



**PUBLIC NOTICE
TOWN OF WINTER PARK
PLANNING COMMISSION (MAJOR SITE PLAN)
PLANNING COMMISSION AND TOWN COUNCIL (FINAL PLAT)**

Applicant: Jeffrey Vogel of Vogel and Associates
Property Owner: Fraser River Development Company

Case Number: PLN24-025 (Major Site Plan) and PLN24-006 (Final Plat)

Physical Address of Properties for Which the Major Site Plan Approval and Final Plat Approval is Requested: 76 Wanderer's Way and three (3) unaddressed parcels

Legal Description of Properties for Which the Major Site Plan Approval and Final Plat Approval is Requested: See "Exhibit A"

Description of Final Plat Request: Request to plat ten (10) parcels consisting of seven (7) lots and three (3) outlots.

Description of Major Site Plan Request: Request to build seven (7) townhouse dwelling units.

Applicable Provision(s) of the Unified Development Code:

§ 5-E-1, Site Plan

§ 5-D-5, Final Plat

The Planning Commission will review the Major Site Plan and render a decision under § 5-E-1 of the UDC.

The Planning Commission and Town Council will review the Final Plat and render a decision under § 5-D-5 of the UDC.

Additional information is available at this link: <https://wpgov.com/current-development-projects/>

A Public Hearing at Winter Park Town Hall, 50 Vasquez Road and online via Zoom is scheduled for:

**Planning Commission, Tuesday, April 23, 2024, at 8:00 A.M. (Major
Site Plan and Final Plat); and
Town Council, Tuesday, May 7, 2024, at 5:30 P.M. (Final Plat)**

Members of the public wishing to make comment regarding the major site plan and final plat may do so at the scheduled meeting, or write to James Shockey, Community Development Director, Town of Winter Park, P.O. Box 3327, Winter Park, CO 80482, or jshockey@wpgov.com. For comments to be included within the digital packet, they must be submitted by 5:00 P.M. on the Wednesday before the hearing.

The Zoom link will be made available in the full agenda, which will be published by end of day the Friday before the hearing at <https://wpgov.com/our-government/agendas-minutes/>

The meeting will be broadcast via Zoom and public comment can be made by those attending. If there are technical difficulties with Zoom, public comment via Zoom will not be available and the meeting will continue in person.

The map displays the Timber Fox Condominiums development, which is situated between Rendezvous Wy to the north and Wanderers Way to the south. The development includes several buildings, with BLDG A, BLDG B, and BLDG C clearly labeled. A red outline highlights a specific area within the development, likely the subject of the project. The map also shows other nearby features like Hideaway Park, Cooper Creek Square, and the US Hwy 40. The map is labeled with various lot numbers and building identifiers.

PARCELS B AND C AND TRACTS E AND F, ROAM FILING NO. 1, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2019008310 IN THE RECORDS OF GRAND COUNTY CLERK AND RECORDER'S OFFICE, LYING IN SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO.



August 17, 2023

Mr. James Shockey, Community Development Director
Ms. Shelia Booth, Contract Planner
50 Vasquez Road
P.O. Box 3327
Winter Park, Colorado 80482

Re: Roam Filing No. 4 Preliminary Plat, Major Site Plan, & Final Development Plan Amendment.

Dear James,

I am pleased to submit on behalf of the Fraser River Development Company, the Roam Filing 4 Major Site Plan Submittal. Per the pre-application, and Final Development Plan and Preliminary Plat is being processed concurrently with the site plan. Outlined below is a summary of the project and the respective documents included for this submittal.

This project is located at the Northwest corner of Roam, between Rendezvous Way and Wanders Way, just West of Ski Idlewild Road. The Major Site Planning Application is for 7 Residential dwelling units/lots. A future phase will include 5 additional townhome lots. Each individual townhome includes a 2-car garage and pedestrian entry.

Roam Filing 4 is located within Planning Area 1 and the north side of Planning Area 3. As illustrated on the attached Final Development Plan (FDP) Amendment, the intent is to incorporate into the FDP and Planning Area 1 an outparcel that was purchased from the Town of Winter Park. A second parcel is also being incorporated into the FDP and Planning Area 3.

Access to the lots will be provided via an access drive off Ski Idlewild Road to the North and an access drive off Wanders Way to the South. Parking requirements for all 7 residential units have been achieved utilizing attached garages. Proposed pedestrian circulation connects to existing sidewalks along Ski Idlewild Road and Wanders Way. These walks will connect to the proposed Roam and downtown pedestrian system.

There is (1) 2-Plex building and (1) 5-Plex building. Each townhome unit is a 3-bedroom unit, including a 2-car garage, 2nd floor patio and roof top deck.

A. Project Name: Roam Filing No. 4 Preliminary Plat and Site Plan Application. Roam Final Development Plan, Amendment No. 3.

B. Street Address:

A RESUBDIVISION OF THE FINAL PLAT OF ROAM FILING NO. 1, AMENDED LOT 1, BLOCK 1 OF ROAM FILING NO. 1, PARCEL A AND LOT 1, BLOCK 1 HIDEAWAY PARK, SUBDIVISION EXEMPTION PLAT, LOTS 16 AND 17, A PART OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO.

C. Project Team:

Builder/Owner: Fraser River Development Company
1500 Wynkoop St, Suite 200
Denver, CO. 80202

Applicant: Jeff Vogel
Vogel & Associates
475 W. 12th Ave., Suite E
Denver, CO. 80204
(303) 893-4288

Architect: Michael Noda
Neo Studio
3560 Walnut St., Unit A
Denver, CO. 80205
(303) 758-3800

Civil Engineer: Topknot Engineering (TKE)
Tony Krempin, Tony DePlata
998 County Road 553 (POB 2225)
Granby, CO. 80446
(970) 281-5280

D. Legal Description:

A RESUBDIVISION OF THE FINAL PLAT OF ROAM FILING NO. 1, AMENDED LOT 1, BLOCK 1 OF ROAM FILING NO. 1, PARCEL A AND LOT 1, BLOCK 1 HIDEAWAY PARK, SUBDIVISION EXEMPTION PLAT, LOTS 16 AND 17, A PART OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO.

E. Zoning District: Existing Zoning – ROAM FDP (D-C). Parcels that are being included in the FDP are currently zoned D-C. The intent is for these parcels to include FDP D-C zoning.

F. Lot Size: 76,875 Sf (1.76 Ac)

G. Site Plan Proposed Uses: Residential

H. FDP Proposed Uses: The parcels to be included in the FDP shall include a Mixed-Use classification. See Roam FDP for permitted land uses.

I. Site Plan Number of dwelling units: 7 dwelling units

J. Final Development Plan Proposed Density

Planning Area 1

Planning Area 1 has been enlarged to include approximately 10.3 acres. Permitted density for Planning Area 1 will continue to be 25 DU/AC.

Planning Area 3

Planning Area 3 has being updated to include approximately 1.2 acres. Permitted density for Planning Area 3 will continue to be 28 DU/AC.

The total density permitted in the Final Development Plan will remain as originally approved (see enclosed density chart). This will include 1,076 dwelling units, 400 lodging units and 72,000 sqft. of commercial.

K. Site Plan Number of bedrooms per dwelling unit: 7 (3-Bedroom) townhome units each.

L. Site Plan Size of residential and nonresidential space:

Residential Space:

24' Middle Unit: 2,793 SF

24' End Unit: 2,942 SF

*Totals include Garage/Flex Space and Roof (landing and exterior deck)

Non-residential space: N/A

M. Site Plan Number of proposed off-street parking spaces: All parking requirements for residential is met through individual parking garages proposed for each townhome unit. Each garage is a 2-car garage and will meet all parking requirements. There is no on-street parking proposed for this development.

N. Transportation Impact Study

Please see the Roam master transportation impact study that has been approved and on file. The transportation plan includes the land use and density that is proposed with this preliminary plat. The original density approved with the FDP is being maintained with no additional trips proposed.

O. Filing 4 Estimated Construction Schedule:

Estimated Construction Start: October 2023

Estimated Construction Completion: Fall 2025

P. Forest Management Plan

The site does not contain any existing trees. Dead trees were removed as part of the Filing 1 forest management plan.

Upon your review, we will be available to meet and provide additional information as required.

Sincerely,

Vogel & Associates, LLC

Jeffery Vogel, AICP

Principal



LOTS 1,2,3,4,5



LOTS 6,7

LOTS 1,2,3,4,5

LOTS 3, 4, 5

EXTERIOR SCONCE - B



FINISH: Black
WIDTH: 4.5"
HEIGHT: 15.5"
GLASS: Clear Seedy
LIGHT SOURCE: LED Lamp
LED NAME: GU10LED-3K
VOLTAGE: 120v
LED COLOR TEMP: 3000
LED LUMENS: 500

- FEATURES
- Suitable for use in wet (outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
 - Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky
 - Meets California Energy Commission Title regulations/JA8 when using the included LED bulb
 - 2 year finish warranty
 - LED Bulbs carry a 3-year limited warranty
 - Bold lines and a clean, minimalist style complement contemporary architecture
 - Striking black finish enhances design

EXTERIOR SCONCE - A



SILO 13590AZ-LL
Small Down Light Wall Mount Lantern

FINISH: Architectural Bronze
WIDTH: 4.5"
HEIGHT: 8"
GLASS: Etched
LIGHT SOURCE: LED Lamp
LED NAME: GU10LED-3K
VOLTAGE: 120v
LED COLOR TEMP: 3000
LED LUMENS: 500

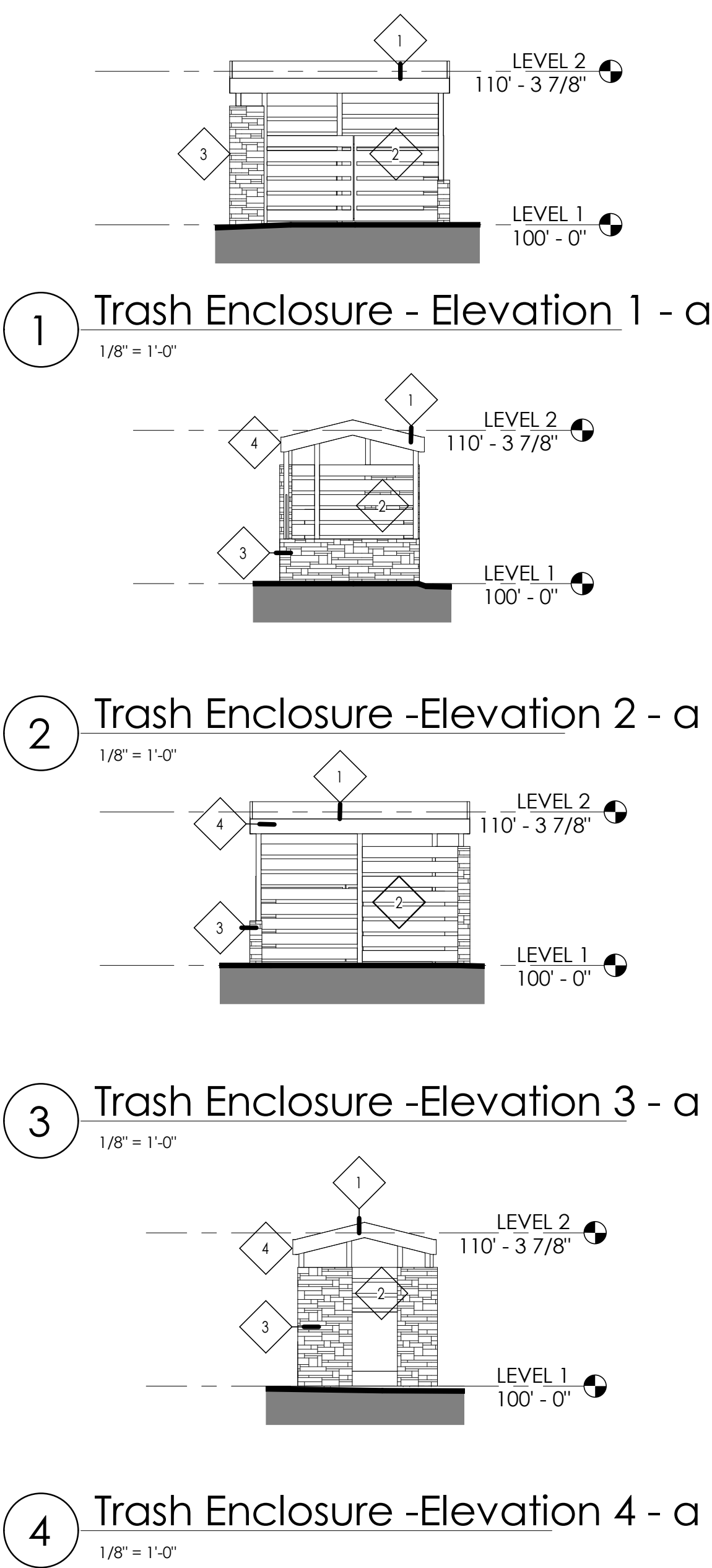
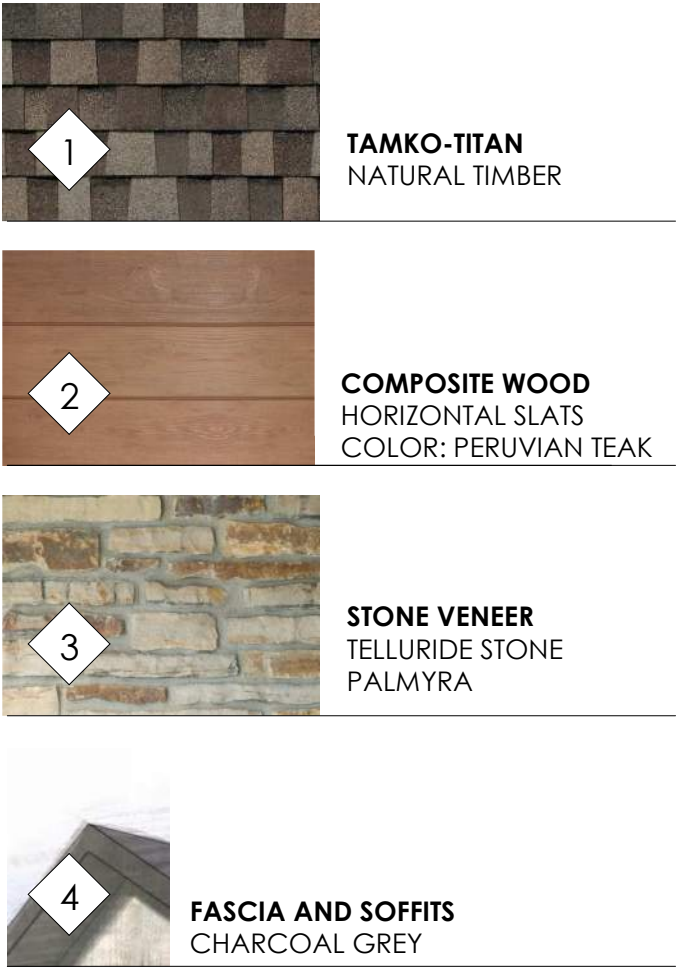
- FEATURES
- Mounting hardware is hidden on the backplate to ensure a clean silhouette
 - Suitable for use in wet (outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
 - Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky
 - Meets California Energy Commission Title regulations/JA8 when using the included LED bulb
 - LED Bulbs carry a 3-year limited warranty
 - 5 year finish warranty
 - The Coastal Elements Collection offers versatile designs, constructed of composite materials and coated with anti-fading finishes, for maximum durability in harsh climates.
 - Bold lines and a clean, minimalist style complement contemporary architecture
 - Bold and robust dark bronze finish

RECESSED LIGHTING



Features	
Product Type	Standard Kit
Trim Shape	Circle
Trim Style	Open
Dry, Damp or Wet Location Listed	Damp
What is Dry, Damp or Wet Location Listed?	This indicates whether the fixture is safe to use in dry locations, damp locations (moist environments), or wet locations (direct exposure to water).
Air-Tight	Yes
Primary Material	Metal
Primary Material Details	Aluminum
Dimmable	Yes
Integrated LED	Yes
What is Integrated LED?	This indicates that an LED light is built into the fixture. Integrated LED lights are more energy efficient and can last up to 50,000 hours. They cannot be replaced by the customer.
Number of Lights	1
Specifications	
ETL Listed	Yes
Sustainability Certificate(s)	ENERGY STAR Certified; ENERGY STAR Canada Certified

TRASH ENCLOSURE MATERIAL LEGEND



ROAM TOWNHOMES

BUILDING 1 AND 2

PROJ. NO. 22-12
DRAWN: Author
CHECKED: Checker
APPROVED: Approver
DATE: 09 14 2023
REVISIONS

ISSUED FOR: NOT FOR CONSTRUCTION
© NEO STUDIO

SCALE: As indicated

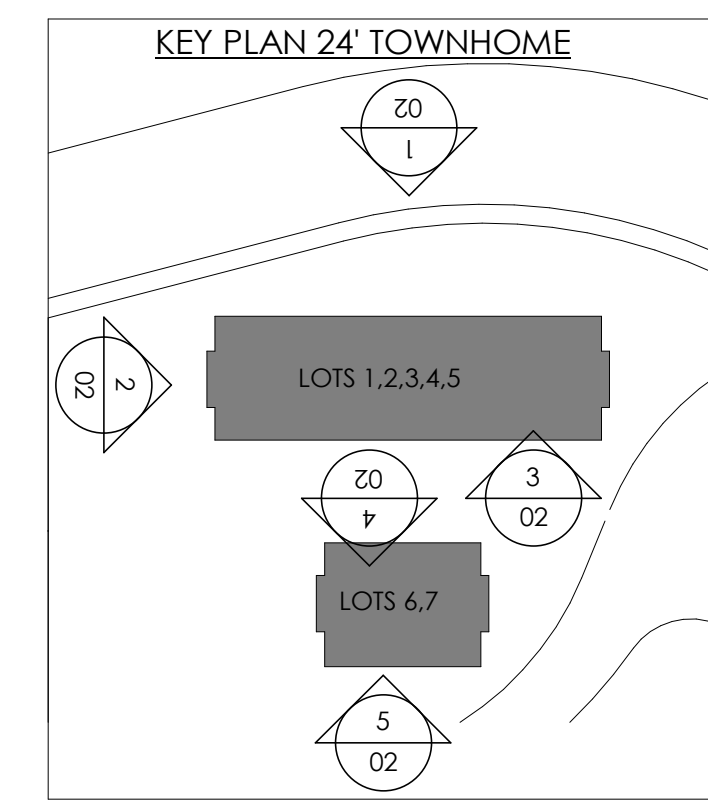
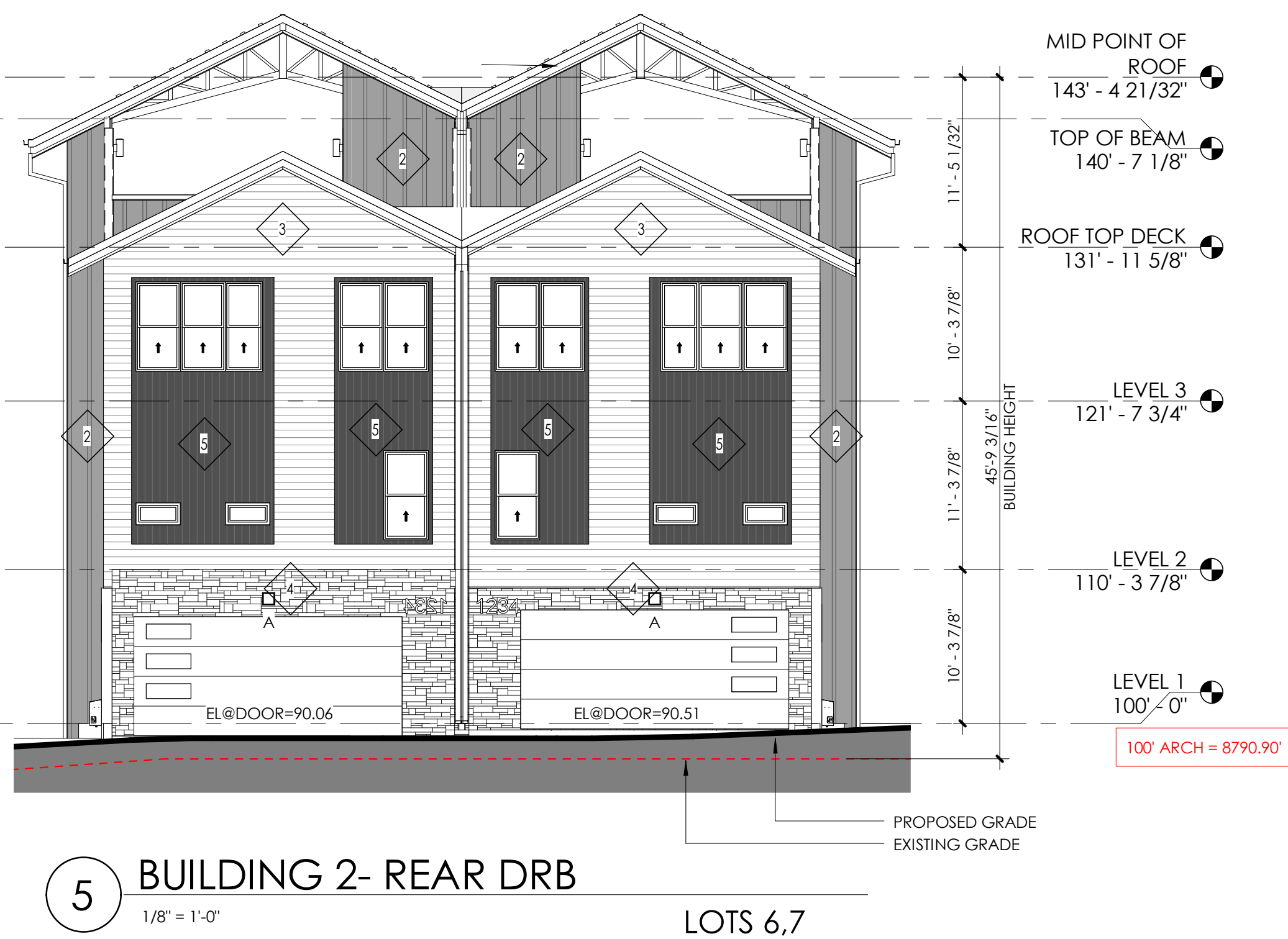
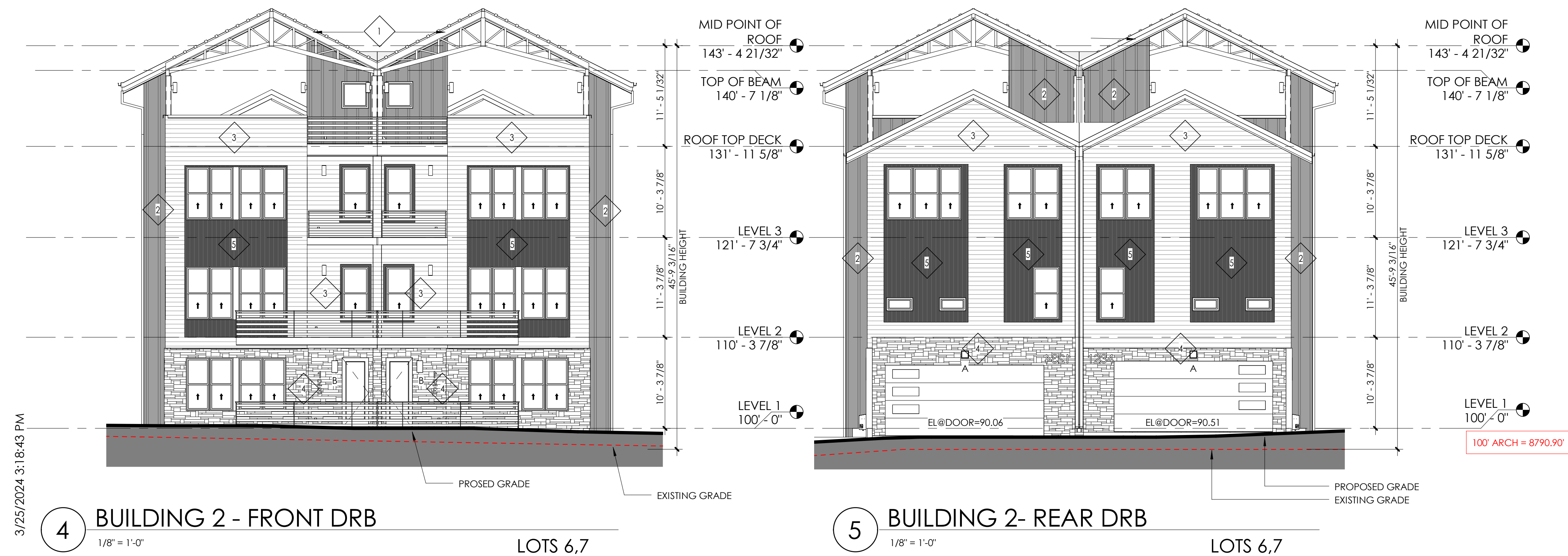
SHEET TITLE:
24' TOWNHOME

DRB.01



MATERIAL LEGEND

	TAMKO-TITAN NATURAL TIMBER
	METAL SIDING VERTICAL STANDING SEAM SIDING COLOR: GREY
	NEWTECH WOOD HORIZONTAL COMPOSITE SIDING COLOR: JAPANESE CEDAR
	STONE VENEER TELLURIDE STONE PALMYRA
	METAL SIDING CORRUGATED METAL COLOR: DARK GREY
	GARAGE DOOR FLASH METAL PANEL COLOR: CHARCOAL GREY
	WINDOWS & DOORS COMPOSITE BRONZE W/ LOW - E CLEAR INSULATED GLASS (WINDOW U VALUE 0.29) (DOOR U VALUE .27) TRIM: CHARCOAL GREY
	FASCIA AND SOFFITS CHARCOAL GREY
	RAILING HORIZONTAL METAL TUBE BLACK
	FOUNDATION PARGE COATED PAINTED GREY



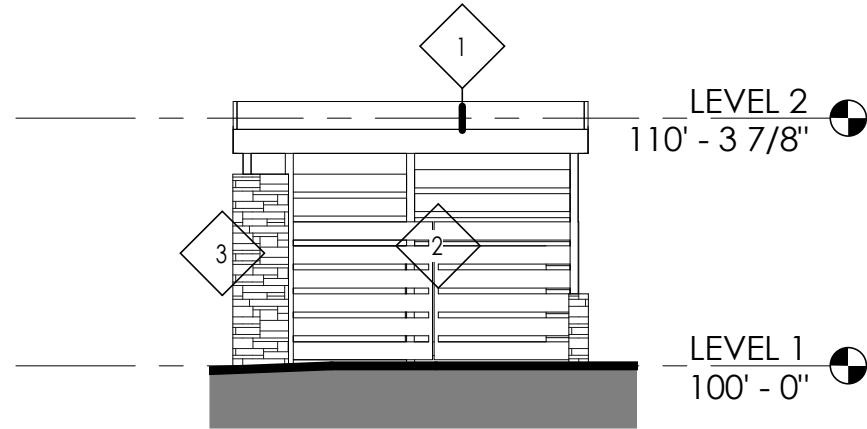


LOTS 1, 2, 3, 4, 5

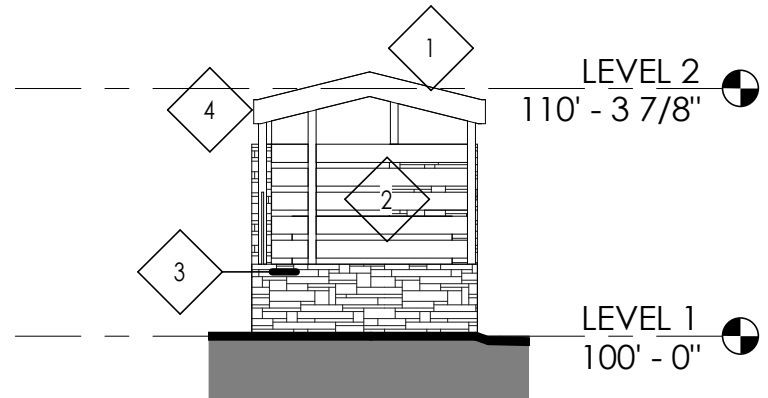


LOTS 6, 7

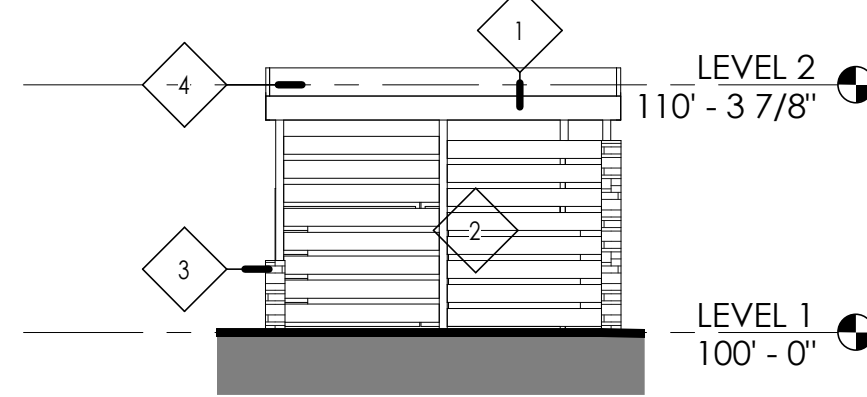
LOTS 1, 2, 3, 4, 5



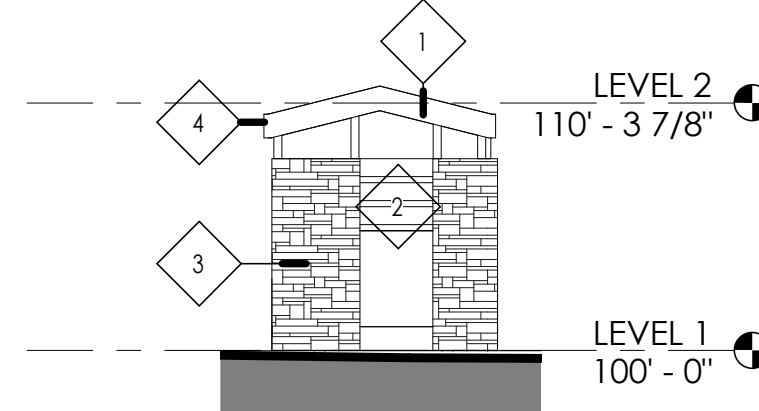
1 Trash Enclosure - Elevation 1 - a
1/8" = 1'-0"



2 Trash Enclosure - Elevation 2 - a
1/8" = 1'-0"



3 Trash Enclosure - Elevation 3 - a
1/8" = 1'-0"



4 Trash Enclosure - Elevation 4 - a
1/8" = 1'-0"

WAC LIGHTING

Hawthorne

Outdoor Wall Sconce 3000K

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W3311-FR	3000K	Black	11W	800	191

Example: WS-W3311-BK
For custom requests please contact custom@wacighting.com

DESCRIPTION

Poetic justice. Lighting the high road.

FEATURES

- Flat diamond hammered glass diffuser on four sides
- Open bottom for easy cleaning
- Downlight illumination from the light source
- ACED wireless technology
- 5 year warranty

SPECIFICATIONS

Color Temp:	3000K
Input:	120 VAC, 50/60Hz
CR:	90
Dimming:	ELV: 100-10%, TRIAC: 100-10%
Rated Life:	50,000 Hours
Mounting:	Can be mounted on wall in all orientations
Standards:	ETL, cETL
Construction:	Wet Location Listed Aluminum body, hammered glass diffuser

REPLACEMENT PARTS

- RPL-GLA-3311-FR - Front Glass
- RPL-GLA-3311-SI - Side Glass

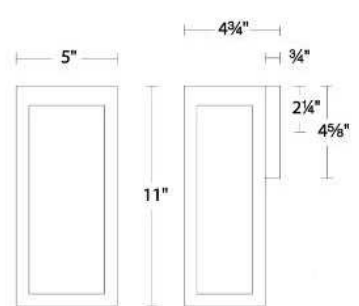
Fixture Type:	
Catalog Number:	
Project:	
Location:	



FINISHES:

Black

LINE DRAWING:



TYPE A3 & A4

ULEE-30001

Leeds 2 Small Surface Downlight

microVos TECHNOLOGY

LIGMAN LIGHTING USA



5.5w LED 570 Lumens
IP65 • Suitable For Wet Locations
IK07 • Impact Resistant
Weight 17 lbs

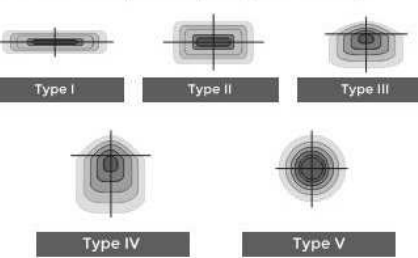


Mounting Detail

4" junction box cover plate is available as an option

microVos TECHNOLOGY

Ligman's micro Variable Optical System provides the ability to interchange, mix & rotate optics to provide specific light distributions for optimized spacing and uniformity.



Construction

Aluminum
UL94 V-0 Fire Retardant
Marine Grade 304L Stainless Steel
Aluminum High Pressure Die Casting
Mechanical Assembly - Clean Room Product Line and Production
Final Assembly

Die-Cast
A range of small, square and rectangular, ADA compliant wall mounted luminaires with options of upward or downward light distributions. Ideally suited to illuminate the wall and surfaces in front of wall and for light accents on vertical surfaces using high efficiency LEDs. The Leeds is suitable for indoor and outdoor applications and provides a clean, visually appealing solution for small, unobtrusive wall mounted luminaires.

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Clean, beautiful, surface wall fixtures with class leading performance. Minimalist form, yet the most powerful and flexible lighting tool of its type, offering packages up to 4000 lumens and microVos technology.

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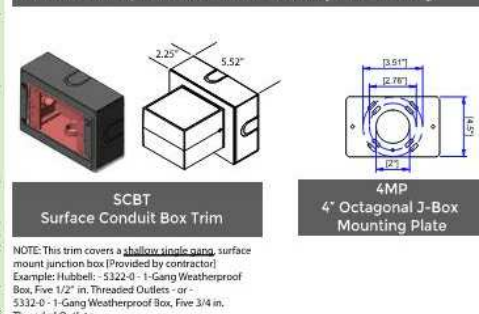
This luminaire is available in 3 different sizes and in combinations of down, up or up/down light distributions.

This fixture utilizes microVos technology, meaning the ability to do Type I, II, III, IV & V distributions as well as hybrid distributions to suit the designer's requirements.

Using the microVos optics allows for very wide spacing to mounting height ratios, while still providing perfect uniformity and code compliant light levels.

To meet International Dark Sky criteria, 3000K or warmer LEDs must be selected and luminaire fix mounted (+/- 15° allowable to permit leveling).

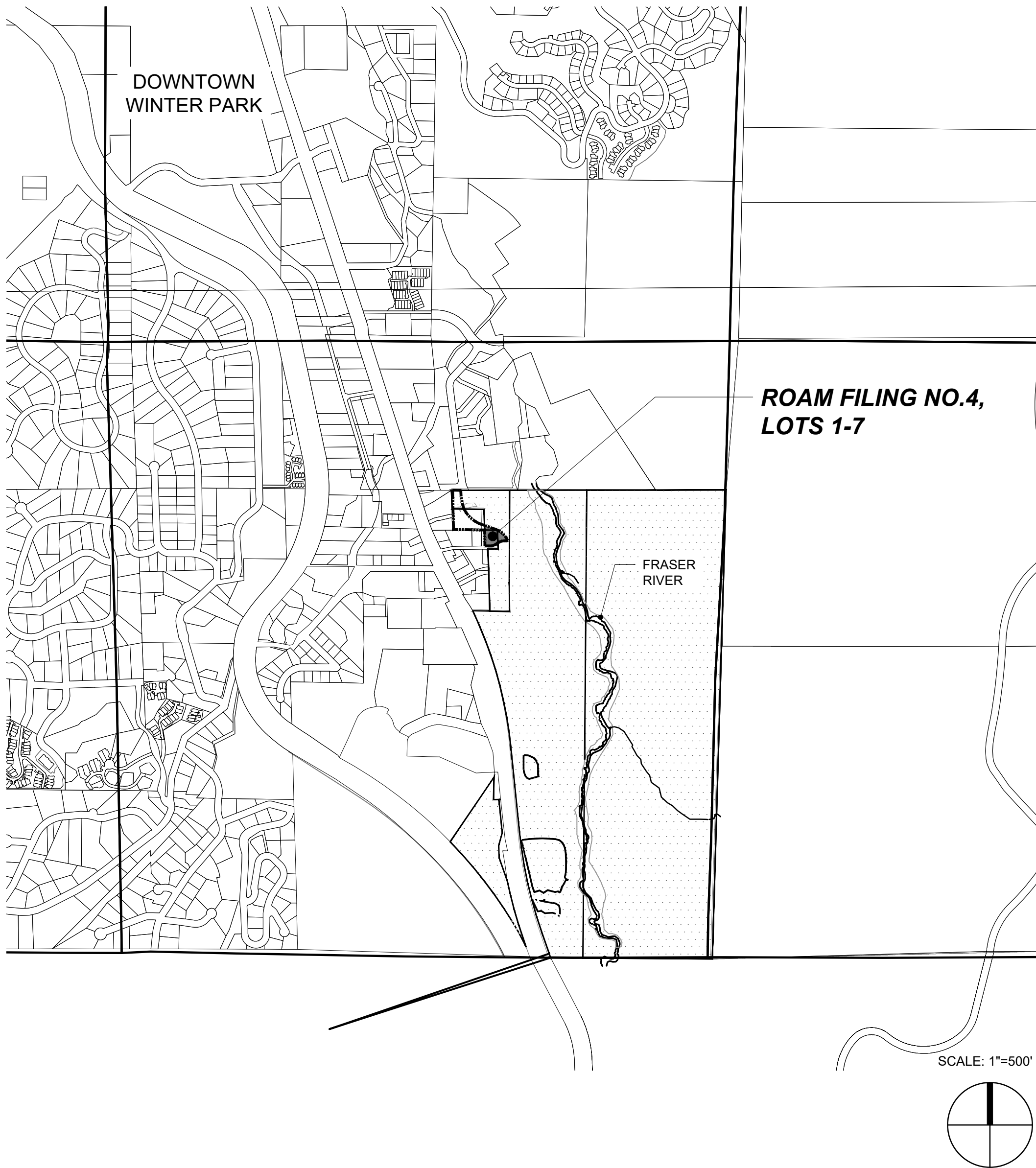
Additional Options (Consult Factory For Pricing)



ROAM - FILING NO. 4

MAJOR SITE PLANNING APPLICATION

VICINITY MAP



LAND USE CHART

SITE AREA CHART (SQ. FT)					
LOT	LOT AREA	BUILDING	LANDSCAPE AREA	WALKS/ DRIVES AREA	TOTAL
1	2,758	1057	1,389	312	2758
% OF TOTAL		38.32%	50.36%	11.31%	100%
LOT	LOT AREA	BUILDING	LANDSCAPE AREA	WALKS/ DRIVES AREA	TOTAL
2	1,568	1013	405	150	1568
% OF TOTAL		64.60%	25.83%	9.57%	100%
LOT	LOT AREA	BUILDING	LANDSCAPE AREA	WALKS/ DRIVES AREA	TOTAL
3	1,683	1013	496	174	1683
% OF TOTAL		60.19%	29.47%	10.34%	100%
LOT	LOT AREA	BUILDING	LANDSCAPE AREA	WALKS/ DRIVES AREA	TOTAL
4	1,711	1013	513	185	1711
% OF TOTAL		59.21%	29.98%	10.81%	100%
LOT	LOT AREA	BUILDING	LANDSCAPE AREA	WALKS/ DRIVES AREA	TOTAL
5	2,206	1077	941	188	2206
% OF TOTAL		48.82%	42.66%	8.52%	100%
LOT	LOT AREA	BUILDING	LANDSCAPE AREA	WALKS/ DRIVES AREA	TOTAL
6	1,937	1074	772	91	1937
% OF TOTAL		55.45%	39.86%	4.70%	100%
LOT	LOT AREA	BUILDING	LANDSCAPE AREA	WALKS/ DRIVES AREA	TOTAL
7	2,144	1074	893	177	2144
% OF TOTAL		50.09%	41.65%	8.26%	100%

LEGAL DESCRIPTION

A RESUBDIVISION OF PARCEL E OF THE FINAL PLAT OF ROAM FILING NO. 1, AMENDED LOT 1, BLOCK 1 OF ROAM FILING NO. 1, PARCEL A, AND LOT 1, BLOCK 1, HIDEAWAY PARK, SUBDIVISION EXEMPTION PLAT, AND AMENDED TRACT F, MINOR SUBDIVISION PLAT OF ROAM FILING NO. 1. A PART OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO.

ZONING & SETBACKS

ZONING - ROAM FDP D-C

FRONT- 5' SETBACK
SIDE- 5' SETBACK
REAR- 5' SETBACK

BUILDING COVERAGE

SITE AREA

USE	AREA SQ. FT.	% OF TOTAL
LOTS		
LOT 1	2,758	9.7%
LOT 2	1,568	5.5%
LOT 3	1,683	5.9%
LOT 4	1,711	6.0%
LOT 5	2,206	7.7%
LOT 6	1,937	6.8%
LOT 7	2,144	7.5%
SUBTOTAL	14,007	49.1%
LANDSCAPE AREA	10,160	35.6%
ASPHALT DRIVE/DRIVEWAY APRONS*	4,379	15.3%
SUBTOTAL	28,546	100.0%

NOTES:
1) SEE LAND USE CHART, COVER SHEET, FOR INDIVIDUAL SIDEWALKS FOR EACH LOT.
2) EXISTING CONCRETE WALKS COMPLETED WITH THE ROAM FILING NO. 1 PLAT NOT INCLUDED.

BUILDING HEIGHT

MAX ALLOWED 55'

BUILDING HEIGHT MEASURED FROM EXISTING GRADE TO MIDPOINT OF ROOF

PROPOSED

5-PLEX TOWNHOME BUILDING- MIDPOINT OF ROOF: 46'-10 1/2"
2-PLEX TOWNHOME BUILDING - MIDPOINT OF ROOF: 45'-1 1/2"

SHEET INDEX

SITE PLAN

OVERALL SITE PLAN S1
SITE PLAN S2

LANDSCAPE

LANDSCAPING PLAN L1
LANDSCAPE DETAILS L2

CIVIL ENGINEERING

COVER SHEET C1.0
GENERAL NOTES C1.1
STORM WATER MANAGEMENT NOTES C2.0
STORM WATER MANAGEMENT PLAN C2.1
STORM WATER MANAGEMENT DETAILS C2.2
EXISTING CONDITIONS - DEMO PLAN C3.0
SITE PLAN C4.0
GRADING PLAN 1 C5.0
GRADING PLAN 2 C5.1
WANDERS WAY PLAN AND PROFILE C6.0
DRIVE PLAN AND PROFILE C6.1
OVERALL UTILITY PLAN C7.0
WATER PLAN AND PROFILE 1 C8.0
WATER PLAN AND PROFILE 2 C8.1
SANITARY SEWER PLAN AND PROFILE C8.2
STORM SEWER PLAN AND PROFILE C8.3
WATER DETAILS C9.0
SANITARY SEWER DETAILS C9.1
SITE DETAILS C9.2

ARCHITECTURAL ELEVATIONS & MATERIALS

ROAM TOWNHOMES- 24' TOWNHOME DRB.01
ROAM TOWNHOMES - RENDERINGS DRB.02

DEVELOPER

FRASER RIVER DEVELOPMENT COMPANY
1500 WYNKOOP ST., SUITE 200
DENVER, CO 80202
PHONE: 303-893-4288

ARCHITECT

NEO STUDIO
MICHAEL NODA - REGISTERED ARCHITECT
3560 WALNUT ST. UNIT A
DENVER, CO 80205
PHONE: 303-758-3800

PLANNER

VOGEL & ASSOCIATES
165 S. UNION BLVD. SUITE 440
LAKEWOOD, CO 80228
CONTACT: JEFF VOGEL
PHONE: 303-893-4288

CIVIL ENGINEER

TOPKNOT ENGINEERING (TKE)
998 COUNTY ROAD 553 (POB 2225)
GRANBY, CO. 80446
CONTACT: TONY DEPLATA
PHONE: 970-281-5280

SURVEYOR

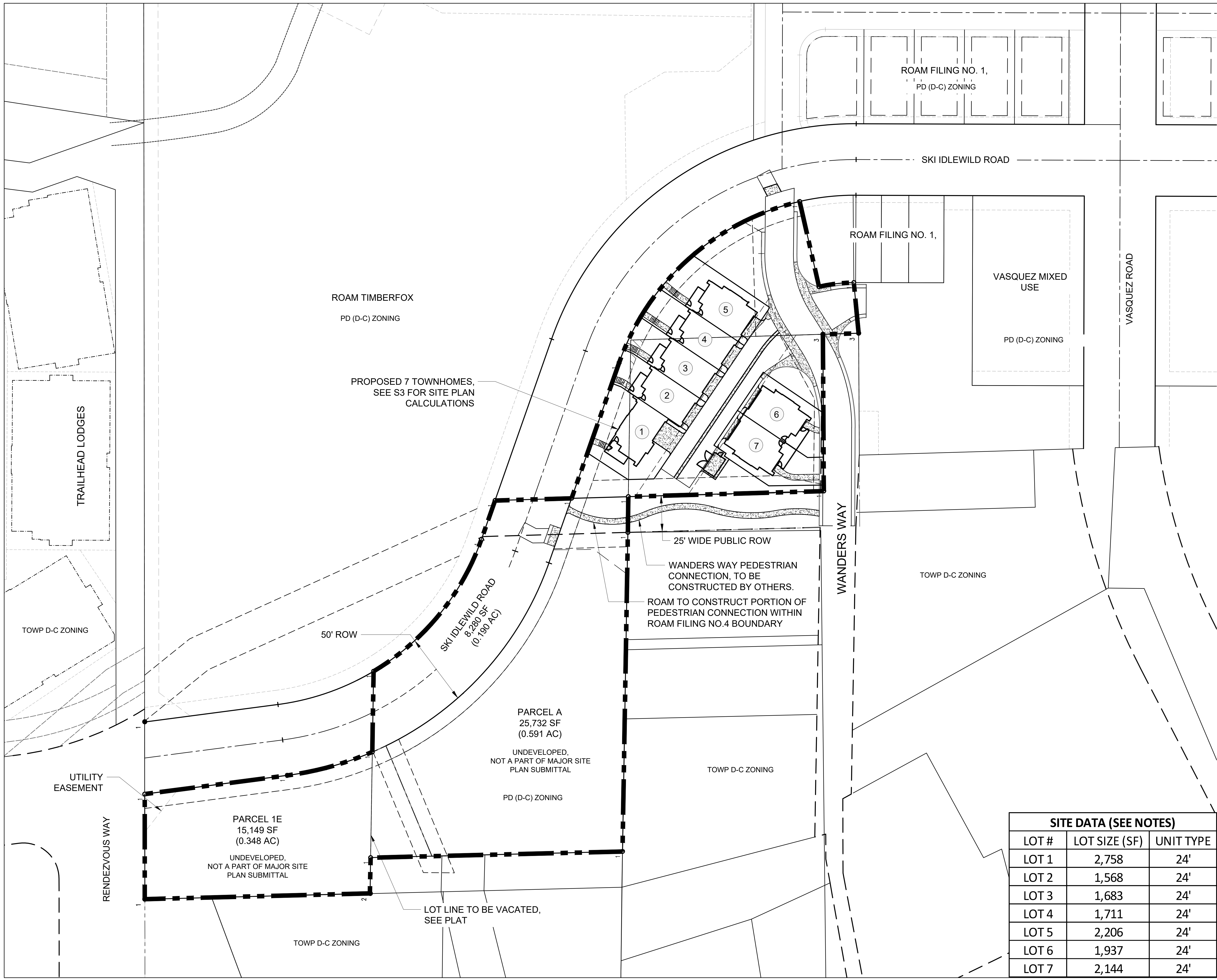
AZTEC CONSULTANTS, INC.
300 E. MINERAL AVE., SUITE 1
LITTLETON, CO 80122

LANDSCAPE ARCHITECT

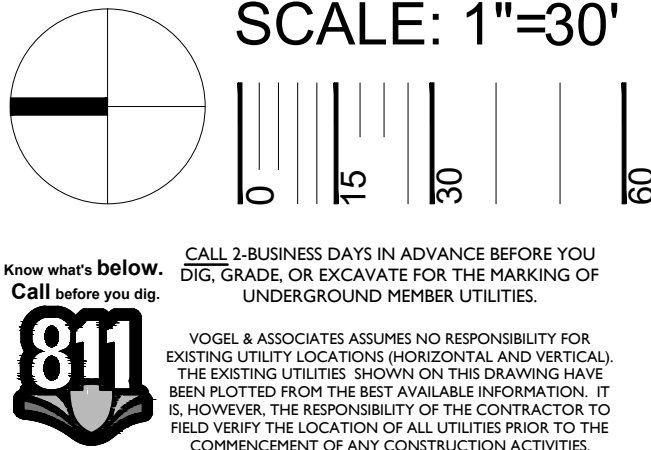
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165 S. UNION BLVD. SUITE 440
LAKEWOOD, CO 80228
CONTACT: JEFF VOGEL
PHONE: 303-893-4288



CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.
VOGEL & ASSOCIATES ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL). THE EXISTING UTILITIES SHOWN ON THE DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.



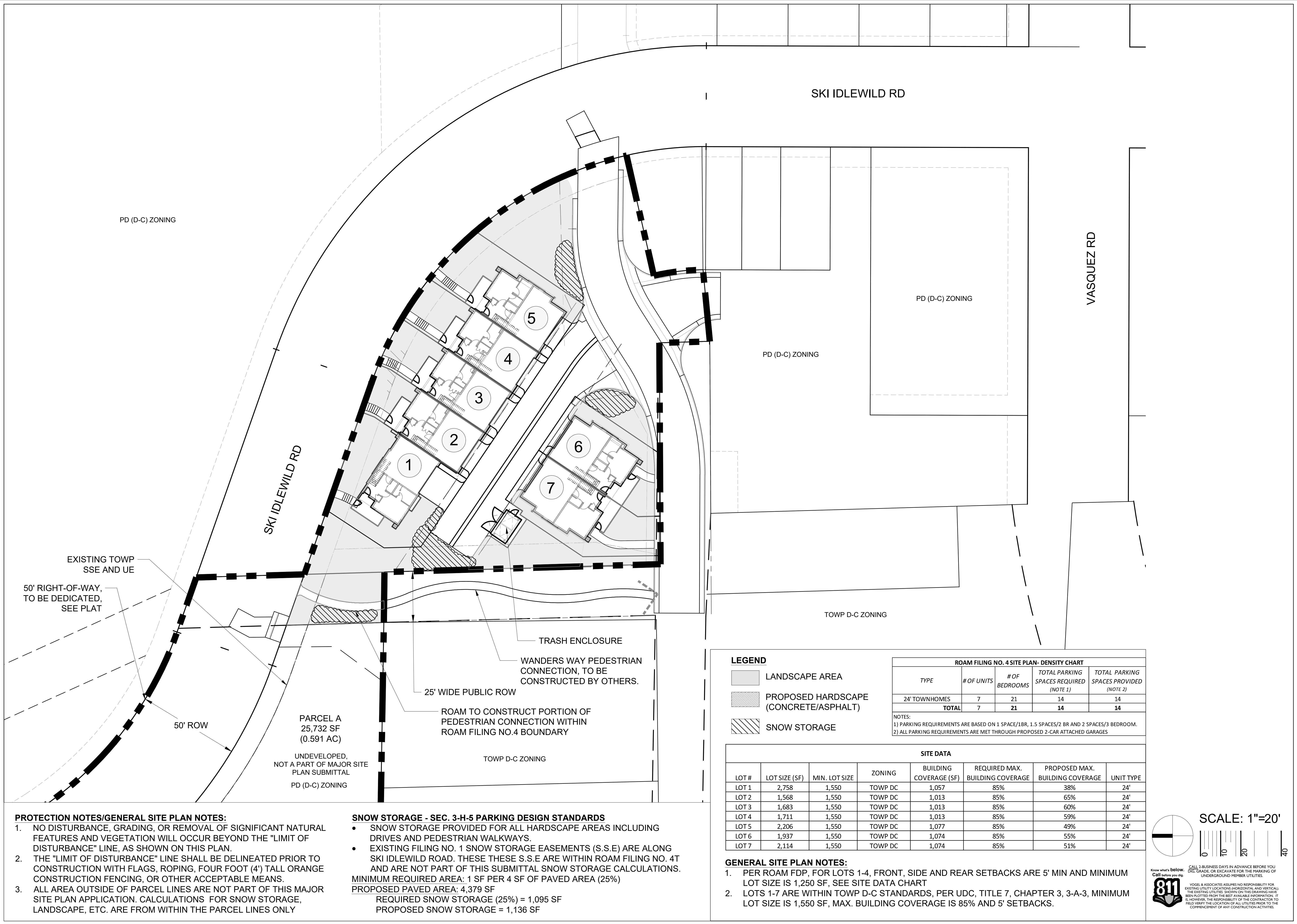
SITE DATA (SEE NOTES)		
LOT #	LOT SIZE (SF)	UNIT TYPE
LOT 1	2,758	24'
LOT 2	1,568	24'
LOT 3	1,683	24'
LOT 4	1,711	24'
LOT 5	2,206	24'
LOT 6	1,937	24'
LOT 7	2,144	24'

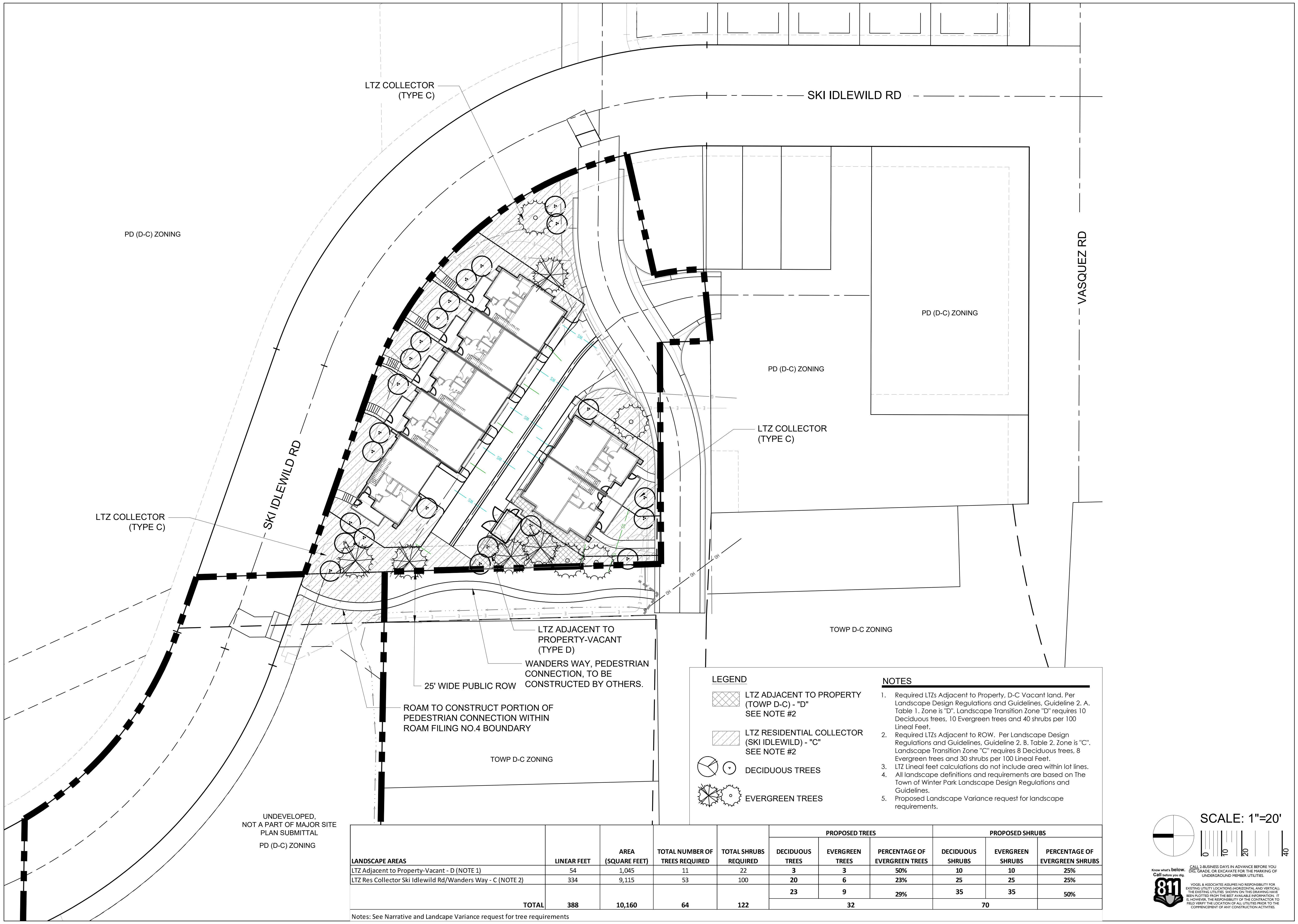


ROAM FILING NO. 4
MAJOR SITE PLANNING APPLICATION
WINTER PARK, CO 80482

DOCUMENT SET	ISSUE DATE
SUBMITTAL SET	05/19/2023
CONSTRUCTION SET	
DWN. BY:	MT
REVISIONS:	

ROAM FILING NO. 4-
OVERALL SITE PLAN





ROAM FILING NO. 4
MAJOR SITE PLANNING APPLICATION
WINTER PARK, CO 80482

DOCUMENT SET	ISSUE DATE
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LANDSCAPE AND
REVEGETATION PLAN

L1

PLANTING NOTES

- LANDSCAPE PLAN AND DETAILS TO BE USED IN CONJUNCTION WITH THE CIVIL PLANS TO FORM COMPLETE INFORMATION REGARDING SITE WORK.
- CONTRACTOR TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO BEFORE DIGGING, INCLUDING BUT NOT LIMITED TO, TRENCHING AND SHRUB AND TREE PLANNING PITS. IF UTILITIES OCCUR AT LOCATIONS OF PROPOSED SHRUBS OR WITHIN EIGHT (8) FEET OF PROPOSED TREES, THE CONTRACTOR SHALL REPORT SUCH CONDITIONS TO THE OWNER'S REPRESENTATIVE. DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR IS THE RESPONSIBILITY OF THE CONTRACTOR.
- INSTALL FIR FIBER MULCH RING AROUND TREES AS SHOWN ON PLANTING DETAILS BELOW.
- NATIVE GRASS AREAS SHALL BE PREPARED WITH ASPEN RICH COMPOST OR AN APPROVED EQUAL AT A RATE OF 3 CUBIC YARDS PER 1,000 SQUARE FEET. THIS PREPARATION SHALL BE THOROUGHLY INCORPORATED INTO THE TOP 6" OF SOIL.
- ALL TREES, AND OTHER PLANT MATERIALS ARE TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO DELIVERY AND AGAIN AFTER DELIVERY TO SITE. ANY PLANT NOT MEETING APPROVAL MAY BE REJECTED AT ANY TIME PRIOR TO FINAL ACCEPTANCE.
- ALL PLANT MATERIAL LOCATIONS ARE TO BE STAKED BY THE CONTRACTOR FOR REVIEW BY THE OWNER'S REPRESENTATIVE. ALL ADJUSTMENTS SHALL BE MADE BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT DIG PLANT PITS UNTIL LOCATIONS ARE APPROVED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO EXISTING UTILITIES, WALLS AND/OR OTHER EXISTING STRUCTURES THAT IS A RESULT OF HIS WORK. THE REPAIR OF SUCH DAMAGE WILL BE AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO CONFIRM ALL PLANT QUANTITIES AS SHOWN ON THE LANDSCAPE PLANS.
- ALL AREAS DISTURBED BY GRADING OR CONSTRUCTION ACTIVITIES AND NOT INDICATED TO BE SURFACED OTHERWISE SHALL BE SEEDED WITH THE SPECIFIED NATIVE SEED MIX. SEE STANDARDS AND SPECIFICATIONS FOR DESIGN AND CONSTRUCTION, SECTION 7.4, CHART BELOW STATING THE MIX COMPOSITION RECOMMENDED BY THE GRAND COUNTY NATURAL RESOURCE CONSERVATION SERVICE.
- THE CONTRACTOR SHALL HAVE ALL GRADING APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANT MATERIAL AND NATIVE SEED
- THE CONTRACTOR SHALL PROTECT ALL EXISTING VEGETATION TO REMAIN DURING CONSTRUCTION.
- SEE CIVIL EROSION CONTROL PLAN.
- ALL TREES TO BE DEEP WATERED BY HAND OR TRUCK AT TIME OF PLANTING AND CONTINUE UNTIL IRRIGATION SYSTEM IS OPERATING.
- ALL TREES WILL BE IRRIGATED WITH TEMPORARY DRIP IRRIGATION SYSTEM FOR TWO GROWING SEASONS.
- SHRUB BEDS TO INCLUDE 4" OF FIR FIBER MULCH OR AS SPECIFIED BY THE OWNERS REPRESENTATIVE.
- ALL FIR FIBER MULCH MUST BE TREATED WITH FLAME STOP II, PER MANUFACTURES INSTRUCTIONS.

MANUFACTURER:
FLAME STOP INC.
924 BLUE MOUND ROAD
FT.WORTH, TX 76131
1-877-397-7867
WWW.FLAMESTOP.COM
- ALL PLANT MATERIAL TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM THAT UTILIZES SMART WATER TECHNOLOGY. SHRUBS AND GROUNDCOVERS TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION DRIP SYSTEM. NATIVE SEED AREAS EXCEPT AS NOTED WILL NOT BE IRRIGATED.
- FILTER FABRIC TO BE INSTALLED UNDER ALL GRAVEL AND CRUSHER FINES TRAIL PER MANUFACTURES INSTRUCTIONS.
- SOIL AMENDMENT FOR ALL SOD AREAS SHALL BE A MINIMUM OF THREE (3) CUBIC YARDS OF ORGANIC MATTER PER ONE-THOUSAND SQUARE FEET. THIS SOIL AMENDMENT SHALL BE ROTO-TILLED TO A DEPTH OF SIX (6) INCHES. CLASS I OR CLASS II COMPOST IS REQUIRED. INSTALLING CONTRACTOR IS TO PROVIDE SUBMITTAL FROM SUPPLIERS FOR SOD AND NATIVE SEED MIX AT TIME OF LANDSCAPE INSPECTION.
- ALL BASE INFORMATION WAS PROVIDED BY CORE CONSULTANTS.

TEMPORARY SEED MIX				
LAND USE	% OF MIX	SPECIES	VARIETY	APPLICATION RATE (LBS/AC)
DRY LAND NON-IRRIGATED RECLAMATION	50	SMOOTH BROOME	MANCHAR	8
	50	PUBESCENT WHEATGRASS	LUNA	8
NOTES: <div><div>1. The applied seed shall not be covered by a soil thickness greater than 0.5" in depth.</div><div>2. Seeding shall take place on all disturbed areas and stockpiles expected to remain dormant for a period greater than 30 days.</div><div>3. To provide temporary erosion control prior to seed application, utilize surface roughening (on the contour or perpendicular to prevailing winds) and apply mulch.</div><div>4. Seed shall be planted with drill seeding equipment, whenever possible.</div><div>5. Areas that require broadcast seeding shall be mulched and tackified.</div></div>				

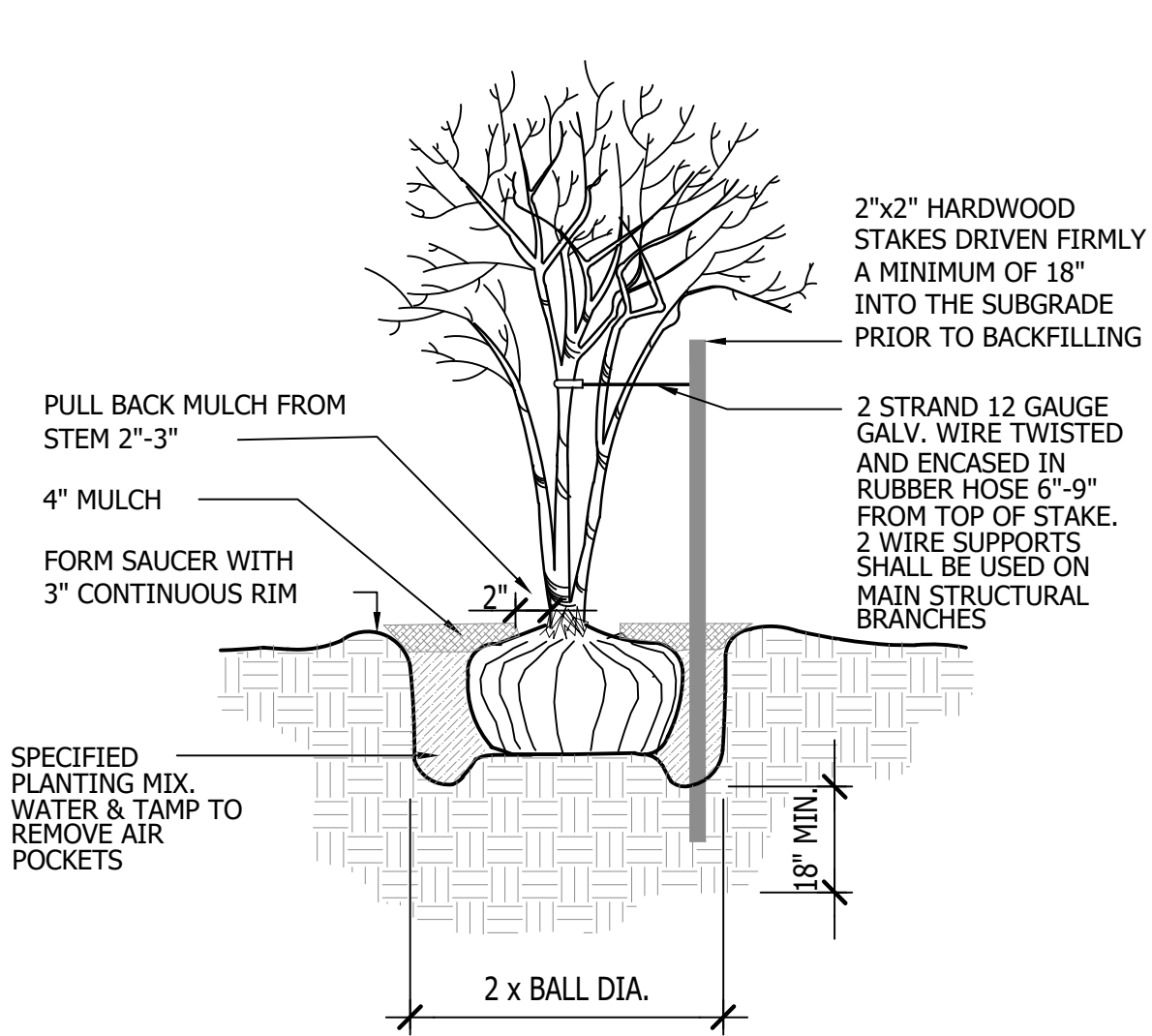
Native Grass Seed	% of mix	PLS
Mountain Brome grass, Bromar	10%	5.0
Canada Bluegrass, Talon	5%	2.5
Big Bluegrass, Sherman	5%	5.0
Sheep Fescue, Covar	20%	10.0
Slender Wheatgrass	20%	10.0
Pubescent Wheatgrass, Luna	25%	12.5
Cicer Milkvetch	2%	1.0
Annual Ryegrass, Gulf	5%	2.5
Woods Rose	8%	4.0

SEED APPLICATION: DRILL SEED 0.25"-0.5" INTO THE SOIL. IN AREAS NOT ACCESSIBLE TO A DRILL HAND BROADCAST AT DOUBLE THE ABOVE RATE AND RAKE 0.25"-0.5" INTO THE SOIL. ON SLOPES STEEPER THAN 2:1 HYDROSEED AT DOUBLE THE RATE.

SOIL AMENDMENTS: PREPARE SOIL WITH SAND BASED GRANULAR HUMATE AT THE RATE OF 435 LBS. PER ACRE.

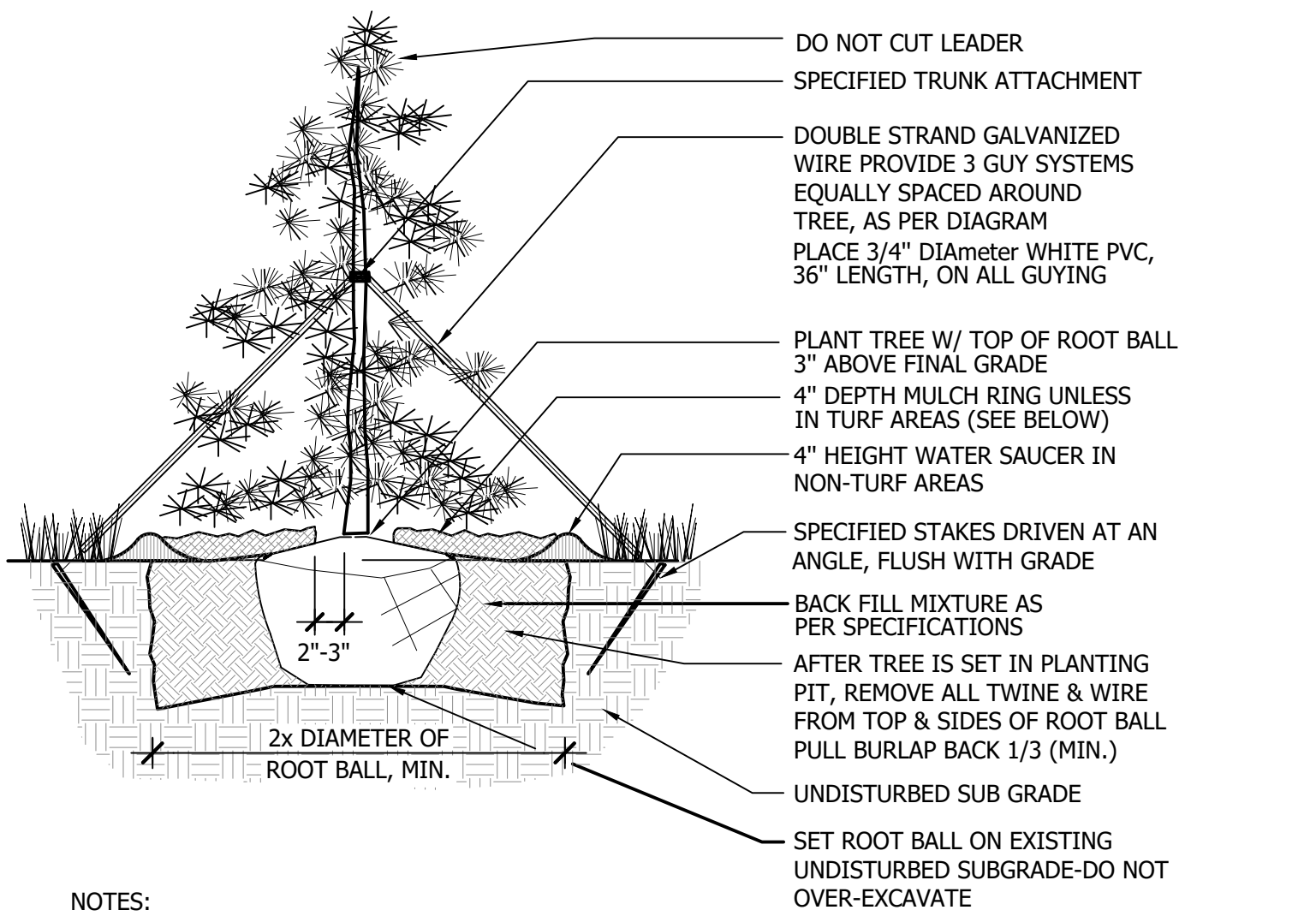
FERTILIZER APPLICATION: APPLY BIOSOL ALL NATURAL ORGANIC FERTILIZER AT THE RATE OF 1800 LBS. PER ACRE IN ALL SEEDING AREAS.

HYDOMULCH APPLICATION: HYDOMULCH SHALL CONSIST OF CELLULOSE FIBER MULCH AND MULCH TACKIFIER AND SHALL BE APPLIED AT THE RATES OF 2,000 LBS PER ACRE AND 100 LBS. PER ACRE CONSECUTIVELY.



- NOTES:
- STAKE TO FIRST BRANCHES AS NECESSARY FOR SUPPORT
 - WIRE SHALL NOT TOUCH OR RUB ADJACENT TRUNKS OR BRANCHES

1 MULTI-TRUNK ASPEN TREE STAKING
L2 NOT TO SCALE



- NOTES:
- PULL MULCH BACK 2" TO 3" FROM TRUNK OF TREE
 - INSTALL SPECIFIED MULCH TO DRIP LINE OF TREE WHERE PLANTED IN LAWN AREAS. MULCH TO BE 2" DEEP IN LAWN AREAS.
 - DO NOT PROVIDE WATER BASIN IN IRRIGATED LAWN AREAS.

2 EVERGREEN TREE PLANTING
L2 NOT TO SCALE

Plant List				
SYMBOL	ABBREVIATION	COMMON NAME	BOTANICAL NAME	SIZE
DECIDUOUS TREES				
	ASP	ASPEN CLUMP	POPULUS TREMULOIDES	3" CAL.
EVERGREEN TREES				
	BS	BLUE SPRUCE	PICEA PUNGENS	8'-10' HT
	ES	ENGLEMAN SPRUCE	PICEA ENGELMANNII	8'-10' HT

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LANDSCAPE DETAILS