **Outdoor Lighting:**

Partially satisfactory. Three (3) fixtures are proposed, all which contain the International Dark Sky Association (IDA) approval stamp (UDC, § 3-K-3(A)(1)). The Kichler 7" Cylinder fixture's spec sheet does not show the stamp but the IDA website does. Single-family properties, including multiple residential properties not having common areas, are limited to 5,100 lumens and each fixture shall not exceed 850 lumens. The average lot contains 3,846 lumens; however, the elevations do not indicate the type of fixture on each building, so this must be indicated so staff can verify no lot exceeds the 5,100 limit. Given there are decks with overhangs proposed, Applicant shall clarify if any outdoor soffit lighting is proposed.

Photometric plans are not required for single-family attached or detached DU.

Fixture Name	Proposed # of Fixtures	Proposed Lumens per Fixture	Proposed CCT
Lithonia Lighting ARC1 LED-P1-30K- MVOL T	BLD 1: 2 BLD 2: 0	1,500 (3,000 total)	3000K
Lithonia Lighting DSXW1 LED 20C	BLD 1: 1 BLD 2: 2	5,752 (17,256 total)	3000K



1000 30K T MVOL T HS				
Kichler 92348K	Lighting	BLD 1: 24 BLD 2: 18	800 (33,600 total)	3000K
			Total = 53,856 lumens. Average = 3,846 lumens per lot (14 lots).	

- Applicant shall indicate on a site plan exhibit the number of fixtures per DU, as well as each fixture model.
- Applicant shall clarify if any outdoor soffit lighting is proposed.

#### **Accessory Dwelling Unit (ADU):**

N/A. No ADUs are proposed.

#### Site Plan:

Satisfactory.

#### Floorplans:

Satisfactory.

#### **Building Elevations:**

Satisfactory.

#### Setbacks:

Satisfactory. Setbacks for townhomes (SFA) are measured from the overall property lines and not from individual lot lines. Setbacks for SFA are as follows: 25' front yard, 20' rear yard, 10' side yard, and 15' corner yard.

#### **Building Coverage:**

Satisfactory. The AZP allows 50% building coverage for DU lots. The plat meets this requirement. This building coverage calculation is made using the 19.910-acre portion of the property (See table on Sheet 2 of the plat). Overall, 18.35% of the property is comprised of building footprints.

#### **Building Height:**

Satisfactory. Maximum midpoint building height is limited to 35' (33'-6" proposed for Building 1 and 32'-7" for Building 2).

#### Parking:

Satisfactory. Parking requirements are outlined in Plat Note 2:

2.) PARKING REQUIREMENTS SHALL COMPLY WITH THE TOWN OF WINTER PARK STANDARDS AND SPECIFICATIONS FOR DESIGN AND CONSTRUCTION.



Each DU contains three (3) bedrooms, so two (2) off-street parking spaces are required per DU. Parking is permitted on the driveways.

Building 1: Lots 1 and 8 have a two-car garage and Lots 2-7 have a single-car garage. For Lots 2-7, the other required space is provided in the driveway.

Building 2: All lots (9-14) contain only a single-car garage, so the other required space is provided in the driveway.

Off-Street Parking Requirements					
Use	Standard	# DU/# Bedrooms (br)/Sq. Ft.	Parking Required	Parking Provided	
SFA (townhome/duplex)	1 space per 1br 1.5 spaces per 2br 2 spaces per 3+br	14 3+br DU	28	32	

#### **Bufferyards and Revegetation:**

Satisfactory. The entire subdivision is subject to the 1997 Landscape Design Regulations and Guidelines, which require Land Use Transition Zones (LTZs). The Landscaping Plan dated 09/27/2023 that was submitted and approved with the Final Plat Application (PLN22-091) was submitted with this application. No fencing is proposed for the DU; it is proposed only for the condo building private yards.

Condition No. 2 from Resolution 2078 approving the Final Plat states, "If field edits during construction necessitate changes to the approved Landscaping Plan dated May 26, 2023, such amendments shall be reviewed by the Community Development Director to ensure compliance with the applicable landscaping regulations."

- ➤ If field edits during construction necessitate changes to the approved Landscaping Plan dated May 26, 2023, such amendments shall be reviewed by the Community Development Director to ensure compliance with the applicable landscaping regulations.
- Any disturbed areas on the site shall be revegetated with the seed mix recommended by the Grand County Natural Resource Conservation Service, which mix composition is described in Section 7.4 of the Standards and Specifications for Design and Construction.

#### Snow Storage:

Partially satisfactory. Snow storage locations are shown on the Site Plans dated 02/13/2024 but the dimensions aren't indicated. Section 3.11 of the Standards requires that a minimum of 25% of all driving surfaces, including gravel shoulders, parking areas, and pedestrian walkways are designated for snow storage. Throughout the subdivision, these surfaces comprise 185,500 sqft. Per pg. 2 of the Plat, at least 46,375 sqft of snow storage are required for the subdivision, and 48,525 sqft are proposed. A 15' easement for snow storage (and utilities and drainage) is provided at the front of all lots on the north side of Wheeler Road.

There are two (2) plat notes regarding snow storage:



- 6.) THE METRO DISTRICT IS RESPONSIBLE FOR SNOW REMOVAL WITHIN THE PRIVATE STREETS. SNOW SHALL NOT BE PUSHED OR STORED ON PUBLIC RIGHT-OF-WAY. DURING MAJOR SNOW EVENTS, SNOW IS TO BE HAULED OUT. THE TOWN OF WINTER PARK SHALL BE RESPONSIBLE FOR SNOW REMOVAL WITHIN THE TERMS OUTLINED IN THE SOJOURN AT IDLEWILD FINAL DEVELOPMENT PLAN SECTION 7.2.1.3.
- 11.) SNOW REMOVAL ACTIVITIES, AND SNOW STORAGE, SHALL NOT BE PERMITTED WITHIN ANY WETLAND AREA.
  - Dimensions of snow storage areas shall be indicated on the Site Plan exhibits.

#### **Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:**

TBD. The Town Engineer is reviewing the Grading and Drainage Plan and staff will forward comments when they arrive.

- > Should the Town Engineer have comments, Applicant shall revise Grading and Drainage Plan accordingly.
- Approved drainage and erosion control shall be in place prior to and throughout site preparation and construction and through successful revegetation.

#### **Driveway:**

Unsatisfactory. The following driveways exceed a 5% slope, which is the maximum slope permitted for the first 24' of a driveway per Section 4.4, Alignment, in the Standards:

- Lot 7 (Building 1): 5.7%
- Lot 8 (Building 1): 8.0%
- Lot 10 (Building 2): 5.2%
- Lot 11 (Building 2): 6.2%
- Lot 12 (Building 2): 6.6%
- Lot 13 (Building 2): 7.5%
- Lot 14 (Building 2): 8.0%

An Administrative Variance Request must be submitted for the Town Engineer's review as seen in the Standards, Section 8.1, Variances.

- ➤ Applicant shall submit an Administrative Variance Request for the Town Engineer's review as seen in the Standards, Section 8.1, Variances.
- A stabilized construction entrance shall be installed prior to ground disturbance.

#### Access:

Satisfactory. All DU are accessed via Wheeler Road, a private access easement. Accesses were approved by the Town Engineer during the Final Plat review process.

#### **Utility Review:**

N/A. The utility companies already reviewed and approved utility layouts during the Final Plat process.

#### Wetlands:

Satisfactory. Both buildings encroach into existing non-jurisdictional wetlands. The Planning Commission, Town Council, and Town Engineer must approve all wetland encroachments per § 7-3-8 of Town Code.



This encroachment has been approved by all three bodies. No jurisdictional wetlands are adjacent to the buildings.

#### **Pre-Disturbance Inspection:**

N/A. Overlot grading is occurring for the entire subdivision.

#### **Planning Commission Items for Discussion:**

1. Should the white color on Building 2's primary materials (i.e., the board/batten and brick) be permitted? Staff believes this contradicts Guideline 3.8.2 from the Design Guidelines, which suggests "incorporat[ing] materials with natural (earth) tones and muted colors".

#### Staff Recommendation:

Staff recommends the Planning Commission approve the Minor Site Plan – 12, 16, 20, 24, 28, 30, 34, and 38 Wheeler Road (Building 1) and 52, 56, 60, 62, 66, and 70 Wheeler Road (Building 2) – Sojourn at Idlewild Subdivision (PLN24-012 and PLN24-013) with the following conditions:

- 1. Applicant shall indicate window glass type.
- 2. Applicant shall clarify if the Building 2's Renderings or Material Board should be referenced for the correct proposed color of brick veneer color and shall revise whichever is incorrect.
- 3. Applicant shall indicate on a site plan exhibit the number of fixtures per DU, as well as each fixture model
- 4. Applicant shall clarify if any outdoor soffit lighting is proposed.
- 5. If field edits during construction necessitate changes to the approved Landscaping Plan dated May 26, 2023, such amendments shall be reviewed by the Community Development Director to ensure compliance with the applicable landscaping regulations.
- 6. Any disturbed areas on the site shall be revegetated with the seed mix recommended by the Grand County Natural Resource Conservation Service, which mix composition is described in Section 7.4 of the Standards and Specifications for Design and Construction.
- 7. Dimensions of snow storage areas shall be indicated on the Site Plan exhibits.
- 8. Should the Town Engineer have comments, Applicant shall revise Grading and Drainage Plan accordingly.
- 9. Approved drainage and erosion control shall be in place prior to and throughout site preparation and construction and through successful revegetation.
- 10. Applicant shall submit an Administrative Variance Request for the Town Engineer's review as seen in the Standards, Section 8.1, Variances.
- 11. A stabilized construction entrance shall be installed prior to ground disturbance.

#### **Required Permits:**

- ✓ Building Permit
- ✓ Driveway Permit
- ✓ SFD/Duplex Deposit Agreement

Date: February 13, 2024

To: Town of Winter Park

Community Development Department



Via E-Mail: James Shockey (jshockey@wpgov.com)

Hugh Bell (hbell@wpgov.com)

Sheila Booth (sbooth@planstrategize.com)

CC: Paul Malone, Highland Development Company, LLC

Re: Minor Site Plan Submittal, Sojourn at Idlewild, Building 1

Dear James, Hugh and Sheila,

We are submitting for this Minor Site Plan review for row home building #1 within the Sojourn at Idlewild development. This is building 1 as shown on our site plans as were submitted through the Preliminary and Final platting processes. We anticipate construction start on this row home building this summer. While we are submitting for the first three buildings within the development at this time the materials and color scheme as represented within this submittal will be consistent throughout the project. This row home building including unit plans, elevations, etc. are essentially the same as all row home buildings on the uphill side of the streets, this includes buildings, 1,2,3,5,7,9,17,19&21 as can be seen in the site plan submitted for Final Plat. Let me know if you have any questions or if any additional information is needed.

#### Project Name:

Sojourn at Idlewild

#### Street Address:

T.B.D. refer to plat for additional information.

#### **Owner Contact Information:**

Paul Malone Highland Development Company 2100 Downing Street, Denver, CO 80205 pmalone@highlanddevelopmentco.com 303.926.4949 Office 303.500.4380 Cell

#### **Architect Contact Information:**

Ryan Hanneman RHAP Architecture + Planning 1301 Walnut Street, Suite 101, Boulder, CO 80302 ryan@rhaparch.com 303.993.6277 Office 720.985.9527 Cell

#### <u>Civil Engineer Contact Information:</u>

Tony Krempin

TKE Civil & Structural Engineering 998 County Road 553, Granby, CO 80446 tony@tkcse.com 970.281.5280

#### **Surveyor Contact Information:**

Dave Berglund Core Consultants, Inc. 3473 South Broadway, Englewood, CO 80113 303.703.4444 Office 970.590.8666 Cell

#### **Legal Description:**

#### SOJOURN AT IDLEWILD

A REPLAT OF TRACTS F-2 AND F-3, REPLAT OF TRACT F, RIVER WALK AT WINTER PARK FILING NO. 1-EXEMPTION PLAT A PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO

#### Zoning District:

P-D

#### Lot Size:

Refer to plat for lots 1-8 at Building #1

#### **Proposed Use:**

Attached single family residential

#### Number of Dwelling Units:

8

#### Number of Bedrooms per Dwelling Unit:

3

#### **Approximate Construction Schedule:**

Break ground in summer 2024, building completion in late 2025 / early 2026

Sincerely,

**RHAP Architecture and Planning** 

Ryan Hanneman, Principal

Date: February 13, 2024

To: Town of Winter Park

Community Development Department



Via E-Mail: James Shockey (jshockey@wpgov.com)

Hugh Bell (hbell@wpgov.com)

Sheila Booth (sbooth@planstrategize.com)

CC: Paul Malone, Highland Development Company, LLC

Re: Minor Site Plan Submittal, Sojourn at Idlewild, Building 2

Dear James, Hugh and Sheila,

We are submitting for this Minor Site Plan review for row home building #2 within the Sojourn at Idlewild development. This is building 2 as shown on our site plans as were submitted through the Preliminary and Final platting processes. We anticipate construction start on this row home building this summer. While we are submitting for the first three buildings within the development at this time the materials and color scheme as represented within this submittal will be consistent throughout the project. This row home building including unit plans, elevations, etc. are essentially the same as all row home buildings on the uphill side of the streets, this includes buildings, 1,2,3,5,7,9,17,19&21 as can be seen in the site plan submitted for Final Plat. Let me know if you have any questions or if any additional information is needed.

#### Project Name:

Sojourn at Idlewild

#### Street Address:

T.B.D. refer to plat for additional information.

#### **Owner Contact Information:**

Paul Malone Highland Development Company 2100 Downing Street, Denver, CO 80205 pmalone@highlanddevelopmentco.com 303.926.4949 Office 303.500.4380 Cell

#### **Architect Contact Information:**

Ryan Hanneman RHAP Architecture + Planning 1301 Walnut Street, Suite 101, Boulder, CO 80302 ryan@rhaparch.com 303.993.6277 Office 720.985.9527 Cell

#### <u>Civil Engineer Contact Information:</u>

Tony Krempin

TKE Civil & Structural Engineering 998 County Road 553, Granby, CO 80446 tony@tkcse.com 970.281.5280

#### **Surveyor Contact Information:**

Dave Berglund Core Consultants, Inc. 3473 South Broadway, Englewood, CO 80113 303.703.4444 Office 970.590.8666 Cell

#### **Legal Description:**

#### SOJOURN AT IDLEWILD

A REPLAT OF TRACTS F-2 AND F-3, REPLAT OF TRACT F, RIVER WALK AT WINTER PARK FILING NO. 1-EXEMPTION PLAT A PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO

#### Zoning District:

P-D

#### Lot Size:

Refer to plat for lots 9-14 at Building #2

#### **Proposed Use:**

Attached single family residential

#### Number of Dwelling Units:

6

#### Number of Bedrooms per Dwelling Unit:

3

#### **Approximate Construction Schedule:**

Break ground in summer 2024, building completion in late 2025 / early 2026

Sincerely,

**RHAP Architecture and Planning** 

Ryan Hanneman, Principal

#### **Bufferyard Tabulation**

Tabulation of required bufferyard types per property line and list of proposed plantings proposed per property line. See Sec. 3-I-5, *Bufferyards*, for requirements.

NOT APPLICABLE ON THIS JOB. THIS PROJECT'S LANDSCAPE IS BASED ON LANDSCAPE PLANS APPROVED DURING PLAT PROCESS.	Evergreen Trees Required	Evergreen Trees Provided	Deciduous Trees Required	Deciduous Trees Provided	Shrubs Required	Shrubs Provided	Deficiency (if any)
N Boundary							
Length: linear feet							
Adjacent properties are zoned:							
Bufferyard Type: A B C D (circle one)							
S Boundary							
Length: linear feet							
Adjacent properties are zoned:							
Bufferyard Type: A B C D (circle one)							
E Boundary							
Length: linear feet							
Adjacent properties are zoned:							
Bufferyard Type: A B C D (circle one)							
W Boundary							
Length: linear feet							
Adjacent properties are zoned:							
Bufferyard Type: A B C D (circle one)							

#### Outdoor Lighting Tabulation ROW HOME BUILDING 1

See Article 3.K, *Outdoor Lighting,* for requirements. Ensure each fixture's cut sheet contains the International Dark Sky Association (IDA) Approval Symbol.

Fixture Name	Proposed # of Fixtures	Proposed Lumens per Fixture	Proposed Correlated Color Temperature (in degrees Kelvin)
Lithonia Lighting ARC1LED-P1-30K-MVOLT	2	1500 LM	3000K
Kichler Lighting 9234BK	24	800 LM	3000K
Lithonia Lighting DSXW1 LED 20C 1000 30K TFTM MVOLT HS	1	5752 LM	3000K

- 2 Process for Approval See Sec. 5-E-1, Site Plan.
- **3** Fees See Sec. 5-B-6, Application Fees. An invoice will be sent once the planning file has been created.
  - A. \$100.00 Minor Site Plan Application Review Fee.
  - B. \$3,000.00 Deposit for Building Exterior, Driveway, and Landscaping.
  - C. \$50.00 Driveway Permit Application Fee.

4	Applicant's Certification Statement	
	1, 1/2/12	, as Applicant and duly representative of the owner,
	hereby certify that the information incl	uded upon the attached submittal items are true and accurate; and that
	the development of the site will occur i	n accordance with the submittal items.

#### **Bufferyard Tabulation**

Tabulation of required bufferyard types per property line and list of proposed plantings proposed per property line. See Sec. 3-I-5, *Bufferyards*, for requirements.

NOT APPLICABLE ON THIS JOB. THIS PROJECT'S LANDSCAPE IS BASED ON LANDSCAPE PLANS APPROVED DURING PLAT PROCESS.	Evergreen Trees Required	Evergreen Trees Provided	Deciduous Trees Required	Deciduous Trees Provided	Shrubs Required	Shrubs Provided	Deficiency (if any)
N Boundary							
Length: linear feet							
Adjacent properties are zoned:							
Bufferyard Type: A B C D (circle one)							
S Boundary							
Length: linear feet							
Adjacent properties are zoned:							
Bufferyard Type: A B C D (circle one)							
E Boundary							
Length: linear feet							
Adjacent properties are zoned:							
Bufferyard Type: A B C D (circle one)							
W Boundary							
Length: linear feet							
Adjacent properties are zoned:							
Bufferyard Type: A B C D (circle one)							

#### Outdoor Lighting Tabulation ROW HOME BUILDING 2

See Article 3.K, *Outdoor Lighting,* for requirements. Ensure each fixture's cut sheet contains the International Dark Sky Association (IDA) Approval Symbol.

Fixture Name	Proposed # of Fixtures	Proposed Lumens per Fixture	Proposed Correlated Color Temperature (in degrees Kelvin)
Kichler Lighting 9234BK	18	800 LM	3000K
Lithonia Lighting DSXW1 LED 20C 1000 30K TFTM MVOLT HS	2	5752 LM	3000K

- 2 Process for Approval See Sec. 5-E-1, Site Plan.
- 3 Fees See Sec. 5-B-6, Application Fees. An invoice will be sent once the planning file has been created.
  - A. \$100.00 Minor Site Plan Application Review Fee.
  - B. \$3,000.00 Deposit for Building Exterior, Driveway, and Landscaping.
  - C. \$50.00 Driveway Permit Application Fee.

4	Applicant's Certification Statement	
	1, 1/2/12	, as Applicant and duly representative of the owner,
	hereby certify that the information incl	uded upon the attached submittal items are true and accurate; and that
	the development of the site will occur i	n accordance with the submittal items.

1301 Walnut Street, Suite 101 Boulder, CO 80302 720-530-5901



LP SMARTSIDE REVERSED BOARD & BATTEN SIDING, COLOR: WHITE **BRICK VENEER, COLOR: WHITE** 



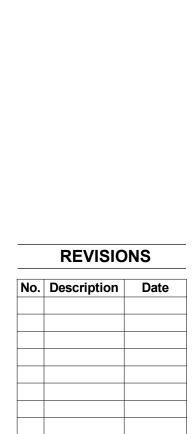
LP SMARTSIDE REVERSED BOARD & BATTEN SIDING, COLOR: GREEN BRICK VENEER, COLOR: WHITE



LP SMARTSIDE REVERSED BOARD & BATTEN SIDING, COLOR: WHITE **BRICK VENEER, COLOR: BLACK** 



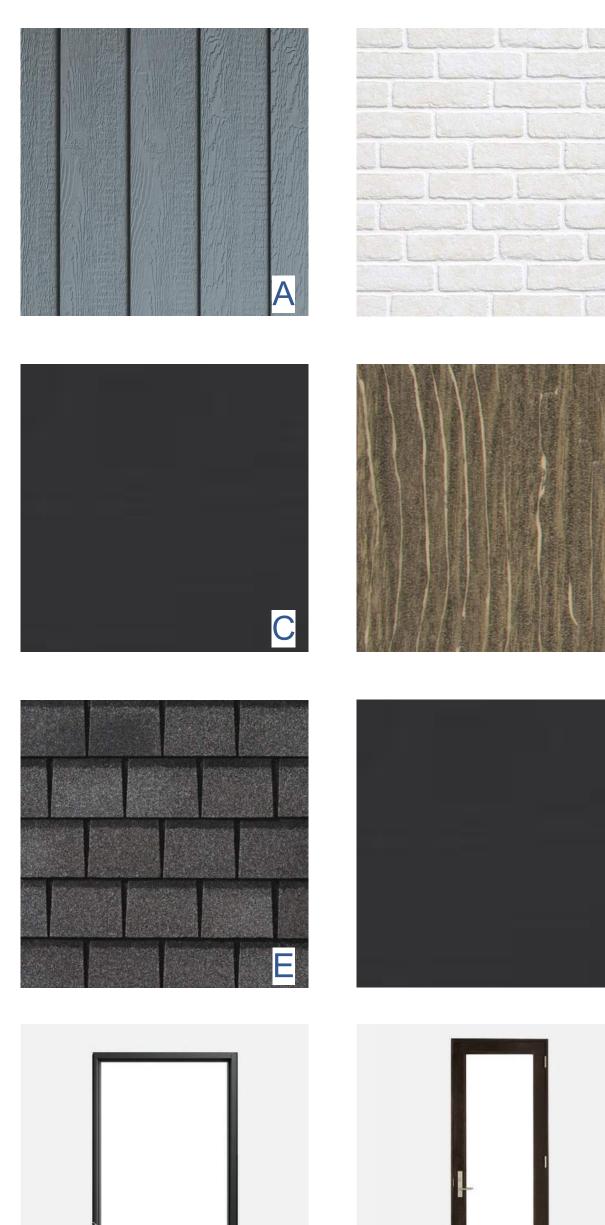
LP SMARTSIDE REVERSED BOARD & BATTEN SIDING, COLOR: GREY BROWN **BRICK VENEER, COLOR: WHITE** 



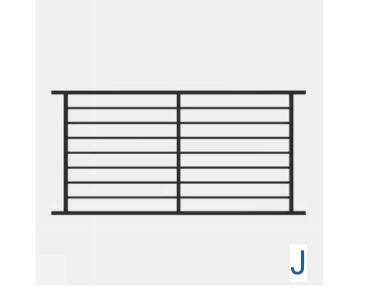
A0.2 MATERIAL **OPTIONS** 

### **BUILDING MATERIALS BOARD**





ID	ITEM	MATERIAL	COLOR
Α	LP SMARTSIDE REVERSED BOARD & BATTEN - PRIMARY WALL MATERIAL	ENGINEERED WOOD	SUMMIT BLUE
В	BRICK - SECONDARY WALL MATERIAL	BRICK	WHITE
С	POST	CEDAR TIMBER	PAINTED BLACK
D	DECK	CAPPED WOOD COMPOSITE DECKING	SANDSTONE
Е	PRIMARY ROOF	FIBERGLASS ASPHALT SHINGLES	SLATELINE ANTIQUE SLATE - <u>DARK GRAY</u>
F	FASCIA - LP SMARTSIDE TRIM	ENGINEERED WOOD	BENJAMINMOORE SOLID BLACK HC-190
G	WINDOWS	FIBERGLASS	BLACK
Н	FRONT DOOR	FIBERGLASS	BLACK
I	GARAGE DOOR	METAL	BLACK
J	RAILINGS	METAL	BLACK



1301 Walnut Street, Suite 101 Boulder, CO 80302 720-530-5901

A0.1

MATERIAL BOARD 02/13/2024





2 ELEVATION 2-A A2.2 1/4" = 1'-0"

1301 Walnut Street,

Boulder, CO 80302 720-530-5901

N AT IDLEWILD WINTER PARK, SOJOURN SKI IDLEWILD ROAD,

80482

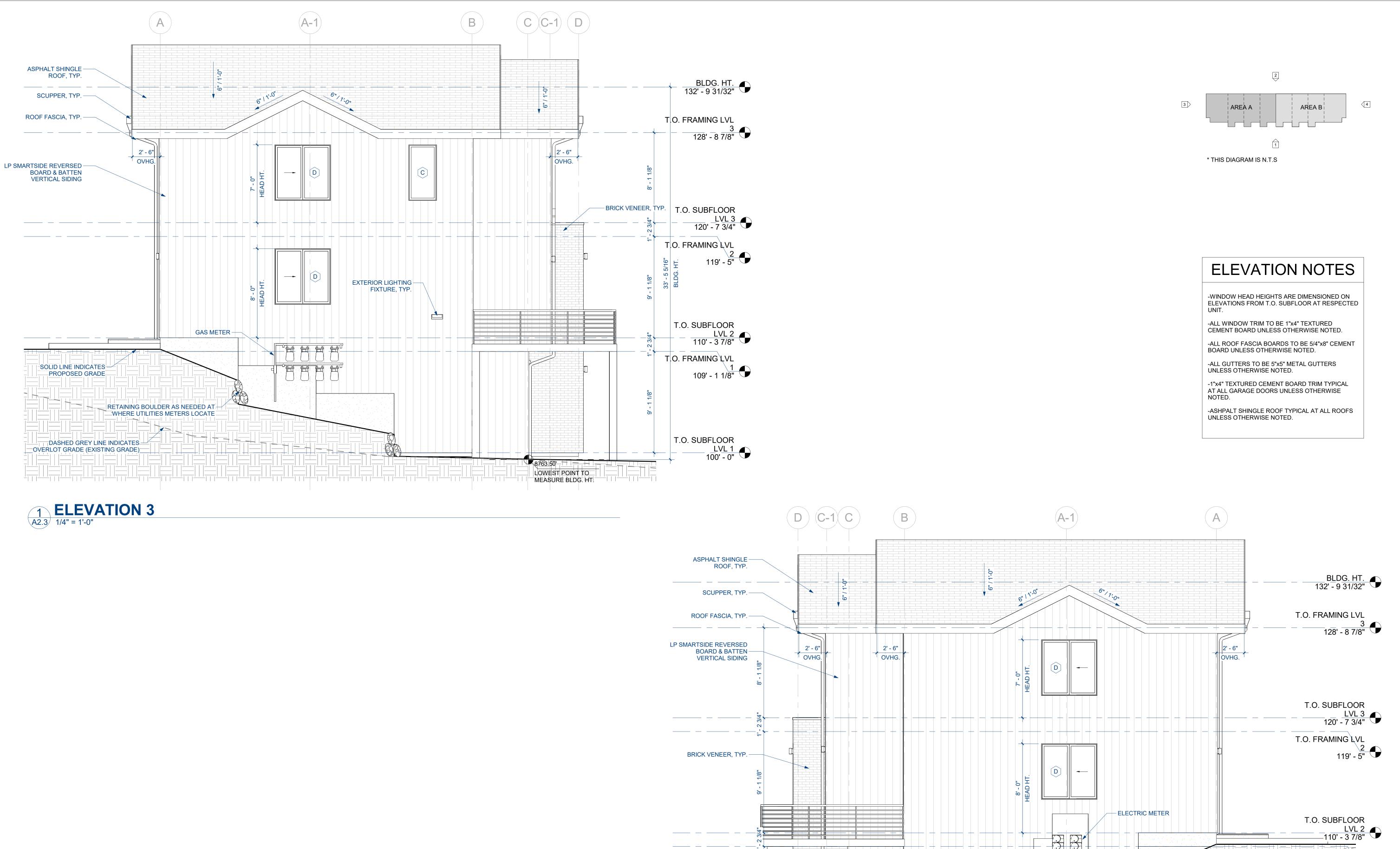
**REVISIONS** 

A2.2

**ELEVATIONS** 

02/13/2024

0' 2' 4'



2 ELEVATION 4
A2.3 1/4" = 1'-0"

1301 Walnut Street,

Suite 101 Boulder, CO 80302 720-530-5901

2 N AT IDLEWILD WINTER PARK, BUILDING SOJOURN SKI IDLEWILD ROAD, M M

ROW

80482

**REVISIONS** No. Description Date

T.O. FRAMING LVL

T.O. SUBFLOOR

RETAINING BOULDER AS NEEDED AT WHERE UTILITIES METERS LOCATE

DASHED GREY LINE INDICATES OVERLOT GRADE (EXISTING GRADE)

SOLID LINE INDICATES PROPOSED GRADE

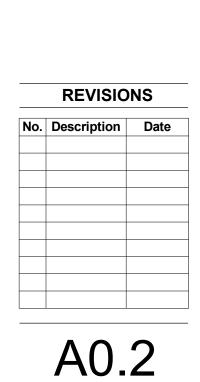
109' - 11/8"

LVL 1 |100' - 0"

A2.3

**ELEVATIONS** 

### 7 BUILDING No. SKI IDLEV GRAN ROW HO



MATERIAL **OPTIONS** 02/13/2024



LP SMARTSIDE REVERSED BOARD & BATTEN SIDING, COLOR: GREEN BRICK VENEER, COLOR: WHITE



LP SMARTSIDE REVERSED BOARD & BATTEN SIDING, COLOR: BLUE **BRICK VENEER, COLOR: WHITE** 



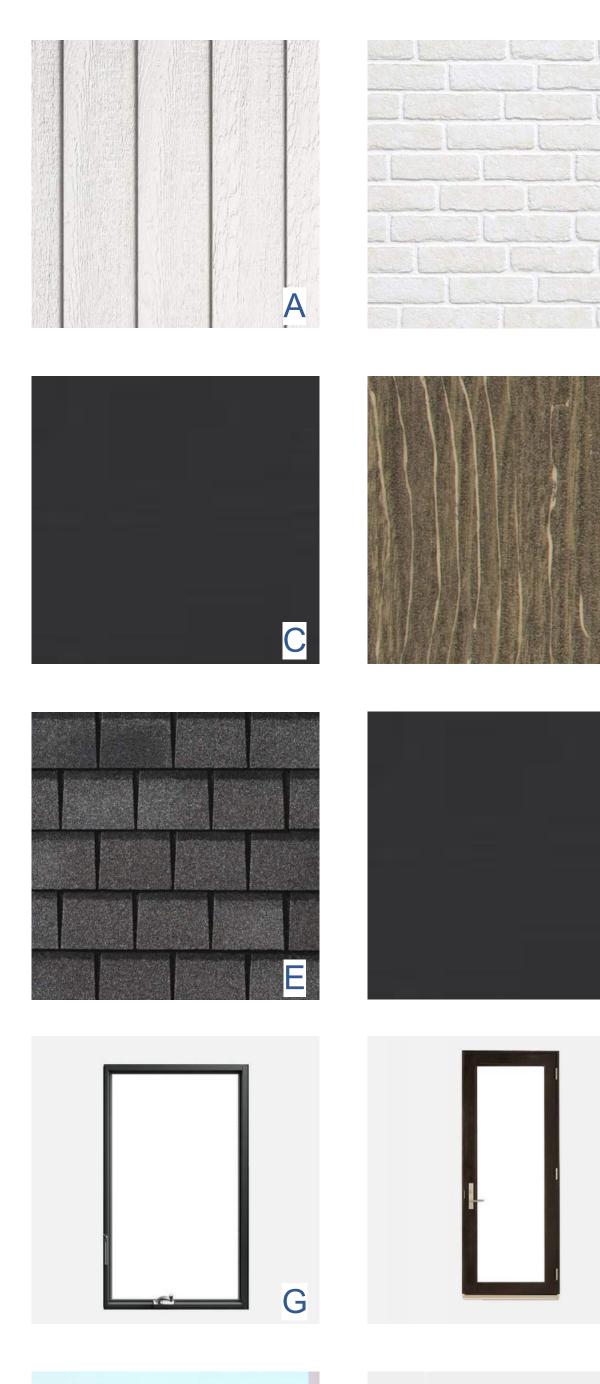
LP SMARTSIDE REVERSED BOARD & BATTEN SIDING, COLOR: WHITE **BRICK VENEER, COLOR: BLACK** 



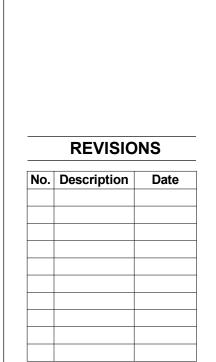
LP SMARTSIDE REVERSED BOARD & BATTEN SIDING, COLOR: GREY BROWN **BRICK VENEER, COLOR: WHITE** 

### **BUILDING MATERIALS BOARD**





ID	ITEM	MATERIAL	COLOR
А	LP SMARTSIDE REVERSED BOARD & BATTEN - PRIMARY WALL MATERIAL	ENGINEERED WOOD	SNOWSCAPE WHITE
В	BRICK - SECONDARY WALL MATERIAL	BRICK	<u>WHITE</u>
С	POST	CEDAR TIMBER	PAINTED BLACK
D	DECK	CAPPED WOOD COMPOSITE DECKING	SANDSTONE
Е	PRIMARY ROOF	FIBERGLASS ASPHALT SHINGLES	SLATELINE ANTIQUE SLATE - <u>DARK GRAY</u>
F	FASCIA - LP SMARTSIDE TRIM	ENGINEERED WOOD	BENJAMINMOORE SOLID BLACK HC-190
G	WINDOWS	FIBERGLASS	BLACK
Н	FRONT DOOR	FIBERGLASS	BLACK
I	GARAGE DOOR	METAL	BLACK
J	RAILINGS	METAL	BLACK



ROW HO

SKI IDLEWILD ROAD WINTER PARK GRAND COUNTY, CO, 80482

A0.1

MATERIAL BOARD 02/13/2024

### **ELEVATION NOTES**

-WINDOW HEAD HEIGHTS ARE DIMENSIONED ON ELEVATIONS FROM T.O. SUBFLOOR AT RESPECTED

-ALL WINDOW TRIM TO BE 1"x4" TEXTURED CEMENT BOARD UNLESS OTHERWISE NOTED.

-ALL ROOF FASCIA BOARDS TO BE 5/4"x8" CEMENT BOARD UNLESS OTHERWISE NOTED.

-ALL GUTTERS TO BE 5"x5" METAL GUTTERS UNLESS OTHERWISE NOTED.

-1"x4" TEXTURED CEMENT BOARD TRIM TYPICAL AT ALL GARAGE DOORS UNLESS OTHERWISE NOTED.

-ASHPALT SHINGLE ROOF TYPICAL AT ALL ROOFS UNLESS OTHERWISE NOTED.



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> WINTER PARK , CO, 80482 **2** BUILDING SKI IDLEWILD ROAD GRAND COUNTY

ROW

2

**REVISIONS** No. Description Date A2.1

### **ELEVATION NOTES**

-WINDOW HEAD HEIGHTS ARE DIMENSIONED ON ELEVATIONS FROM T.O. SUBFLOOR AT RESPECTED UNIT.

-ALL WINDOW TRIM TO BE 1"x4" TEXTURED CEMENT BOARD UNLESS OTHERWISE NOTED.

-ALL ROOF FASCIA BOARDS TO BE 5/4"x8" CEMENT BOARD UNLESS OTHERWISE NOTED.

-ALL GUTTERS TO BE 5"x5" METAL GUTTERS UNLESS OTHERWISE NOTED.

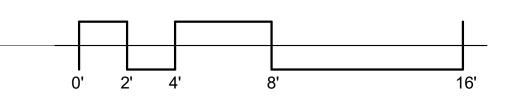
-1"x4" TEXTURED CEMENT BOARD TRIM TYPICAL AT ALL GARAGE DOORS UNLESS OTHERWISE

-ASHPALT SHINGLE ROOF TYPICAL AT ALL ROOFS UNLESS OTHERWISE NOTED.

(12) ASPHALT SHINGLE (13) 12.1 ROOF, TYP. SCUPPER, TYP. ROOF FASCIA, TYP. -BLDG. HT. BOARD & BATTEN VERTICAL SIDING T.O. FRAMING 128' - 8 7/8" F 2' - 6" OVHG. OVHG. EXTERIOR LIGHTING FIXTURES, TYP. EXTERIOR LIGHTING — FIXTURES, TYP. T.O. SUBFLOOR

- LVL3
120' - 7 3/4" .\_u - / 3/4
T.O. FRAMING
LVL2
119' - 5" E E T.O. SUBFLOOR LVL2 110' - 3 7/8" SOLID LINE INDICATES PROPOSED GRADE DASHED GREY LINE INDICATES
OVERLOT GRADE (EXISTING GRADE) 







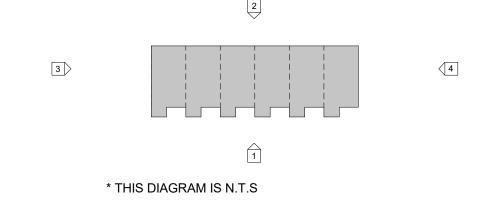
ROW HOME, BUILDING No. 2
SKI IDLEWILD ROAD WINTER PARK
GRAND COUNTY, CO, 80482

REVISIONS

No. Description Date

A2.2

**ELEVATIONS** 



### **ELEVATION NOTES**

-WINDOW HEAD HEIGHTS ARE DIMENSIONED ON ELEVATIONS FROM T.O. SUBFLOOR AT RESPECTED

CEMENT BOARD UNLESS OTHERWISE NOTED. -ALL ROOF FASCIA BOARDS TO BE 5/4"x8" CEMENT BOARD UNLESS OTHERWISE NOTED.

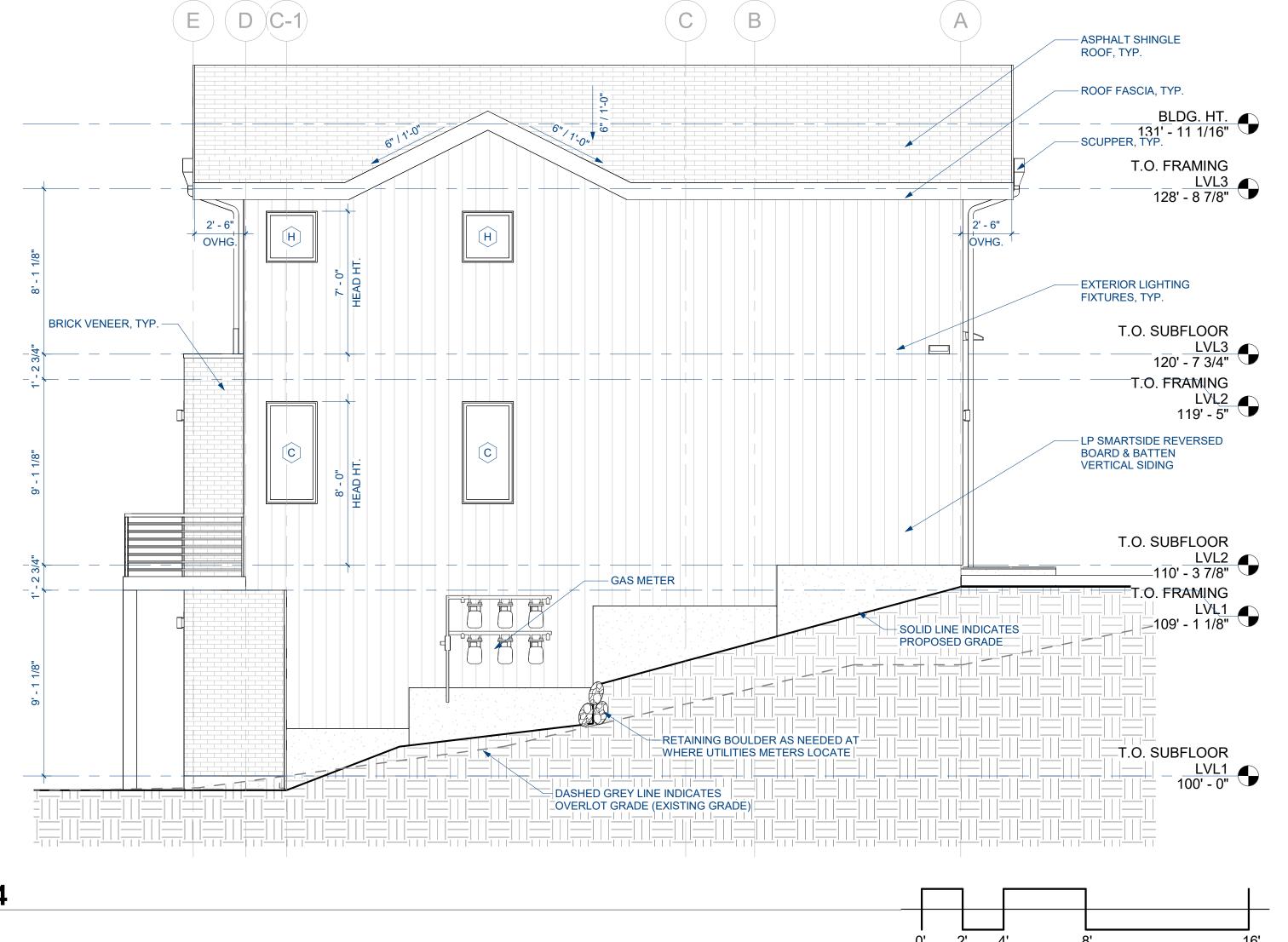
-ALL WINDOW TRIM TO BE 1"x4" TEXTURED

-ALL GUTTERS TO BE 5"x5" METAL GUTTERS UNLESS OTHERWISE NOTED.

-1"x4" TEXTURED CEMENT BOARD TRIM TYPICAL AT ALL GARAGE DOORS UNLESS OTHERWISE

-ASHPALT SHINGLE ROOF TYPICAL AT ALL ROOFS UNLESS OTHERWISE NOTED.

1 **ELEVATION 3**A2.3 1/4" = 1'-0"



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> 2 ) WINTER PARK ', CO, 80482 <u>2</u> BUILDING SKI IDLEWILD ROAD GRAND COUNTY Ш **У**

ROW

**REVISIONS** No. Description Date

A2.3

**ELEVATIONS** 

02/13/2024

2 ELEVATION 4 A2.3 1/4" = 1'-0"

### ROW HOME, BUILDING No. 1



1301 Walnut Street,

Suite 101 Boulder, CO 80302 720-530-5901



### SHEET INDEX

Sheet	
Number	Sheet Name
A0.0	COVER SHEET
A0.1	MATERIAL BOARD
A0.2	MATERIAL OPTIONS
A0.3	SITE PLAN
A0.4	GRADING & DRAINAGE PLAN
A1.0	OVERALL FLOOR PLANS
A1.1	LEVEL 1A FLOOR PLAN
A1.2	LEVEL 1B FLOOR PLAN
A1.3	LEVEL 2A FLOOR PLAN
A1.4	LEVEL 2B FLOOR PLANS
A1.5	LEVEL 3A FLOOR PLAN
A1.6	LEVEL 3B FLOOR PLAN
A1.7	ROOF PLAN
A1.8	ROOF PLAN
A2.1	ELEVATIONS
A2.2	ELEVATIONS
A2.3	ELEVATIONS

### PROJECT DIRECTORY

### HIGHLAND DEVELOPMENT COMPANY 2100 DOWNING ST. DENVER, CO 80205 P. 720.739.7200

RHAP ARCHITECTURE + PLANNING 1301 WALNUT STREET, SUITE 101 BOULDER, CO 80302 RYAN HANNEMAN

CIVIL ENGINEER TKE CIVIL & STRUCTURAL ENGINEERING P.O. BOX 2225 GRANBY, CO 80446 P. 970.725.3310

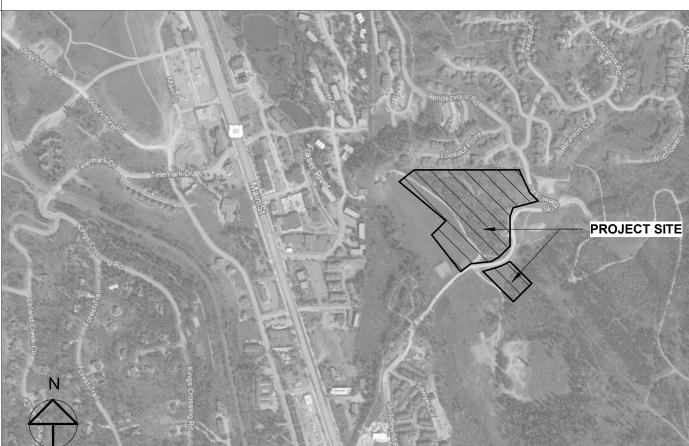
STRUCTURAL ENGINEER FORTIS STRUCTURAL, LLC 7935 E. PRENTICE AVE. SUITE 305 GREENWOOD VILLAGE, CO 80111 P. 720.593.3800 PAUL A. ESPINOZA

**SURVEYOR** CORE CONSULTANTS, INC. 3473 SOUTH BROADWAY ENGLEWOOD, CO 80113 P. 303.703.4444

**GEOTECH** A.G. WASSENAAR, INC. 3211 SOUTH ZUNI STREET ENGLEWOOD, CO 80110 P. 303.759.8100

LANDSCAPE OXBOW DESIGN COLLABORATIVE, LTD. 802 E. 19TH AVE. UNIT A DENVER, CO 80218 DAVID G. GREGORY

### **VICINITY MAP**



### **BUILDING DATA**

CONDITIONED FLOO	DR AREA SUMMARY (PER UNIT):	UNCONDITIONED FL	OOR AREA SUMMARY (PER UNIT):
A UNIT TYPE  LEVEL 3  LEVEL 2  LEVEL 1  TOTAL	= 840 SF = 840 SF = 406 SF = 2,086 SF	<b>A UNIT TYPE</b> GARAGE	= 394 SF
A-1 UNIT TYPE  LEVEL 3  LEVEL 2  LEVEL 1  TOTAL	= 840 SF = 840 SF = 406 SF = 2,086 SF	<b>A-1 UNIT TYPE</b> GARAGE	= 394 SF
B UNIT TYPE  LEVEL 3  LEVEL 2  LEVEL 1  TOTAL	= 630 SF = 649 SF = 396 SF = 1,675 SF	<b>B UNIT TYPE</b> GARAGE	= 232 SF

### APPLICABLE CODES

### **TOWN OF WINTER PARK: PUD**

**BUILDING TYPE:** IRC TOWNHOUSE

BUILDING CODE: 2015 INTERNATIONAL RESIDENTIAL CODE 2015 INTERNATIONAL MECHANICAL CODE 2015 INTERNATIONAL PLUMBING CODE 2015 INTERNATIONAL FUEL GAS CODE 2015 INTERNATIONAL ENERGY CONSERVATION CODE 2015 INTERNATIONAL FIRE CODE 2017 NATIONAL ELECTRICAL CODE ICC A117.1-2017

2015 IECC STANDARDS, (REFER TO RESCHECK): FENESTRATION U-FACTOR: SKYLIGHT U-FACTOR: N/A GLAZED FENESTRATION SHGC: CEILING R-VALUE: WOOD FRAME R-VALUE: FLOOR R-VALUE: BASEMENT WALL R-VALUE: 15/19 SLAB R-VALUE AND DEPTH: 10, 4 ft\*\* CRAWL SPACE WALL R-VALUE 15/19

\*\* R-15 REQUIRED FOR HEATED SLABS, NA

### LEGAL DESCRIPTION

### SOJOURN AT IDLE WILD

A REPLAT OF TRACTS F-2 AND F-3, REPLAT OF TRACT F, RIVER WALK AT WINTER PARK FILING NO.1-EXEMPTION PLAT A PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO

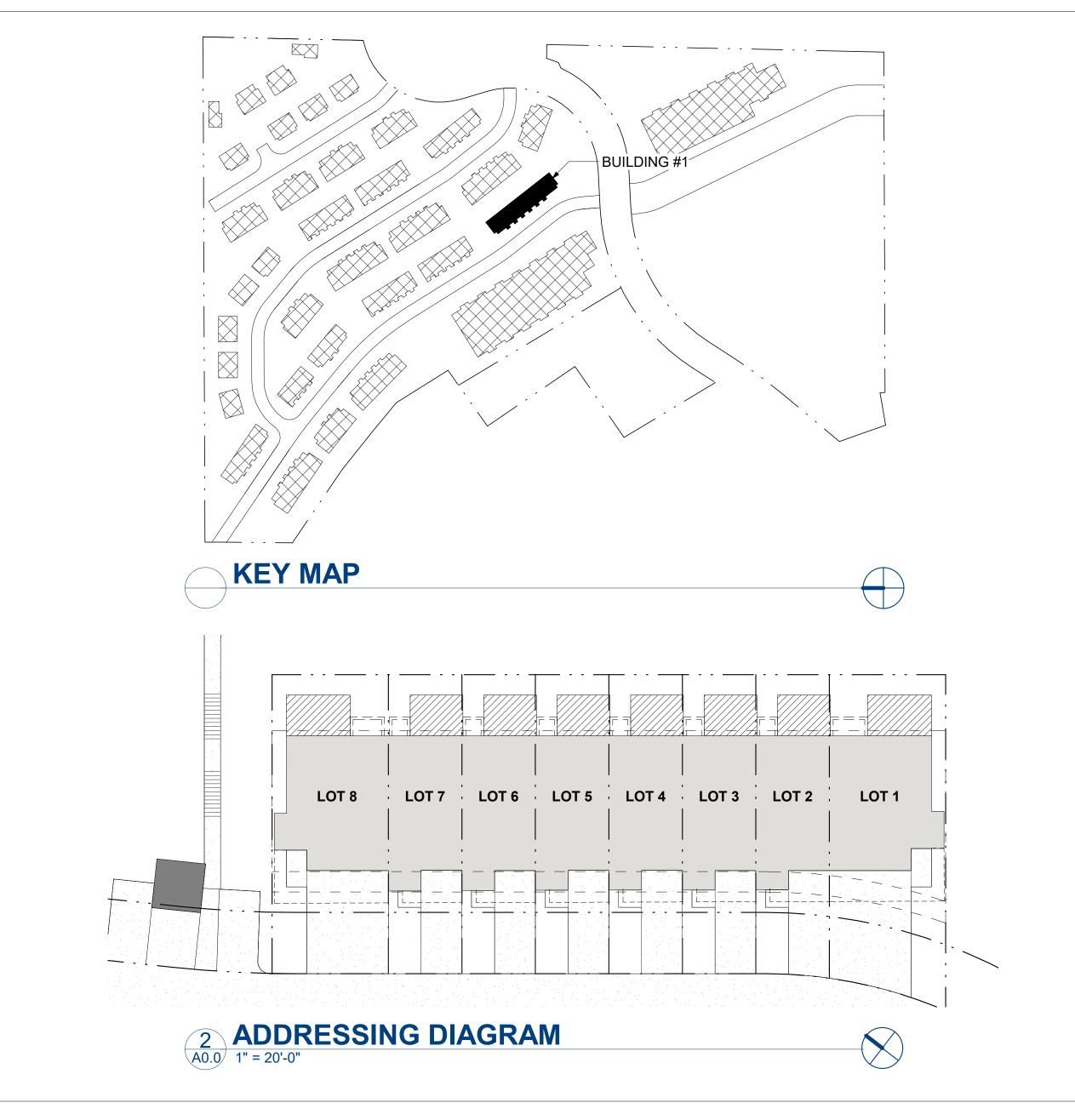
REVISIONS						
No.	No. Description Dat					

ME,

SO. IDLEWILD F

A0.0

**COVER SHEET** 



### ROW HOME, BUILDING No. 2

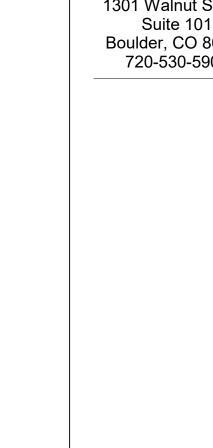


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## 2



SKI IDLEV GRAN



## MILD ROAD WINTER PARK ID COUNTY, CO, 80482



### SHEET INDEX

Sheet Number	Sheet Name
A0.0	COVER SHEET
A0.1	MATERIAL BOARD
A0.2	MATERIAL OPTIONS
A0.3	SITE PLAN
A0.4	GRADING & DRAINAGE PLAN
A1.1	FLOOR PLANS
A1.2	FLOOR PLANS
A1.3	FLOOR PLANS
A1.4	ROOF PLAN
A2.1	ELEVATIONS
A2.2	ELEVATIONS
A2.3	ELEVATIONS

HIGHLAND DEVELOPMENT COMPANY 2100 DOWNING ST. DENVER, CO 80205 P. 720.739.7200

RHAP ARCHITECTURE + PLANNING 1301 WALNUT STREET, SUITE 101 BOULDER, CO 80302 P. 720.985.9527 RYAN HANNEMAN

### CIVIL ENGINEER TKE CIVIL & STRUCTURAL ENGINEERING

P.O. BOX 2225 GRANBY, CO 80446 P. 970.725.3310 STRUCTURAL ENGINEER

### FORTIS STRUCTURAL, LLC 7935 E. PRENTICE AVE. SUITE 305

GREENWOOD VILLAGE, CO 80111 P. 720.593.3800 PAUL A. ESPINOZA **SURVEYOR** 

### CORE CONSULTANTS, INC.

3473 SOUTH BROADWAY ENGLEWOOD, CO 80113 P. 303.703.4444

### **GEOTECH**

A.G. WASSENAAR, INC. 3211 SOUTH ZUNI STREET ENGLEWOOD, CO 80110 P. 303.759.8100

### LANDSCAPE

OXBOW DESIGN COLLABORATIVE, LTD. 802 E. 19TH AVE. UNIT A **DENVER, CO 80218** DAVID G. GREGORY



### **BUILDING DATA**

CONDITIONED FLOOR AREA SUMMARY (PER UNIT):	UNCONDITIONED FLOOR AREA SUMMARY (PER UNIT):
B UNIT TYPE  LEVEL 3 = 630 SF  LEVEL 2 = 649 SF  LEVEL 1 = 396 SF  TOTAL = 1,675 SF	B UNIT TYPE  GARAGE = 232 SF
B-1 UNIT TYPE  LEVEL 3 = 630 SF  LEVEL 2 = 649 SF  LEVEL 1 = 414 SF  TOTAL = 1,693 SF	<b>B-1 UNIT TYPE</b> GARAGE = 232 SF
B-2 UNIT TYPE  LEVEL 3 = 630 SF  LEVEL 2 = 649 SF  LEVEL 1 = 402 SF  TOTAL = 1,681 SF	<b>B-2 UNIT TYPE</b> GARAGE = 243 SF

### APPLICABLE CODES

### **GRAND COUNTY ZONE DISTRICT:** R-C

**BUILDING TYPE:** IRC TOWNHOUSE

### BUILDING CODE: 2015 INTERNATIONAL RESIDENTIAL CODE

2015 INTERNATIONAL MECHANICAL CODE 2015 INTERNATIONAL PLUMBING CODE 2015 INTERNATIONAL FUEL GAS CODE 2015 INTERNATIONAL ENERGY CONSERVATION CODE 2015 INTERNATIONAL FIRE CODE 2017 NATIONAL ELECTRICAL CODE ICC A117.1-2017

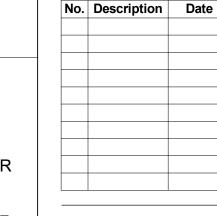
### <u>2015 IECC STANDARDS:</u> FENESTRATION U-FACTOR: 0.32 SKYLIGHT U-FACTOR: GLAZED FENESTRATION SHGC: 0.55 NR CEILING R-VALUE: WOOD FRAME R-VALUE: MASS WALL R-VALUE: 19/21 FLOOR R-VALUE: BASEMENT WALL R-VALUE:

SLAB R-VALUE AND DEPTH: 10, 4 ft\*\* CRAWL SPACE WALL R-VALUE 15/19 \* PER GRAND COUNTY AMENDMENTS \*\* R-15 REQUIRED FOR HEATED SLABS

### SOJOURN AT IDLE WILD

A REPLAT OF TRACTS F-2 AND F-3, REPLAT OF TRACT F, RIVER WALK AT WINTER PARK FILING NO.1-EXEMPTION PLAT A PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO

### LEGAL DESCRIPTION



A0.0

**REVISIONS** 

**COVER SHEET** 

02/13/2024

### **ADDRESSING DIAGRAM**

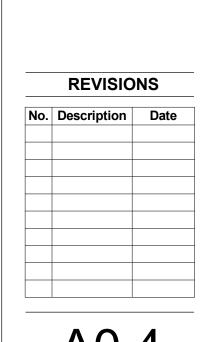
LOT 14 LOT 13 LOT 12 LOT 11 LOT 10 LOT 9

**KEY MAP** 

### BUILDING ME

80482

### N AT IDLEWILD , WINTER PARK, ( SOJOURN SKI IDLEWILD ROAD, ROW

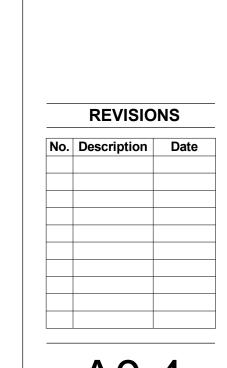


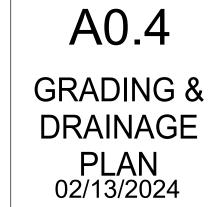
A0.4 **GRADING &** DRAINAGE PLAN 02/13/2024

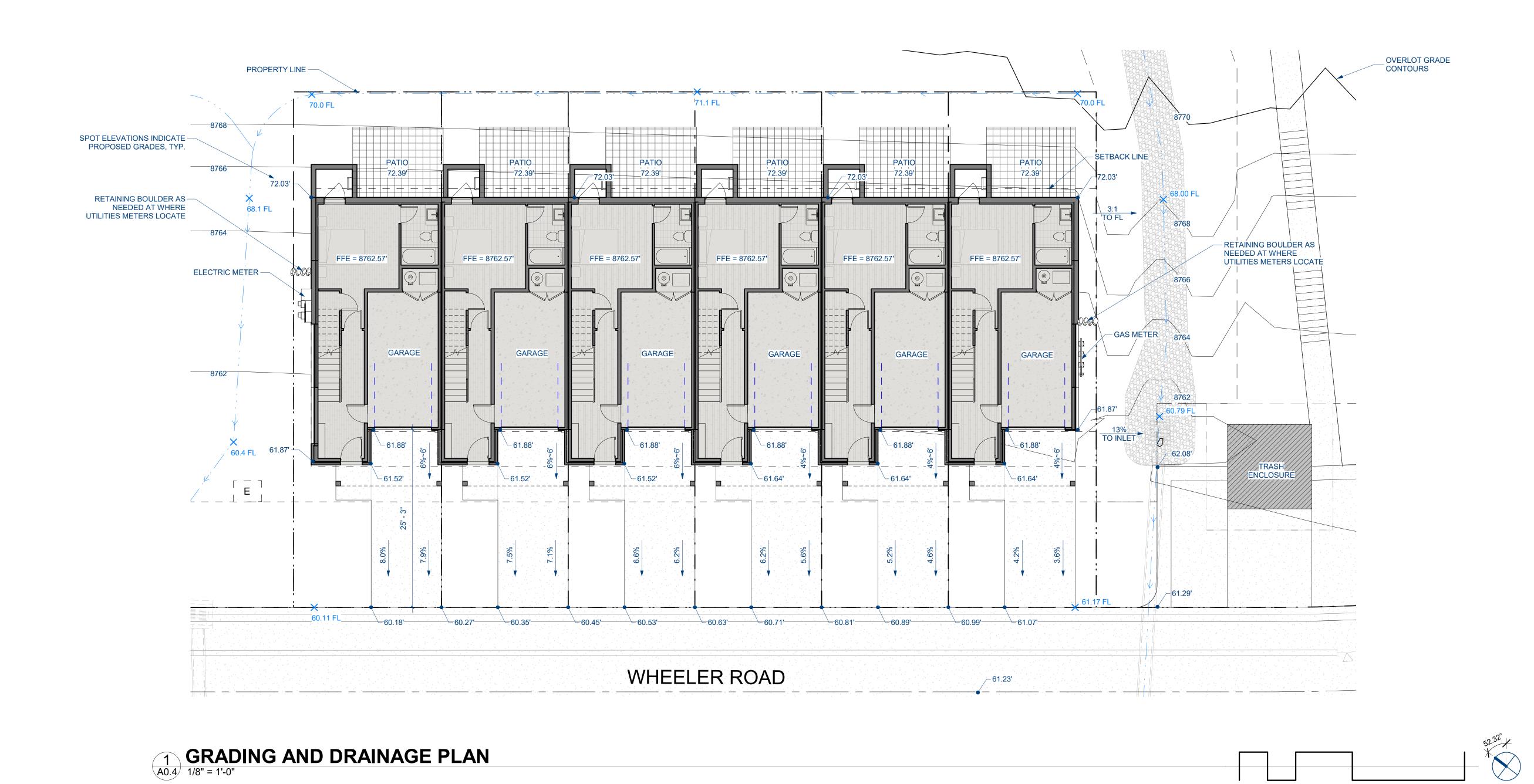




# ROW HOME, BUILDING No. 2 SKI IDLEWILD ROAD WINTER PARK GRAND COUNTY, CO, 80482







SYMBOL	DEFINITION
EEE	ELECTRIC LINE
GG	GAS LINE
ww	WATER LINE
_ss_ss_ss_	SEWER LINE
U/GU/GU/G	TRENCH FOR UNDERGROUND UTILITIE LINES INCLUDING GAS LINES, ELECTRIC LINES, TELECOM CONDUIT

### SITE PLAN NOTES

- REFERENCE LIGHTING PLANS AND ELEVATIONS FOR LOCATIONS OF EXTERIOR LIGHTING FIXTURES

- REFERENCE CIVIL ENGINEERING GRADING PLANS FOR ALL SPOT ELEVATIONS, PAVING, AND UTILITIES

- REFERENCE APPROVED LANDSCAPE PLANS FOR FINAL LANDSCAPE AND SITE AMENITIES

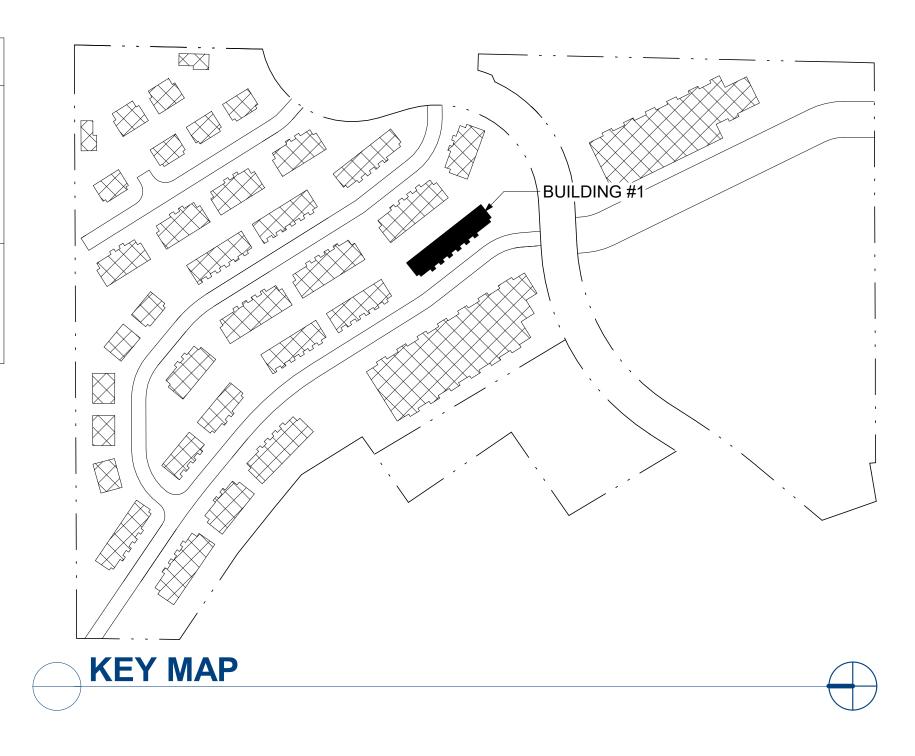
- REFERENCE CIVIL AND ARCHITECTURAL FLOOR PLANS FOR GARAGE SLAB SLOPE

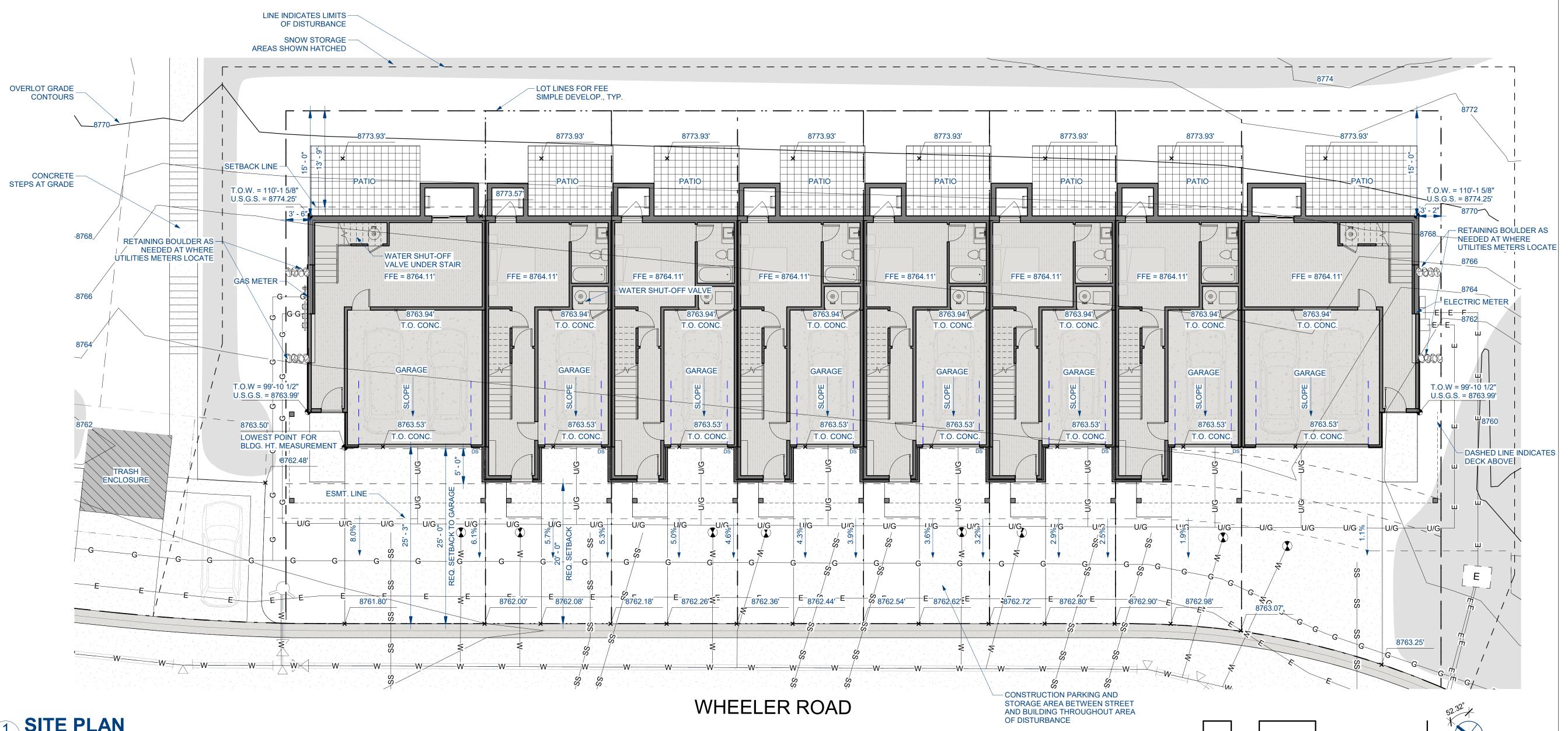
- BUILDING COVERAGE RATIOS ARE PER PLAT DOCUMENTS

PROTECTION NOTES

A. "NO DISCTURBANCE, GRADING, OR REMOVAL OF SIGNIFICANT NATURAL FEATURES AND VEGETATION WILL OCCUR BEYOND THE "LIMIT OF DISTURBANCE" LINE, AS SHOWN ON THIS PLAN "

"THE 'LIMIT OF DISTURBANCE' LINE SHALL BE DELINEATED PRIOR TO CONSTRUCTION WITH FLAGS, ROPING, FOUR FOOT (4') TALL ORANGE CONSTRUCTION FENCING, OR OTHER ACCEPTABLE MEANS."





NOTE:
REFER TO LANDSCAPE PLAN FOR REVEGETATION.
SURFACE WATER SHALL DRAIN AWAY FROM THE
HOUSE AT ALL POINTS.



ROW HOME, BUILDING No

1301 Walnut Street, Suite 101

Boulder, CO 80302

720-530-5901

80482

V AT IDLEWILD WINTER PARK,

JOURN ROAD, \

SOJ SKI IDLEWILD F

REVISIONS

No. Description Date

A0.3

SITE PLAN

SYMBOL	DEFINITION
EEE	ELECTRIC LINE
—G—G—G—	GAS LINE
www	WATER LINE
ssssss	SEWER LINE
-U/G-U/G-U/G-	TRENCH FOR UNDERGROUND UTILITIE LINES INCLUDING GAS LINES, ELECTRIC LINES, TELECOM CONDUIT

### SITE PLAN NOTES

- REFERENCE LIGHTING PLANS AND ELEVATIONS FOR LOCATIONS OF EXTERIOR LIGHTING FIXTURES - REFERENCE CIVIL ENGINEERING GRADING PLANS FOR ALL SPOT ELEVATIONS, PAVING, AND UTILITIES - REFERENCE APPROVED LANDSCAPE PLANS FOR FINAL LANDSCAPE AND SITE AMENITIES

- REFERENCE CIVIL AND ARCHITECTURAL FLOOR PLANS FOR GARAGE SLAB SLOPE

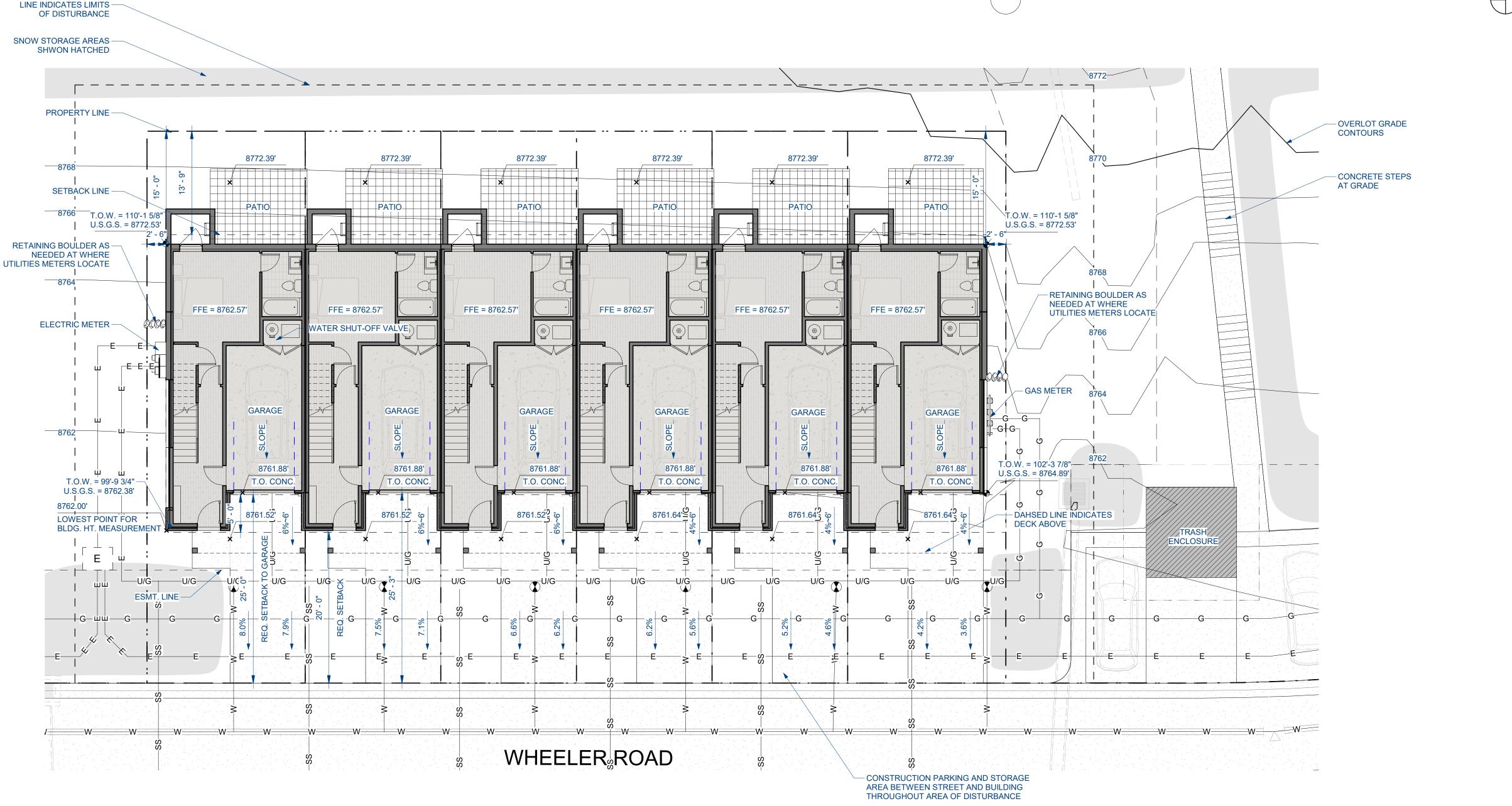
- BUILDING COVERAGE RATIOS ARE PER PLAT DOCUMENTS

PROTECTION NOTES

A. "NO DISCTURBANCE, GRADING, OR REMOVAL OF SIGNIFICANT NATURAL FEATURES AND VEGETATION WILL OCCUR BEYOND THE "LIMIT OF DISTURBANCE" LINE, AS SHOWN ON THIS

"THE 'LIMIT OF DISTURBANCE' LINE SHALL BE DELINEATED PRIOR TO CONSTRUCTION WITH FLAGS, ROPING, FOUR FOOT (4') TALL ORANGE CONSTRUCTION FENCING, OR OTHER ACCEPTABLE MEANS."





NOTE:
REFER TO LANDSCAPE PLAN FOR REVEGETATION.
SURFACE WATER SHALL DRAIN AWAY FROM THE
HOUSE AT ALL POINTS.

1 SITE PLAN A0.3 1/8" = 1'-0"

1301 Walnut Street, Suite 101 Boulder, CO 80302 720-530-5901

> 2 WINTER PARK , CO, 80482 **2**

> > SKI IDLEV GRAN

**REVISIONS** No. Description Date

A0.3

SITE PLAN

### PLANTING NOTES:

- 1. ALL PLANT MATERIALS SHALL MEET OR EXCEED SIZE IN SCHEDULES. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET THE QUALITY REQUIRED FOR THE PROJECT. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL SHAPED HEADS, ALL EVERGREEN TREES SHALL BE UNSHEARED AND FULL TO THE GROUND. PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1.
- 2. SEE PLANTING DETAILS FOR PLANT PIT DIMENSIONS, BACKFILL REQUIREMENTS, AND INSTALLATION NOTES. ALL TREES TO BE STAKED OR GUYED PER DETAILS ON SHEET L2.1.
- 3. ALL PLANTS WILL BE INSPECTED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE DELIVERY TO THE SITE. ALL TREE LOCATIONS AND EDGES OF NEW PLANTING BEDS ARE TO BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- 4. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
- 5. LANDSCAPE CONTRACTOR SHALL PROVIDE PER-UNIT COSTS FOR EVERY SIZE OF PLANT MATERIALS, AND BY TYPE AS CALLED OUT ON PLANS. UNIT COSTS TO INCLUDE THE PLANT MATERIAL ITSELF AND INSTALLATION, INCLUDING ALL LABOR, AMENDMENTS, FERTILIZERS, ETC. AS DETAILED AND SPECIFIED FOR EACH SIZE.
- 6. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO DO THEIR OWN QUANTITY TAKEOFFS FOR ALL PLANT MATERIALS AND SIZES SHOWN ON PLANS.
- 7. COORDINATE INSTALLATION OF LARGE PLANT MATERIAL WITH FOOTINGS AND PAVEMENTS. ANY DAMAGE TO IMPROVEMENTS BY OTHERS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- 8. THE LANDSCAPE CONTRACTOR SHALL ALLOW FOR THE ADDITION OF SPECIFIED QUANTITIES OF SOIL AMENDMENTS, CONDITIONERS AND MULCH IN SOIL PREPARATION AND FINISH GRADING.
- 9. IMPORTED SOIL SHALL BE USED TO SUPPLEMENT EXISTING SOIL AS NECESSARY TO MEET THE FINISHED GRADING REQUIREMENTS OF PLANTING AREAS.
- 10. THE LANDSCAPE CONTRACTOR SHALL PERFORM A STANDARD AGRICULTURAL SUITABILITY ANALYSIS OF EXISTING SOIL PROPOSED FOR PLANTING AT HIS EXPENSE AND INCORPORATE RECOMMENDATIONS PER DENVER WATER AMENDMENT REQUIREMENTS PRIOR TO PLANTING.
- 11. INSTALL A MINIMUM OF 4 CUBIC YARDS OF SOIL AMENDMENT PER 1000 SQUARE FEET OF PERMEABLE AREA TO BE PLANTED WITH SOD, SHRUBS, GRASSES, OR PERENNIALS. AMENDMENT SUPPLIER SHALL BE A1 ORGANICS OF EATON, COLORADO.
- 12. ALL TREES, SHRUBS, PERENNIALS, SOD AND SEEDED AREAS SHALL BE GUARANTEED TO REMAIN ALIVE AND HEALTHY FOR A 12-MONTH PERIOD AFTER INITIAL ACCEPTANCE. REPLACEMENTS SHALL BE GUARANTEED AN ADDITIONAL 12-MONTHS UNTIL FINAL ACCEPTANCE. ALL REPLACEMENT COSTS SHALL BE BORN BY THE CONTRACTOR.
- 13. TAKE ALL DIMENSIONS PERPENDICULAR TO ANY REFERENCE LINE, CENTERLINE, OR BACK OF CURB.
- 14. STREET TREES SHALL BE PLACED 5'-0" MIN. FROM BURIED UTILITIES.
- 15. ALL PROPOSED LANDSCAPING IN THE RIGHT-OF-WAY SHALL BE PER THE TOWN OF WINTER PARK REQUIREMENTS AND TREES TO BE IN ACCORDANCE WITH CURRENT APPROVED TOWN STANDARDS INCLUDING SPECIES. INSTALLATION OF TREES IN THE RIGHT-OF-WAY TO BE PER TOWN STANDARDS PLANTING DETAIL. SEE SHEET L2.1
- 16. TREES IN THE RIGHT-OF-WAY TO MAINTAIN A MINIMUM DISTANCE FROM THE FOLLOWING

UTILITIES/ELEMENTS: 10' DRIVEWAYS

20' LIGHT POLES

10' DRIVEWAYS 20' STOP SIGNS
10' FIRE HYDRANTS 5' STORM INLET

5' WATER METERS

17. TREES PLANTING SETBACKS FROM PAVING AREAS TO BE PER TOWN OF WINTER PARK LANDSCAPE DESIGN REGULATIONS & GUIDELINES:

EVERGREEN TREES: 10'
DECIDUOUS TREES: 5'

- 18. TREE WRAPPING MATERIAL SHALL BE FOUR INCHES WIDE, BITUMINOUS IMPREGNATED TAPE, CORRUGATED OR CREPE PAPER, BROWN IN COLOR, SPECIFICALLY MANUFACTURED FOR TREE WRAPPING. TREES SHALL BE WRAPPED BETWEEN OCTOBER 15 AND NOVEMBER 1 OF THE YEAR THEY ARE PLANTED. NO TREE WRAPPING SHALL BE PERMITTED UNTIL A LICENSED LANDSCAPE CONTRACTOR OR CERTIFIED ARBORIST HAS INSPECTED THE TREE. IT IS THE DUTY OF THE CONTRACTOR TO WRAP DECIDUOUS TREES DURING THE ONE-YEAR WARRANTY PERIOD.
- 19. WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
- 20. LANDSCAPING IS TO MAINTAIN THREE (3) FEET OF CLEARANCE ON THE SIDES AND BACK, AND TEN (10) FEET OF CLEARANCE IN THE FRONT OF ELECTRICAL EQUIPMENT (TRANSFORMERS/SWITCHES/VAULTS). IN ADDITION, ANY DEEP ROOTED TREES MUST MAINTAIN THREE (3) FEET OF CLEARANCE FROM UNDERGROUND INFRASTRUCTURE (CABLES/CONDUITS). LOCATION OF LANDSCAPE MATERIAL MAY BE ALTERED TO PROVIDE ADEQUATE CLEARANCE FROM THE FINAL LOCATION OF THE ELECTRIC DISTRIBUTION FACILITIES TO THE SATISFACTION OF THE ELECTRICAL UTILITY PROVIDER.

### **GENERAL NOTES:**

- 1. THE BASE INFORMATION PROVIDED BY ENGINEER. REFER TO SURVEY, PLAT, ROADWAY AND UTILITY DRAWINGS AND OTHER AVAILABLE DOCUMENTS FOR PROPERTY LIMITS, EXISTING CONDITIONS, AND HORIZONTAL AND VERTICAL CONTROL. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL MATERIAL LOCATIONS AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES THAT ARE FOUND.
- THE LANDSCAPE CONTRACTOR SHALL HAVE ONE (1) APPROVED COPY OF PLANS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES. THOROUGHLY REVIEW THE SITE CONDITIONS, DRAWINGS, AND TECHNICAL SPECIFICATIONS PRIOR TO CONSTRUCTION. COMPLETE THE WORK OF THIS PROJECT IN ACCORDANCE WITH APPROVED DRAWINGS.
- 3. ANYTHING MENTIONED IN THE TECHNICAL SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE TECHNICAL SPECIFICATIONS SHALL NOT BE OF LIKE EFFECT AS IF SHOWN ON OR MENTIONED IN BOTH.
- 4. NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND SPECIFIC DETAILS. REFERENCE TO NORTH REFERS TO TRUE NORTH. REFERENCE TO SCALE IS FOR FULL SIZED DRAWINGS ONLY. DO NOT SCALE FROM DRAWINGS.
- 5. THE CONTRACTOR IS ADVISED THAT ALL EXISTING TREES AND SHRUBS ARE TO REMAIN UNLESS SPECIFICALLY NOTED TO BE REMOVED IN THE PLANS. CARE SHALL BE TAKEN TO PROTECT ALL TREES AND SHRUBS FROM DAMAGE DURING CONSTRUCTION. ALL DAMAGES CAUSED BY THE CONTRACTOR'S SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL CONSTRUCTION BARRICADES. SIGNS. AND WARNING DEVICES NECESSARY DURING CONSTRUCTION.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON SITE AT ALL TIMES DURING CONSTRUCTION.
- 8. LANDSCAPE CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
- 9. LANDSCAPE CONTRACTOR SHALL COORDINATE AND OBTAIN ALL NECESSARY PERMITS TO PERFORM ALL PROPOSED WORK AND SHALL COMPLY WITH ALL NOTIFICATION AND INSPECTION REQUIREMENTS.
- 10. LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
- 11. BEFORE COMMENCING WORK, CONTACT APPROPRIATE UTILITY COMPANIES FOR UTILITY LOCATIONS, AND COORDINATE WITH THE GENERAL CONTRACTOR IN REGARD TO LOCATION OF PROPOSED UTILITIES, IRRIGATION SLEEVES, CONDUITS, (ETC). LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MODIFICATIONS OR DAMAGES TO THE UTILITY LINES, STRUCTURES OR INJURIES THEREFROM. FOR EXISTING UTILITY INFORMATION CONTACT "THE UTILITY NOTIFICATION CENTER OF COLORADO" AT 1-800-922-1987. A MINIMUM OF THREE (3) BUSINESS DAY NOTICE IN ADVANCE OF LOCATIONS NEEDED ARE REQUIRED.
- 12. LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPE & HARDSCAPE MATERIALS TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, IE.; MULCH, EDGER, SANDSTONE BOULDERS (ETC).
- 13. ALL MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED AND MAINTAINED FOR ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE. ALL REPLACEMENT COSTS SHALL BE BORNE BY THE CONTRACTOR.
- 14. ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL, BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONSTRUCTION HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTOR'S ASSOCIATION.

### **IRRIGATION NOTES:**

- 1. ALL LANDSCAPED AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. SHRUBS WILL BE DRIP IRRIGATED. PROVIDE (3) QUICK COUPLERS AROUND THE PERIMETER OF THE PLAYGROUND. CONTRACTOR SHALL BE RESPONSIBLE FOR TAPS, BACKFLOW PREVENTION AND WINTERIZATION SYSTEMS, SLEEVING UNDER PAVED AREAS, WALLS, AND ALL SPRINKLER COMPONENTS NECESSARY FOR A FULLY FUNCTIONAL SYSTEM. TREES SHALL BE ON A SEPARATE ZONE FROM SHRUBS. DESIGN/BUILD DRAWINGS SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR APPROVAL.
- 2. ELECTRIC SERVICES FOR THE IRRIGATION CONTROLLERS ARE INSTALLED, OWNED AND MAINTAINED BY THE OWNER OR LEGAL ENTITY CREATED FOR COMMON AREA MAINTENANCE.
- 3. THE IRRIGATION CONTROLLER'S METERED ELECTRIC SERVICE MUST BE BUILT TO THE NATIONAL ELECTRIC CODE (NEC), REQUIRE A BUILDING PERMIT AND A ONE-LINE DIAGRAM. THE ONE-LINE DIAGRAM MUST BE SHOWN AS COLD SEQUENCED AND LABELED WITH THE SERVICE SIZE & VOLTAGE REQUIREMENTS.

### MAINTENANCE NOTES:

1. ALL LANDSCAPING SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A NEAT AND ADEQUATE MANNER. REQUIRED MAINTENANCE ACTIVITIES INCLUDE, BUT ARE NOT LIMITED TO MOWING OF LAWNS, TRIMMING OF HEDGES, ADEQUATE IRRIGATION, REPLACEMENT OF DEAD, DISEASED OR UNSIGHLY PLANT MATERIAL, REMOVAL OF WEEDS FROM PLANTED AREAS, AND APPROPRIATE PRUNING OF PLANT MATERIALS UNTIL FINAL COMPLETION.

### LANDSCAPE REQUIREMENT CALCULATIONS:

TOTAL	TREES	TREES	SHRUBS	SHRUBS
LANDSCAPE AREA	REQUIRED	PROVIDED	REQUIRED	PROVIDED
169,595	113	134	565	612

LANDSCAPE AREA CONSISTS OF ALL LAND OUTSIDE LANDSCAPE TRANSITION ZONES (LTZ) DISTURBED FOR CONSTRUCTION BUT NOT COVERED BY BUILDINGS, RECREATION STRUCTURES, PARKING, DRIVEWAYS, AND ROADS.
FOR AREAS WITHIN 75 FEET OF BUILDINGS, RECREATION STRUCTURES, PARKING LOTS,

DRIVEWAYS, AND ROADS SHALL PROVIDE (1) TREE AND (5) SHRUBS PER 1,500 SF OF

LANDSCAPE AREA.
FOR AREAS OUTSIDE 75 FEET OF BUILDINGS, RECREATIONS STRUCTURES, PARKING
LOTS, DRIVEWAYS, AND ROADS SHALL PROVIDE (1) TREE AND (5) SHRUBS PER 3,000 SF
OF LANDSCAPE AREA.

LANDSCAPE TRANSITION ZONE	TOTAL LENGTH (LF)	DECIDUOUS TREES PROVIDED	EVERGREEN TREES PROVIDED	SHRUBS PROVIDED
B (40' WIDTH)	*2,955	126	84	443
C (40' WIDTH)	**1,073	61	35	355
D (120' WIDTH)	***65	7	8	29

- \* <u>LTZ B,</u> IS MEASURED AS THE LENGTH OF PROPERTY LINE ALONG PLANNED DEVELOPED LOTS, MINUS LENGTH OF INTERSECTING R.O.W.
- \*\* LTZ C, IS MEASURED AS THE LENGTH OF COLLECTOR STREET R.O.W. WITHIN THE

PROPERTY BOUNDARY, MINUS THE LENGTH OF DRIVE LANES.

\*\*\* <u>LTZ - D</u>, IS MEASURED AS THE LENGTH OF THE PROPERTY LINE ALONG PLANNED DEVELOPED LOTS, MINUS LENGTH OF INTERSECTING R.O.W.

### PLANTING SCHEDULE:

KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	HEIGHT	WIDTH	WAT
DECID	UOUS SHADE TREES		_		_	_	
NLC	Populus angustifolia	Narrowleaf Cottonwood	2.5" cal.	as shown	60'	20-30'	L-M
CRC	Prunus virginiana 'Canada Red'	Canada Red Chokecherry	2.5" cal.	as shown	25'	20'	L-M
<b>EVERG</b>	REEN TREES						
EMS	Picea engelmannii	Engelmann Spruce	6'	as shown	60-80'	10-15'	М
CBS	Picea pungens	Colorado Blue Spruce	6'	as shown	40-60'	10-20'	М
ВСР	Pinus aristata	Bristlecone Pine	6'	as shown	25-30'	10-15'	X-L
LPP	Pinus contorta var. latifolia	Lodgepole Pine	6'	as shown	40-60'	20-30'	L
LMP	Pinus flexilis	Limber Pine	6'	as shown	40-60'	20-30'	L-M
VWP	Pinus flexilis 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Limber Pine	6'	as shown	20'	10'	М
DECID	UOUS ORNAMENTAL TREES	,					
ASP	Populus tremuloides	Quaking Aspen	2.5" cal.	as shown	30-35'	15'	М
HCA	Malus 'hopa'	Hopa Crabapple	2-2.5" cal.	as shown	15 - 20'	15-20'	L-M
RHT	Crataegus ambigua	Russian Hawthorn	2-2.5" cal.	as shown	15'	15'	XL-I
FGM	Acer Ginnala 'Flame'	Flame Ginnala Maple	2-2.5" cal.	as shown	15'	15'	L-M
	REEN SHRUBS	· ·	1				1
BFJ	Juniperus sabina 'Buffalo'	Buffalo Juniper	#5	4' o.c.	12"	6'	L
MPS	Pinus mugo	Mugo Pine	#5	10' o.c.	10-20'	10-20'	ı
DMP	Pinus mugo 'White Bud'	Dwarf Mugo Pine	#5	4' o.c.	3-4'	3-4'	L
	UOUS SHRUBS	5 Wall Mage 1 III0	<i>"</i> 0	7 0.0.	0 4	0 4	_ L
		Doolay Mountain Dirah	<b>"</b> "	401	40.05	40.45	N 4 1
RMB	Betula occidentalis 'Fontinalis'	Rocky Mountain Birch	#5	10' o.c.	10-25'	10-15'	M-H
PBS	Prunus besseyi 'Pawnee Buttes'	Pawnee Buttes Sand Cherry	#5	3.5' o.c.	1-2'	4-6'	L-M
RBB	Chrysothamnus nauseosus	Rabbitbrush  Radbuig Reguesed	#5	4' o.c.	4'	4'	X-L
RTD	Cornus sericea	Redtwig Dogwood	#5	6' o.c.	6-8'	6-10'	M
ADG	Cornus sericea Arctic Fire	Arctic Fire Dogwood	#5	3' o.c.	3-4'	3-4'	M
DNK	Physocarpus opulifolius 'Nanus	Dwarf Ninebark	#5	4' o.c.	5'	5'	L-M
JMP	Potentilla fruticosa 'Jackmanii'	Jackman Potentilla	#5	3'o.c.	3-4'	2-3'	L-M
DGM	Acer ginnala 'Compacta'	Dwarf Ginnala Maple	#5	6' o.c.	8'	8'	M
APC	Ribes alpinum	Alpine Currant	#5	3' o.c.	3-6'	3-6'	L
YFC	Ribes aureum	Yellow Flowering Currant	#5	4' o.c.	4-6'	4-6'	L
DAW	Salix purpurea 'Nana'	Dwarf Arctic Willow	#5	6' o.c.	4-6'	4-6'	M
SPB	Caragana arborescens	Siberian Peashrub	#5	4'o.c.	6-8'	4-6'	X-L
CPL	Syringa vulgaris	Common Purple Lilac	#5	8' o.c.	15'	8'	M
RMS	Rhus glabra 'Cismontana'	Rocky Mountain Sumac	#5	5' o.c.	5-6'	5'-6'	X-L
TLS	Rhus trilobata	Three-Leaf Sumac	#5	4' o.c.	3-4'	3-4'	L
SBV	Viburnum opulus sterilis 'Roseum	Snowball Viburnum	#5	8' o.c.	8-12'	8-12'	M
GROUN	DCOVER						
KNK	Arctostaphylos 'uva-ursi'	Kinnikinnik Manzanita	#5	4' o.c.	6"-12"	4'	ı
CMA	Mahonia repens	Creeping Mahonia	#5 #5	3' o.c.	18-24"	3-4'	L
YAR	Achillea millefolium	Common Yarrow	#1	24" o.c.	18-24"	2-3'	L
PEN	Penstemon strictus	Rocky Mountain Penstemon	#1	18" o.c.	12-24"	12-18"	L
	Sedum spectabile 'Autumn Joy'	Autumn Joy Sedum	#1	24" o.c.	18-36"	18-24"	L
AJS	Centranthus ruber 'Coccineus'	-		24" 0.c. 24" o.c.	24-36"	24-36"	L
RVN	Aquilegia caerulea	Red Valerian  Rocky Mountain Columbine	#1				L
RMC	Ayuncyia Gaerulea	nocky wouldan columbine	#1	12" o.c.	8"-12"	12"	L

### RAINGARDEN SEED MIX:

BOTANICAL NAME	COMMON NAME	VARIETY	PLS <sup>2</sup> / ACRE	OZ. / ACRE
Andropogon hallii	Sand bluegrass	Garden	3.5	
Bouteloua curtipendula	Sideoats grama	Butte	3	
Calamovilfa longifolia	Prairie sandreed	Goshen	3	
Orizopsis hymenoides	Indian ricegrass	Paloma	3	
Panicum virgatum	Switchgrass	Blackwell	4	
Pascopyrum smithii	Western wheatgrass	Ariba	3	
Schizachyrium scoparium	Little bluestem	Patura	3	
Sporobolus airoides	Alkali sacaton		3	
Sporobolus cryptandrus	Sand dropseed		3	
Artemesia frigida	Pasture sage			2
Aster laevis <sup>1</sup>	Blue aster			4
Gaillardia aristata 1	Blanket flower			8
Ratibida columnifera <sup>1</sup>	Prairie coneflower			4
Dalea (Petalostemum) purpurea ¹	Purple prairieclover			4
Sub-Totals:			27.5	22
Total lbs per acre:			2	8.9

Wildflower seed (optional) for a more diverse and natural look.

<sup>2</sup>PLS = Pure Live Seed.

### DRYLAND SEED MIX:

Total lbs per acre:		100	25
Bouteloua gracilis	Blue Grama Grass	5	1.25
Poa compressa	Canada Bluegrass	5	1.25
Bouteloua curtipendula	Sideoats Grama	10	2.5
Andropogon gerardii	Big Bluestem	10	2.5
Festuca ovina	Sheep Fescue	10	2.5
Festuca perennis	Annual Ryegrass	10	2.5
Elymus trachycaulus	Slender Wheatgrass	15	3.75
Agropyron cristatum	Crested Wheatgrass	15	3.75
Elymus canadensis	Canada Wildrye	20	5
BOTANICAL NAME	COMMON NAME	%	PLS / ACRE

### OX DOU DESIGN COLLABORATIVE

### CLIENT:

HIGHLAND DEVELOPMENT GROUP 2100 DOWNING STREET DENVER, CO 80205

### CONSULTANT:

OXBOW DESIGN COLLAB.,LTD. 209 KALAMATH STREET, #6 DENVER, CO 80223 720.465.6168 WWW.OXBOWDBC.COM

SOJOURN AT IDLEWILD 398 SKI IDLEWILD ROAD WINTER PARK, COLORADO, 8048

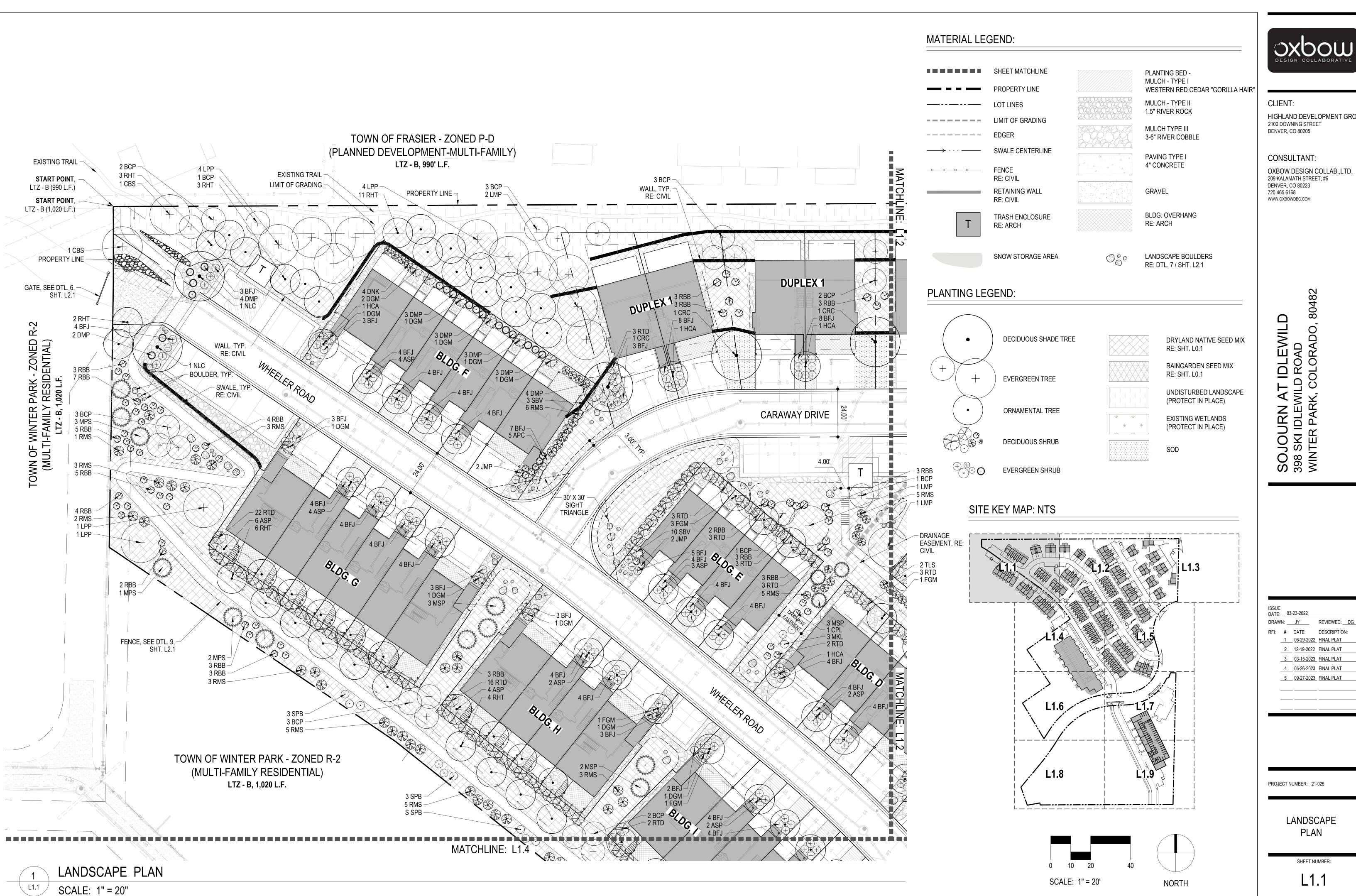
ISSUE DATE:		-23-2022	
DRAW	N:	JY	REVIEWED:
RFI:	#	DATE:	DESCRIPTION
	_1	06-29-2022	FINAL PLAT
	2	12-19-2022	FINAL PLAT
	3	03-15-2023	FINAL PLAT
	4	05-26-2023	FINAL PLAT
	5	09-27-2023	FINAL PLAT
		_	

PROJECT NUMBER: 21-025

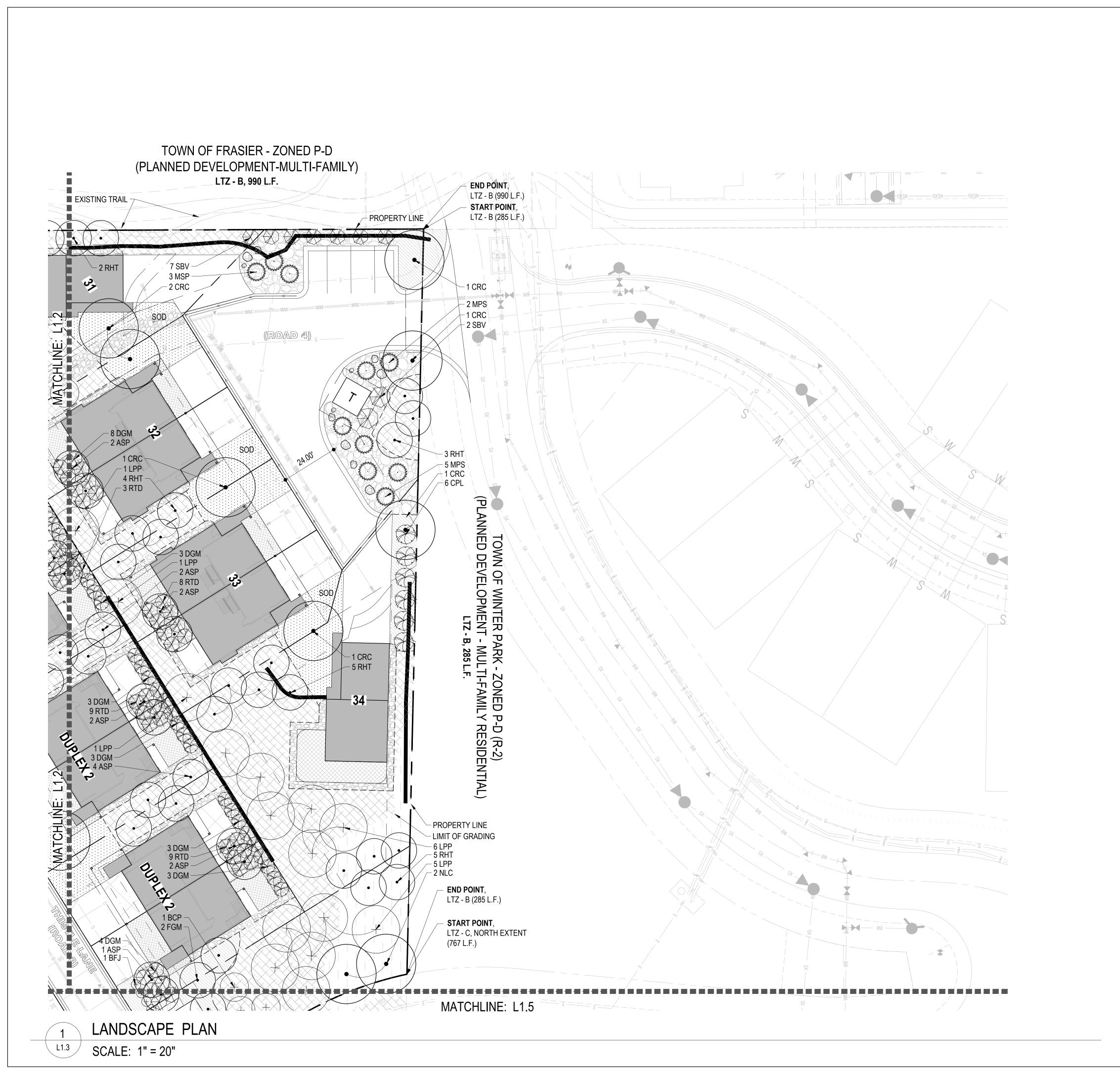
COVER SHEET

SHEET NUMBER:

L0.1







### MATERIAL LEGEND:

SHEET MATCHLINE PLANTING BED -MULCH - TYPE I WESTERN RED CEDAR "GORILLA HAIR" MULCH - TYPE II LOT LINES 1.5" RIVER ROCK LIMIT OF GRADING MULCH TYPE III 3-6" RIVER COBBLE SWALE CENTERLINE PAVING TYPE I **4" CONCRETE FENCE** RE: CIVIL **RETAINING WALL** GRAVEL RE: CIVIL

BLDG. OVERHANG

LANDSCAPE BOULDERS

RE: DTL. 7 / SHT. L2.1

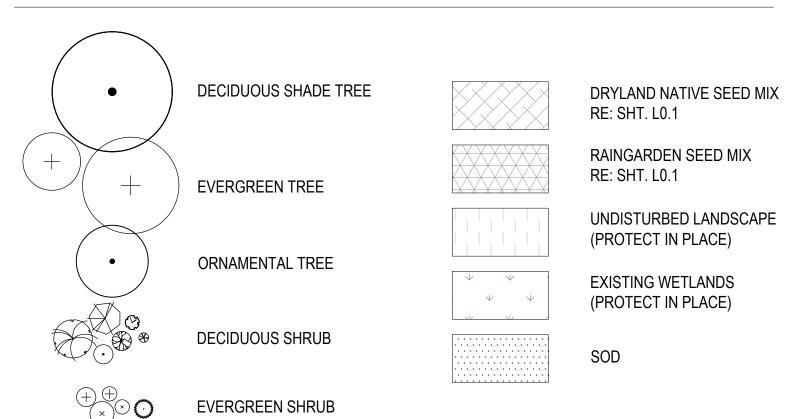
RE: ARCH

PLANTING LEGEND:

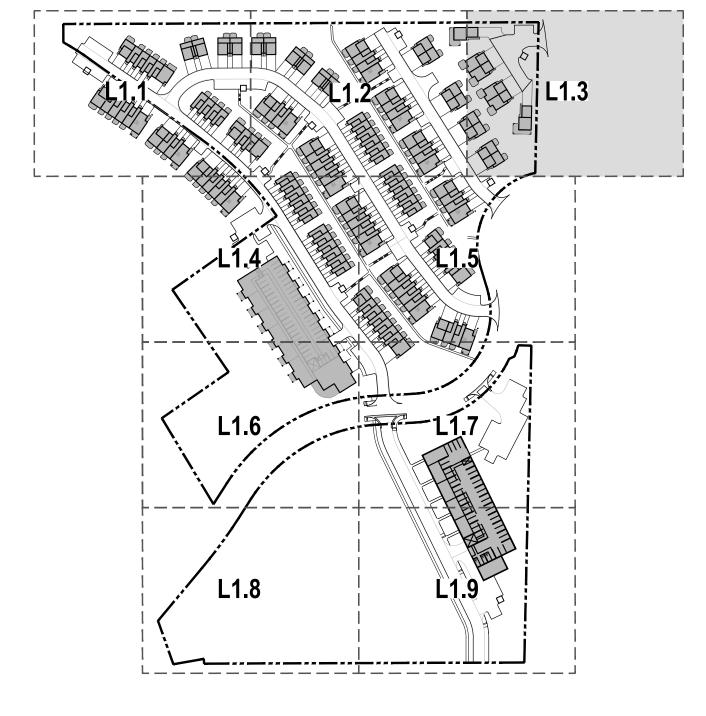
TRASH ENCLOSURE

SNOW STORAGE AREA

RE: ARCH



### SITE KEY MAP: NTS



SCALE: 1" = 20'

NORTH

OXBOW DESIGN COLLABORATIVE

CLIENT:

HIGHLAND DEVELOPMENT GROUP 2100 DOWNING STREET DENVER, CO 80205

CONSULTANT:

OXBOW DESIGN COLLAB.,LTD.
209 KALAMATH STREET, #6
DENVER, CO 80223
720.465.6168
www.oxbowdbc.com

SOJOURN AT IDLEWILD 398 SKI IDLEWILD ROAD WINTER PARK, COLORADO, 80482

ISSUE DATE: 03-23-2022

DRAWN: JY REVIEWED: DG

RFI: # DATE: DESCRIPTION:

1 06-29-2022 FINAL PLAT

2 12-19-2022 FINAL PLAT

3 03-15-2023 FINAL PLAT

4 05-26-2023 FINAL PLAT

5 09-27-2023 FINAL PLAT

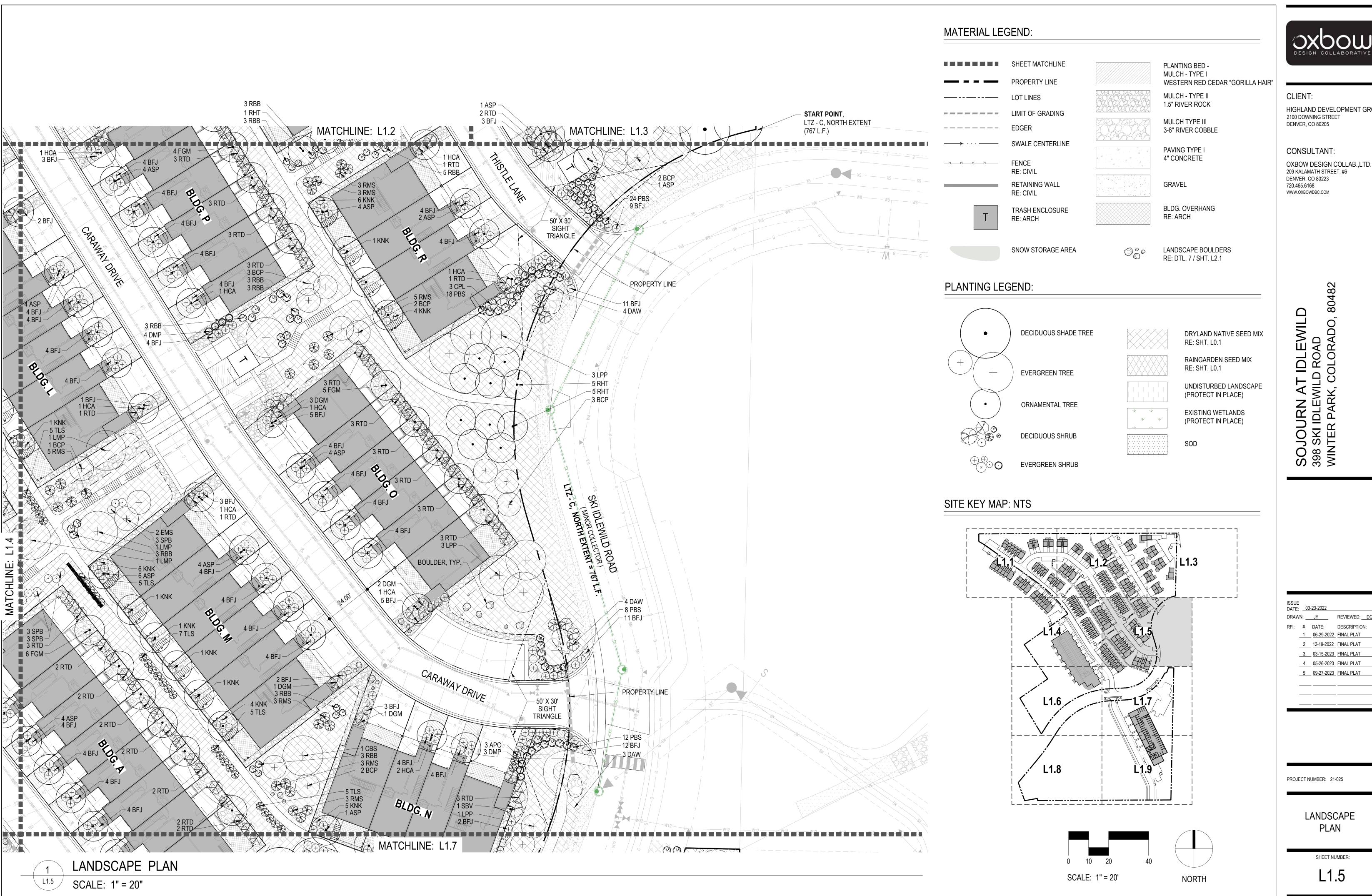
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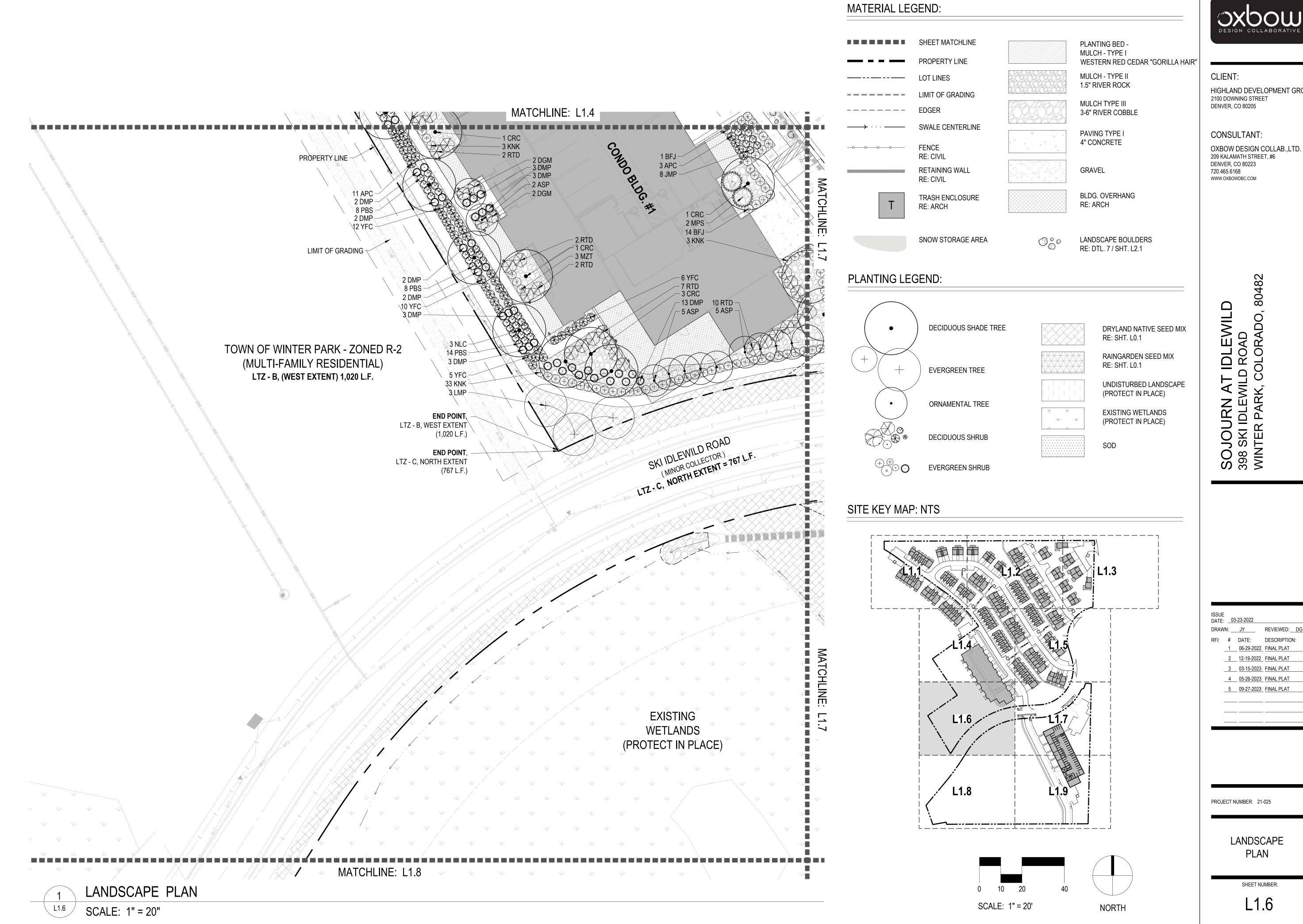
LANDSCAPE PLAN

SHEET NUMBER:

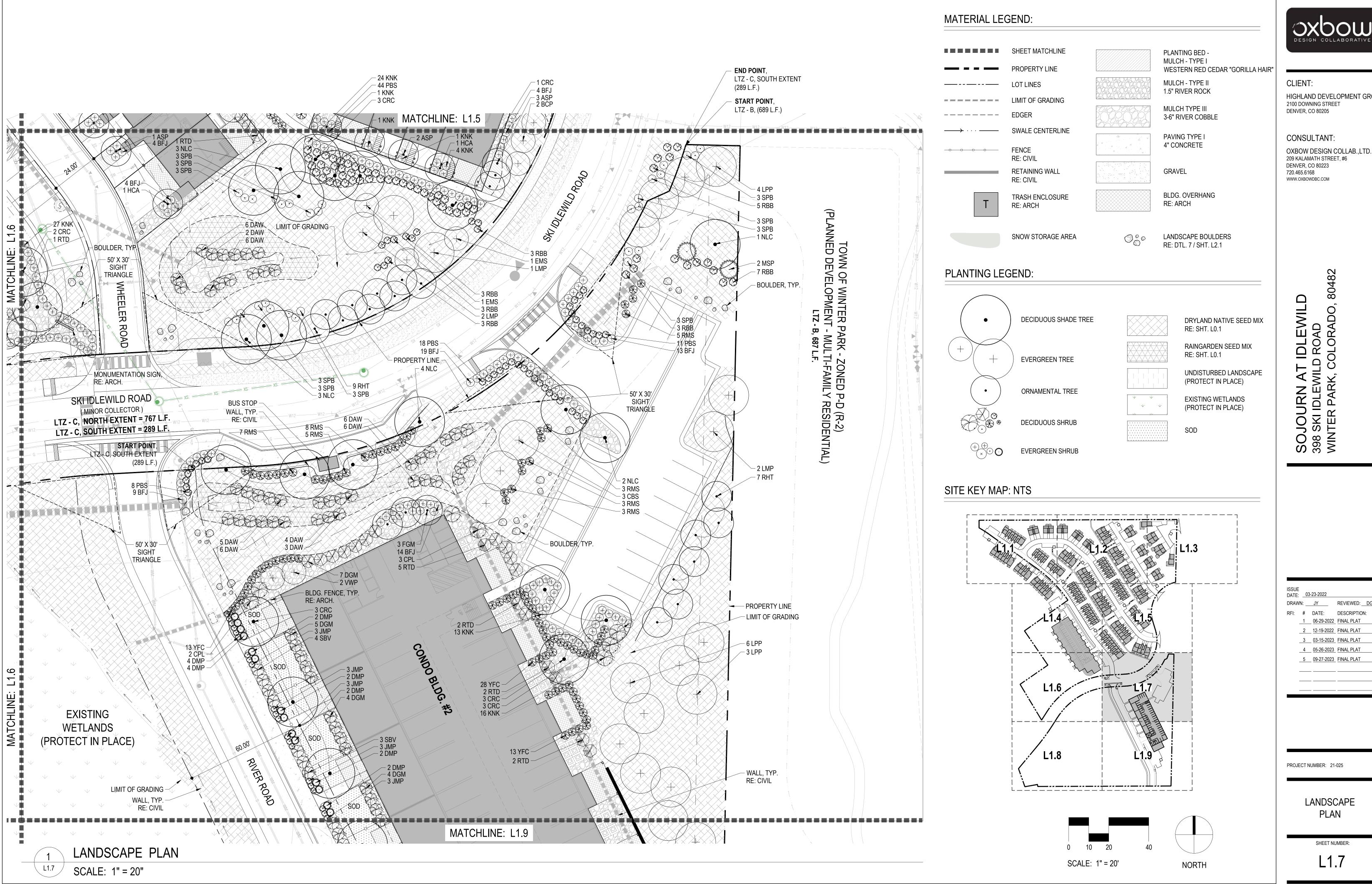




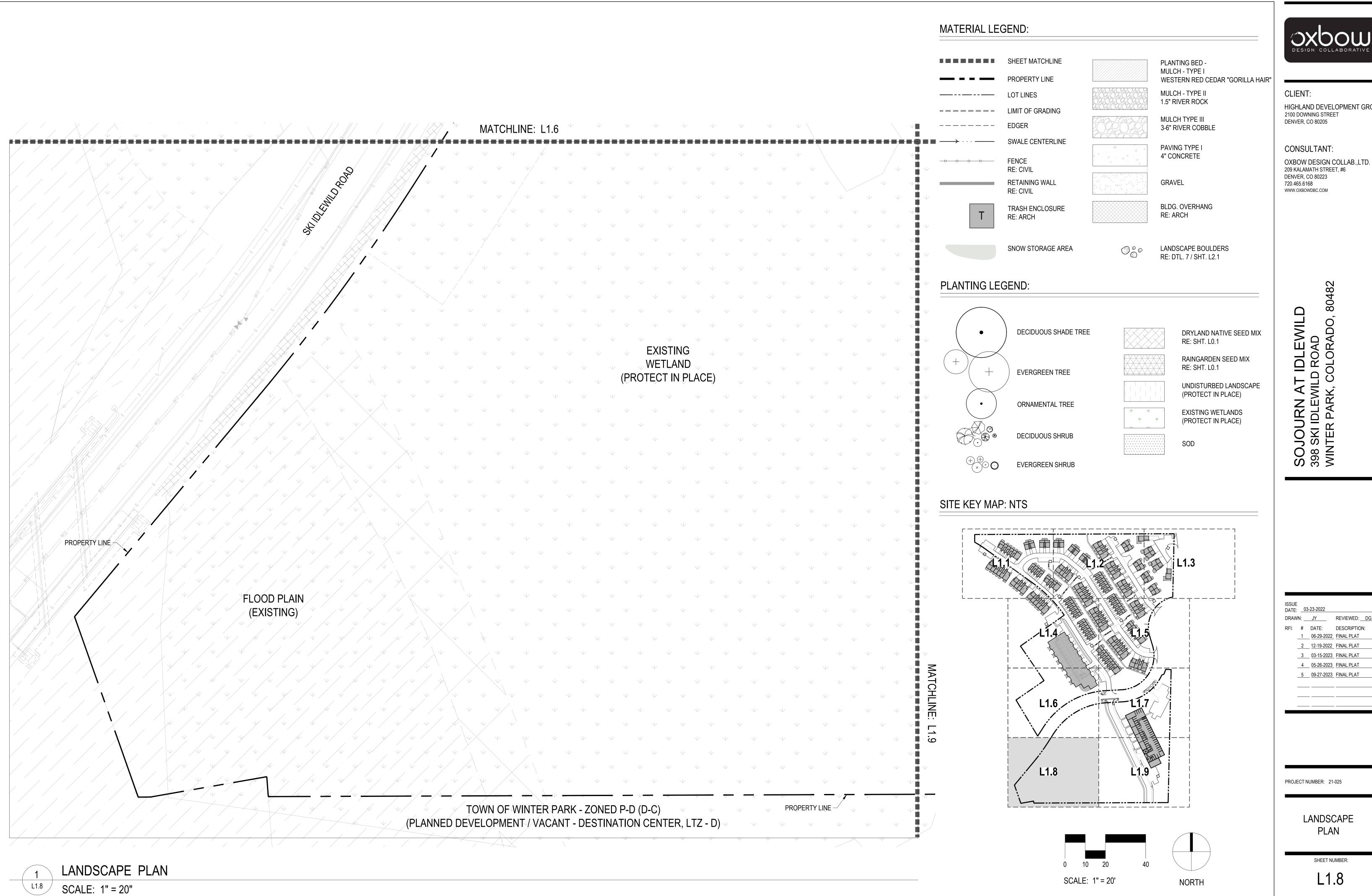


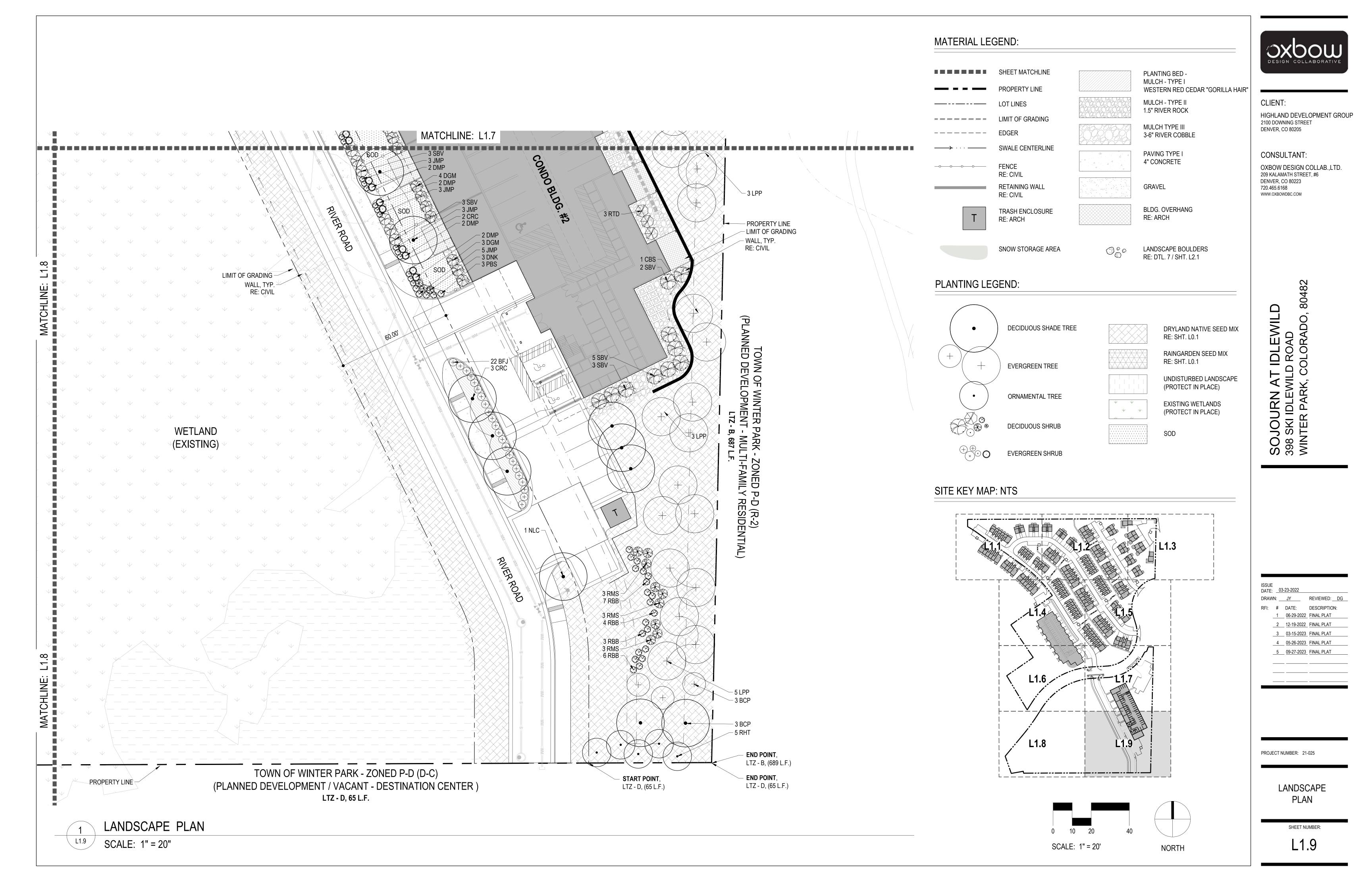












ANY WORK IN THESE AREAS MUST HAVE WRITTEN APPROVAL OF OCF PRIOR TO COMMENCEMENT OF ACTIVITY. CONTACT OCF FOR INSTRUCTION

### AREA 1: TREE PROTECTION ZONE AND CRITICAL ROOT ZONE PROTECTION

THE TREE PROTECTION ZONE (TPZ) SHALL BE EQUAL TO DRIPLINE OR 1.5 FEET RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT BREAST HEIGHT (DBH  $= 4.5^{\circ}$ ABOVE SOIL LINE), WHICHEVER IS GREATER.

A. MIN 6' IN HEIGHT STEEL CHAIN LINK FENCE IS REQUIRED UNLESS OTHERWISE APPROVED BY THE OFFICE OF THE CITY FORESTER (OCF). STEEL CHAIN LINK FENCE PANELS OR ROLLS ARE ACCEPTABLE.

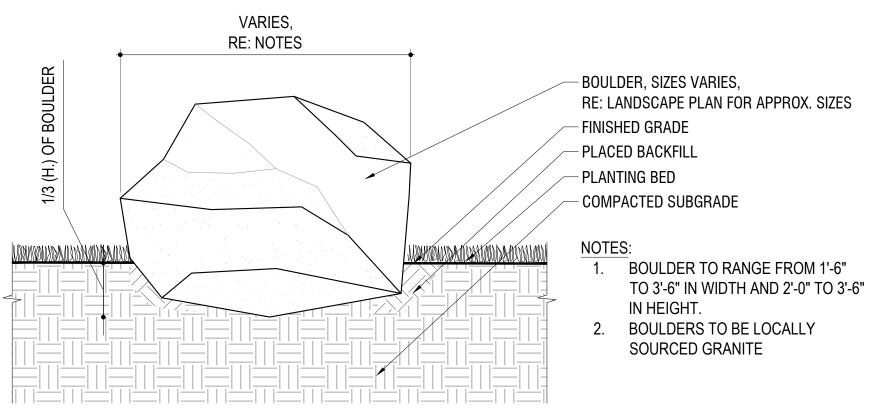
- 1. WHEN CHAIN LINK ROLLS ARE INSTALLED, IT SHALL BE FASTENED TO HEAVY DUTY STEEL POSTS WITH SAFETY CAPS AT MINIMUM FIVE (5) ATTACHMENT POINTS WITH 12-GAUGE WIRE, INCLUDING POINTS AT TOP AND BOTTOM. WEAVE WIRE THROUGH TOP OF ROLL TO ELIMINATE SAG.
- 2. POSTS SHALL BE DRIVEN 2' TO 3' BELOW GRADE AND SPACED AT MAX. FIVE TO TEN FOOT (5' 10') O.C. INTERVALS. FENCING MUST BE KEPT TAUT AT ALL TIMES. 3. "TREE PROTECTION ZONE" SIGNS SHALL BE PLACED ONE (1) PER EACH TREE PROTECTION ZONE MINIMUM OR MORE PER DIRECTION OF CITY FORESTER; MAINTAIN IN THE LOCATION AND CONDITION IN WHICH APPROVED.
- 4. TPZ, INCLUDING SIGNAGE, SHALL BE MAINTAINED IN THE LOCATION AND CONDITION IN WHICH APPROVED.

THE CRITICAL ROOT ZONE (CRZ) SHALL BE EQUAL TO ONE FOOT RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT BREAST HEIGHT.

### AREA 2: CANOPY PROTECTION

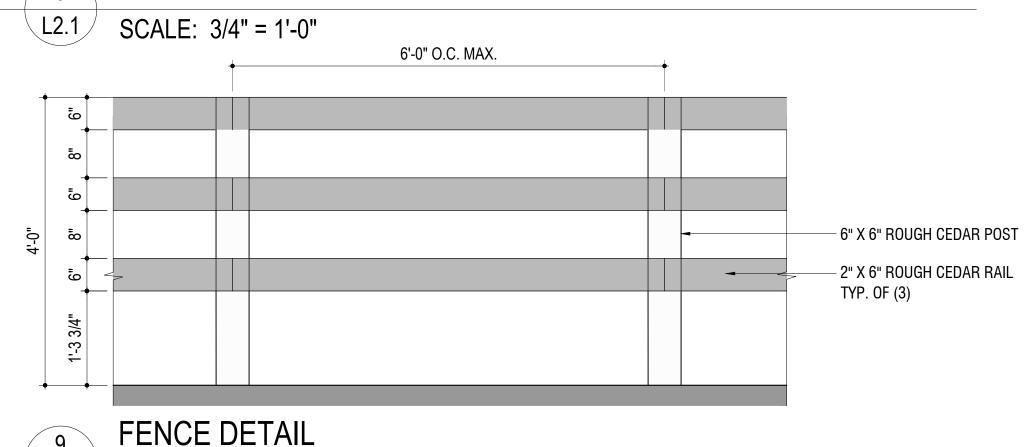
CONTACT OCF IF POTENTIAL FOR DAMAGE EXISTS AND/OR IF PRUNING IS NEEDED FOR ANY CLEARANCE ISSUES PRIOR TO PERFORMING WORK.

### TREE PRESERVATION DETAIL SCALE: 3/4" = 1'-0"





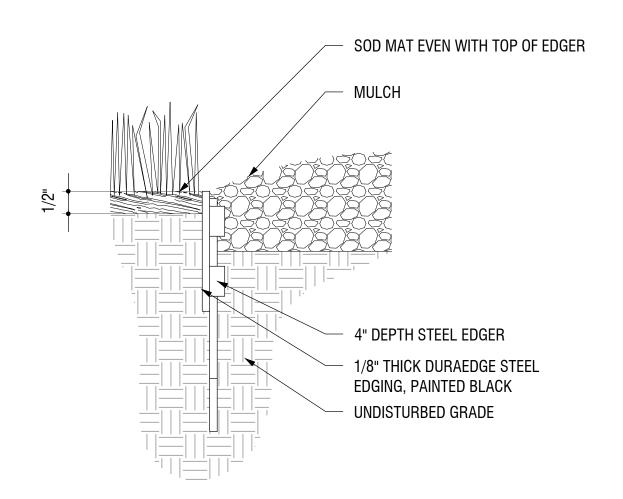
SCALE: 3/4" = 1'-0"



REMOVE ONLY INJURED OR DEAD BRANCHES FROM PLANTS. SCARIFY TOPSOIL TO A MINIMUM DEPTH OF 6". APPLY SPECIFIED FERTILIZER AND ROTOTILL INTO TOP 8" OF SOIL. REMOVE CONTAINERS, SET OUT AND SPACE PLANTS AS SPECIFIED IN PLANT LEGEND. ROWS SHOULD BE STRAIGHT AND CONSISTENT. SET PLANTS 1" HIGHER THAN FINISH GRADE ENSURE PLANT IS FIRMLY SEATED IN SOIL. BANK SOIL TO TOP OF ROOTBALL. MULCH PLANTING BED AS SPECIFIED. DO NOT PLACE MULCH OVER BRANCHES OF PLANTS. UNDISTURBED SUBGRADE

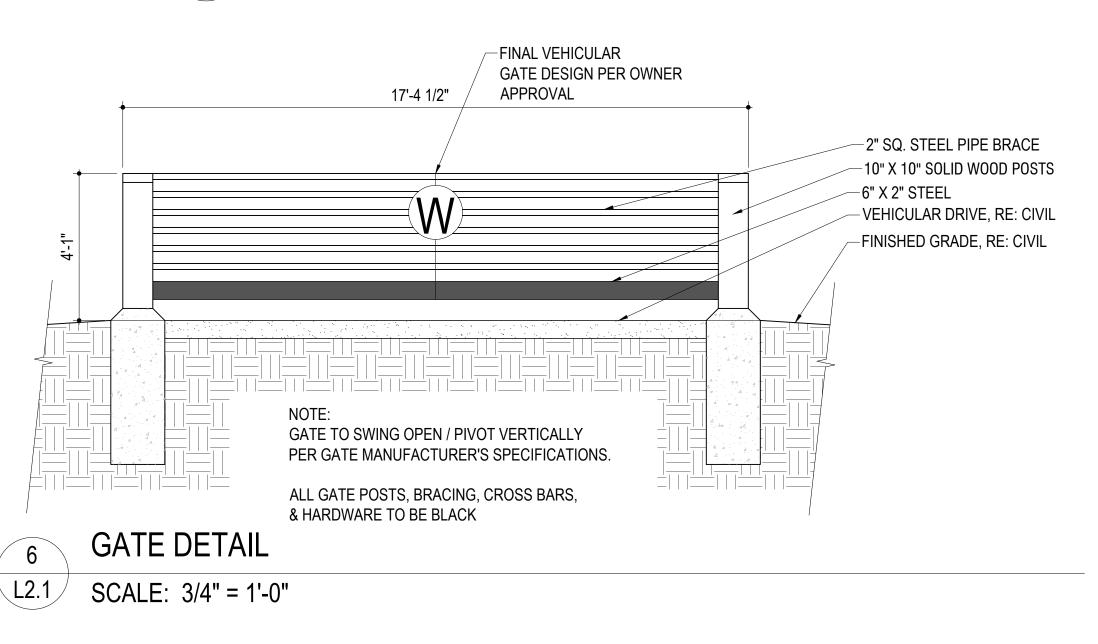
### GROUNDCOVER DETAIL

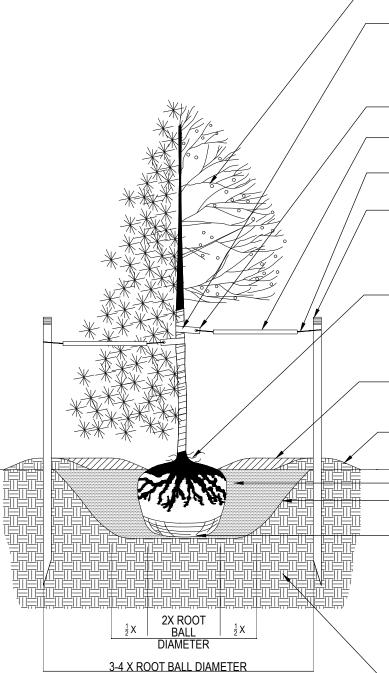
L2.1 | SCALE: 3/4" = 1'-0"



### STEEL EDGER DETAIL

SCALE: 3/4" = 1'-0"





PRUNE ONLY BROKEN AND DEAD WOOD FROM CANOPY PER INDUSTRY BEST MANAGEMENT PRACTICES. DECIDUOUS TREE FALL PLANTING: WRAP TRUNK TO FIRST BRANCH WITH SPECIFIED TREE WRAP MATERIAL. SECURE AT TOP WITH MASKING TAPE. DO NOT WRAP ROUGH BARK TREES. REMOVE TRUNK WRAP IN SPRING AFTER LAST

-12" NYLON TREE STRAP WITH GROMMETS ON GUY WIRE. DO NOT TWIST STRAPS TIGHT AROUND TRUNK.

-1/2" DIAMETER WHITE PVC PIPE SECTION ON ENTIRE

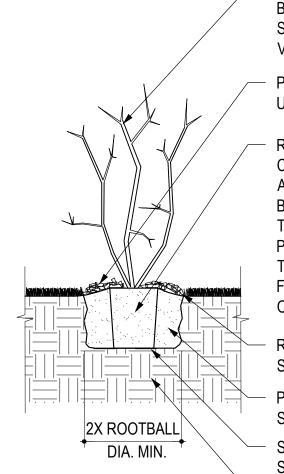
LENGTH OF EACH WIRE.

-14-GAUGE GALVANIZED WIRE, DOUBLE STRAND. LEAVE 1" TO 2" SLACK IN WIRE TO ALLOW FOR TRUNK MOVEMENT. -IF NEEDED, 6' STEEL POST OR WOOD STAKE, BOTH WITH SAFETY CAPS. SET ONE POST TO WINDWARD SIDE AND OTHER OPPOSITE. INSTALL POSTS TO 2' DEPTH IN UNDISTURBED SUBGRADE, AND ADD SAFETY CAPS. OTHER STAKING METHODS MUST BE PRE-APPROVED. OPEN TOP OF BURLAP AND CAREFULLY REMOVE SOIL FROM TOP OF ROOT BALL TO EXPOSE ROOT FLARE TO TOP OF FIRST ORDER ROOTS. SET TOP OF ROOT FLARE/FIRST ORDER ROOTS AT OR 1" TO 2" ABOVE FINISH GRADE. PRUNE ADVENTITIOUS ROOTS ON TRUNK. CIRCLE OF SHREDDED WOOD MULCH, 3" DEEP AND 4" TO 6" AWAY FROM TRUNK, 5' DIAMETER OR TO OUTER EDGE OF PLANTING HOLE, WHICHEVER IS GREATER. FORM 2" HIGH SOIL SAUCER AROUND PLANTING HOLE AT OUTSIDE OF TRANSITION ZONE.

-FINISH GRADE -NATIVE SOIL OR AMENDED PER SOIL TEST RECOMMENDATIONS. SLOPE SIDES OF PLANTING HOLE, SCARIFY AND ROUGHEN SIDES PRIOR TO INSTALLING TREE. PRIOR TO PLACING ROOT BALL IN PLANTING HOLE, REMOVE ALL TWINE AND BOTTOM 1/4 OF WIRE BASKET. CAREFULLY PLACE ROOT BALL INTO PLANTING HOLE, SET IN FINAL LOCATION, AND REMOVE REMAINING WIRE. CUT AND GENTLY REMOVE MIN. 2/3 OF BURLAP FROM TOP AND SIDES OF ROOT BALL. PRUNE CIRCLING OR GIRDLING ROOTS AT AND ON OUTSIDE OF ROOT BALL TO PERPENDICULAR ANGLE FROM TRUNK. REMOVE DEBRIS FROM PLANTING HOLE. -UNDISTURBED SUBGRADE.

ANY BROKEN, CRUMBLING, OR OTHERWISE DAMAGED ROOTBALL SHALL NOT BE PLANTED.





REMOVE ONLY INJURED OR DEAD BRANCHES FROM SHRUBS. SHRUB SPACING AS PER PLANS, LAYOUT

PLACE 3' DIA. MIN. RING OF MULCH UNDER SHRUB

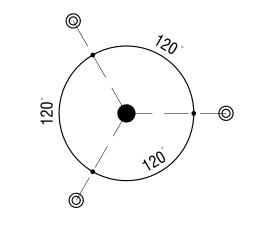
REMOVE CONTAINER OR COMPLETELY /PEEL BACK, CUT AND REMOVE 1/3rd OF THE BURLAP. REMOVE ALL ROPE, TWINE AND WIRE. SET ROOTBALL PLUMB IN CENTER OF PIT WITH TOP OF ROOTBALL 2" ABOVE FINISH GRADE. BANK SOIL TO TOP OF THE ROOTBALL.

REMOVE DISH WHEN READY TO SOD OR SEED, CONDITION VARIES. PREPARE AND PLACE PLANTING SOIL MIX AS PER SPEC. SET ROOTBALL ON UNDISTURBED SUBGRADE

COMPACTED SUBGRADE

### SHRUB PLANTING DETAIL

SCALE: 1/2" = 1'-0"



NOTE: ALIGN (2) POSTS OR STAKES PARALLEL WITH ROAD OR WALKS EDGE OF WALK OR CURB

WINTER WINDS SUMMER WINDS

NOTE: ALIGN STAKES PARALLEL WITH DIRECTION OF PREVAILING WIND. ALL STAKES TO BE CONSISTENT

TREE GUYING OR THREE STAKE LAYOUT

TREE GUYING IN OPEN AREAS





CLIENT:

HIGHLAND DEVELOPMENT GROUP 2100 DOWNING STREET DENVER, CO 80205

CONSULTANT:

OXBOW DESIGN COLLAB.,LTD. 209 KALAMATH STREET, #6 **DENVER, CO 80223** 720.465.6168

WWW.OXBOWDBC.COM

EWIL Ó ∞ Z S 39 M

DATE: 03-23-2022 DRAWN: \_\_\_JY\_\_\_ REVIEWED: \_\_DG\_\_ RFI: # DATE: DESCRIPTION: \_\_1\_\_\_06-29-2022\_ FINAL PLAT 2 12-19-2022 FINAL PLAT 3 03-15-2023 FINAL PLAT \_\_4\_\_\_ 05-26-2023 FINAL PLAT 5 09-27-2023 FINAL PLAT

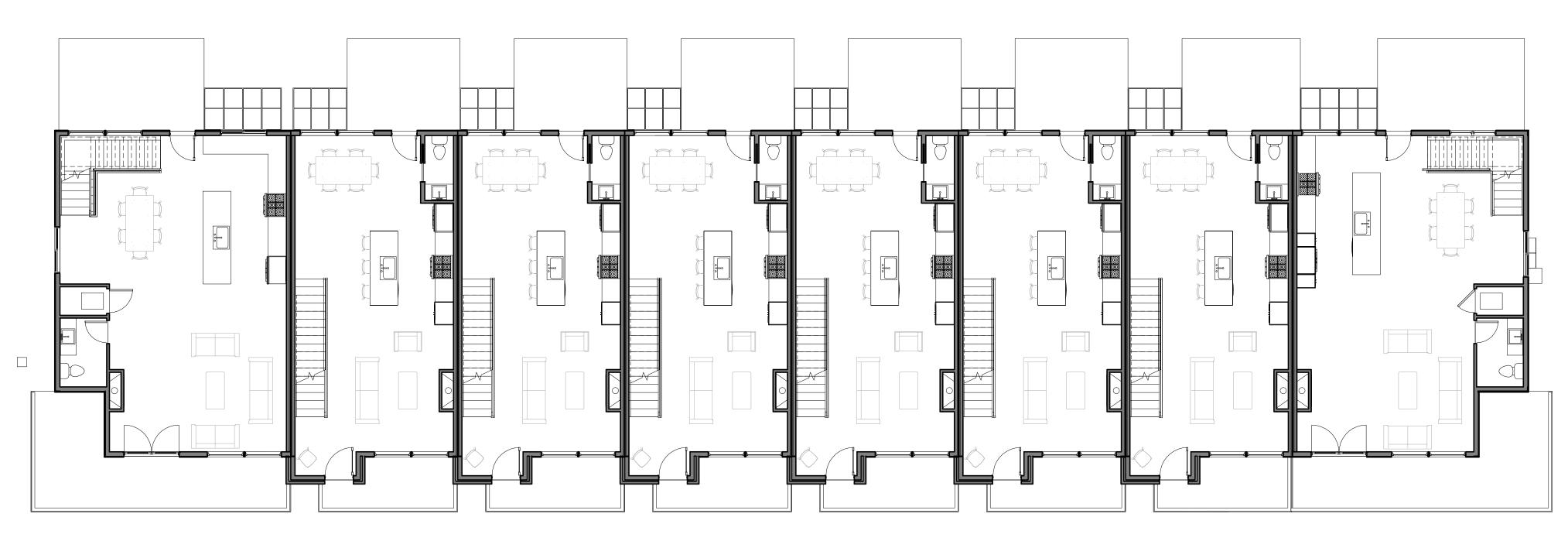
PROJECT NUMBER: 21-025

LANDSCAPE **DETAILS** 

SHEET NUMBER:

L2.1

### 1 T.O. SUBFLOOR LVL 1 A1.0 1/8" = 1'-0"



### 2 T.O. SUBFLOOR LVL 2 A1.0 1/8" = 1'-0"



3 T.O. SUBFLOOR LVL 3
A1.0 1/8" = 1'-0"



1301 Walnut Street, Suite 101 Boulder, CO 80302 720-530-5901

# ROW HOME, BUILDING No. 1 SOJOURN AT IDLEWILD SKI IDLEWILD ROAD, WINTER PARK, CO 80482

REVISIONS

No. Description Date

A1.0

OVERALL FLOOR PLANS 02/13/2024

1 T.O. SUBFLOOR LVL 1-A
A1.1 1/4" = 1'-0"

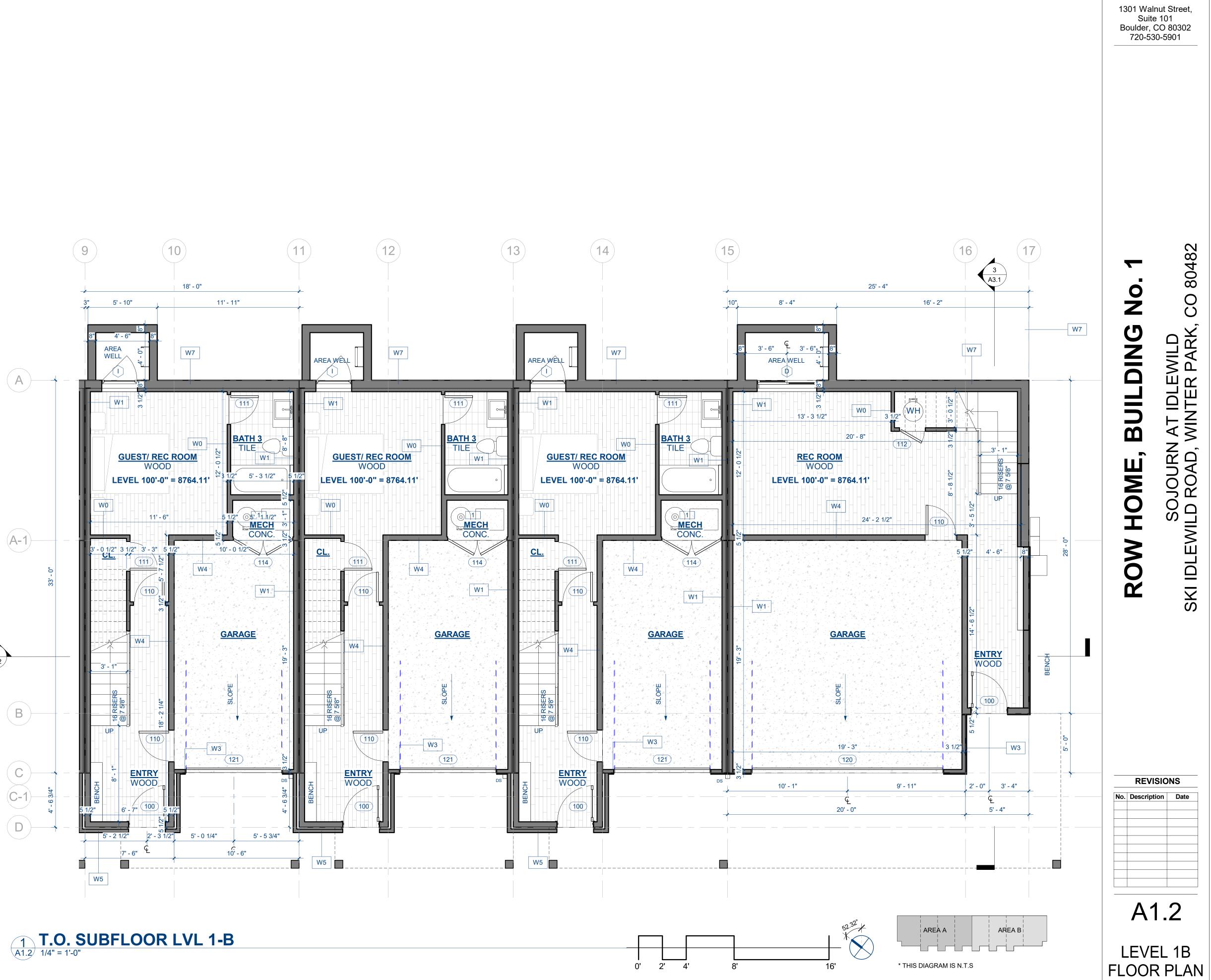
LEVEL 1A

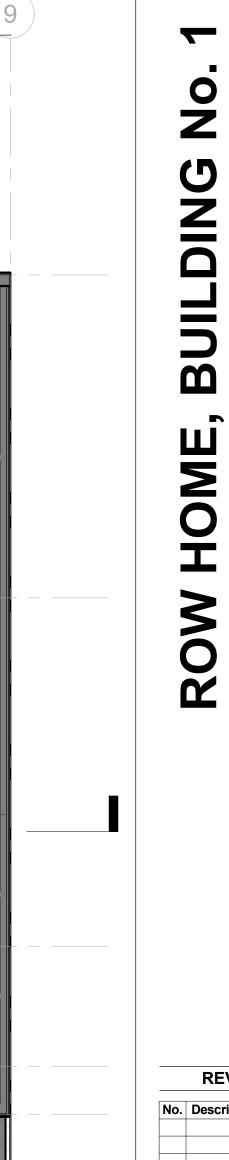
FLOOR PLAN

02/13/2024

AREA A

\* THIS DIAGRAM IS N.T.S





SOJOURN AT IDLEWILD SKI IDLEWILD ROAD, WINTER PARK,

REVISIONS

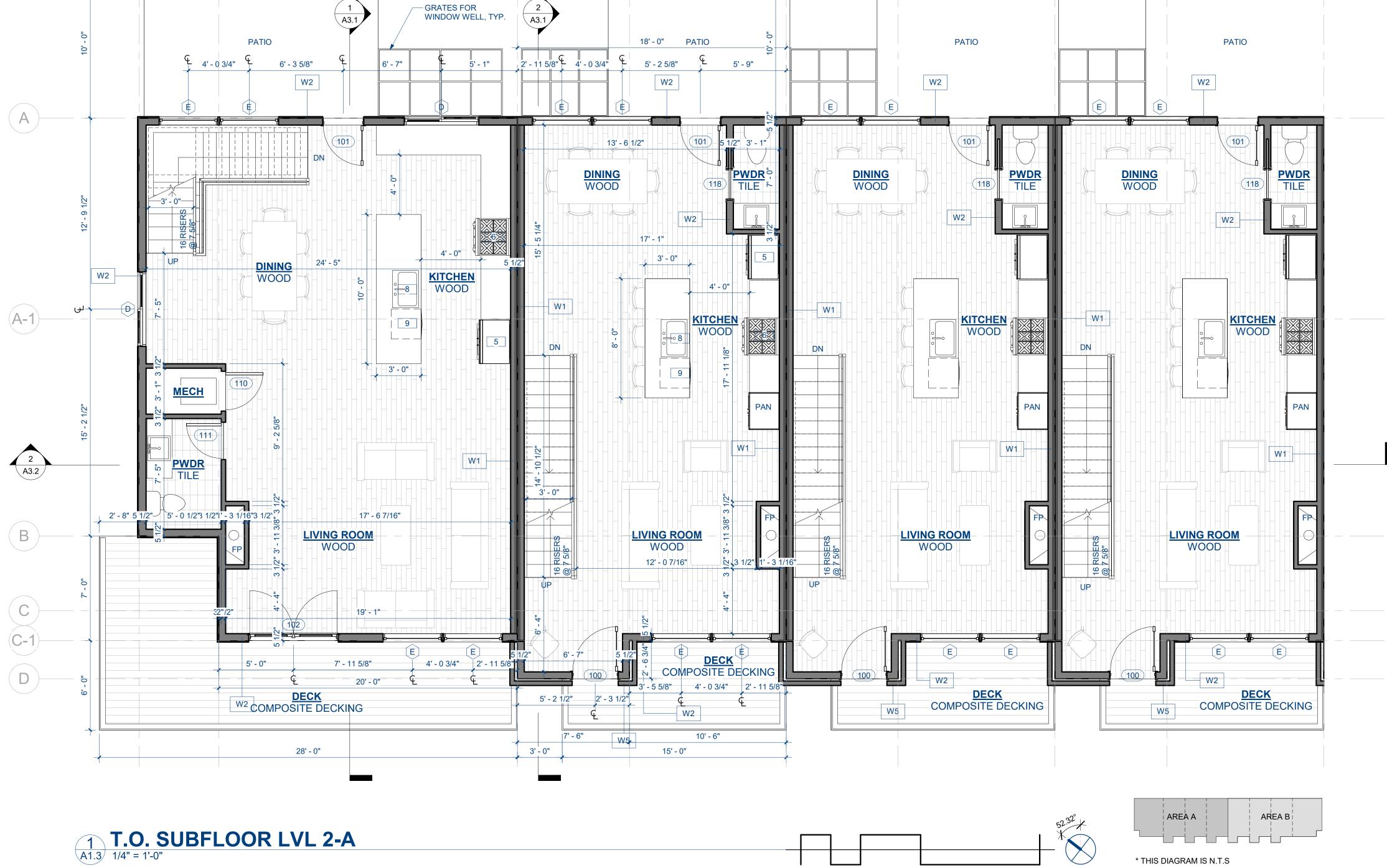
A1.3

LEVEL 2A

FLOOR PLAN

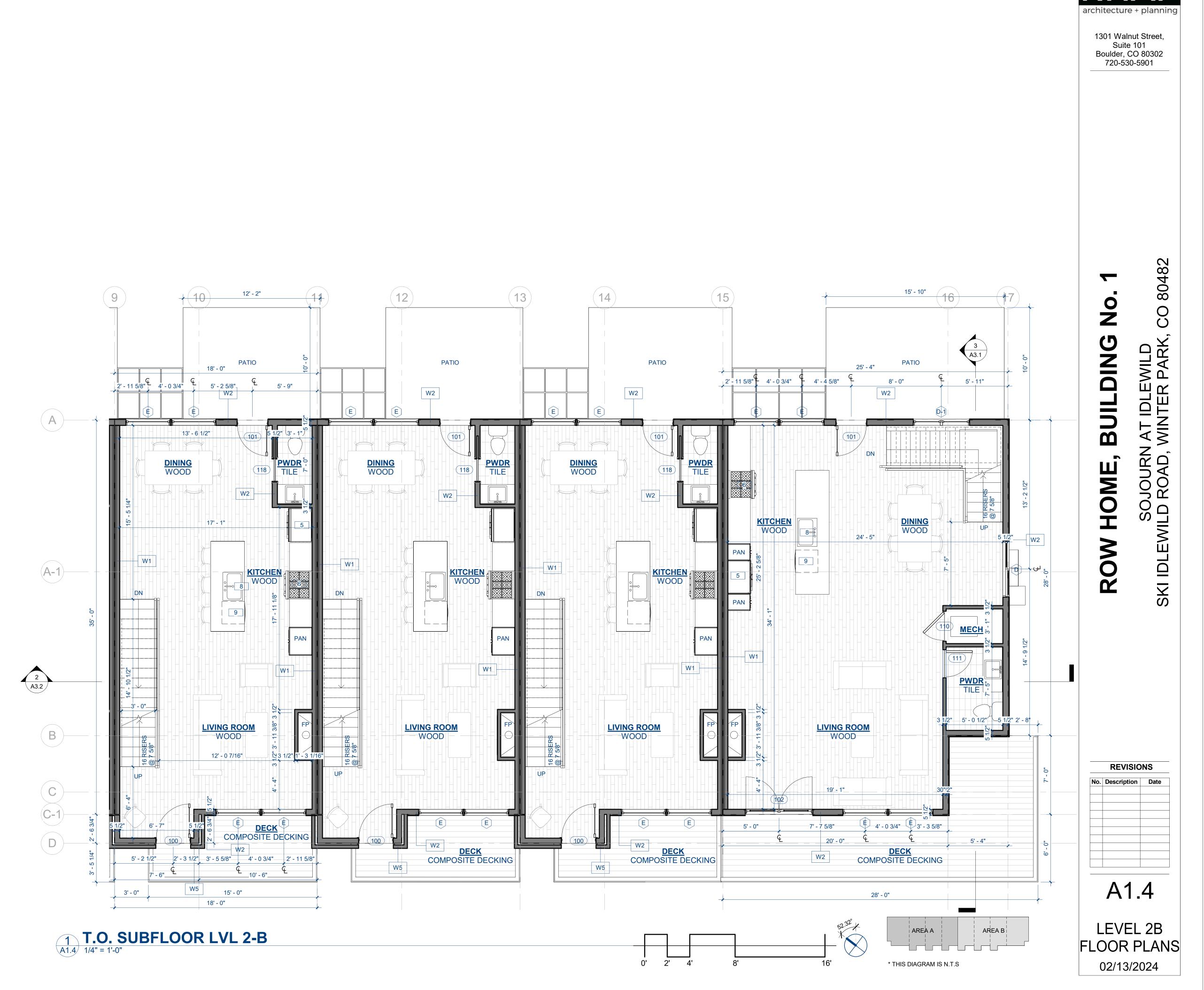
02/13/2024

\* THIS DIAGRAM IS N.T.S



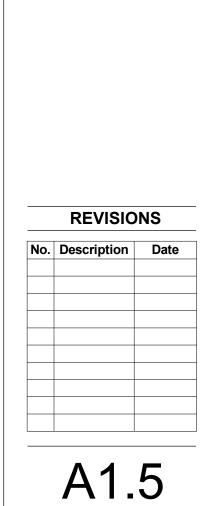
12' - 2"

16' - 0"





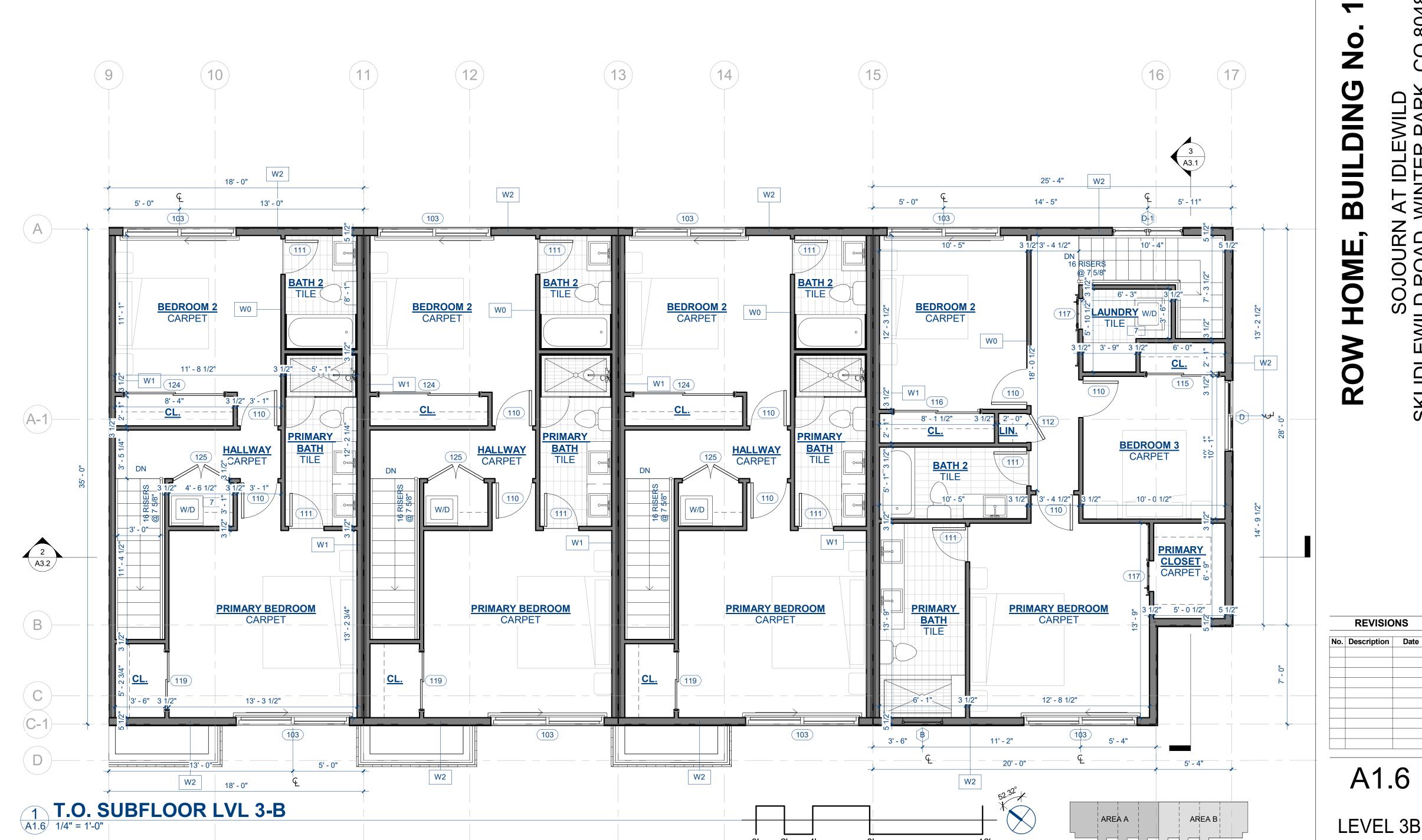
CO 80482



LEVEL 3A

FLOOR PLAN





### BUILDING No. ME, 9 ROW

SOJOURN AT IDLEWILD SKI IDLEWILD ROAD, WINTER PARK,

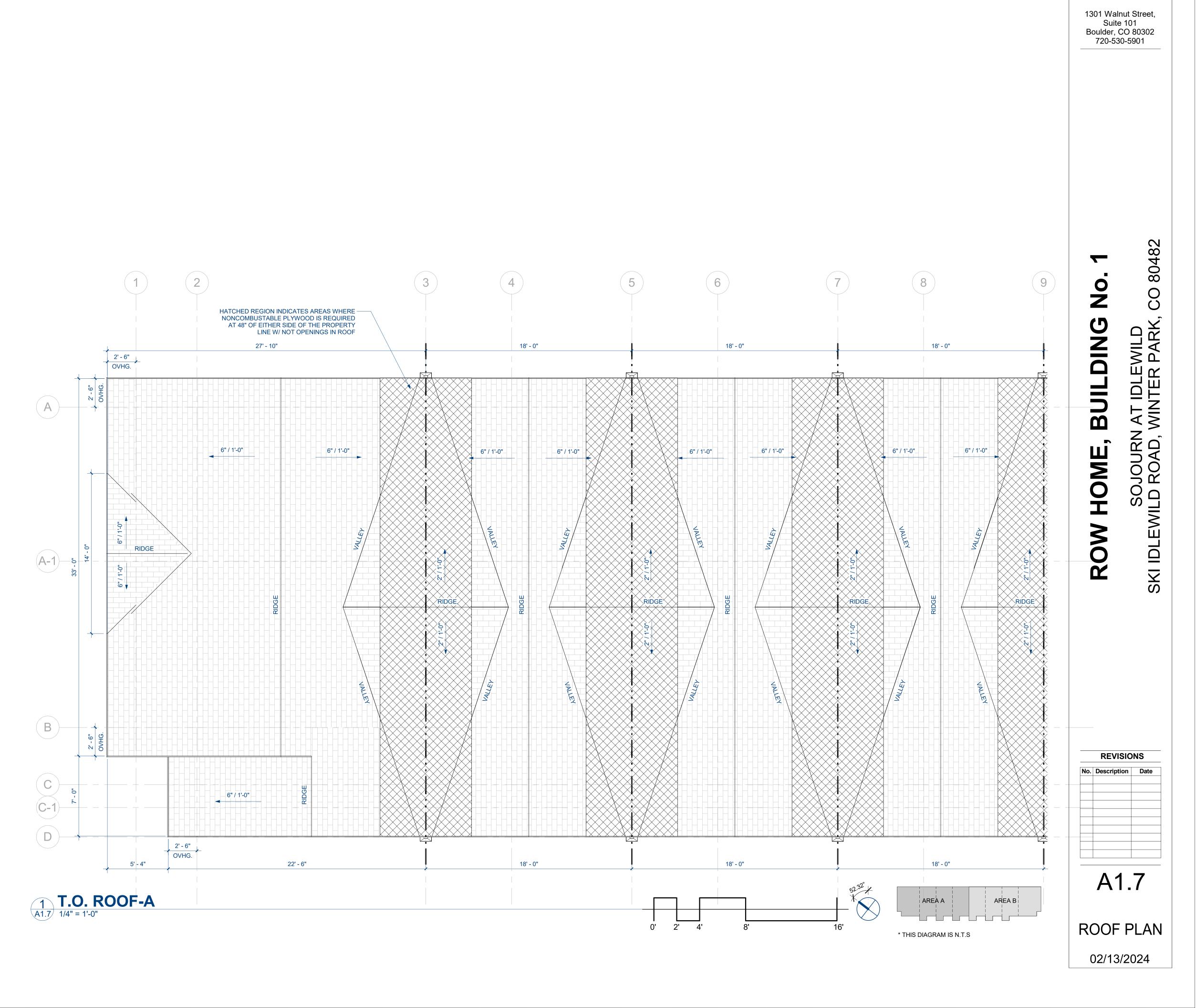
CO 80482

A1.6

**REVISIONS** 

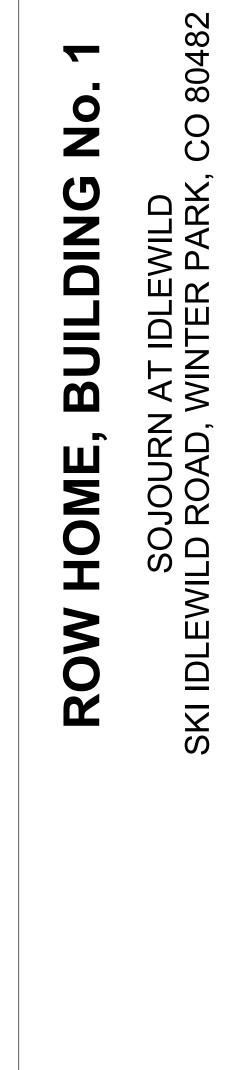
LEVEL 3B FLOOR PLAN 02/13/2024

\* THIS DIAGRAM IS N.T.S



architecture + planning

CO 80482



REVISIONS No. Description Date A1.8

**ROOF PLAN** 

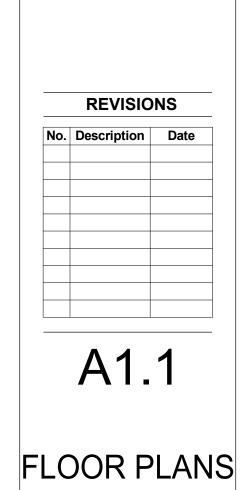
02/13/2024

AREA B

\* THIS DIAGRAM IS N.T.S

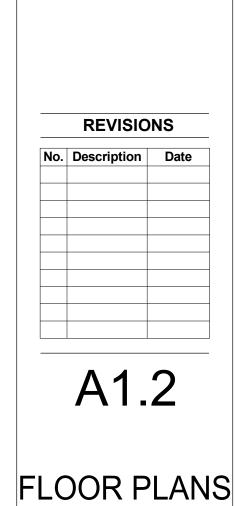
13 (17) 10 12 HATCHED REGION INDICATES AREAS
WHERE NONCOMBUSTABLE PLYWOOD IS
REQUIRED AT 48" OF EITHER SIDE OF THE
PROPERTY LINE W/ NOT OPENINGS IN ROOF 27' - 10" 18' - 0" 18' - 0" 18' - 0" 2' - 6" OVHG. A 6" / 1'-0" 6" / 1'-0" 6" / 1'-0" 6" / 1'-0" 6" / 1'-0" 6" / 1'-0" A-1 RIDGE RIDGE RIDGE RIDGE RIDGE B 6" / 1'-0" 2' - 6" OVHG. 22' - 6" 18' - 0" 18' - 0" 18' - 0" 5' - 4"

1 T.O. ROOF-B
A1.8 1/4" = 1'-0"



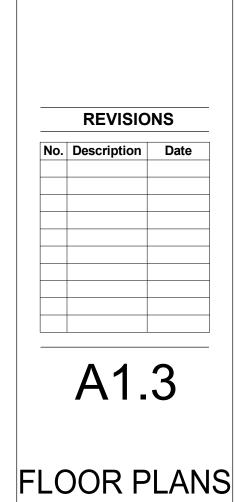


# ROW HOME, BUILDING No. 2 SKI IDLEWILD ROAD WINTER PARK GRAND COUNTY, CO, 80482





# ROW HOME, BUILDING No. 2 SKI IDLEWILD ROAD WINTER PARK GRAND COUNTY, CO, 80482





2

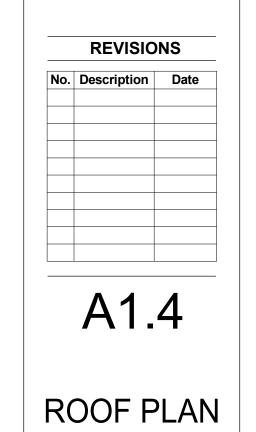
BUILDING No

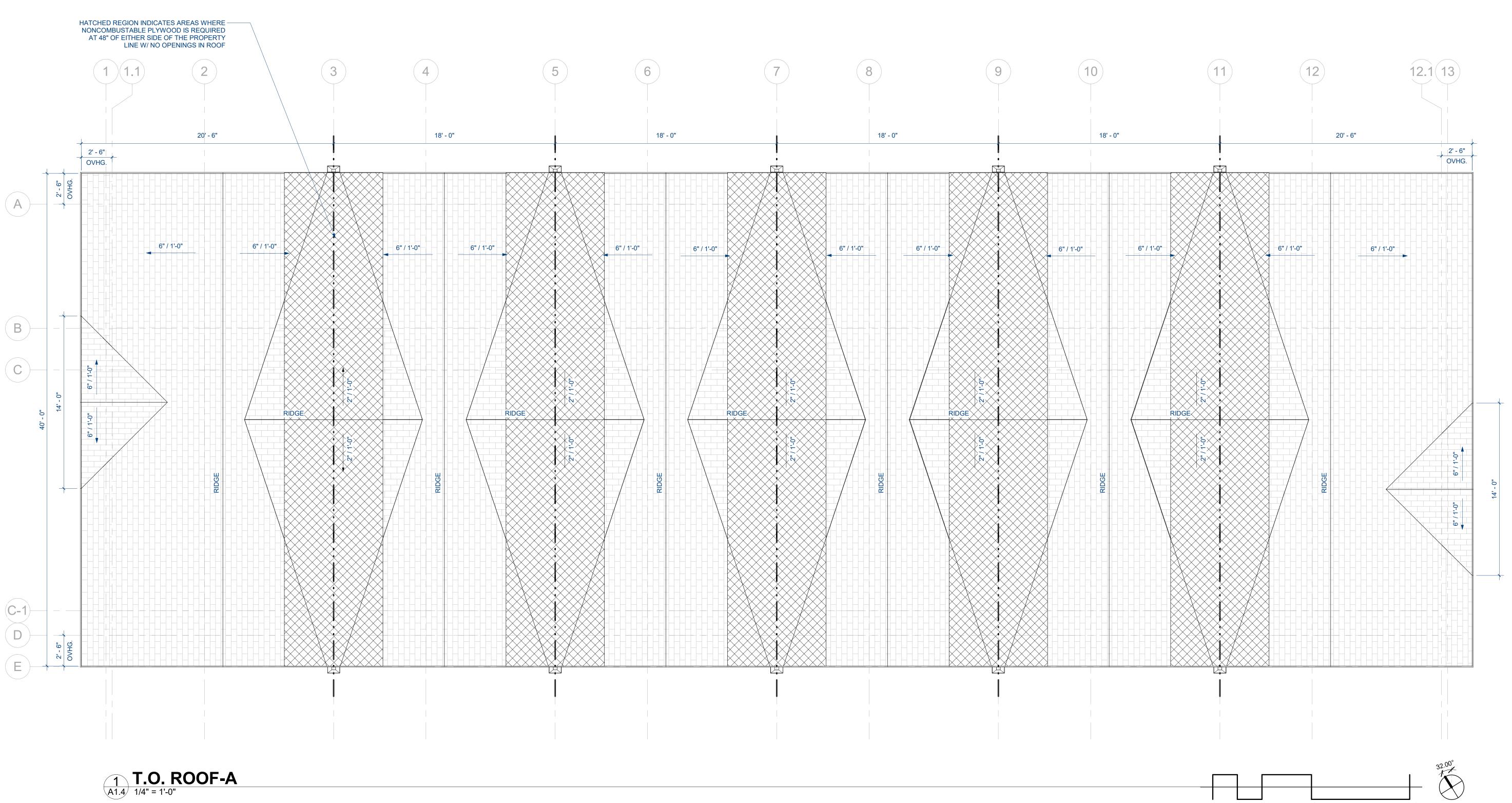
ME,

ROW HO

SKI IDLEWILD ROAD WINTER PARK GRAND COUNTY, CO, 80482









### **ARC1 LED**

### Architectural Wall Luminaire













Hit the Tab key or mouse over the page to see all interactive elements

### Specifications

 Depth (D1):
 6.5"

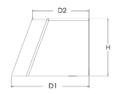
 Depth (D2):
 4.75"

 Height:
 5"

 Width:
 11"

 Weight:<br/>(without options)
 7 lbs





### Introduction

The Lithonia Lighting ARC LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback.

ARC1 delivers up to 3,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of ARC1, with its integrated emergency battery backup option, is ideal for over-the-door applications.

### **ARC LED Family Overview**

Luminaina	Standard FM 0°C	C-14EM 20°C		Ар	proximate Lumens (400	OK)	
Luminaire	Standard EM, 0°C	Cold EM, -20°C	P1	P2	P3	P4	P5
ARC1 LED	4W		1,500	2,000	3,000		
ARC2 LED	4W	8W	1,500	2,000	3,000	4,000	6,500

### **Ordering Information**

### **EXAMPLE:** ARC1 LED P2 40K MVOLT PE DDBXD

Series	Package Color Temperature Voltage Options		Finish							
ARC1 LED	P1 1,500 Lumens P2 2,000 Lumens P3 3,000 Lumens	30K 3000K 40K 4000K 50K 5000K	MVOLT 347 <sup>1</sup>	E4WH Emergency battery backup, CEC compliant (4W, 0°C min) <sup>1</sup> PE Button type photocell for dusk-to-dawn operation  DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) <sup>2</sup> SPD6KV 6kV surge protection  FAO Field adjustable light output device.  Allows for easy adjustment to the desired light levels, from 20% to 100% <sup>2</sup>	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone					

### **Accessories**

Ordered and shipped separately

WSBBW DDBXD U Surface - mounted back box (specify finish)

### NOTES

- 1 347V not available with E4WH.
- 2 FAO not available with DMG.

### Cylinder 7" 1 Light Wall Light Black

### **SPECIFICATIONS**

Dimensions

Certifications/Qualifications Dark Sky Compliant Yes www.kichler.com/warranty

Base Backplate 5.00 X 4.75 Extension 7.00" Weight 0.95 LBS

Height from center of Wall opening 3.50" (Spec Sheet)

Height 7.00" Width 4.75"

**Light Source** Lamp Included Not Included Lamp Type BR30 Light Source Incandescent Max or Nominal Watt 65W

# of Bulbs/LED Modules Medium Socket Type Socket Wire 150"

Mounting/Installation

Interior/Exterior Exterior Location Rating Wet Wall Mount Mounting Style 0.95 LBS Mounting Weight

### **FIXTURE ATTRIBUTES**

Housing Primary Material **ALUMINUM** 

**Product/Ordering Information** 

SKU 9234BK Finish Black Style Contemporary UPC 783927536783

### **Finish Options**

Architectural Bronze

Black

Brushed Aluminum

White





### **D-Series Size 1**LED Wall Luminaire







### d"series

### **Specifications**

### Luminaire

Width: 13-3/4" Weight: 12 lbs (5.4 kg)

**Depth:** 10" (25.4 cm)

Height: 6-3/8"



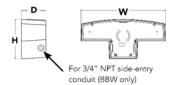


### Back Box (BBW, E20WC)

 Width:
 13-3/4"
 BBW Weight:
 5 lbs (2.3 kg)

 Weight:
 4"
 E20WC (10.2 cm)
 10 lbs (4.5 kg)

Height: 6-3/8"



Catalog Number

Notes

Type W3

Hit the Tab key or mouse over the page to see all interactive elements.

### Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

### **Ordering Information**

### **EXAMPLE:** DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD

DSXW1 LED	LEDs		Drive (	Current	Color temperature		Distribution		Voltage	Mounting		Control Options		
DSXW1 LED	200	10 LEDs (one engine) 20 LEDs (two engines) <sup>1</sup>	350 530 700 1000	350 mA 530 mA 700 mA 1000 mA (1 A) <sup>1</sup>	30K 40K 50K AMBPC	3000 K 4000 K 5000 K Amber phosphor converted	T2S T2M T3S T3M T4M TFTM	Type II Short Type II Medium Type III Short Type III Medium Type IV Medium Type IV Medium Forward Throw Medium	MVOLT <sup>2</sup> 120 <sup>3</sup> 208 <sup>3</sup> 240 <sup>3</sup> 277 <sup>3</sup> 347 <sup>3,4</sup> 480 <sup>3,4</sup>	Shippe (blank) BBW	Surface mounting bracket Surface- mounted back box (for conduit entry) <sup>5</sup>	Shipped in PE DMG PIR PIRH PIR1FC3V PIRH1FC3V E20WC	Photoelectric cell, button type <sup>6</sup> 0-10v dirmming wires pulled outside fixture (for use with an external control, ordered separately) 180° motion/ambient light sensor, <15' mtg ht <sup>1/2</sup> 180° motion/ambient light sensor, 15-30' mtg ht <sup>1/2</sup> Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>1/2</sup> Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>1/2</sup> Emergency battery backup (includes external component enclosure), CA Title 20 compliant <sup>8,9</sup>	

Other Options										
Shippe SF DF HS SPD	ed installed  Single fuse (120, 277 or 347V) 3.10  Double fuse (208, 240 or 480V) 3.10  House-side shield 11  Separate surge protection 12	Shippo BSW VG DDL	ed separately <sup>11</sup> Bird-deterrent spikes Vandal guard Diffused drop lens	DDBXD DBLXD DNAXD DWHXD	Dark bronze Black Natural aluminum White	DSSXD DDBTXD DBLBXD DNATXD	Sandstone Textured dark bronze Textured black Textured natural aluminum	DWHGXD DSSTXD	Textured white Textured sandstone	

### Accessories

Ordered and shipped separately.

DSXWHS U House-side shield (one per light engine)

DSXWBSW U Bird-deterrent spikes
DSXW1VG U Vandal quard accessory

### NOTES

- 20C 1000 is not available with PIR, PIRH, PIR1FC3V or PIRH1FC3V.
- 2 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- 3 Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- 4 Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
- 5 Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
- 6 Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- 7 Reference Motion Sensor table on page 3.
- 8 Same as old ELCW. Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at <a href="https://www.lithonia.com">www.lithonia.com</a>
- 9 Not available with SPD.
- 10 Not available with E20WC.
- 11 Also available as a separate accessory; see Accessories information
- 12 Not available with E20WC.



