



**TOWN OF WINTER PARK
PLANNING COMMISSION
Tuesday, April 9, 2024 8:00 AM**

A G E N D A

I. Call to Order

II. Roll Call of Commission Members

III. Public Comment

This time is reserved for anyone from the public to speak about items not on the agenda. The Planning Commission is not prepared to decide on matters brought up during this time, but if warranted, will place them on a future agenda.

IV. Conflict of Interest

V. Consent Agenda:

- a. Subdivision Exemption – 265 Lake Trail – Amended Lot 4, Elk Run of Winter Park Subdivision Filing 1 (PLN24-015)

VI. General Business:

- a. PUBLIC HEARING: Major Site Plan – 820 Ski Idlewild Road – Tract A, Rendezvous at Winter Park Subdivision Exemption No. 1 and Tract A, Idlewild Subdivision Exemption No. 1 (PLN23-115)
- b. PUBLIC HEARING: Zoning Request – Annexation – Valley Hi Enclave – 79025 Highway 40 - Lots 10-12, Block 1, Hideaway Park (PLN24-023)

VII. Director's Report:

This time is reserved for specific items from staff requiring Commission direction and for relaying important information to the Commission.

VIII. Planning Commission Items of Discussion

This time is reserved for Commission discussion items that are not listed on the agenda.

Online Meeting Login Instructions – See next page

Computer Login Instructions

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/81725744995?pwd=RnVOb2hpVmN1SXBydzFBZEc3NGhGZz09>

Passcode: 113389

Phone Login Instructions

Dial In Numbers (for higher quality, dial a number based on your current location):

- +1 719 359 4580 US
- +1 253 205 0468 US
- +1 253 215 8782 US (Tacoma)
- +1 346 248 7799 US (Houston)
- +1 669 444 9171 US
- +1 669 900 6833 US (San Jose)
- +1 564 217 2000 US
- +1 646 931 3860 US
- +1 689 278 1000 US
- +1 929 436 2866 US (New York)
- +1 301 715 8592 US (Washington DC)
- +1 305 224 1968 US
- +1 309 205 3325 US
- +1 312 626 6799 US (Chicago)
- +1 360 209 5623 US
- +1 386 347 5053 US
- +1 507 473 4847 US

Webinar ID: 817 2574 4995

Passcode: 113389

International numbers available: <https://us02web.zoom.us/j/kdr9la1HH0>

You can log into the Zoom meeting through the link above to view what is projected on the screen. You can use either your computer audio or the number above. Everyone will be muted upon entry into the meeting to ensure that we have manageable background noise and limited interruptions.

Public Hearing Process

If you would like to participate in the public hearing, please follow these instructions so we can make sure everyone that wants to speak has the opportunity. When you log into Zoom you will be automatically muted to limit background noise. When the public hearing is opened for public comment, please use the “raise your hand” feature and staff will unmute citizens in the order they were received. To enable “raise your hand” feature, click on the “Participants” button the bottom of the screen.



MEMO

TO Planning Commission
FROM Hugh Bell, Planner
THROUGH James Shockey, AICP, Community Development Director
DATE April 9, 2024
RE Exemption Plat – 265 Lake Trail – Amended Lot 4, Elk Run of Winter Park Subdivision,
Filing 1 (PLN24-015)

Property Owner: Lauren Jennifer Turner

Applicant: Lauren Jennifer Turner

Location: 265 and 285 Lake Trail (Lots 4 and 5, Elk Run of Winter Park Subdivision, Reception No. 95010477) (the "Property")

Zoning: R-2 (Multiple Family Residential)

Title Commitment:
Satisfactory.

Authority:

The applicant seeks approval of an exemption plat application. In Title 7 of the Town Code (the "UDC"), Table 5-B-3 states that the Planning Commission shall have the authority to review and decide applications for an exemption plat.

Pursuant to § 5-D-1, Exemptions from Subdivision, of the UDC, the Planning Commission considers the division of land that is for the purpose of revising lot lines from those shown on a recorded plat and which creates no more than the recorded number of parcels and creating parcels for community facilities (including utility land acquisition) provided that the exemption conforms with the policies and regulations of this UDC. Exemption plat approval is required before building permit issuance.

The Planning Commission shall consider whether the application is in conformance with the requirements of the UDC. At a public meeting, the Planning Commission shall approve as submitted, disapprove, or approve with conditions, the exemption plat.

This report includes comments from Town staff that should be considered as a part of the application decision.

Applicable Provisions of the Unified Development Code (UDC):

§ 5-D-1, Exemptions from Subdivision:

The UDC allows the Planning Commission to exempt property from the subdivision process if one of eight (8) conditions are met. Staff has determined that this Subdivision Plat Exemption meets the requirements of § 5-D-1(B)(1)(b):

- b. Is for the purpose of revising lot lines from those shown on a recorded plat and which creates no more than the recorded number of parcels, subject to the following conditions:
1. Any lot or parcel created shall conform to the minimum requirements for area or dimension as established by this UDC;
 2. If the lots of the original recorded plat were nonconforming, lots or parcels created shall not increase the existing nonconformity; and
 3. Applicable law relating to amendment of recorded plats is complied with.

§ 5-D-1(F) gives guidance on determining which applications shall be approved:

F. Approval Criteria.

1. The Planning Commission shall approve only those applications which it finds to be in conformance with the conditions of this Section and with any applicable policies and regulations of this UDC.
2. If the Planning Commission's approval of an exemption is contingent upon the dedication of any areas for public use, the Planning Commission may accept the dedication document upon its approval of the exemption, after review of that document by the Town Attorney, and before recording the exemption with the Grand County Clerk and Recorder.

§ 5-D-1(G) gives guidance on determining which applications should be denied:

- G. Denial of Exemption Applications: If the Planning Commission denies an exemption application upon finding that the correction or amendment of an existing recorded subdivision plat would result in a plat which does not meet the standards and regulations of this UDC, the Planning Commission may require that the proposed exemption be submitted for full subdivision platting procedures.

The Exemption Plat process involves one meeting with the Planning Commission for approval; it does not require review or approval from Town Council.

Project Overview:

Applicant requests an exemption plat to remove the lot line and easement between Lots 4 and 5 that was platted via the Elk Run of Winter Park Filing 1 Correction Plat (Reception No. 95010477). The exemption plat would combine the two (2) lots into one (1) lot, "Amended Lot 4". The street address assigned to Lot 4 will remain (i.e., 265 Lake Trail). The 285 Lake Trail (Lot 5) address will be nullified. Per No. 5 on the Correction Plat, 10' utility easements are provided along all side, rear, and front lot lines. Lot 4 contains half of a 20' sewer easement on the rear lot line.

Plat:

Satisfactory. Applicant addressed staff's red-marked prints of the plat.

Staff Recommendation:

Staff finds the applicant has submitted all required materials within the timeframe required and all other materials comply with the conditions of § 5-D-1 of the UDC and conform to all applicable policies and regulations of the UDC. Staff therefore recommends approval.



However, this is a decision for the Commission to make, and the Commission may choose to approve or deny based on the testimony and evidence it hears. Two sample motions are included below for convenience only. They do not limit the evidence the Commission can rely on or the decision the Commission makes.

Sample Motion for Approval:

I move to approve Exemption Plat for Amended Lot 4, Elk Run of Winter Park Subdivision, Filing 1 (PLN24-015), finding it in conformance with § 5-D-1 of the UDC.

Sample Motion for Denial:

I move to deny Exemption Plat for Amended Lot 4, Elk Run of Winter Park Subdivision, Filing 1 (PLN24-015), finding the applicant has failed to meet the criteria required in § 5-D-1 of the UDC, specifically: ***[articulate specific reasons for denial for failure to conform with the UDC]***

Admin Use Only:

- lien holder(s) ratified and approved the plat
- digital file of the approved plat that meets Digital Plat Submittal Requirements
- certificate of taxes, shown to be paid in full from County Treasurer
- address plat submitted
- recording fees paid
- plat recorded. Insert date and reception number here: _____

Amendment to Lot 4 Elk Run:

Lauren Turner
265 Lake Trail
Winter Park, Colorado 80123
HOA: Allegiant Management
Allegiantmgmt.com
Winter Park, Colorado
Office: 970.726.5701

The Amendment of Lot 4 is to combine Lots 4 and 5: revise the lot lines as shown on the attached plat.

Legal description:

Plat Reception No. 95010447

PART OF SECTION 32

TOWNSHIP 1 SOUTH, RANGE 75 WEST, 6TH PM TOWN OF WINTER PARK, GRAND COUNTY, COLORADO.

Zoning district: Residential

Lot size: 1.16+/- acres

AMENDED LOT 4 EXEMPTION PLAT

Elk Run of Winter Park Subdivision

Filing 1, Lots 4 and 5

Reception No. 95010477

PART OF SECTION 32

TOWNSHIP 1 SOUTH, RANGE 75 WEST, 6TH PM

TOWN OF WINTER PARK, GRAND COUNTY, COLORADO.

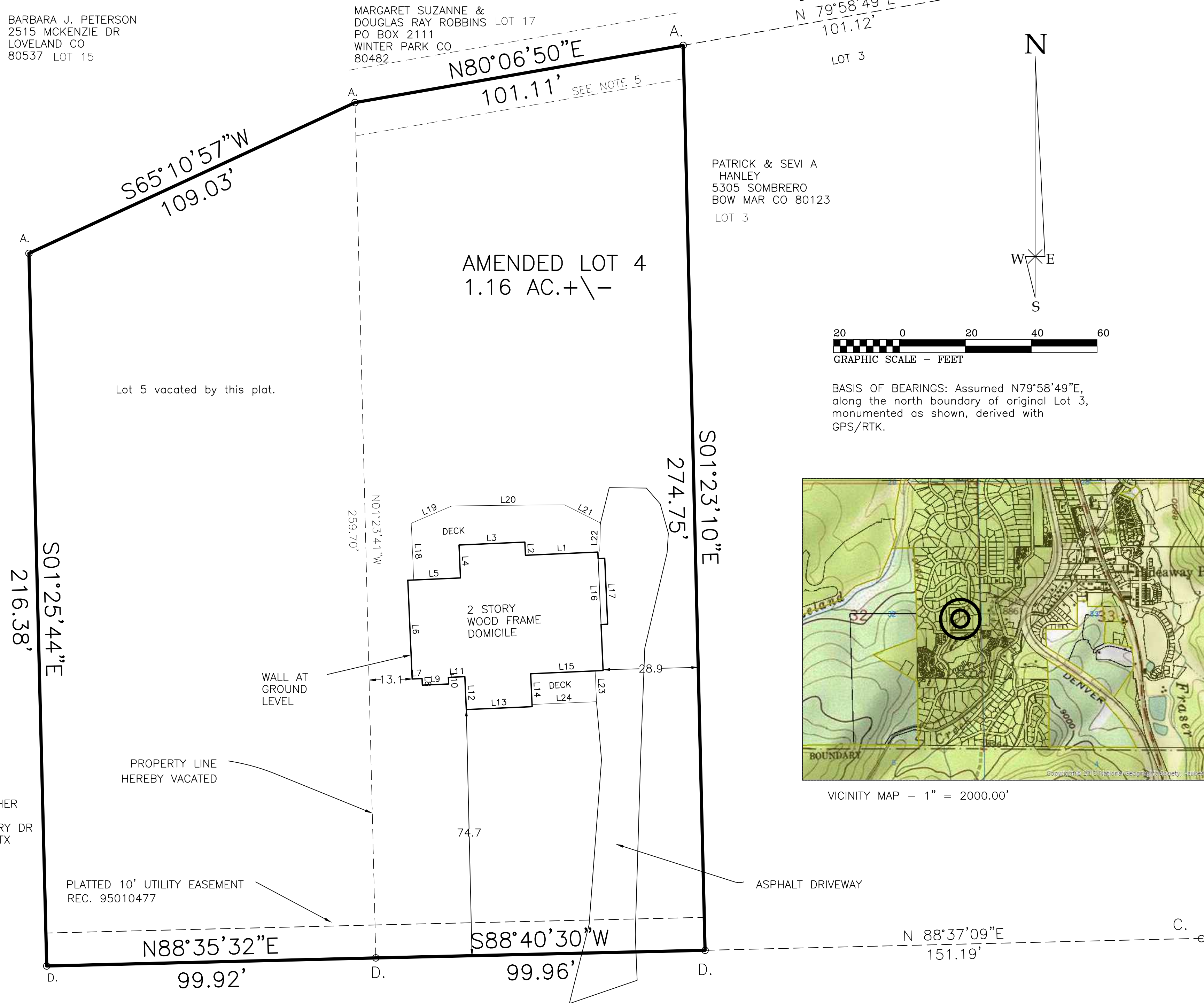
BARBARA J. PETERSON
2515 MCKENZIE DR
LOVELAND CO
80537 LOT 15

MARGARET SUZANNE &
DOUGLAS RAY ROBBINS LOT 17
PO BOX 2111
WINTER PARK CO
80482

PATRICK & SEVI A
HANLEY
5305 SOMBRERO
BOW MAR CO 80123
LOT 3

03-27-24 Rocky Mountain Surveys Inc., PO Box 552 Winter Park, CO 80482 JOB NO 8170-1824

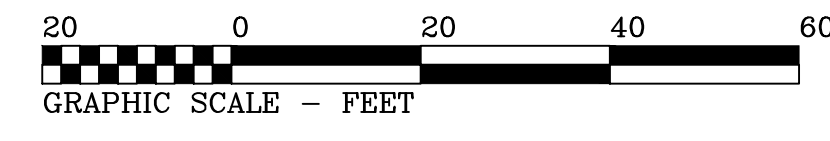
PATRICK &
GAIL PRATHER
3915
FORBESBURY DR
HOUSTON TX
77084
LOT 6



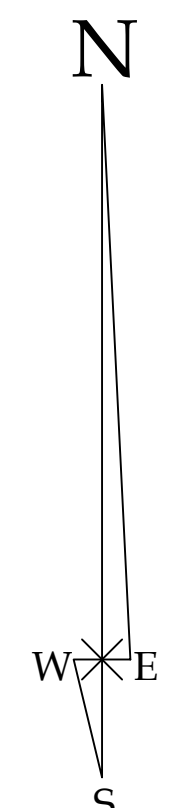
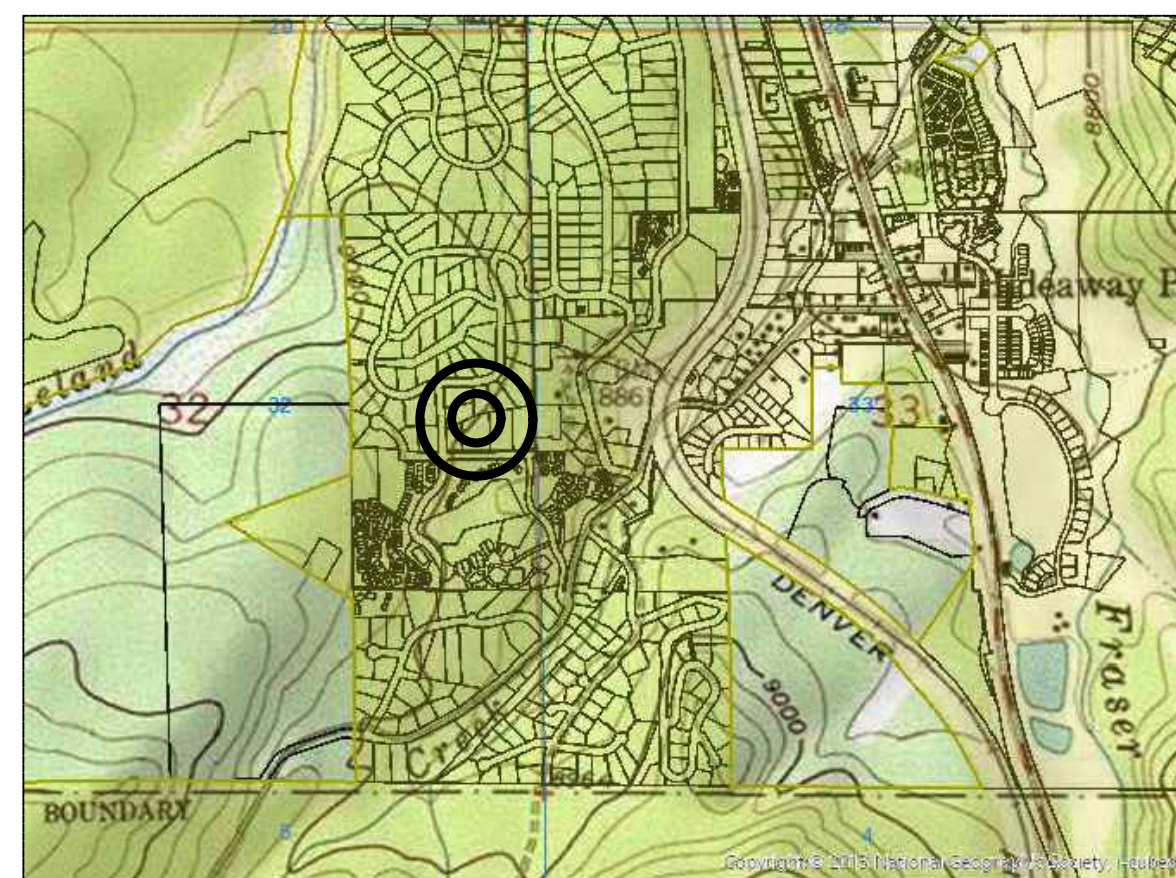
BASIS OF BEARINGS
N 79°58'49"E
101.12'

A. N 80°13'11"E 51.09'

SEC.32 SEC.33
B. 1/4
N 80°05'55"E 151.12'



BASIS OF BEARINGS: Assumed N79°58'49"E,
along the north boundary of original Lot 3,
monumented as shown, derived with
GPS/RTK.



KEY:

- A. - EXTANT PLSS CORNER NOTED. FOUND 3-3/4" ALUMINUM CAPPED, 3/4" REBAR STAMPED PLS 25971.
- B. - FOUND 1/2" REBAR, APPARENT ORIGINAL MONUMENT.
- C. - FOUND ALUMINUM CAPPED, 1/2" REBAR STAMPED PLS 25971.
- D. - FOUND 2" ALUMINUM CAPPED, 3/4" REBAR STAMPED PLS 11415, APPARENT ORIGINAL MONUMENT.

NOTE:

1. Zoned R2, Multiple Family Residential
2. For title, reference is hereby made to Land Title Guarantee Company Commitment J60018975.
3. Applicant: Lauren Jennifer Turner, 265 Lake Trail, Winter Park CO 80482
4. This Exemption Plat vacates the lot lines between Lots 4 and 5 for a resultant Lot 4.
5. A 20' Sewer easement is platted by Reception No. 95010477, but is not shown on Reception No. 96006763.

PLANNER'S CERTIFICATE

I, Warren Dale Ward, being a qualified professional engineer or planner certify that this plat of LOT 4 EXEMPTION PLAT, ELK RUN OF WINTER PARK SUBDIVISION, FILING 1 has been engineered, designed, and planned in accordance with all applicable design standards and other requirements of the Town of Winter Park Unified Development Code.

Warren Dale Ward

DEDICATION CERTIFICATE: Know all men by these presents: That Lauren Jennifer Turner is the owner of that real property situate in the Town of Winter Park, Grand County, Colorado, more fully described as follows:

LOTS 4 & 5, ELK RUN OF WINTER PARK SUBDIVISION, FILING 1, ACCORDING TO THE PLAT RECORDED NOVEMBER 29, 1994 UNDER RECEPTION NO. 94013235 AS AMENDED BY THE PLAT RECORDED AT NOVEMBER 27, 1995 UNDER RECEPTION NO. 95010477, COUNTY OF GRAND, STATE OF COLORADO.

That she has caused said real property to be laid out and surveyed as LOT 4 EXEMPTION PLAT, ELK RUN OF WINTER PARK SUBDIVISION, FILING 1 and do hereby dedicate and set apart all the streets, alleys and other public ways and places shown on the accompanying plat for the use of the public forever, and do hereby grant to the Town of Winter Park use of those portions of said real property which are indicated as easements on the accompanying plat as permanent public easements. In witness whereof, Lauren Jennifer Turner has caused her name to be hereunto subscribed.

Lauren Jennifer Turner

State of _____ ss

County of _____

The foregoing instrument was acknowledged this ____ day of _____, _____, by Lauren Jennifer Turner.

My Commission expires;

Notary Public

ESTOPPEL CERTIFICATE: I, the owner of the property included in LOT 4 EXEMPTION PLAT, ELK RUN OF WINTER PARK SUBDIVISION, FILING 1, certify that this final plat and the subdivision improvement agreement to be executed in connection with this final plat, if required, embody the entire agreement between the owner of said property and the Town with regard to the subdivision of said property, and that the owner is not relying upon any other representations, warranties, understandings, or agreements in connection with any matter encompassed by this plat or the subdivision improvement agreement if required, except as set forth on this plat or in said subdivision improvement agreement.

PLANNING COMMISSION CERTIFICATE

Approved by the Town of Winter Park Planning Commission, Grand County, Colorado

David Barker - Chairman
Planning Commission

SURVEYOR'S CERTIFICATE

I, Warren Dale Ward, a duly registered land surveyor in the State of Colorado, do hereby certify that this Plat of LOT 4 EXEMPTION PLAT, ELK RUN OF WINTER PARK SUBDIVISION, FILING 1, truly and correctly represents the result of a survey made by me or under my direction, and that said Plat complies with the requirements of Title 38, Article 5, Colorado Revised Statutes, and that the monuments required by said statute and by the Winter Park Unified Development Code have been placed on the ground. This plat is a true and accurate representation of said survey

Warren Dale Ward, Colorado PLS 25971

Lake Trail (60')



MEMO

TO Planning Commission
FROM James Shockey, AICP, Community Development Director
DATE April 9, 2024
RE PUBLIC HEARING: Major Site Plan – 820 Ski Idlewild Road – Idlewild Park – Tract A, Rendezvous at Winter Park Sub Ex No. 2 and Tract A, Idlewild Sub Ex No. 1 (PLN23-115)

Applicant: Jeffrey Vogel of Vogel and Associates

Property Owner: Town of Winter Park

Architect: NEO Studio

Address: 820 Ski Idlewild Road (the “Property”)

Legal Description:

Tract A, Rendezvous at Winter Park Subdivision Exemption No. 2 and Tract A, Idlewild Subdivision Exemption No. 1

Zoning:

R-2, P-D (Multiple Family Residential, Planned Development) (Rendezvous Final Development Plan (FDP), 1st Amendment, Reception No. 2020007456), Planning Area (“PA”) 4

Authority:

Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the “UDC”), the Planning Commission considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park. Major Site Plan approval is required before building permit issuance.

Site Plan Approval Criteria:

The site plan shall be evaluated and may be approved in accordance with the following criteria:

1. Comprehensive Plan. Conformance with the Comprehensive Plan;
2. This UDC. Conformance with the standards of this UDC; and
3. Design Guidelines. Conformance with the Design Guidelines in Appendix A.

§ 5-B-8 Public Notice Requirements:

This application has had proper public notification pursuant to § 5-B-8 of the UDC. A Newspaper Publication (PUB) was published in the Middle Park Times on March 27, 2024, providing notification of the hearing and requesting comments. A Surrounding Property Owners Mailing (ML) was sent to property owners within 300’ of the property on March 21, 2024. A Property Posting (PO) was posted on March 26, 2024.

No public comments have been received as of April 5, 2024.

Project Overview:

Construction of a new public neighborhood park in conformance with the Rendezvous at Winter Park Final Development Plan (FDP). The Park includes a playground, restrooms, a recreation field, a shade structure, and a firepit.

Variances:

No Administrative or Board of Adjustment variance requests are included with the application.

Homeowner and Master Association Review:

N/A, no HOA or master association governs the Property.

Construction Plans:

Satisfactory. There is one minor change required to the Drainage Plan that can be addressed administratively.

Material and Color:

Satisfactory.

Outdoor Lighting:

Partially satisfactory. Three (3) fixtures are proposed, and all contain the International Dark Sky Association (IDA) approval stamp as required in Article 3.K, Outdoor Lighting. Each fixture is limited to 1,500 lumens and shall have a BUG (backlight, uplight, and glare) Rating that doesn't exceed B1 U0 G1. Staff is unable to determine the BUG rating as manufacturer specification sheets were not provided.

Photometric plans are required for nonresidential and multifamily projects. The Applicant submitted a compliant photometric plan.

Fixture Name	Proposed # of Fixtures	Proposed Lumens per Fixture	Total Proposed Lumens	Proposed CCT
Jett Outdoor Wall Sconce	6	693	4158	2700K
VOLT 12" LED Hardscape Light	8	693	?	2700K
6" Round Direct Ceiling/Wall Mount Light	2	519	?	?

- Applicant shall submit manufacturer specification sheets for outdoor lighting fixtures as required in § 3-K-4, Non-Residential and Multifamily Lighting Requirements.
- Applicant shall indicate BUG ratings for each fixture.
- Applicant shall update the Outdoor Lighting Tabulation on the Major Site Plan Application Form.

Setbacks:

N/A. PA-4 has no setback requirements.

Building Coverage:

N/A. PA-4 has no building coverage requirements.

Building Height:

N/A. PA-4 has no building height limit. However, staff needs to measure building height to verify heights match between this Major Site Plan Application and the forthcoming Building Permit Application. Existing and proposed grades are not indicated on building elevations so staff cannot properly measure building height.

- Applicant shall submit building elevations showing existing and proposed grades so staff can properly measure building height.

Access:

Satisfactory. Access is via Ski Idlewild Road.

Parking:

Satisfactory. The FDP required a minimum of six (6) parking spaces for the Ppark. The site plan shows ten (10).

Off-Street Loading:

N/A.

Bufferyards and Revegetation:

Satisfactory. The FDP, Section 9.2, Subdivision of Phases, requires Rendezvous to follow the Town of Winter Park Landscape Design Regulations and Guidelines.

- No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.
- Any disturbed areas on the site shall be revegetated with the seed mix recommended by the Grand County Natural Resource Conservation Service, which mix composition is described in Section 7.4 of the Standards and Specifications for Design and Construction.

Snow Storage:

Satisfactory. The snow storage calculations are provided on the site plan. Greater than 25% is provided.

Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:

Satisfactory. The Town Engineer reviewed and approved the Grading Plan.

- Approved drainage and erosion control shall be in place prior to and throughout site preparation and construction and through successful revegetation.

Trash Enclosures:

Satisfactory. Trash enclosures are provided throughout the Park.

Signage:

N/A. Signage is not contemplated.

Inspection:

Building Division staff have not performed a Pre-Disturbance inspection of the property.

Development Improvements Agreement (DIA):

Satisfactory.

Staff Recommendation:

Due to the future financial obligations associated with the Park, staff recommends the Planning Commission provide a recommendation of approval and send it to the Town Council for review and final approval at their meeting on Tuesday, April 16, 2024 at 5:30pm.

Staff recommends the Planning Commission provide a favorable recommendation of approval with the recommended staff conditions, finding that all criteria set forth in UDC Section 5-E-1(H) have been met. Staff's recommended conditions of approval are below:

1. Applicant shall submit manufacturer specification sheets for outdoor lighting fixtures as required in § 3-K-4, Non-Residential and Multifamily Lighting Requirements.
2. Applicant shall indicate BUG ratings for each fixture.
3. Applicant shall update the Outdoor Lighting Tabulation on the Major Site Plan Application Form.
4. Applicant shall submit building elevations showing existing and proposed grades so staff can properly measure building height.
5. No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.
6. Any disturbed areas on the site shall be revegetated with the seed mix recommended by the Grand County Natural Resource Conservation Service, which mix composition is described in Section 7.4 of the Standards and Specifications for Design and Construction.
7. Approved drainage and erosion control shall be in place prior to and throughout site preparation and construction and through successful revegetation.

However, this is a decision for the Commission to make, and the Commission may choose to approve or deny based on the testimony and evidence it hears. Two sample motions are included below for convenience only. They do not limit the evidence the Commission can rely on or the decision the Commission makes.

Sample Motion Recommending Approval:

I move to recommend approval to the Town Council for the Major Site Plan, finding it in conformance with § 5-E-1 of the UDC, as set forth in the staff memo with the conditions outlined in the staff recommendation.

Sample Motion Recommending Denial:

I move to recommend denial to the Town Council for the Major Site Plan, finding the applicant has failed to meet the criteria required in § 5-E-1 of the UDC, specifically: ***[articulate specific reasons for denial for failure to conform with the Comprehensive Plan; the UDC; or Design Guidelines]***

Required Permits:

- ✓ Building Permit



IDLEWILD TRAILHEAD

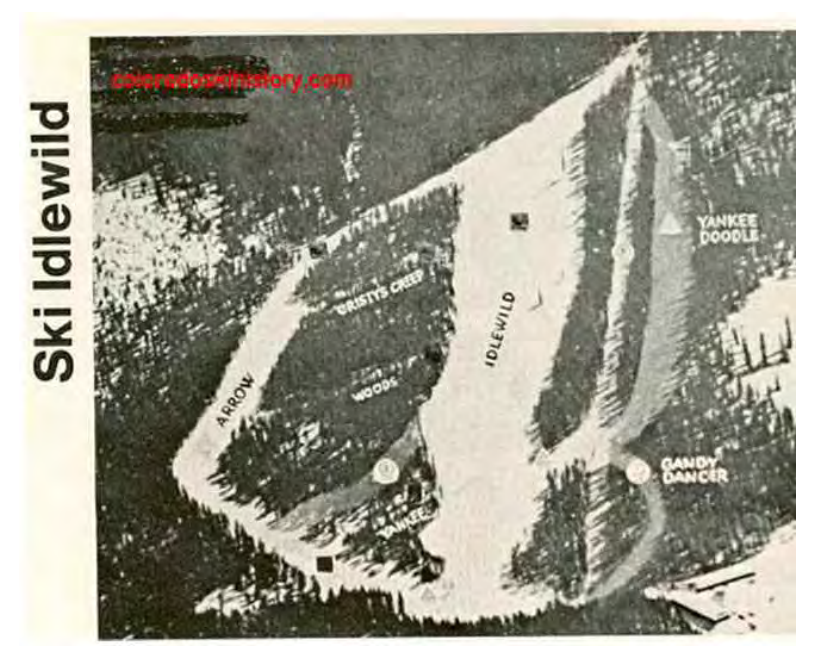
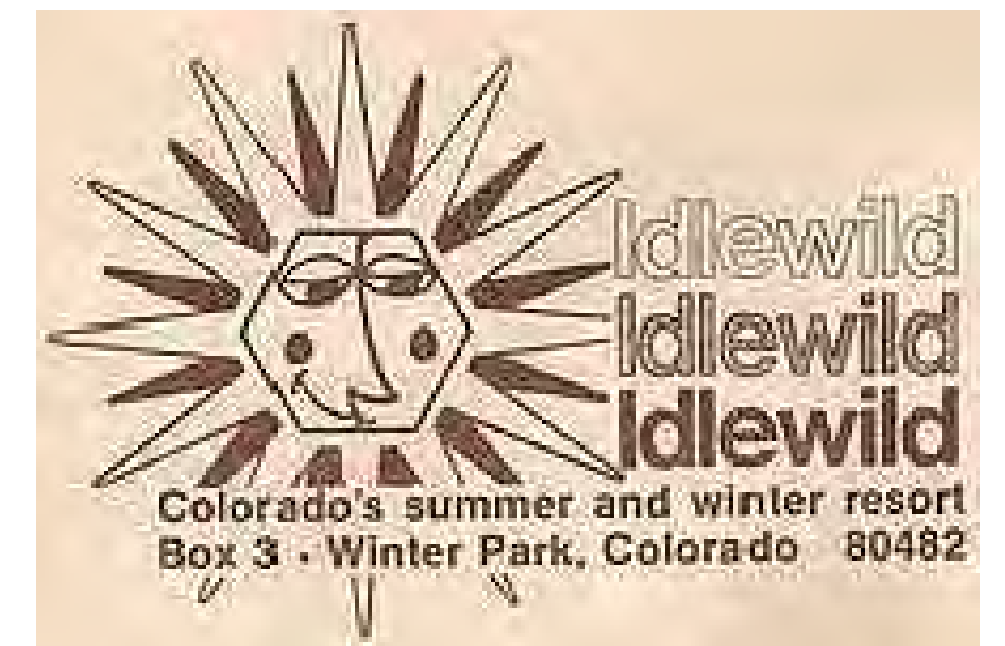
LEGEND

- 1 NATURE THEMED PLAYGROUND
- 2 SILOAM STONE RETAINING WALL
- 3 PICNIC SHELTER WITH TABLES
- 4 RESTROOM FACILITIES WITH WATER & SEWER (TWO ROOM)
- 5 PARALLEL PARKING AREA (10 TOTAL SPACES)
- 6 MULTI-PURPOSE PLAY FIELD (BLUEGRASS TURF)
- 7 SMALL WINTER SLEDDING HILL FOR KIDS
- 8 INTEGRAL COLOR CONCRETE PAVING AT SHADE STRUCTURE
- 9 NATURAL GRAY CONCRETE PAVING WALKWAY (ADA ACCESSIBLE ROUTE)
- 10 SAFETY RAILING

LEGEND

- 11 DECOMPOSED GRANITE PAVING TRAIL
- 12 TRAIL CONNECTION TO EXISTING 'YANKEE TRAIL'
- 13 PROPOSED SHADE AND ACCENT TREES
- 14 RIPARIAN VEGETATION IN CHANNEL
- 15 NATIVE PLANTING AREA
- 16 ALL INCLUSIVE PLAYGROUND (2-12 YEARS OLD)
- 17 LEGACY WALL WITH INTERPRETIVE SIGNAGE
- 18 OUTDOOR FIRE PIT AREA WITH SEATING
- 19 SECOND PARALLEL PARKING AREA (4 TOTAL SPACES)
- 20 TRAIL-HEAD INTERPRETIVE SIGNAGE
- 21 'SKI-LIFT' CUSTOM CHAIR
- 22 LOGGING FLUME BRIDGE
- 23 LOGGING SAWDUST BURNER WITH VIEWING DECK AND SLIDE
- 24 BRIDGE CONNECTION TO UPPER DECK
- 25 BICYCLE RACK
- 26 PICNIC TABLE
- 27 ACCESSIBLE RAMP TO FIRE PIT AREA

SITE INSPIRATION AND INTERPRETIVE



RECREATIONAL



PLAYGROUND



This illustrative site plan is a conceptual representation of the proposed park. Design and municipal approvals have not been completed. The final design may be subject to change.

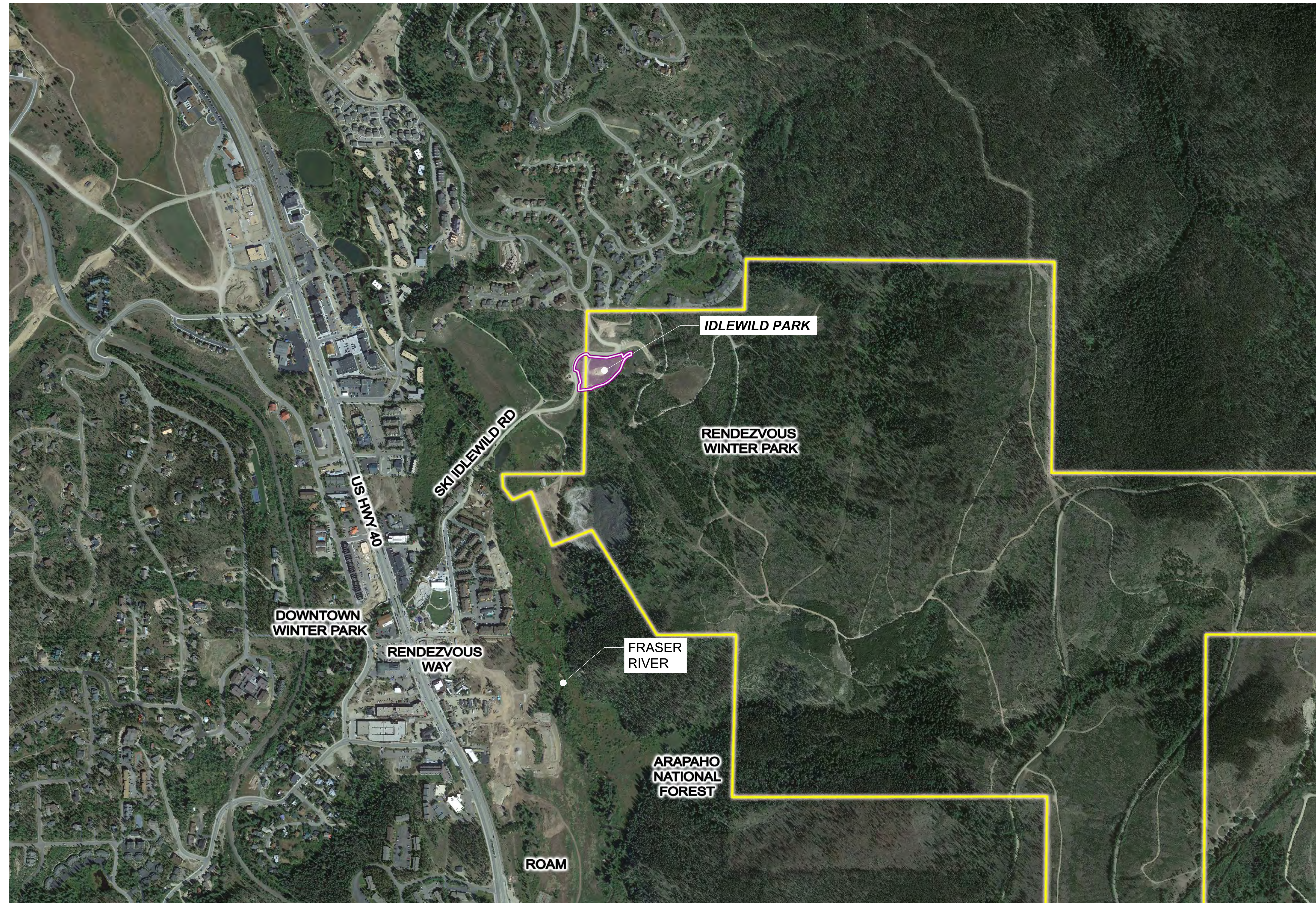
February 1, 2023

h:\vogel\rendezvous-arrowhead\planning_areas\idlewild park\landscape_architecture\arrowhead - idlewild park_illustrative site plan.dwg

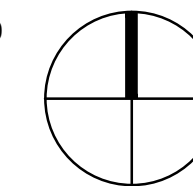
RENDEZVOUS - IDLEWILD PARK

MAJOR SITE PLAN APPLICATION

VICINITY MAP



SCALE: 1:500



LEGAL DESCRIPTION

SUBDIVISION EXEMPTION NO. 2, RENDEZVOUS AT WINTER PARK, FILING NO. 1, TRACT A, BEING A RE-PLAT OF SUBDIVISION EXEMPTION NO. 1, RENDEZVOUS AT WINTER PARK, FILING NO. 1, RECEPTION NO. 2021012863.

ZONING & SETBACKS & NOTES

ZONING - RENDEZVOUS FDP PARK

PLANNING AREA 5

FRONT- 10' SETBACK
SIDE- 5' SETBACK
REAR- 10' SETBACK

SITE DATA CHART

IDLEWILD PARK - SITE AREA

TYPE	AREA SQ.FT.	AREA ACRES	% OF TOTAL
CONCRETE WALK	5,288	0.12	8.1%
CRUSHER FINES TRAIL	3,219	0.07	4.9%
LANDSCAPE AREA	57,098	1.31	87.0%
SUBTOTAL	65,605	1.51	100.0%

*OUTSTANDING AREA INCLUDES PLAY SURFACES AND AREA UNDER THE PROPOSED PAVILION

SHEET INDEX

SITE PLAN

COVER SHEET	C
SITE PLAN - EXISTING CONDITIONS	S1
SITE PLAN	S2

LANDSCAPE

LANDSCAPE PLAN	L1
LANDSCAPE NOTES AND DETAILS	L2
LAYOUT AND MATERIALS - PLAYGROUND ENLARGEMENT	L2.1
SITE DETAILS	L5.0
SITE DETAILS	L5.1
SITE DETAILS	L5.2
SITE DETAILS	L5.3
SITE DETAILS	L5.4
SITE DETAILS	L5.5
SITE DETAILS	L5.6
SITE DETAILS	L5.7
SITE DETAILS	L5.8

ARCHITECTURE

PAVILION DRB	DRB 1.2
PAVILION STRUCTURE	A 4.07
RESTROOM DRB	DRB 1.3
RESTROOM	A 4.05
SAWDUST WIGWAM	DRB 1.4
WIGWAM FLOORPLAN	A 2.01

DEVELOPER

ARROWHEAD WINTER PARK INVESTORS, LLC.
5291 E. YALE AVE
DENVER, CO 80222
PHONE: 970-726-4500

ARCHITECTS

NEO STUDIO
MICHAEL NODA - REGISTERED ARCHITECT
3560 WALNUT ST. UNIT A
DENVER, CO 80205
PHONE: 303-758-3800

PLANNER/ LANDSCAPE ARCHITECT

VOGEL & ASSOCIATES
165 S. UNION BLVD., SUITE 440
LAKEWOOD, CO 80228
CONTACT: JEFF VOGEL
PHONE: 303-893-4288

DHM DESIGN
900 S. BROADWAY., SUITE 300
DENVER, CO 80209
CONTACT: BILL NEUMANN
PHONE: 303-892-5566

CIVIL ENGINEER

TOPKNOT ENGINEERING (TKE)
TONY KREMPIN
998 COUNTY ROAD 553 (POB 2225)
GRANBY, CO 80446
PHONE: 970-281-5280

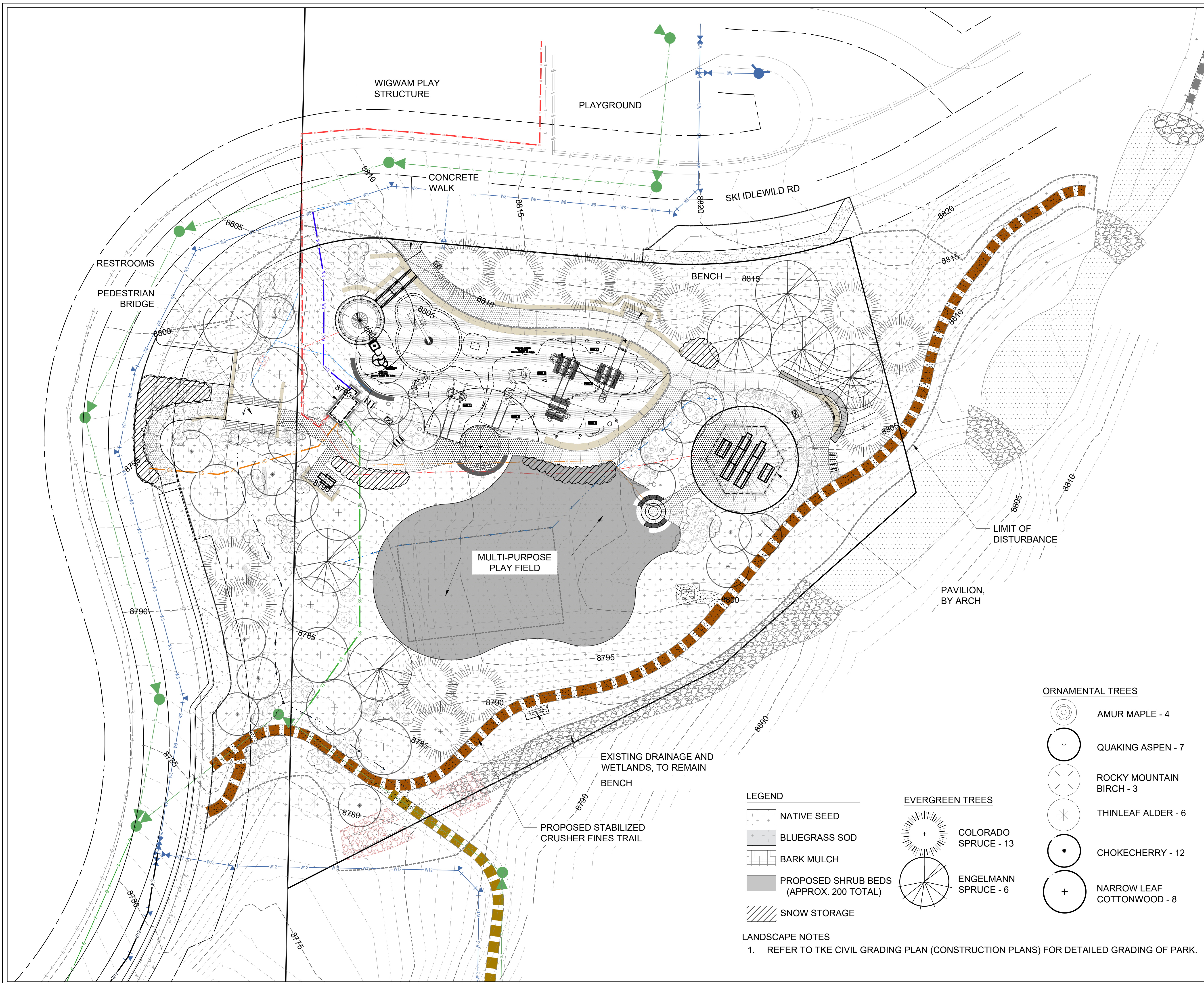
SURVEYOR

TIM SHENK LAND SURVEYING, INC.
TIMOTHY R. SHENK
BOX 1670, GRANBY, CO 80446
PHONE: 970-887-1046

DOCUMENT SET	ISSUE DATE
SUBMITTAL SET	12/06/2023
CONSTRUCTION SET	
DWN. BY:	MT
REVISIONS:	
REV 1:	02/14/2024
REV 2:	03/14/2024

COVER SHEET

C



LEGEND

- NATIVE SEED
- BLUEGRASS SOD
- BARK MULCH
- PROPOSED SHRUB BEDS (APPROX. 200 TOTAL)
- SNOW STORAGE

EVERGREEN TREES

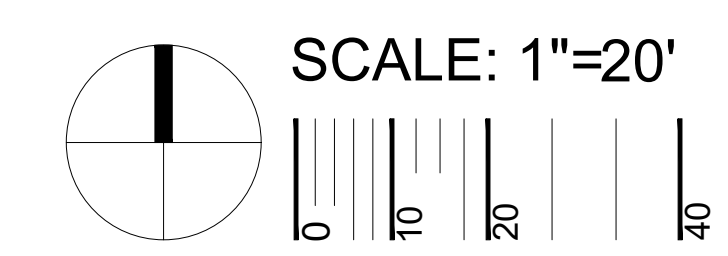
- COLORADO SPRUCE - 13
- ENGELMANN SPRUCE - 6

ORNAMENTAL TREES

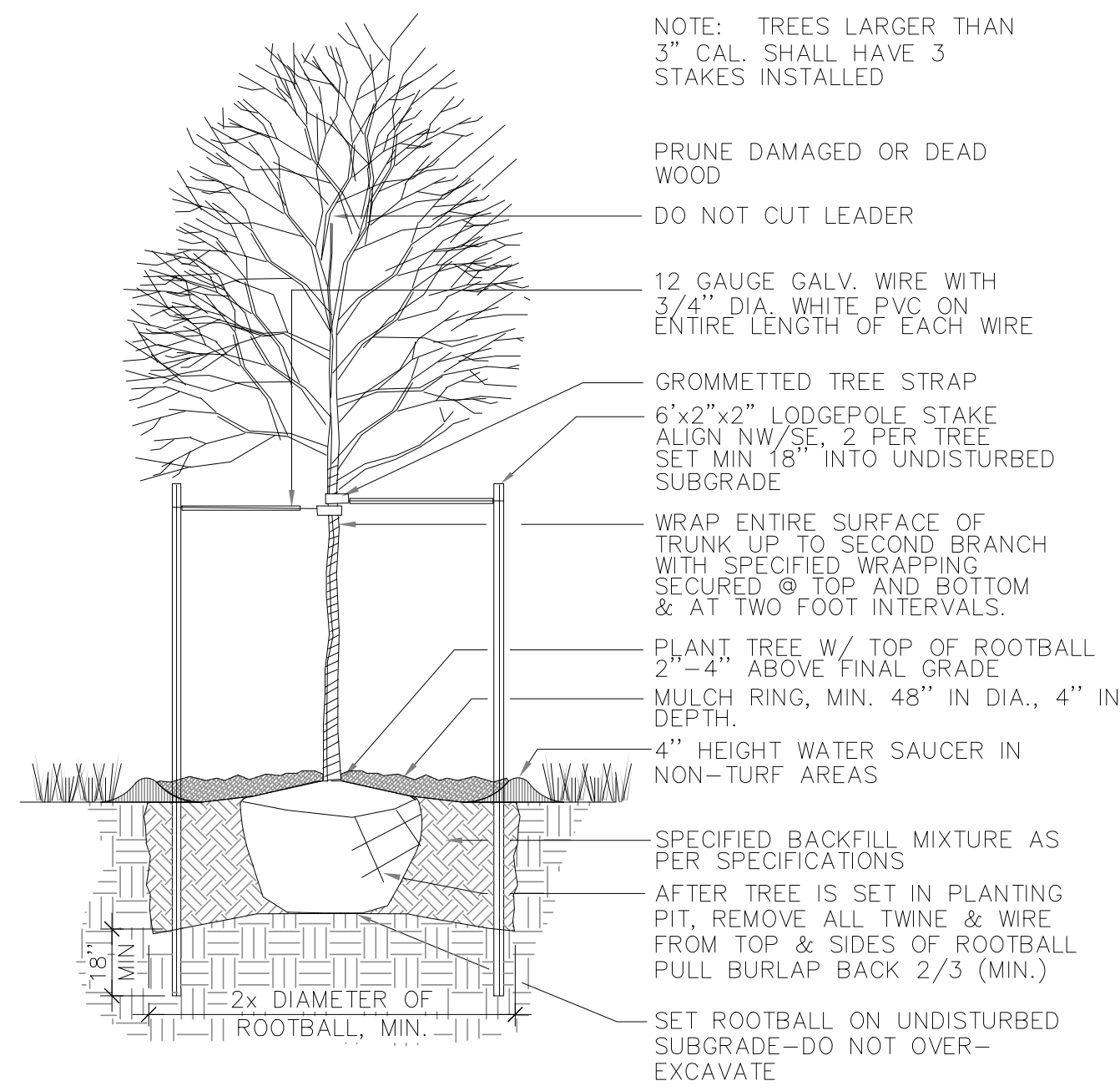
- AMUR MAPLE - 4
- QUAKING ASPEN - 7
- ROCKY MOUNTAIN BIRCH - 3
- THINLEAF ALDER - 6
- CHOKECHERRY - 12
- NARROW LEAF COTTONWOOD - 8

LANDSCAPE NOTES

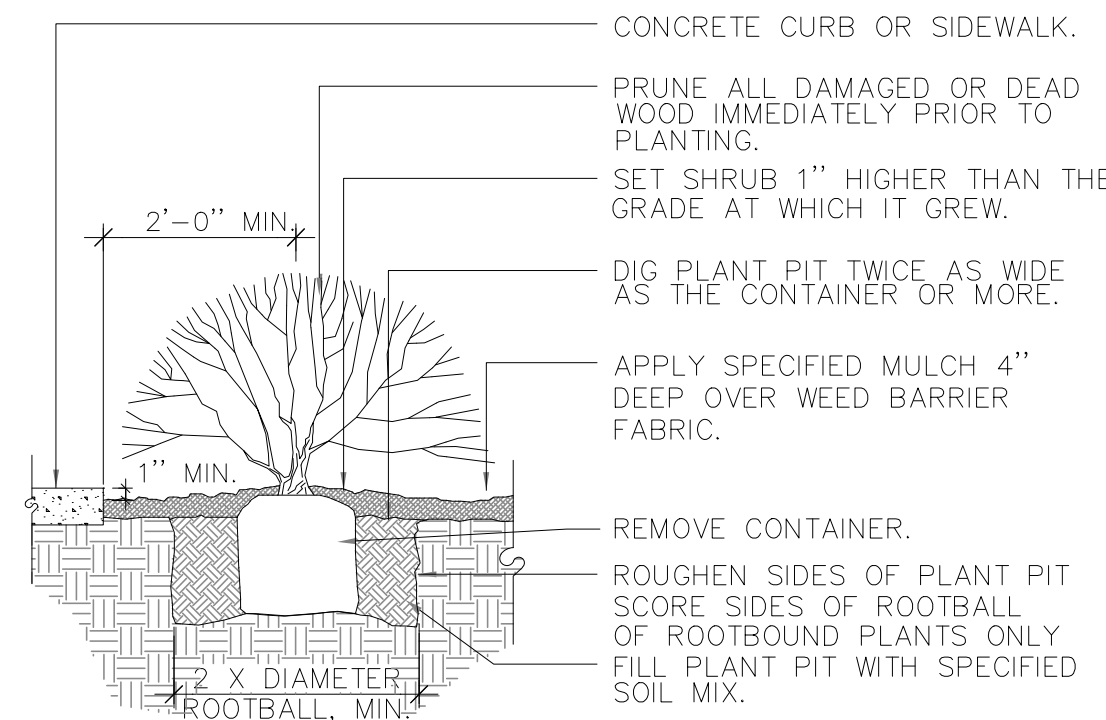
1. REFER TO THE CIVIL GRADING PLAN (CONSTRUCTION PLANS) FOR DETAILED GRADING OF PARK.



DOCUMENT SET	ISSUE DATE
SUBMITTAL SET	12/06/2023
CONSTRUCTION SET	
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REVISIONS:	
REV 1:	02/14/2024
REV 2:	03/14/2024



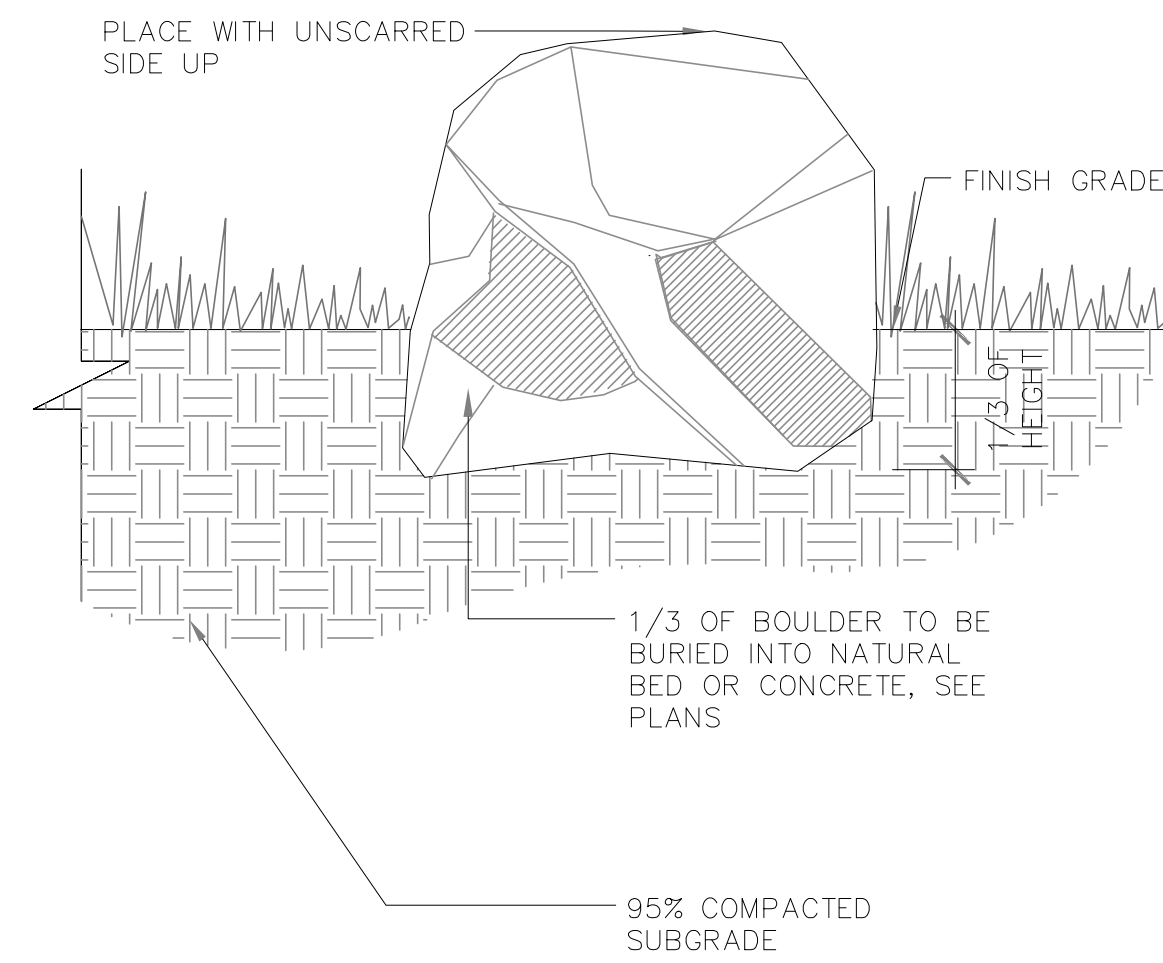
1
L2 TYPICAL DECIDUOUS TREE PLANTING
SCALE: NTS



GENERAL NOTES

- HOLD GRADE 1" BELOW EDGE OF WALK OR CURB
- SHRUB PLANTING - REFER TO SHRUB BED LAYOUT FOR PLACEMENT OF SHRUBS.
- FOR GROUPINGS OF SHRUBS, MULCH ENTIRE PLANTING AREA. FOR INDIVIDUAL SHRUBS, MULCH PLANTING PIT AREA ONLY.
- GRADE EDGE OF PLANTING AREAS TO RETAIN MULCH.
- ANY BROKEN OR CRUMBLING ROOTBALL WILL BE REJECTED. REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.

2
L2 TYPICAL SHRUB PLANTING
SCALE: NTS



NOTE:

1. ALL BOULDERS TO BE BUFF SANDSTONE
2. DO NOT FRACTURE BOULDER DURING PLACEMENT, SUCH ACTION WILL BE CAUSE FOR REJECTION, LANDSCAPE ARCHITECT TO MAKE THAT DETERMINATION
3. SELECT AND PLACE BOULDERS SO THAT MINIMAL EXCAVATION SCARES ARE VISIBLE
4. PLACE BOULDERS TO CONFIGURATIONS AND LOCATIONS AS SHOWN ON PLAN
5. WASH OFF BOULDER AFTER PLACEMENT
6. CONTRACTOR TO REFER TO PLANS FOR THE EXACT SIZES AND LOCATIONS OF EACH LANDSCAPE BOULDER ON SITE.
7. ALL BOULDERS TO BE BURIED A MINIMUM OF 6"
8. ALL BOULDERS TO BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE PRIOR TO PLACEMENT
9. BOULDER SIZES SHOWN BELOW ARE THE STANDARD SIZES UNLESS OTHERWISE NOTED ON PLAN

LANDSCAPE BOULDERS TO BE COLORADO BUFF SANDSTONE, SIZES ARE APPROXIMATE.

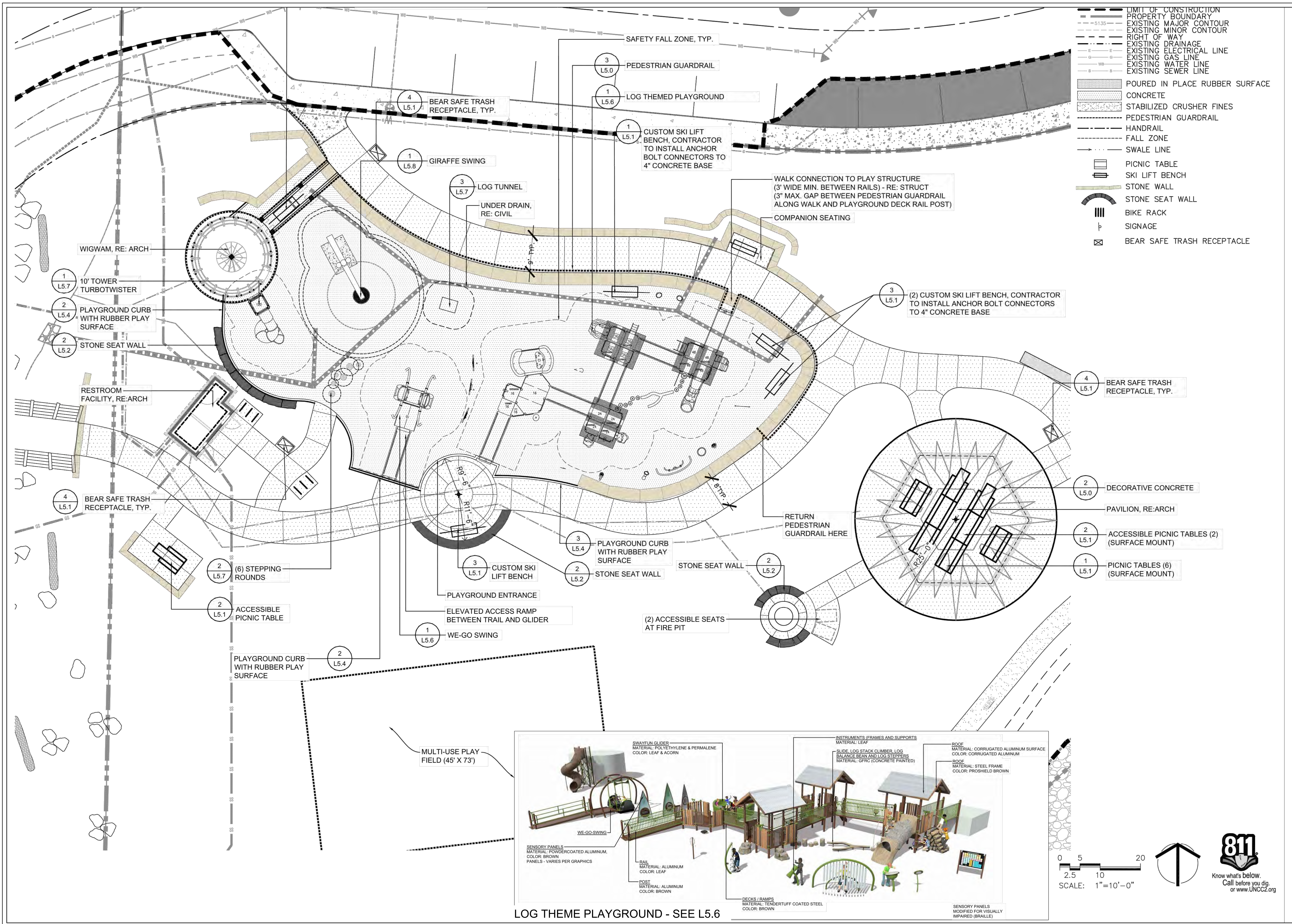
- 1/3 OF BOULDERS SHALL BE SMALL SIZE: 2'HTx2.5'Wx3'L
- 1/3 OF BOULDERS SHALL BE MEDIUM SIZE: 2'HTx3'Wx4'L
- 1/3 OF BOULDERS SHALL BE LARGE SIZE: 30"HTx3'Wx5'L

3
L2 LANDSCAPE BOULDER
SCALE: NTS

LANDSCAPE NOTES

1. ALL PLANT MATERIAL IS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
2. ALL SHRUB BED AND TREE LOCATIONS ARE TO BE STAKED OUT ON THE SITE FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. PROVIDE SHRUB BED LAYOUT BASED UPON THIS LANDSCAPE PLAN AND NOT THE IRRIGATION PLAN.
3. TREE LOCATION TO BE NO CLOSER THAN 6' FROM ALL CURBS AND WALKWAYS.
4. THE CONTRACTOR SHALL FINE GRADE ALL AREAS TO BE PLANTED. THE CONTRACTOR SHALL REMOVE REQUIRED DEPTH OF SOIL ALONG CURBS AND WALKWAYS TO ACCOMMODATE SEED, SOD OR MULCH DEPTH.
5. ALL AREAS TO BE PLANTED, SEEDED OR SODDED WILL HAVE THE TOPSOIL INSTALLED. THESE AREAS WILL THEN BE TILLED TO A MINIMUM 6" DEPTH INCORPORATING A-1 ORGANICS BIOCOMP CLASS 1 COMPOST AT A MINIMUM RATE OF 4 C.Y. PER 1000 S.F. THE DISTURBED AREAS OF THE SITE WILL THEN BE FINE GRADED IN PREPARATION FOR SEEDING, SODDING OR PLANTING AS SPECIFIED IN THE PLANS AND SPECIFICATIONS.
6. ALL BED AREAS AND TREE PLANTINGS WILL RECEIVE A MINIMUM OF 4" OF FIR FIBER MULCH OR APPROVED EQUAL. THE CONTRACTOR IS RESPONSIBLE FOR WEED CONTROL ON BEDS AND SEEDED AREAS UNTIL FINAL PROJECT ACCEPTANCE. TREE PLANTINGS AND PLANTING BEDS WILL BE TREATED WITH DIEHARD TRANSPLANT (TREES) AND DIEHARD BED PREP (PLANTING BEDS) MICORRHIZA INOCULANTS INSTALLED AND AT THE RATE RECOMMENDED BY THE MANUFACTURER.
7. ALL PLANT MATERIAL WILL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMAN AND STATE OF COLORADO INDUSTRY STANDARDS.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. SYMBOLS ON ALL SHRUBS AND TREES SHALL TAKE PRECEDENCE OVER WRITTEN QUANTITIES.
9. CONTRACTOR TO INSTALL TEMPORARY ORANGE CONSTRUCTION FENCING AROUND ALL SEEDED AREAS.
10. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND WALKWAYS. HAVE ALL FINE GRADING APPROVED PRIOR TO SEEDING.
11. CONTRACTOR SHALL INSTALL SLEEVING FOR IRRIGATION IMPROVEMENTS PRIOR TO INSTALLING CONCRETE FLATWORK.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO EXISTING UTILITIES, CURB AND GUTTER, WALKWAYS, IRRIGATION SYSTEM AND OTHER EXISTING STRUCTURES THAT IS A RESULT OF HIS WORK. THE REPAIR OF SUCH DAMAGE WILL BE AT NO ADDITIONAL COST TO THE OWNER.
13. ALL FINE GRADING TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO SODDING AND SEEDING.

DOCUMENT SET	ISSUE DATE
SUBMITTAL SET	12/06/2023
CONSTRUCTION SET	
DWN. BY:	MT
REVISIONS:	
REV 1 :	02/14/2024
REV 2 :	03/14/2024



- LIMIT OF CONSTRUCTION
- - - PROPERTY BOUNDARY
- - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- - - RIGHT OF WAY
- - - EXISTING DRAINAGE
- - - EXISTING ELECTRICAL LINE
- - - EXISTING GAS LINE
- - - EXISTING WATER LINE
- - - EXISTING SEWER LINE
- ▨ POURED IN PLACE RUBBER SURFACE
- ▨ CONCRETE
- ▨ STABILIZED CRUSHER FINES
- ▨ PEDESTRIAN GUARDRAIL
- ▨ HANDRAIL
- ▨ FALL ZONE
- ▨ SWALE LINE
- ▨ PICNIC TABLE
- ▨ SKI LIFT BENCH
- ▨ STONE WALL
- ▨ STONE SEAT WALL
- ▨ BIKE RACK
- ▨ SIGNAGE
- ▨ BEAR SAFE TRASH RECEPTACLE

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 Development Consulting
 475 W. 12th Avenue, Suite 1000
 Denver, Colorado 80202 • (303) 633-4288

DHM DESIGN
 900 S. Broadway
 Suite 300
 Denver, CO 80209
 303.892.5566
 www.dhmdesign.com

**RENDEZVOUS
 IDLEWILD PARK
 WINTER PARK, CO 80482**

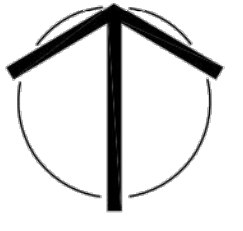
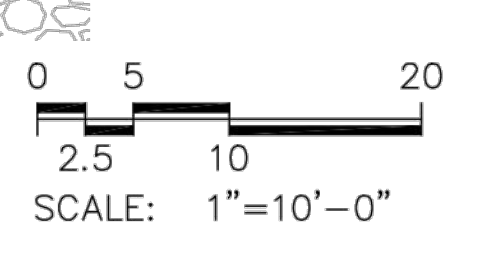
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SUBMITTAL SET	12/06/2023
CONSTRUCTION SET	
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REV 1:	02/14/2024
REV 2:	03/14/2024

LAYOUT AND MATERIALS
 -PLAYGROUND
 ENLARGEMENT

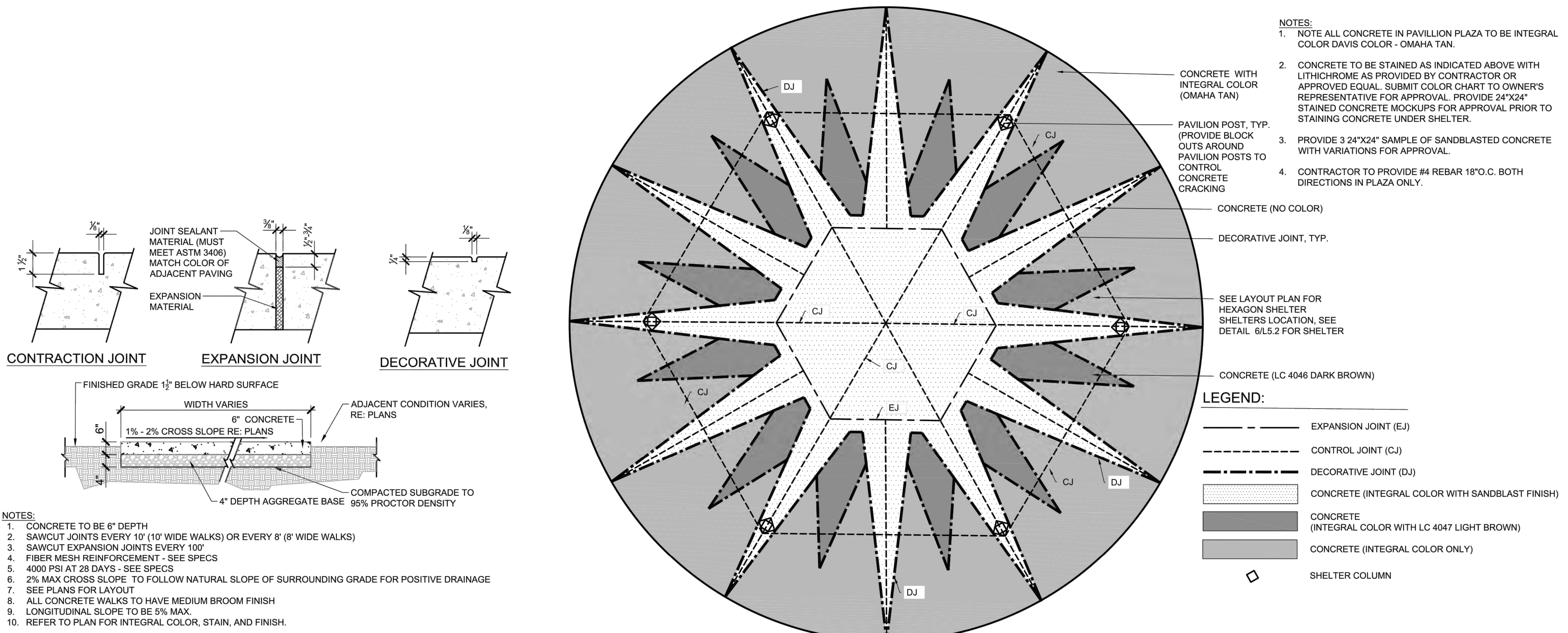
L2.1



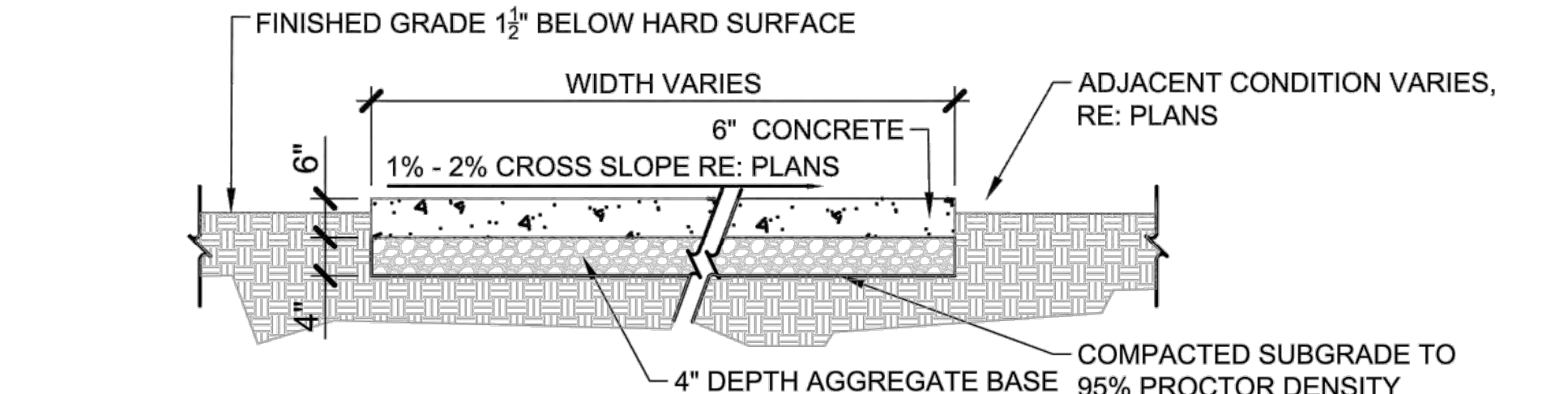
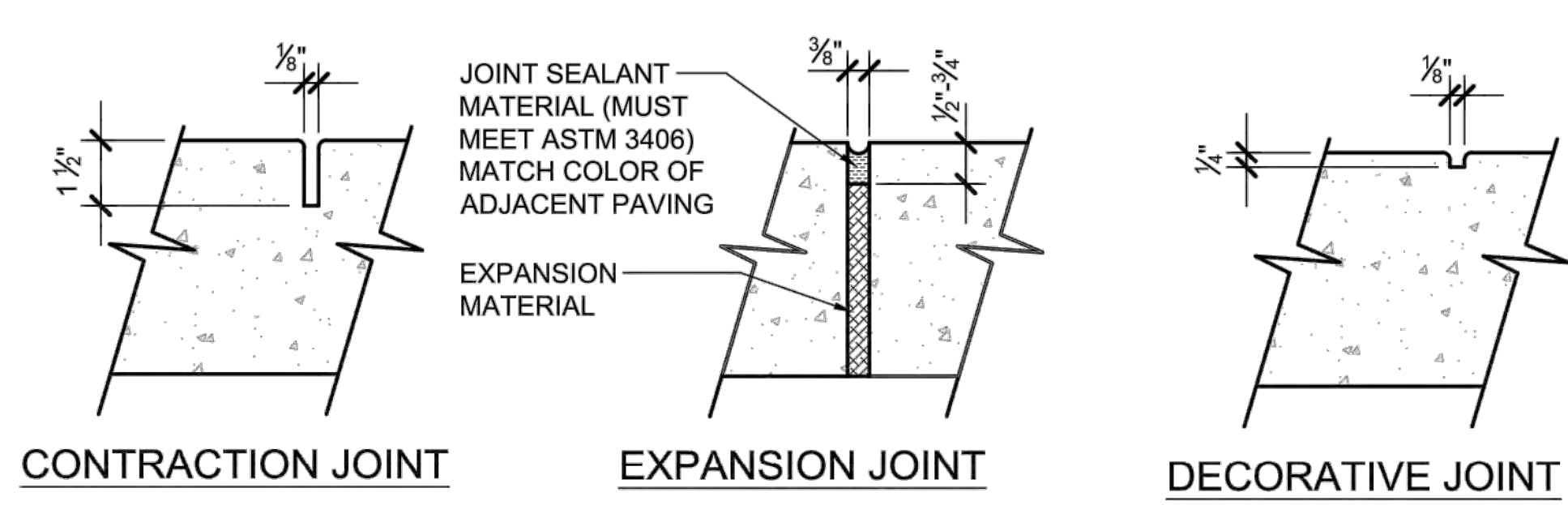
LOG THEME PLAYGROUND - SEE L5.6



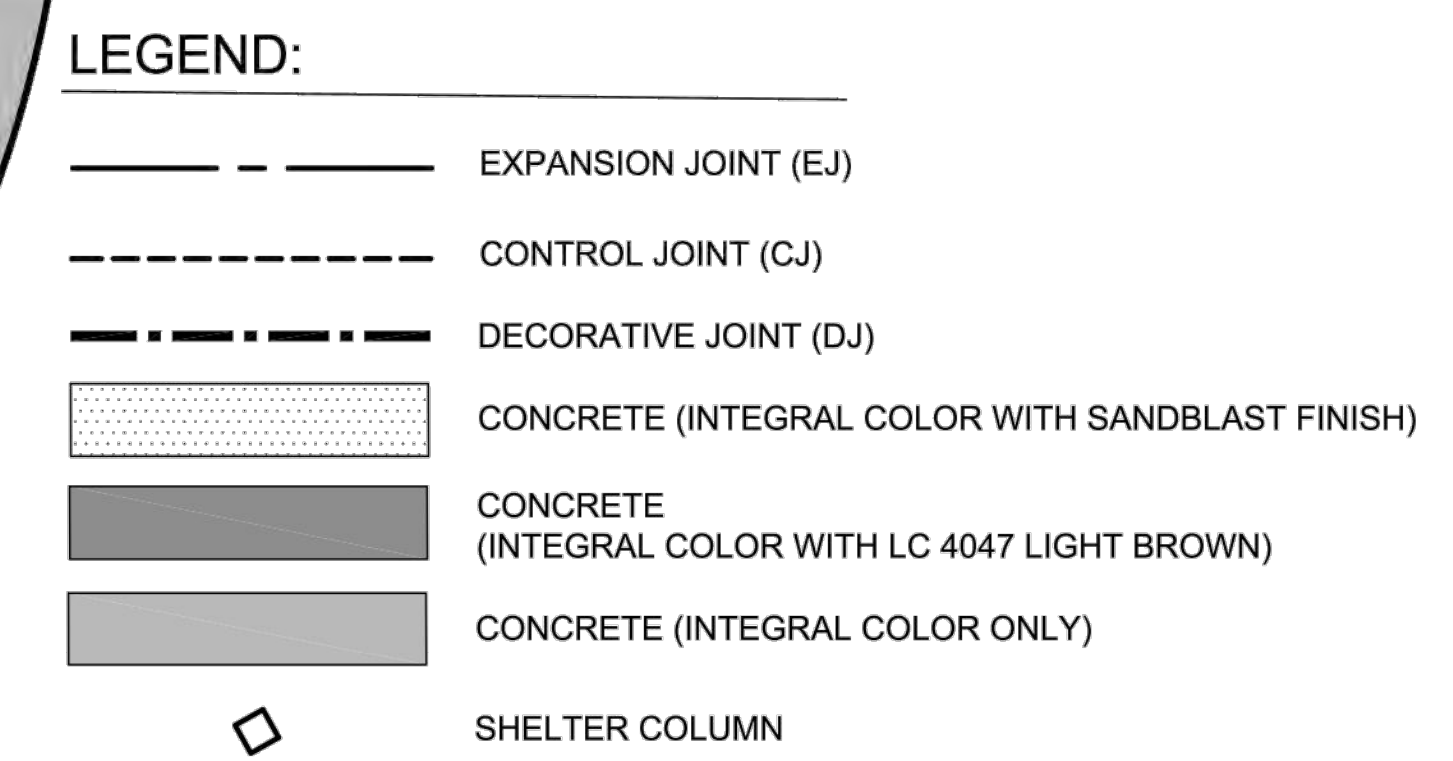
811
 Know what's below.
 Call before you dig.
 or www.UNCCZ.org



- NOTES:**
- NOTE ALL CONCRETE IN PAVILLION PLAZA TO BE INTEGRAL COLOR DAVIS COLOR - OMAHA TAN.
 - CONCRETE TO BE STAINED AS INDICATED ABOVE WITH LITHICHROME AS PROVIDED BY CONTRACTOR OR APPROVED EQUAL. SUBMIT COLOR CHART TO OWNER'S REPRESENTATIVE FOR APPROVAL. PROVIDE 24"X24" STAINED CONCRETE MOCKUPS FOR APPROVAL PRIOR TO STAINING CONCRETE UNDER SHELTER.
 - PROVIDE 3 24"X24" SAMPLE OF SANDBLASTED CONCRETE WITH VARIATIONS FOR APPROVAL.
 - CONTRACTOR TO PROVIDE #4 REBAR 18" O.C. BOTH DIRECTIONS IN PLAZA ONLY.

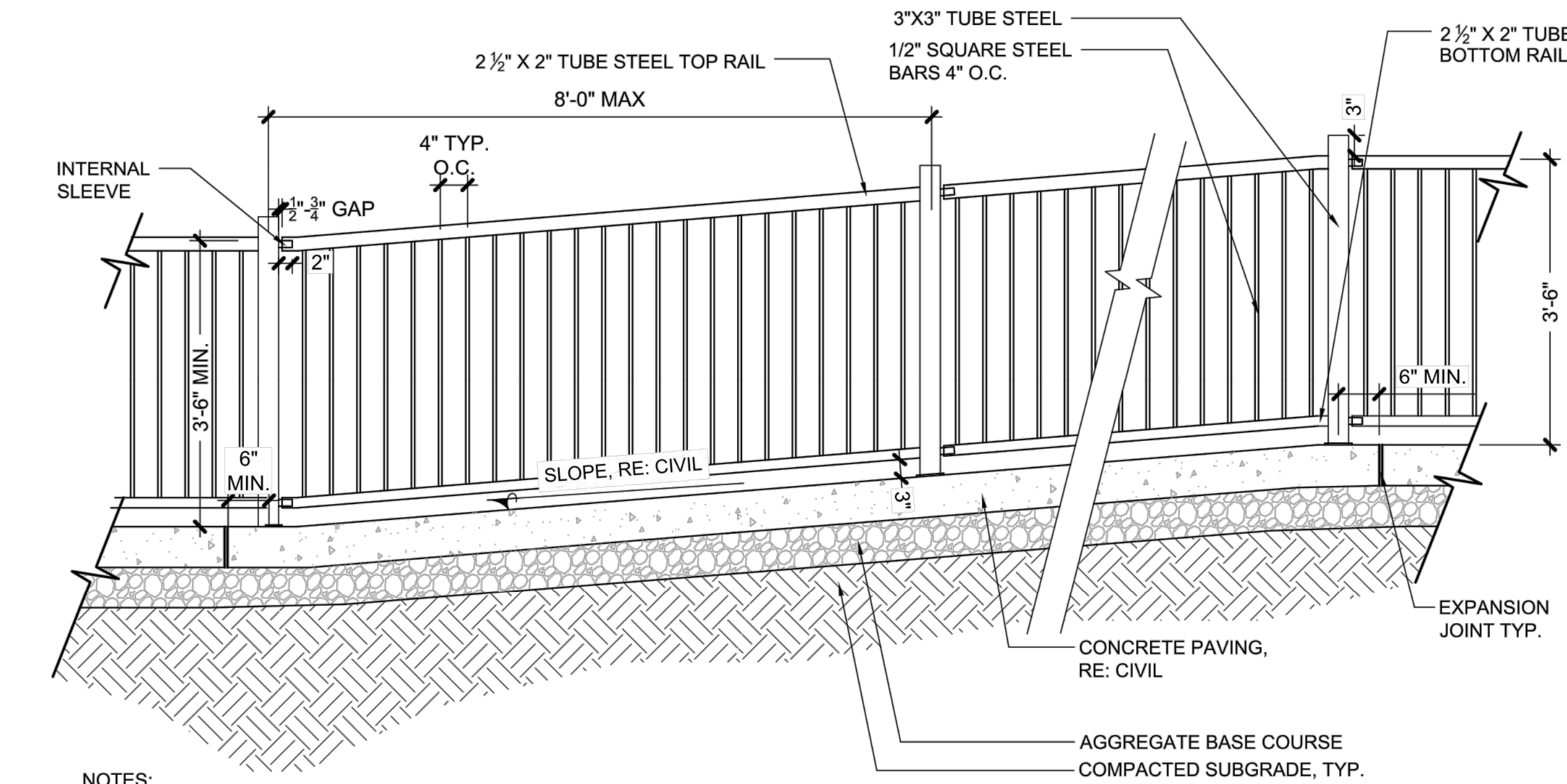


- NOTES:**
- CONCRETE TO BE 6" DEPTH
 - SAWCUT JOINTS EVERY 10' (10' WIDE WALKS) OR EVERY 8' (8' WIDE WALKS)
 - SAWCUT EXPANSION JOINTS EVERY 100'
 - FIBER MESH REINFORCEMENT - SEE SPECS
 - 4000 PSI AT 28 DAYS - SEE SPECS
 - 2% MAX CROSS SLOPE TO FOLLOW NATURAL SLOPE OF SURROUNDING GRADE FOR POSITIVE DRAINAGE
 - SEE PLANS FOR LAYOUT
 - ALL CONCRETE WALKS TO HAVE MEDIUM BROOM FINISH
 - LONGITUDINAL SLOPE TO BE 5% MAX.
 - REFER TO PLAN FOR INTEGRAL COLOR, STAIN, AND FINISH.



1
L5.0
CONCRETE PAVING

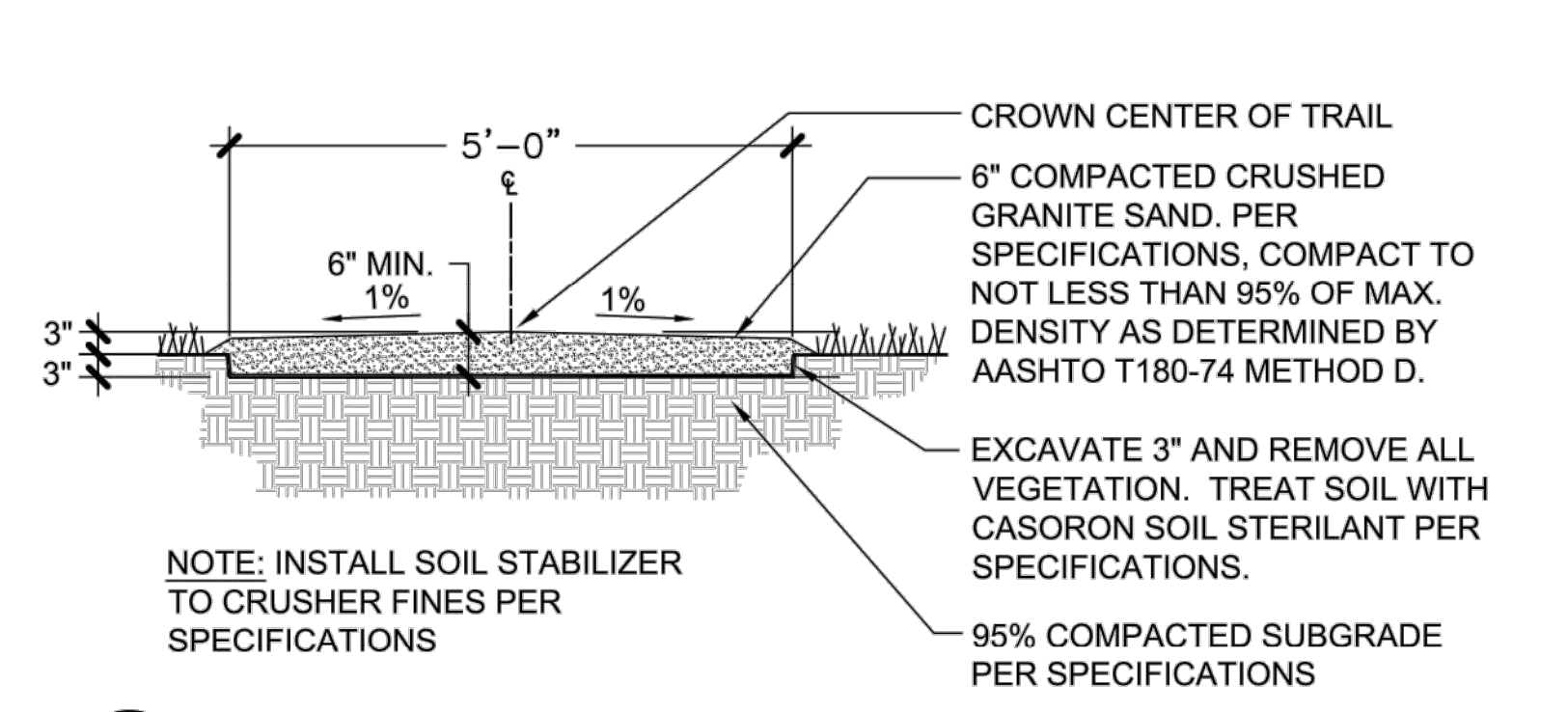
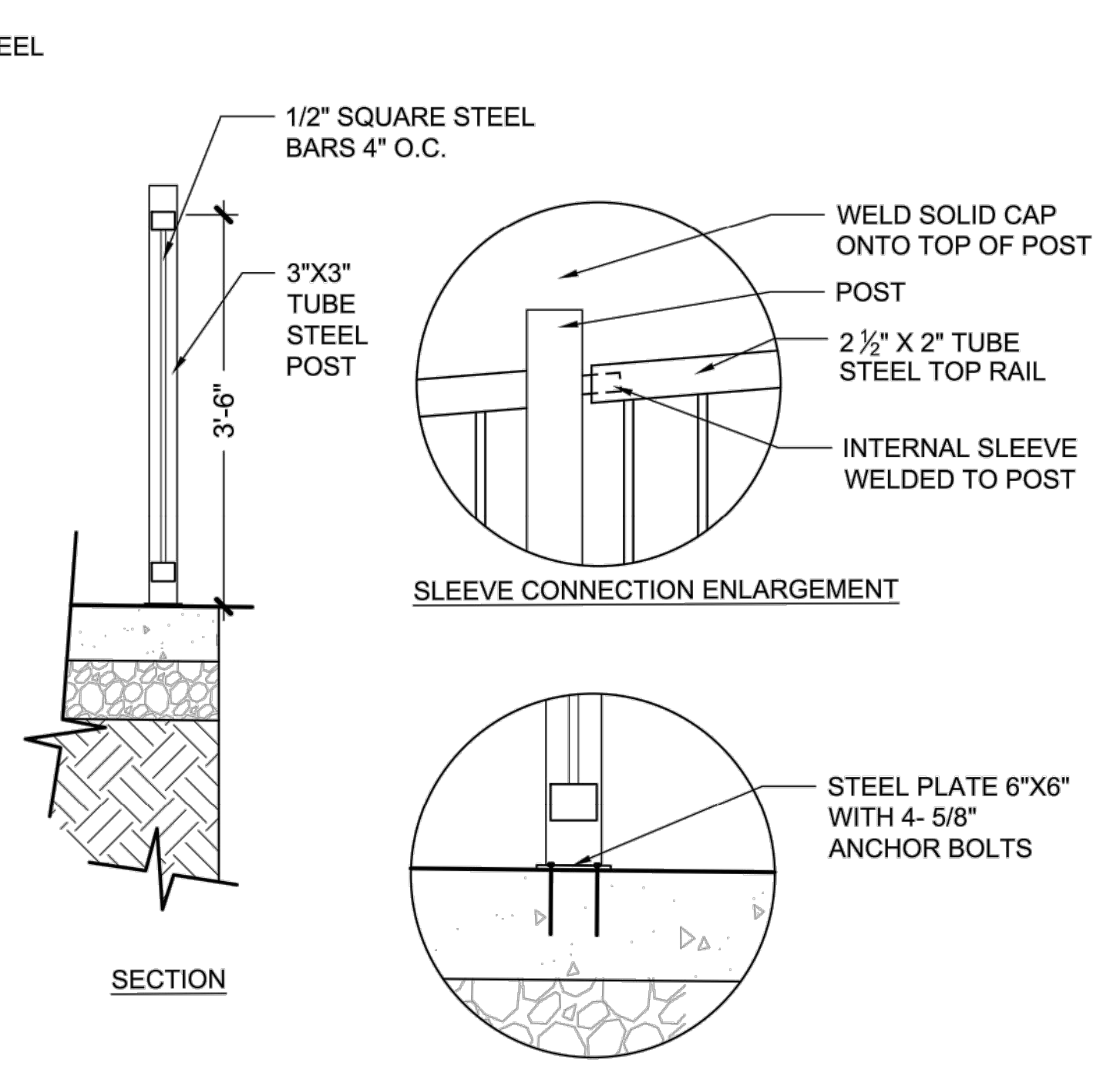
2
L5.0
DECORATIVE CONCRETE (UNDER SHELTER)



- NOTES:**
- COLOR TO BE POWDER COATED BLACK.
 - CONTRACTOR TO FIELD MEASURE PRIOR TO FABRICATION.
 - CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.

3
L5.0
PEDESTRIAN GUARDRAIL

SCALE: NTS

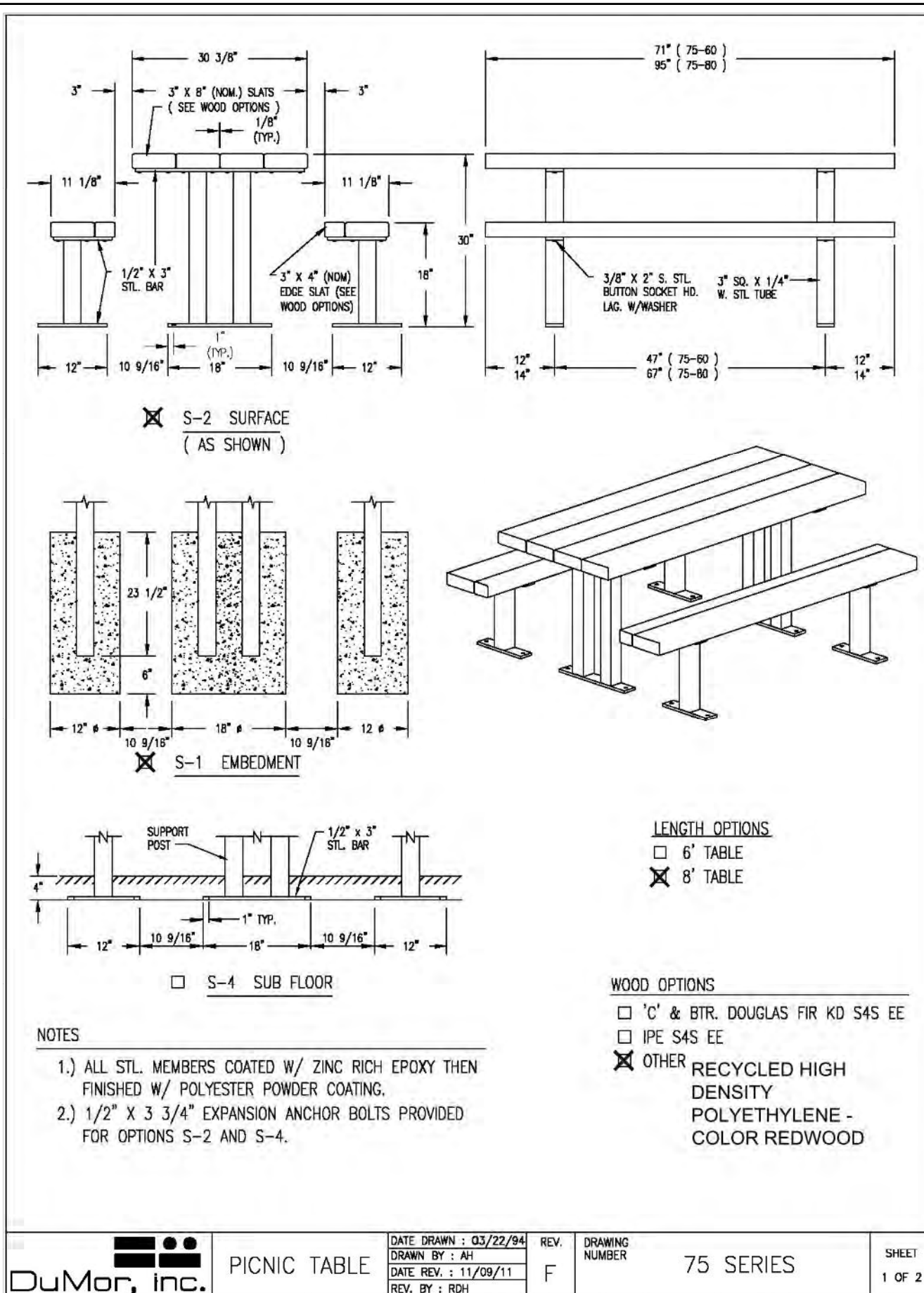


4
L5.0
STABILIZED CRUSHER FINES

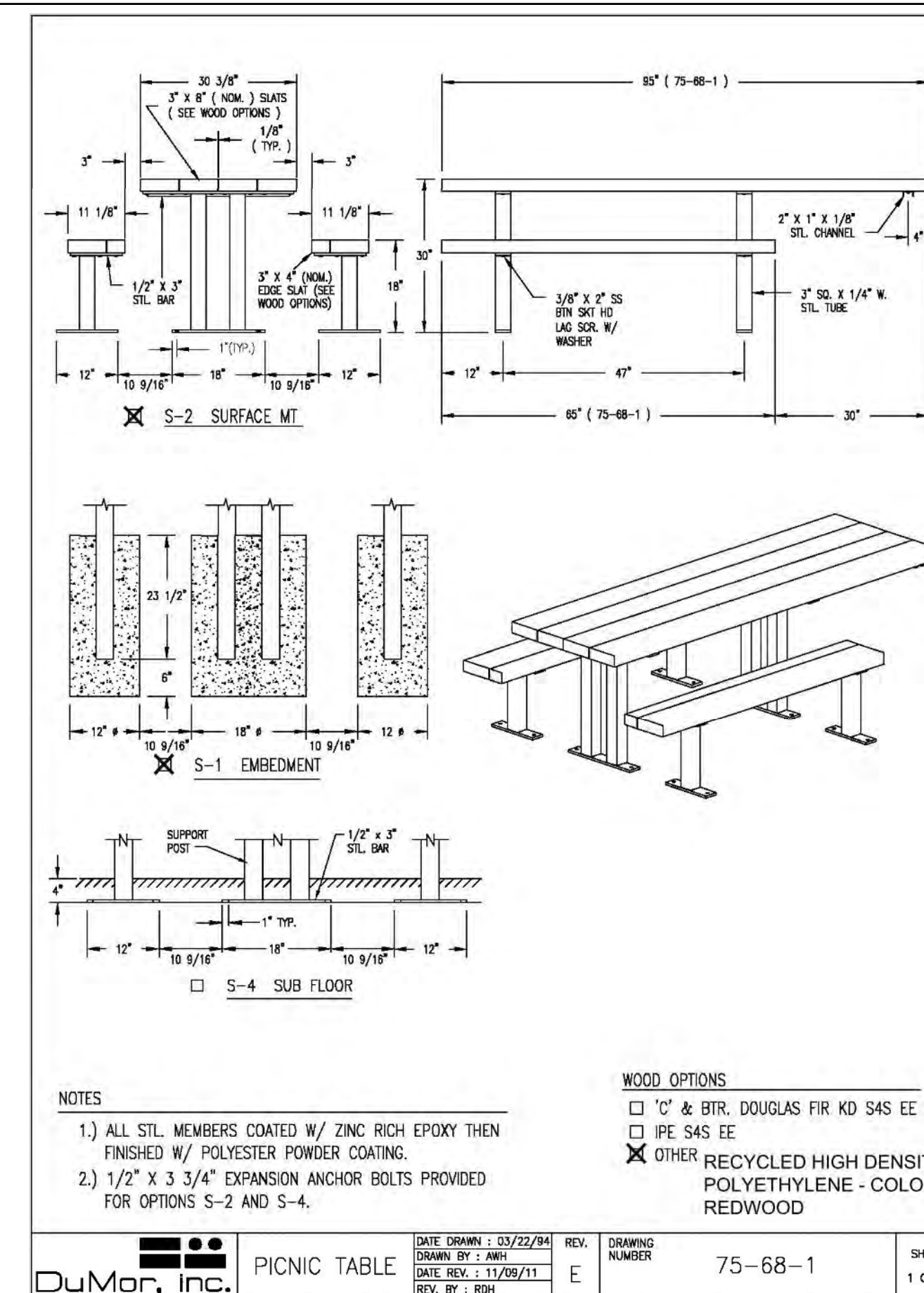
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DOCUMENT SET	ISSUE DATE
SUBMITTAL SET	12/06/2023
CONSTRUCTION SET	
DWN. BY:	MT
REVISIONS:	
REV 1:	02/14/2024
REV 2:	03/14/2024

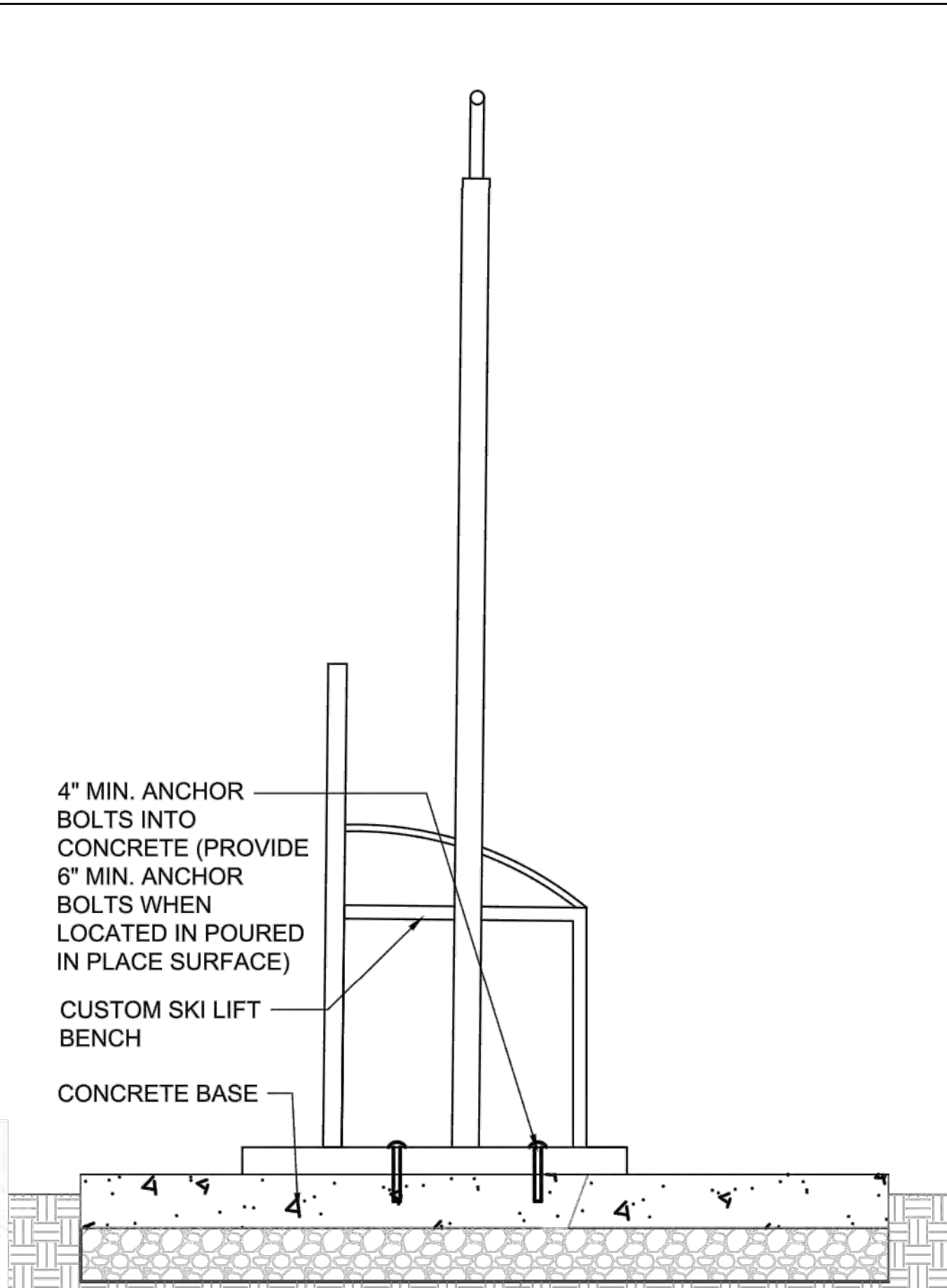




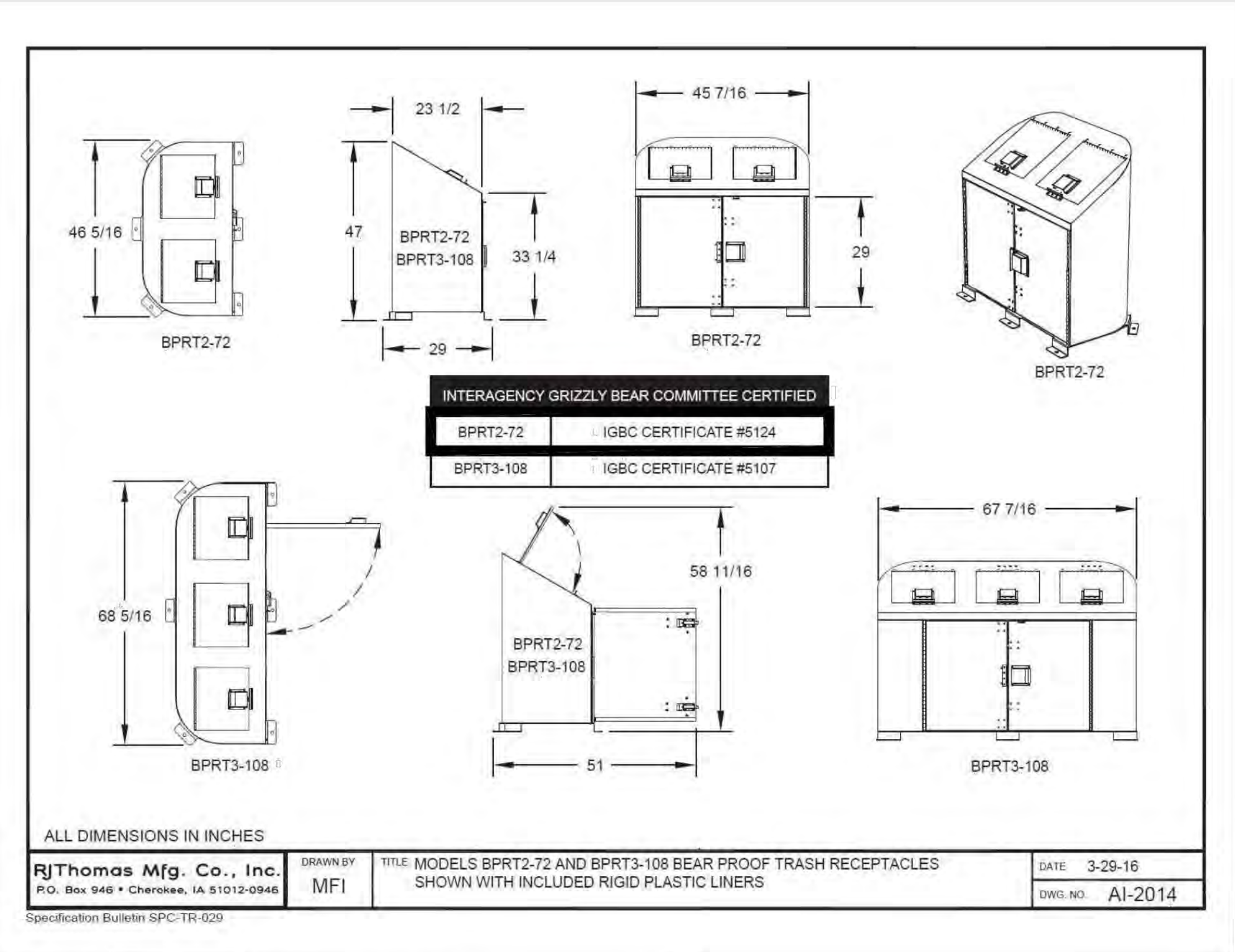
1
L5.1 **PICNIC TABLE**
 75 SERIES
 MANUFACTURER: DUMOR INC.
 DISTRIBUTOR: ROCKY MOUNTAIN RECREATION
 CONTRACT: EVAN BAER
 PHONE: 303-783-1452
 EMAIL: EVAN@RMREC.COM
 NOTE: 1 TABLE TO BE EMBEDDED
 6 TABLES TO BE SURFACE MOUNTED
 SCALE: NTS



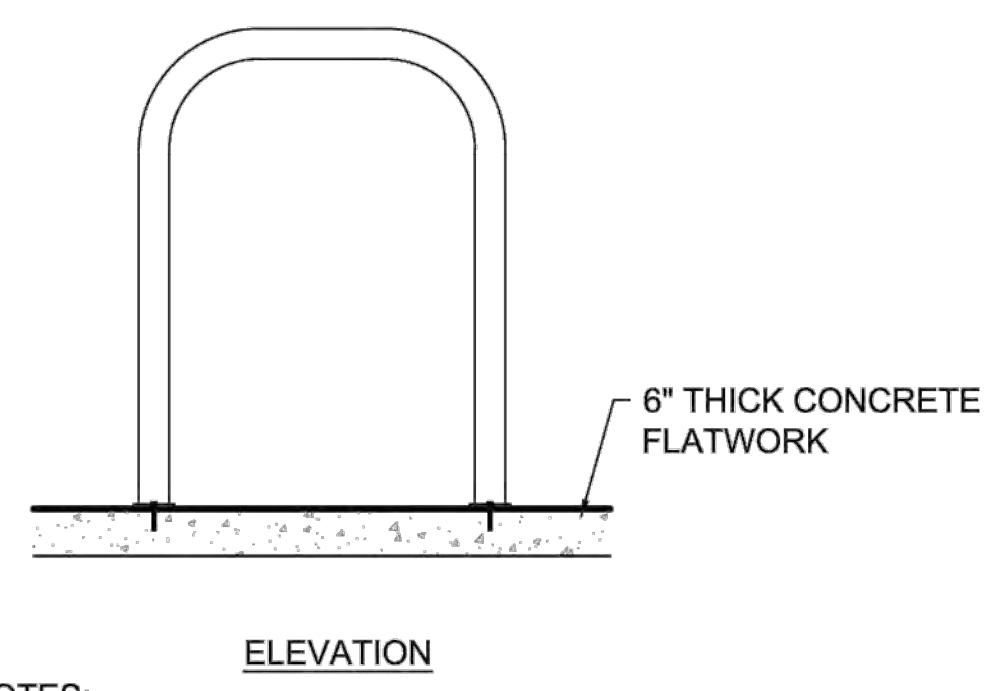
2
L5.1 **ACCESSIBLE PICNIC TABLE**
 75-68-1
 MANUFACTURER: DUMOR INC.
 DISTRIBUTOR: ROCKY MOUNTAIN RECREATION
 CONTRACT: EVAN BAER
 PHONE: 303-783-1452
 EMAIL: EVAN@RMREC.COM
 NOTE: 1 TABLE TO BE EMBEDDED
 2 TABLES TO BE SURFACE MOUNTED
 SCALE: NTS



3
L5.1 **CUSTOM SKI LIFT BENCH**
 UTILIZE EXISTING SKI LIFTS, CHAIRS PROVIDED BY OWNER - RE-PAINT (POWDER COAT) AND REPLACE WOOD SEAT
 SCALE: NTS



4
L5.1 **BEAR SAFE TRASH RECEPTACLE**
 BPRT3/CUT-108
 MANUFACTURER: PILOT ROCK
 DISTRIBUTOR: PILOT ROCK
 PHONE: 800-762-5002
 SCALE: NTS

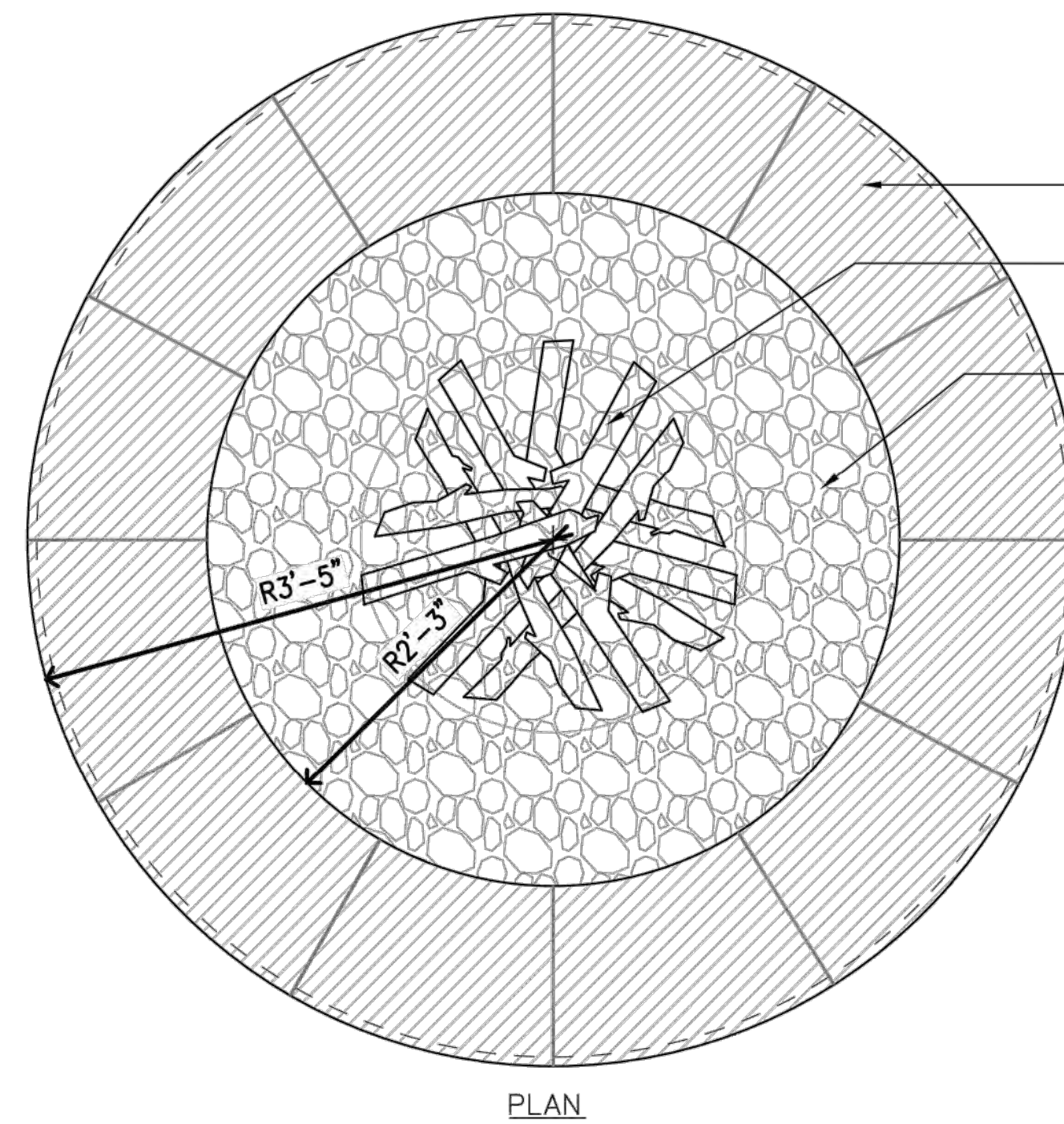
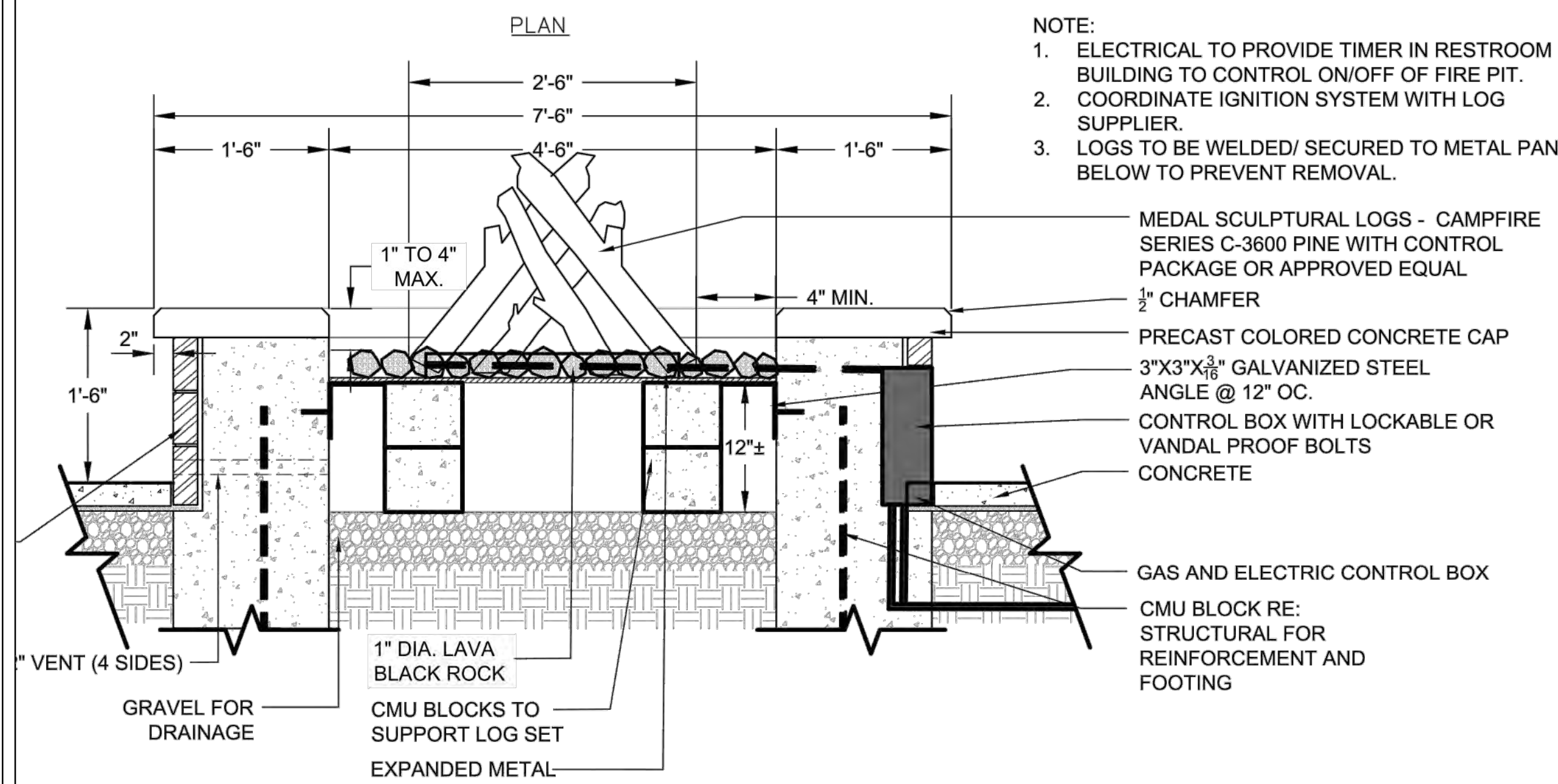


NOTES:
 1. BIKE RACK (MADRAX #UX238-P), SURFACE MOUNTED, SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 2. COORDINATE WITH OWNER ON EXACT LOCATION.
 3. COLOR: BLACK

5
L5.1 **BIKE RACK**
 SCALE: NTS

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SUBMITTAL SET	12/06/2023
CONSTRUCTION SET	
DWN. BY:	MT
REVISIONS:	
REV 1:	02/14/2024
REV 2:	03/14/2024

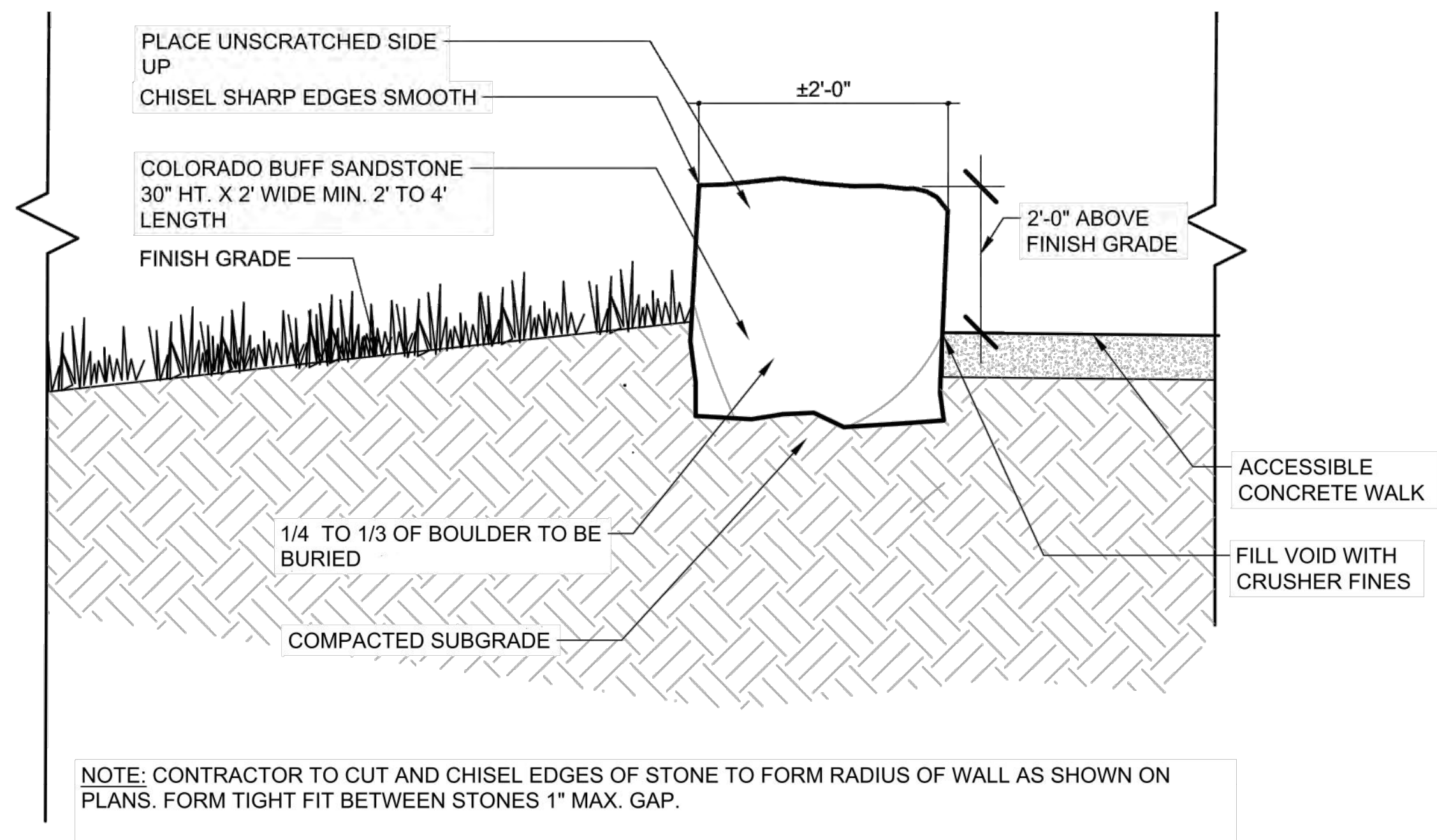




STEEL LOG - CAMPFIRE SERIES C-3600 PINE
 WEBSITE: <https://www.steellog.com/pine-series>
 NOTE: _____

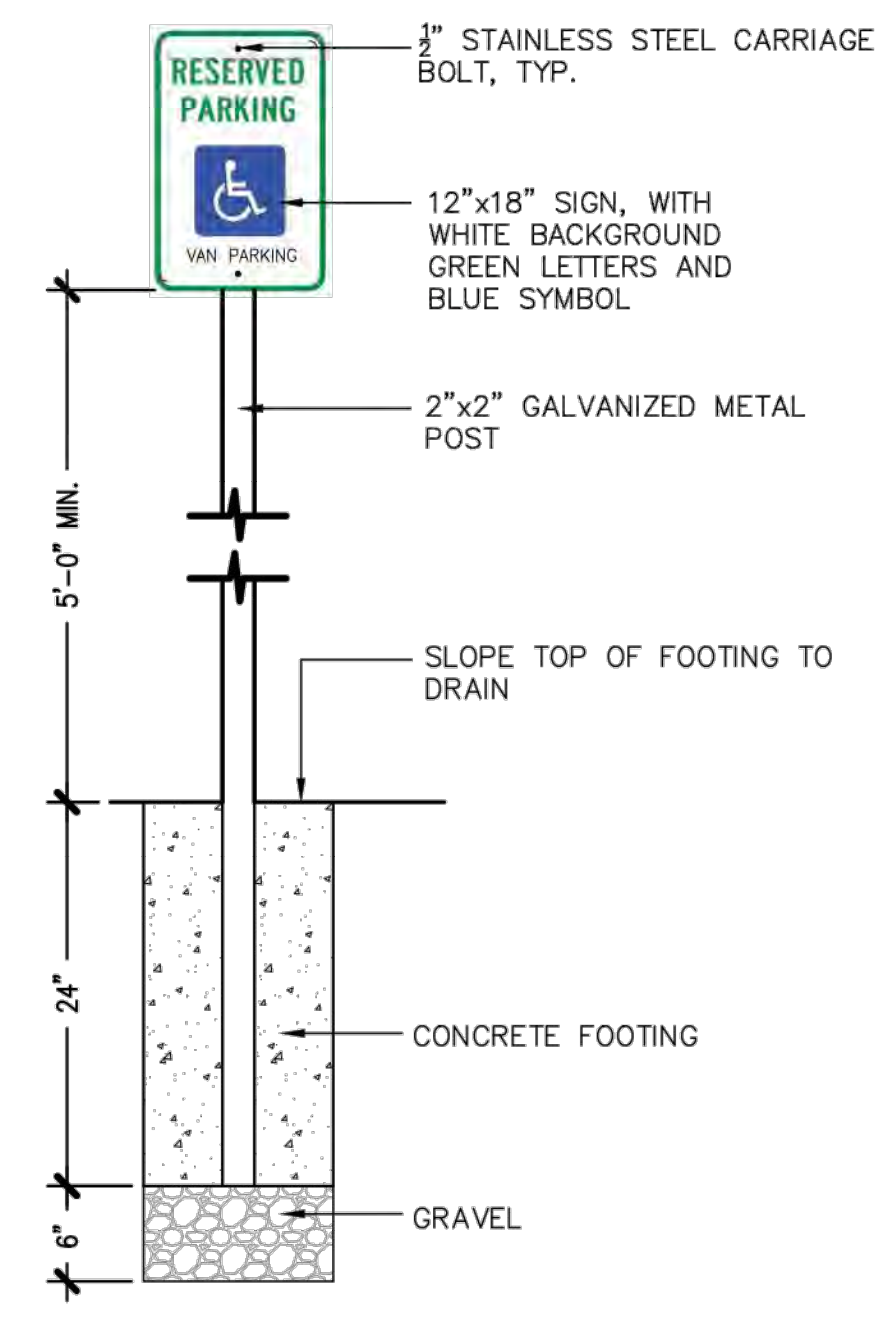
1
L5.2
FIRE PIT

SCALE: NTS



2
L5.2
STONES SEAT WALL

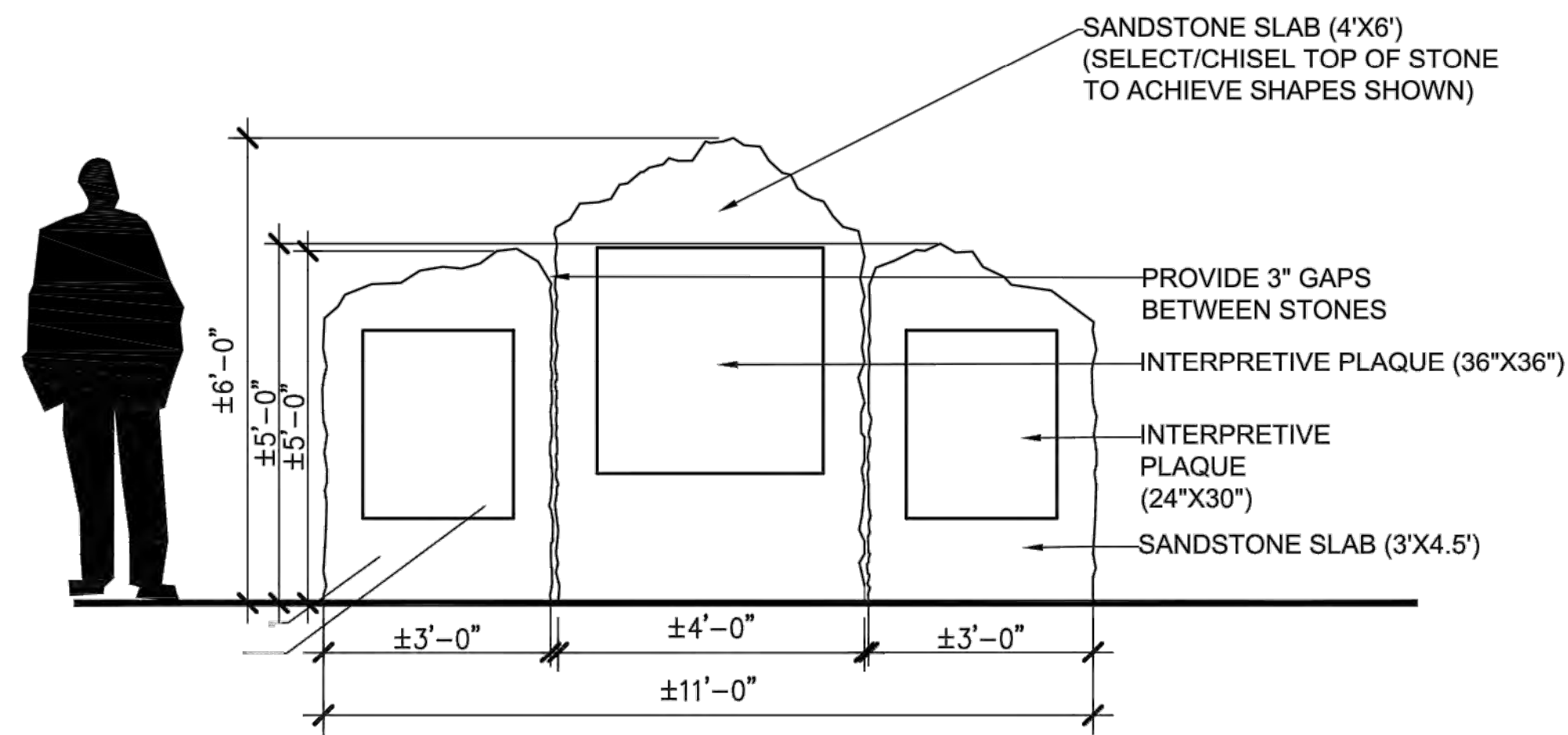
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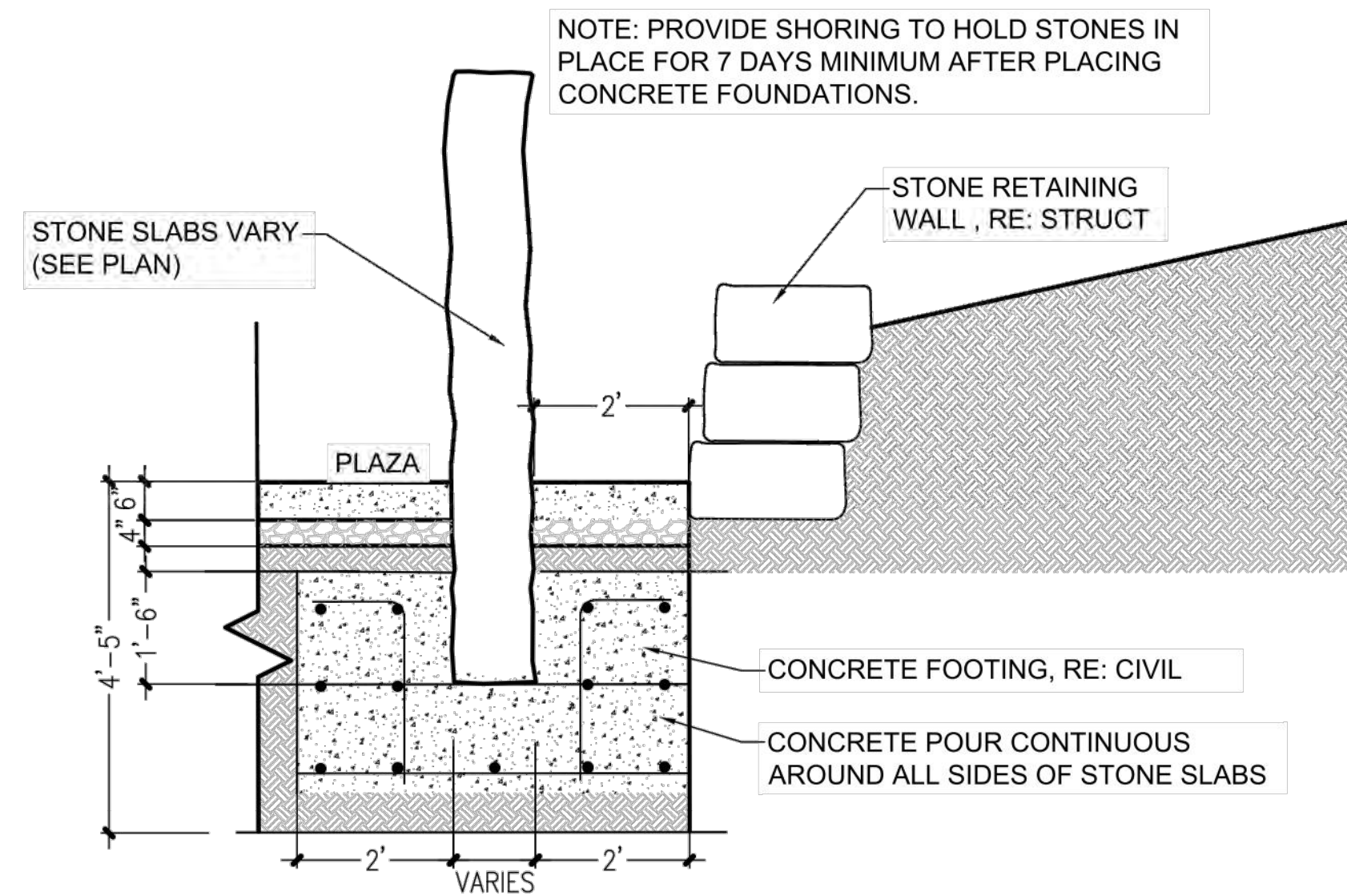
3
L5.2
ACCESSIBLE PARKING SIGN

SCALE: NTS

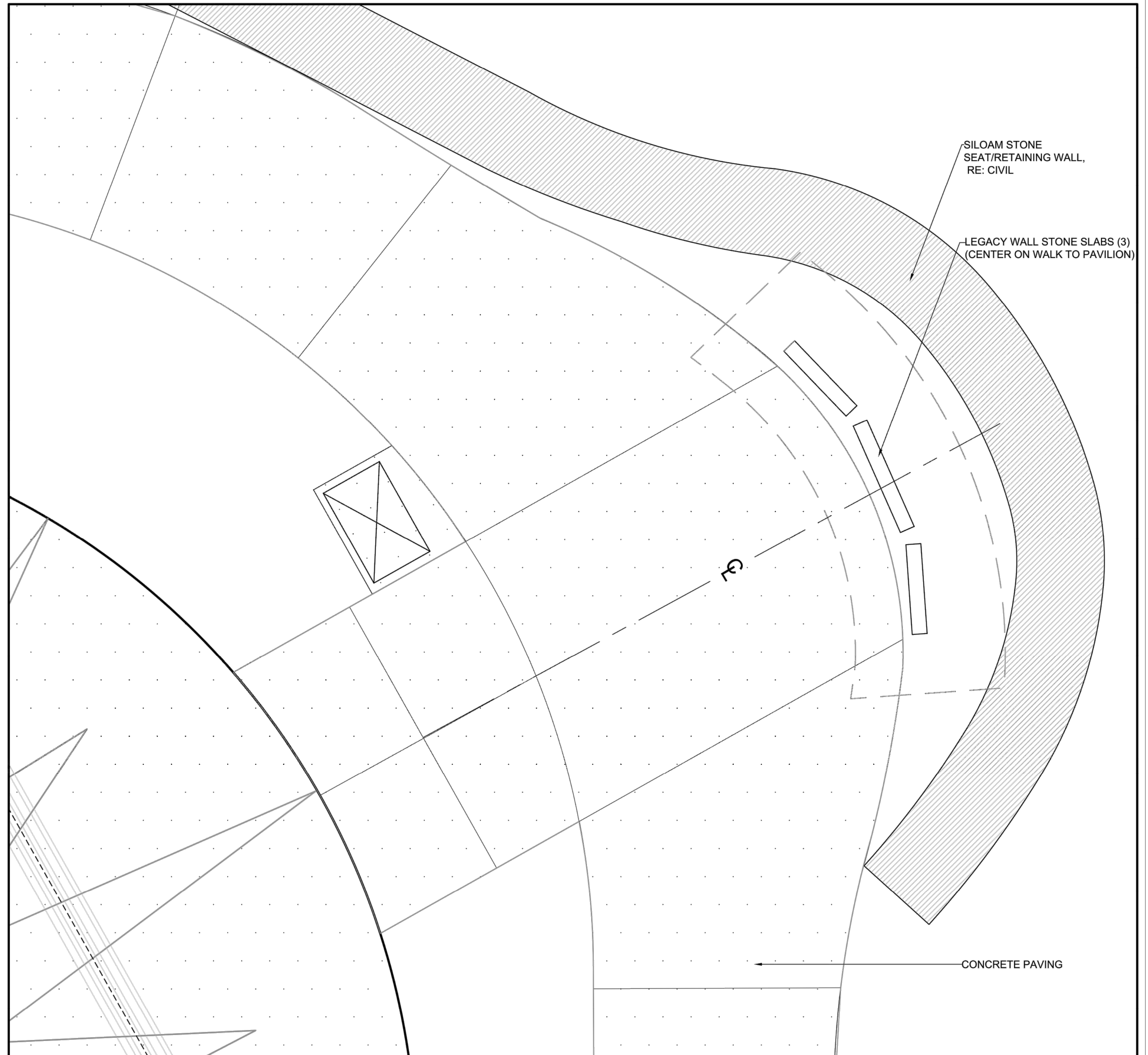
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SUBMITTAL SET	12/06/2023
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REV 2:	03/14/2024



ELEVATION



SECTION



PLAN

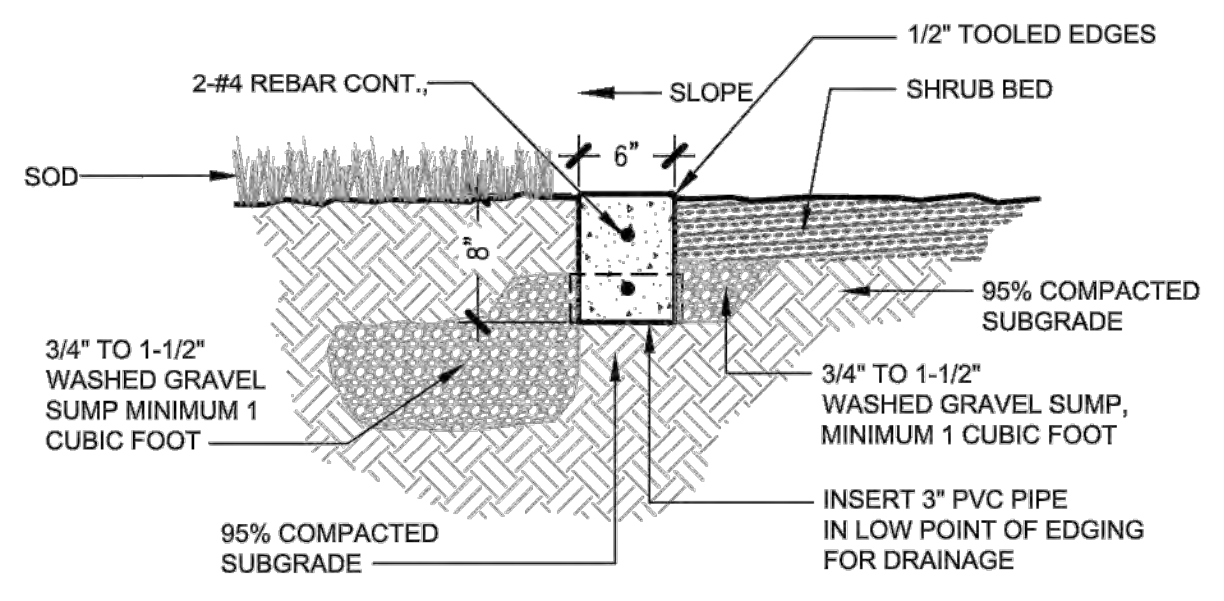
1 LEGACY WALL
L5.3

SCALE: 1" = 2'-0"



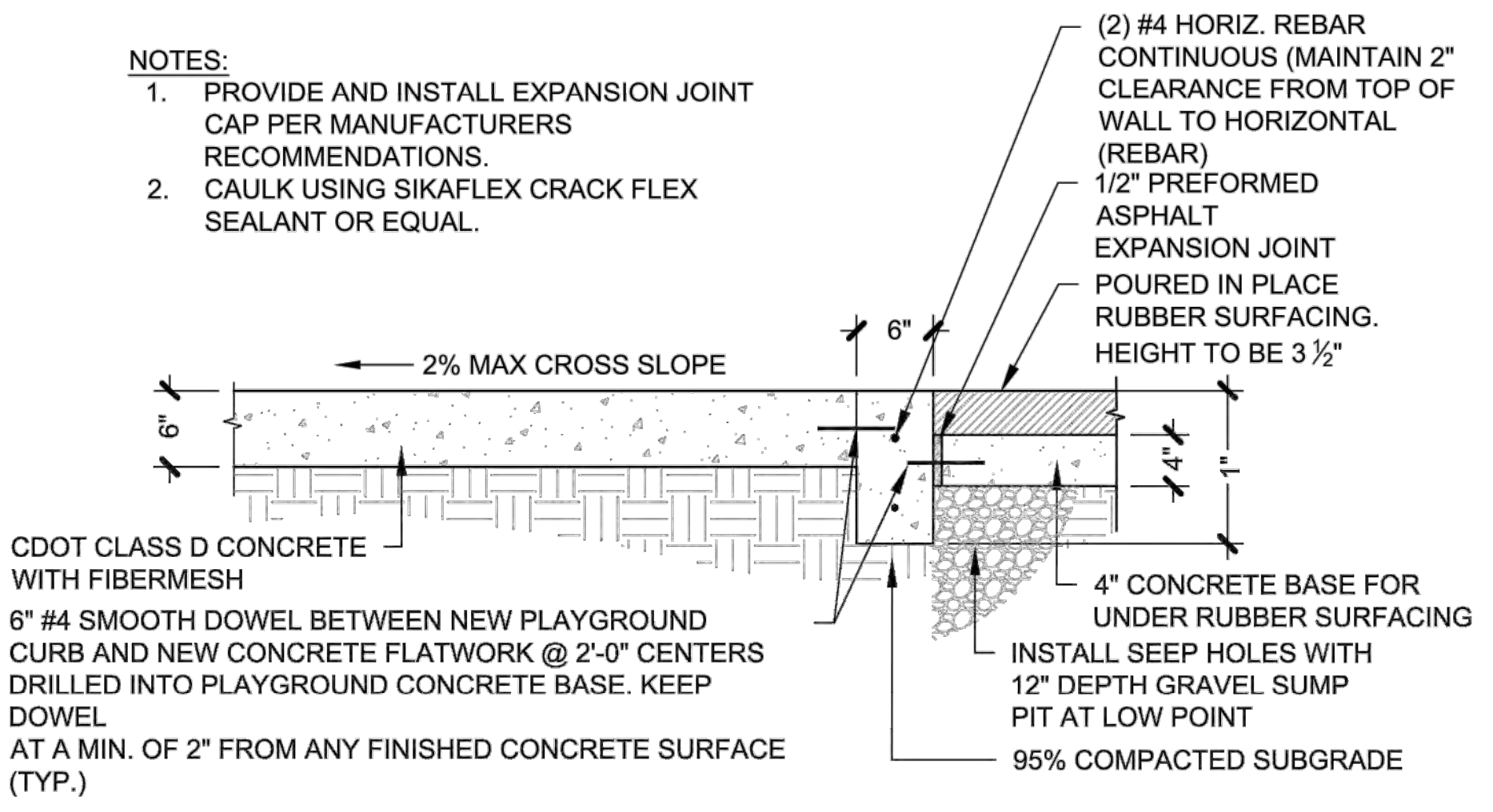
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SUBMITTAL SET	12/06/2023
CONSTRUCTION SET	
DWN. BY:	MT
REVISIONS:	
REV 1:	02/14/2024
REV 2:	03/14/2024

- CONCRETE EDGE:**
- 4000 PSI CONCRETE BAND WITH FIBERMESH.
 - PROVIDE CONTROL JOINTS AT 3'-0" O.C.
 - ALL REBAR TO BE EPOXY COATED
 - ALL CONCRETE EDGER (LANDSCAPE) COLOR TO BE GRAY
 - CONCRETE EDGER IS TO BE CONSTRUCTED ONLY WHERE NOTED ON PLANS

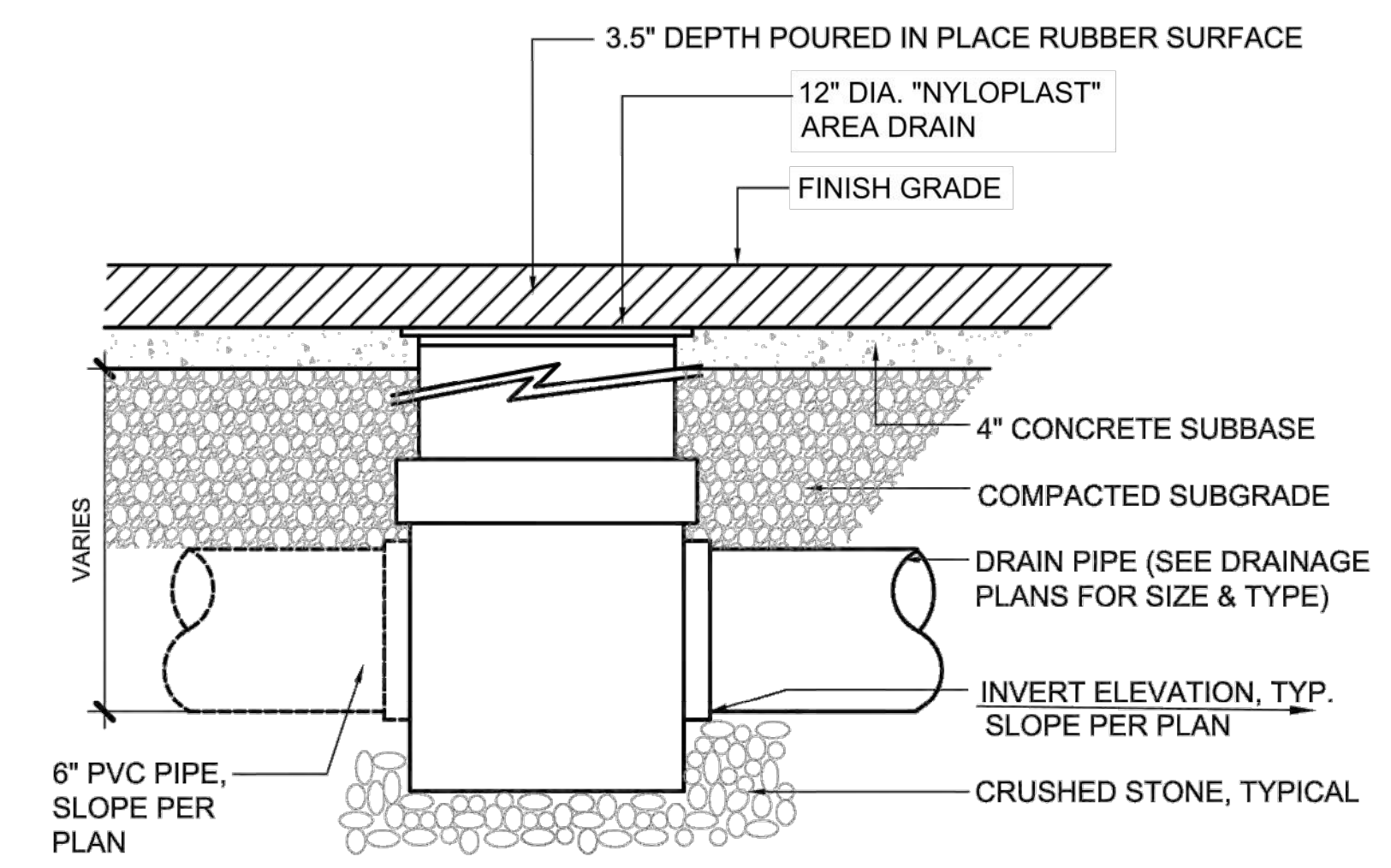


1 CONCRETE EDGER
SCALE: NTS

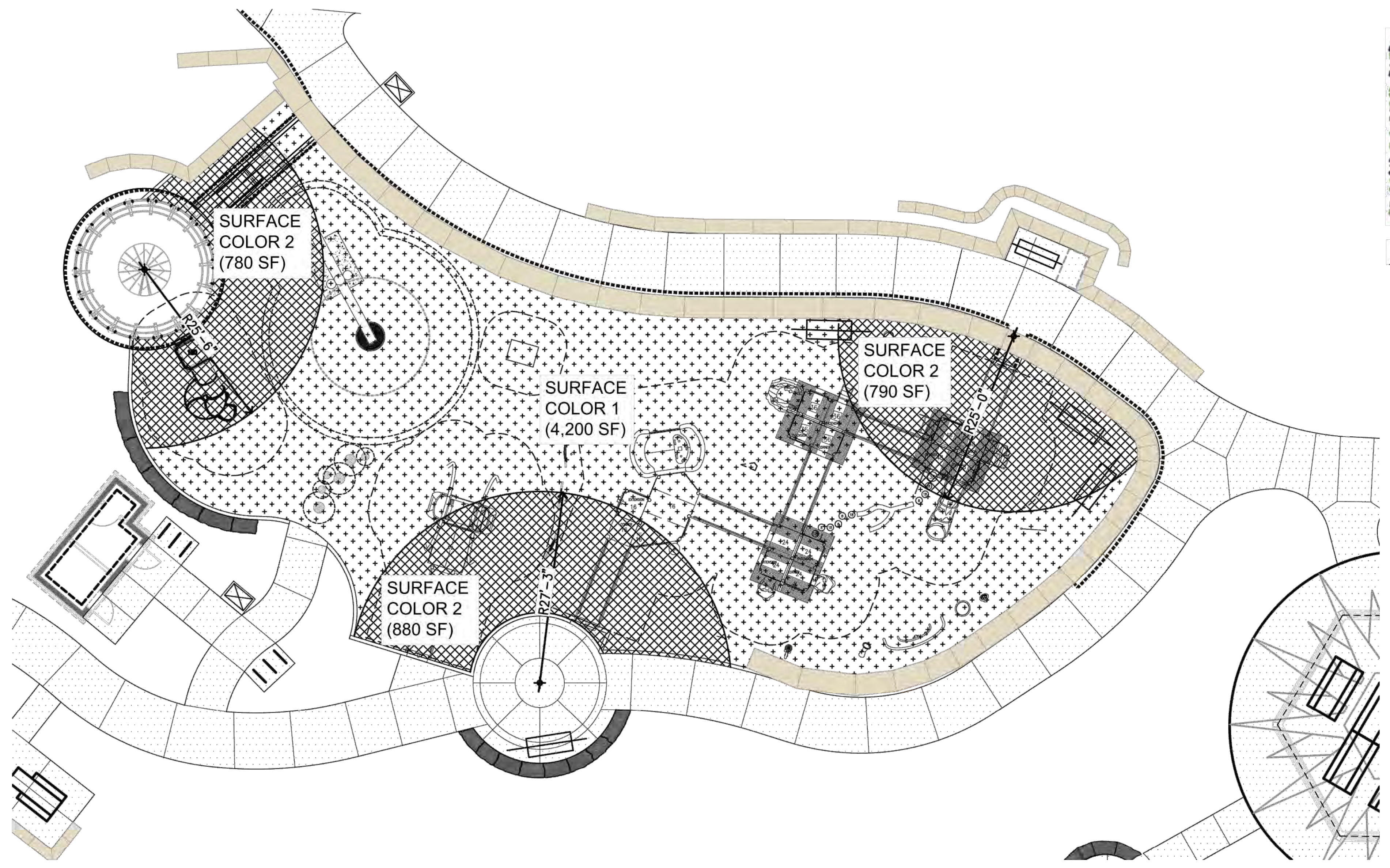
- NOTES:**
- PROVIDE AND INSTALL EXPANSION JOINT CAP PER MANUFACTURERS RECOMMENDATIONS.
 - CAULK USING SIKAFLEX CRACK FLEX SEALANT OR EQUAL.



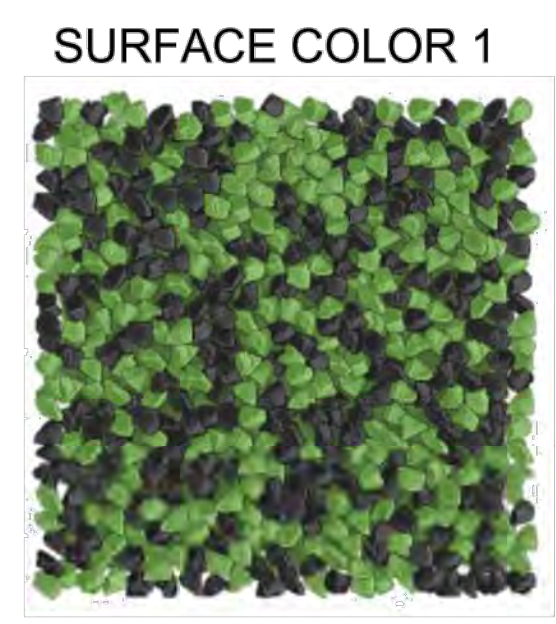
2 PLAYGROUND CURB WITH RUBBER PLAY SURFACE
SCALE: NTS



3 AREA DRAIN AT PLAYGROUND
(COORDINATE WITH CIVIL UNDERDRAIN LAYOUT)
SCALE: NTS



4 POURED IN PLACE PLAYGROUND SURFACE COLOR
SCALE: 1" = 10'-0"

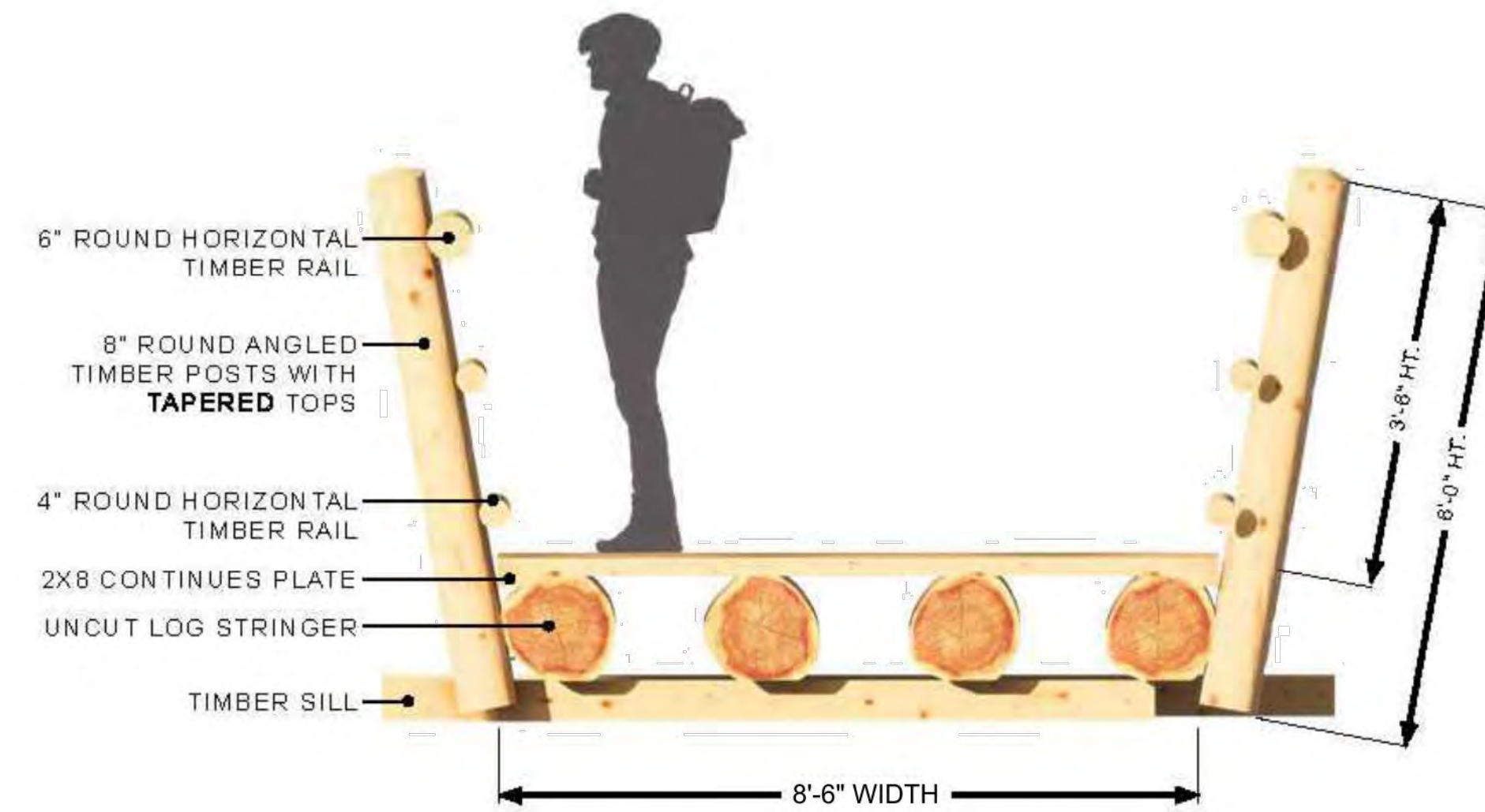
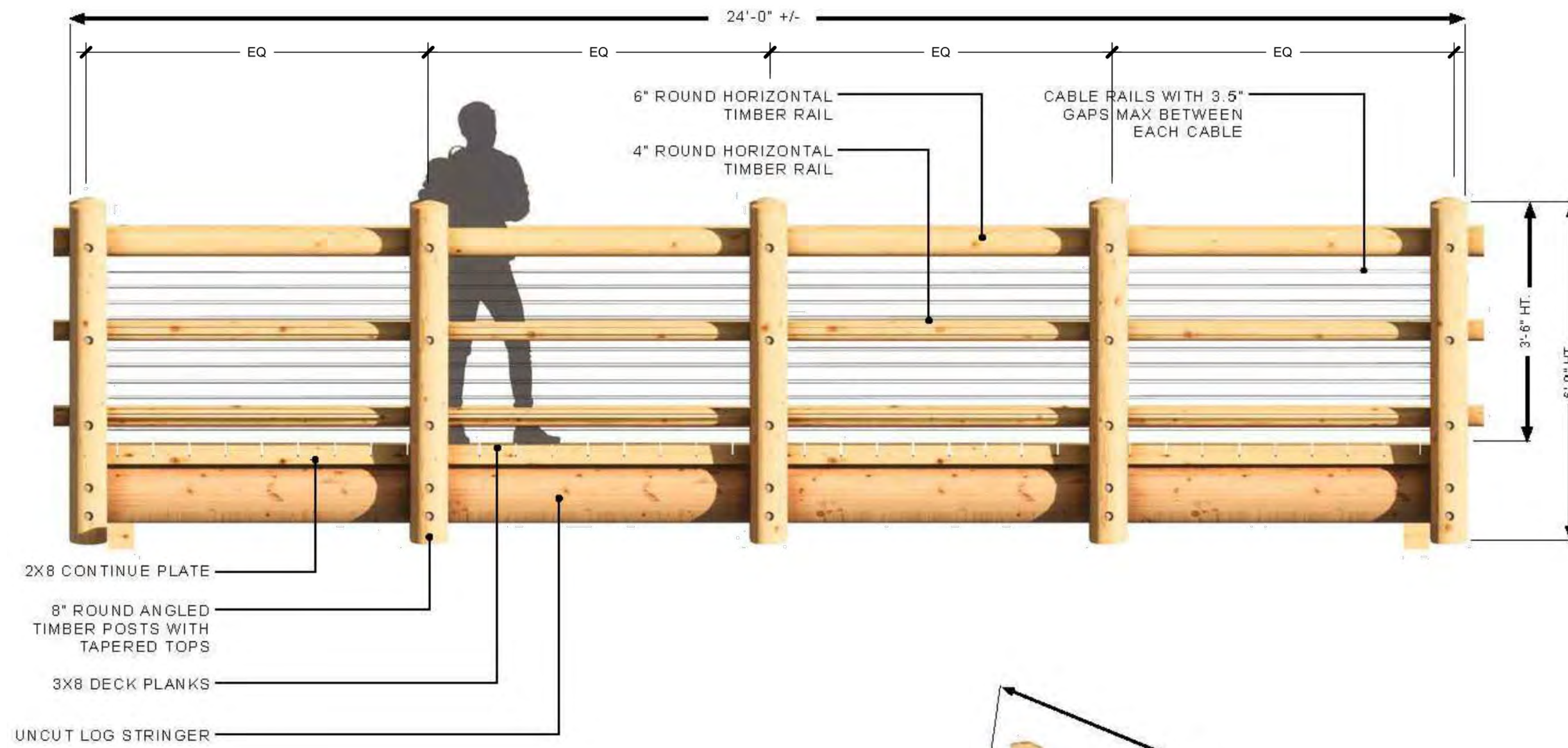


LEGEND

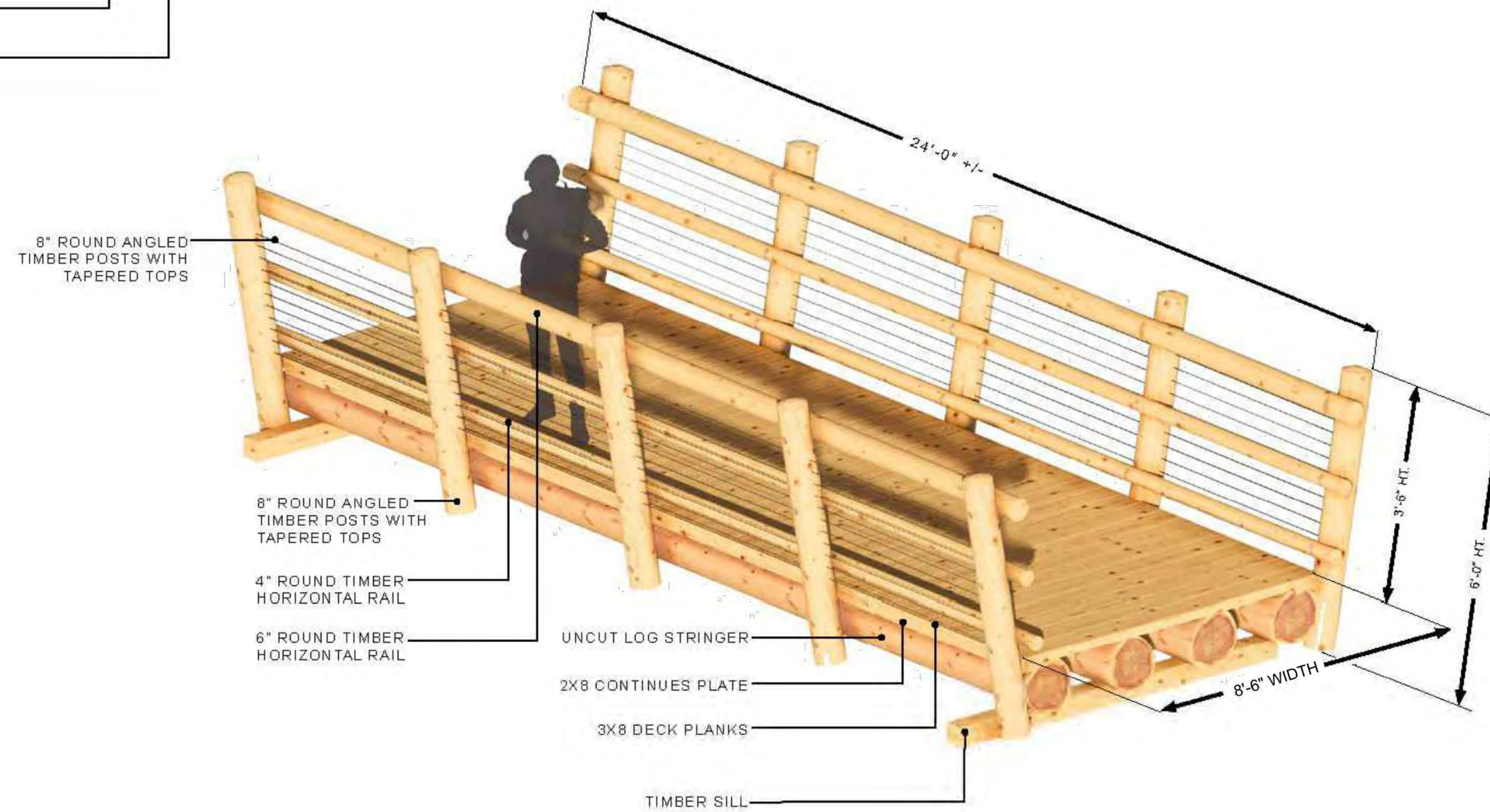
	SURFACE COLOR 1 (50% BLACK & 50% BRIGHT GREEN)
	SURFACE COLOR 2 (50% BROWN & 50% EGGSHELL)

DOCUMENT SET	ISSUE DATE
SUBMITTAL SET	12/06/2023
CONSTRUCTION SET	
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REVISIONS:	
REV 1 :	02/14/2024
REV 2 :	03/14/2024



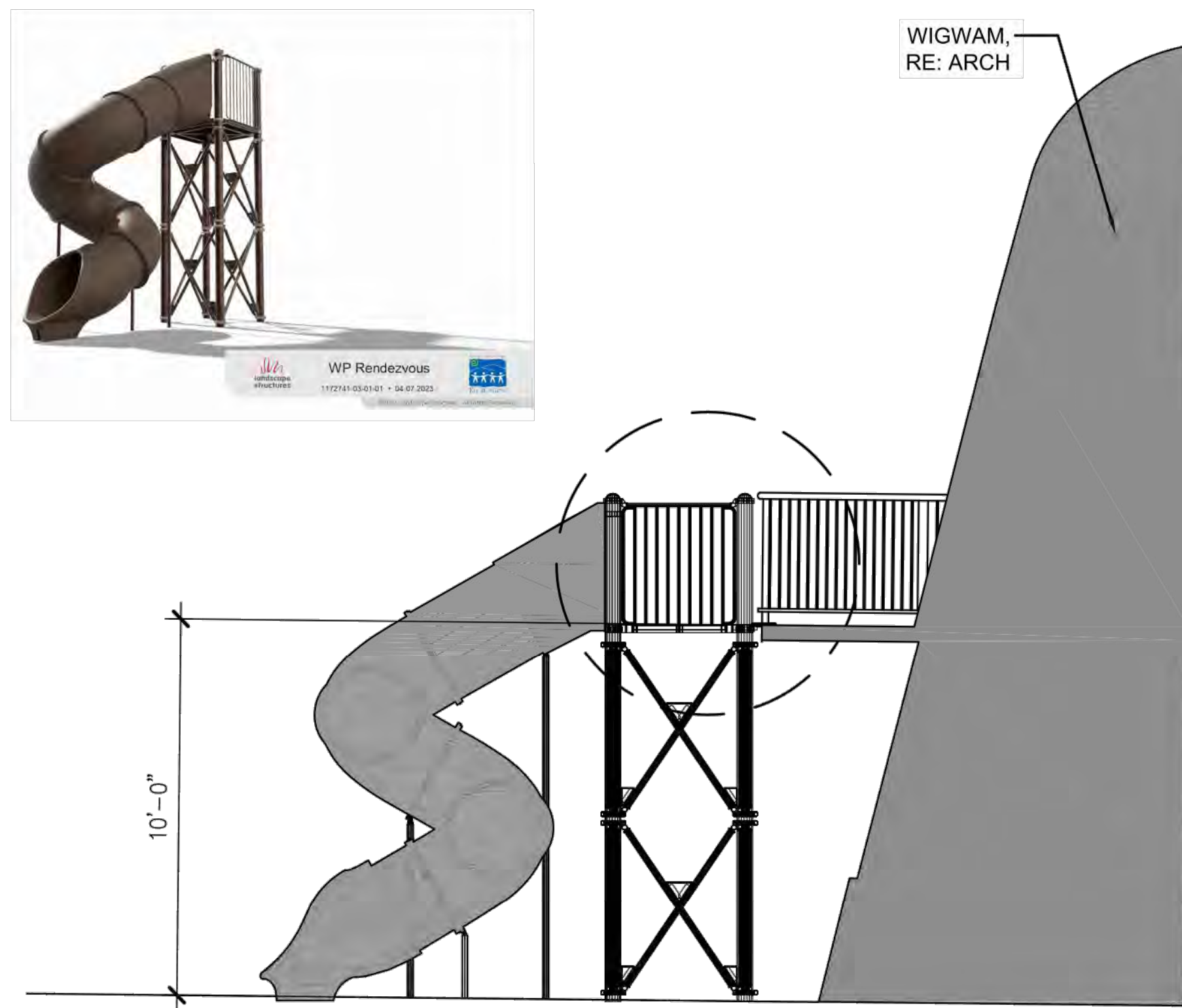


NOTE: REFER TO STRUCTURAL
 FOR BRIDGE DECK AND ABUTMENT
 WALL DETAILS.

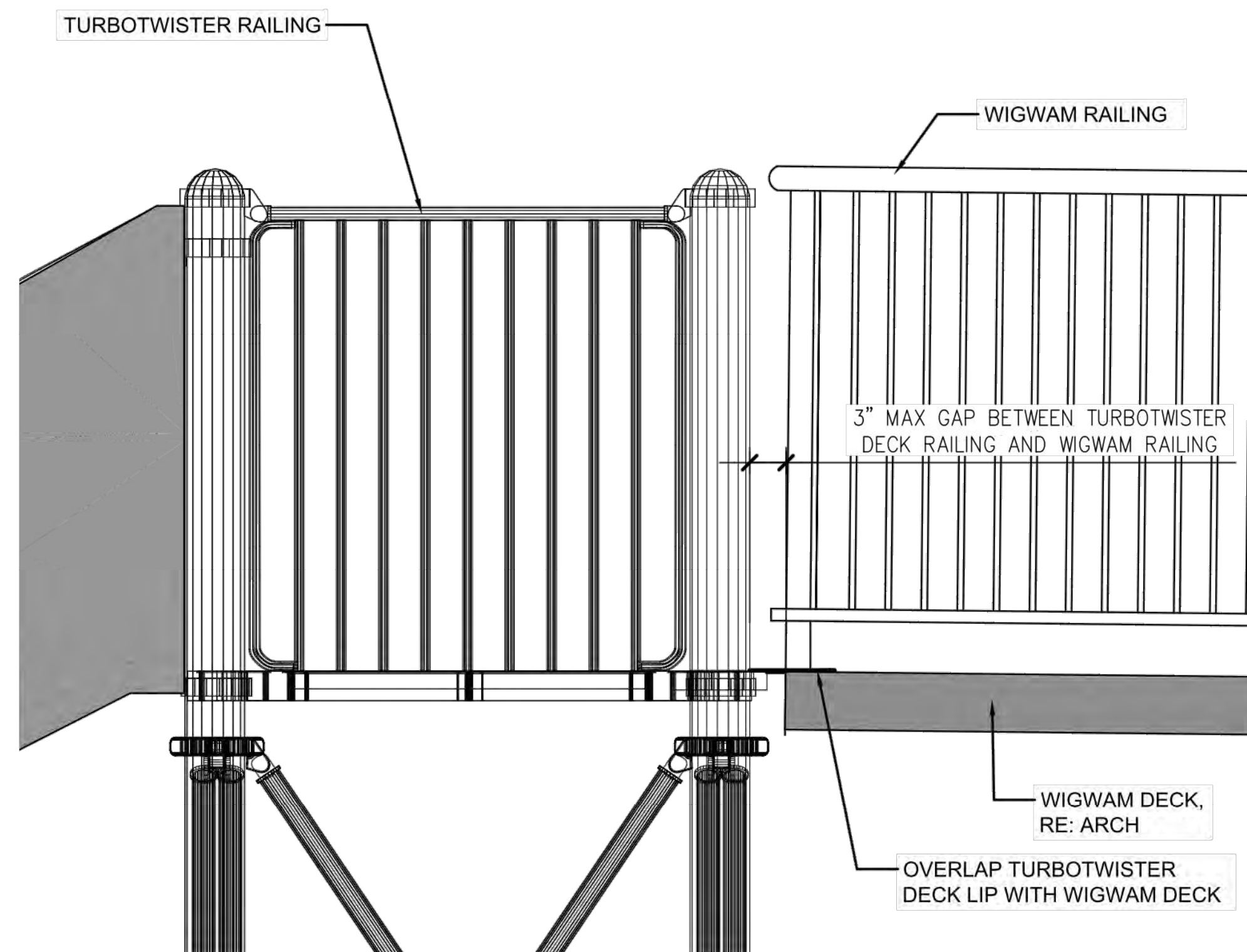


DHM DESIGN

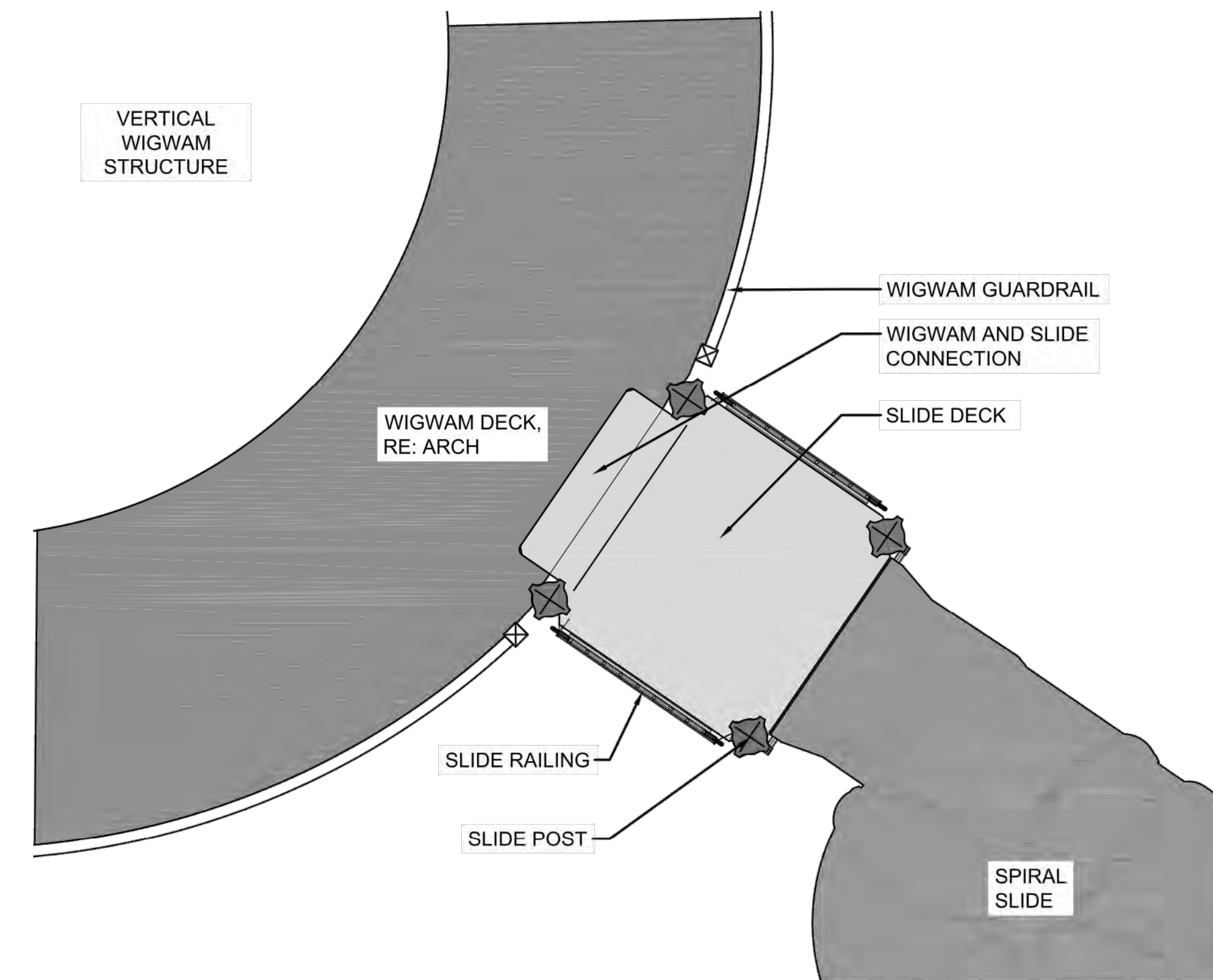
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SUBMITTAL SET	12/06/2023
CONSTRUCTION SET	
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REV 1:	02/14/2024
REV 2:	03/14/2024



SECTION



SECTION ENLARGEMENT



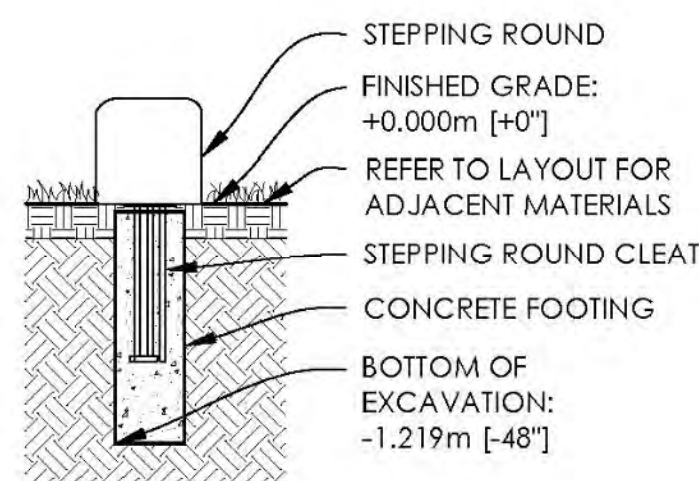
PLAN VIEW

1 10' TOWER TURBOTWISTER

MANUFACTURER: LANDSCAPE STRUCTURES
CONTACT: EVAN BAER PHONE: 303.909.7471

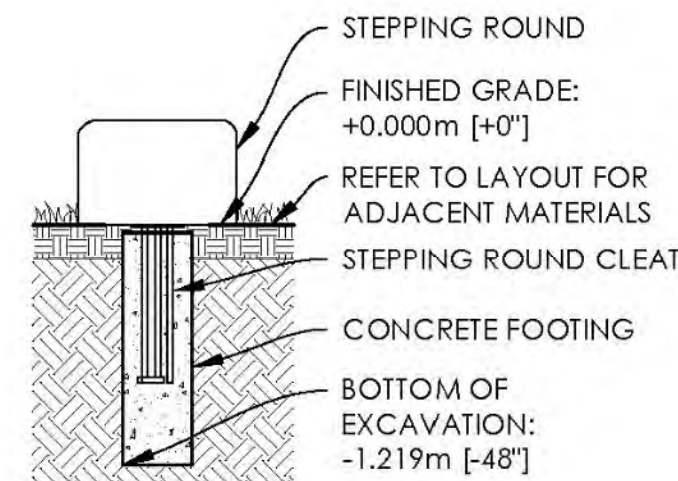
SCALE: NTS

12 IN. DIA. STEPPING ROUND

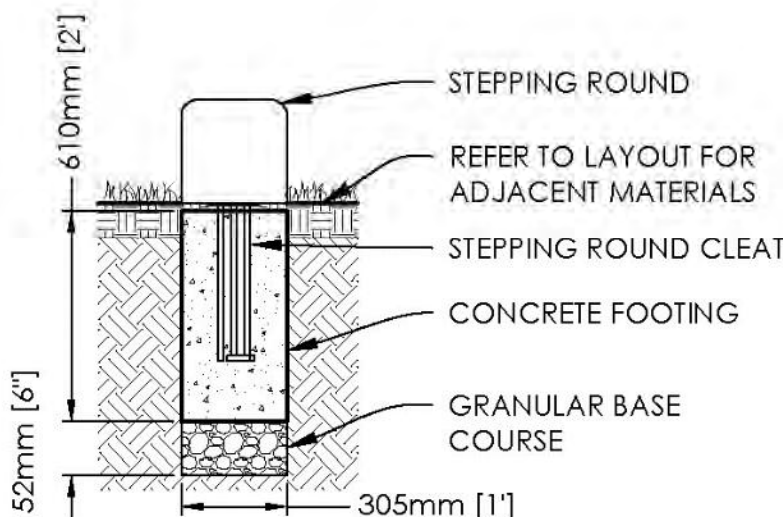


- SONOTUBE FOOTING -
FOR LOOSE FILL FINISHED SURFACE

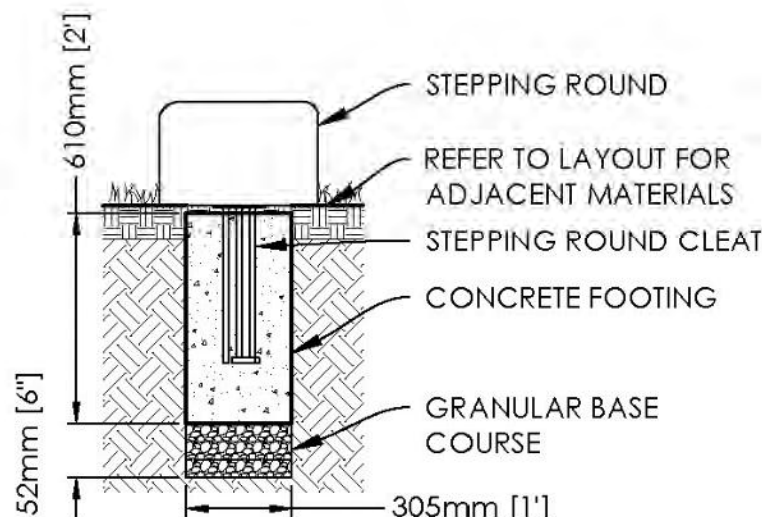
18 IN. DIA. STEPPING ROUND



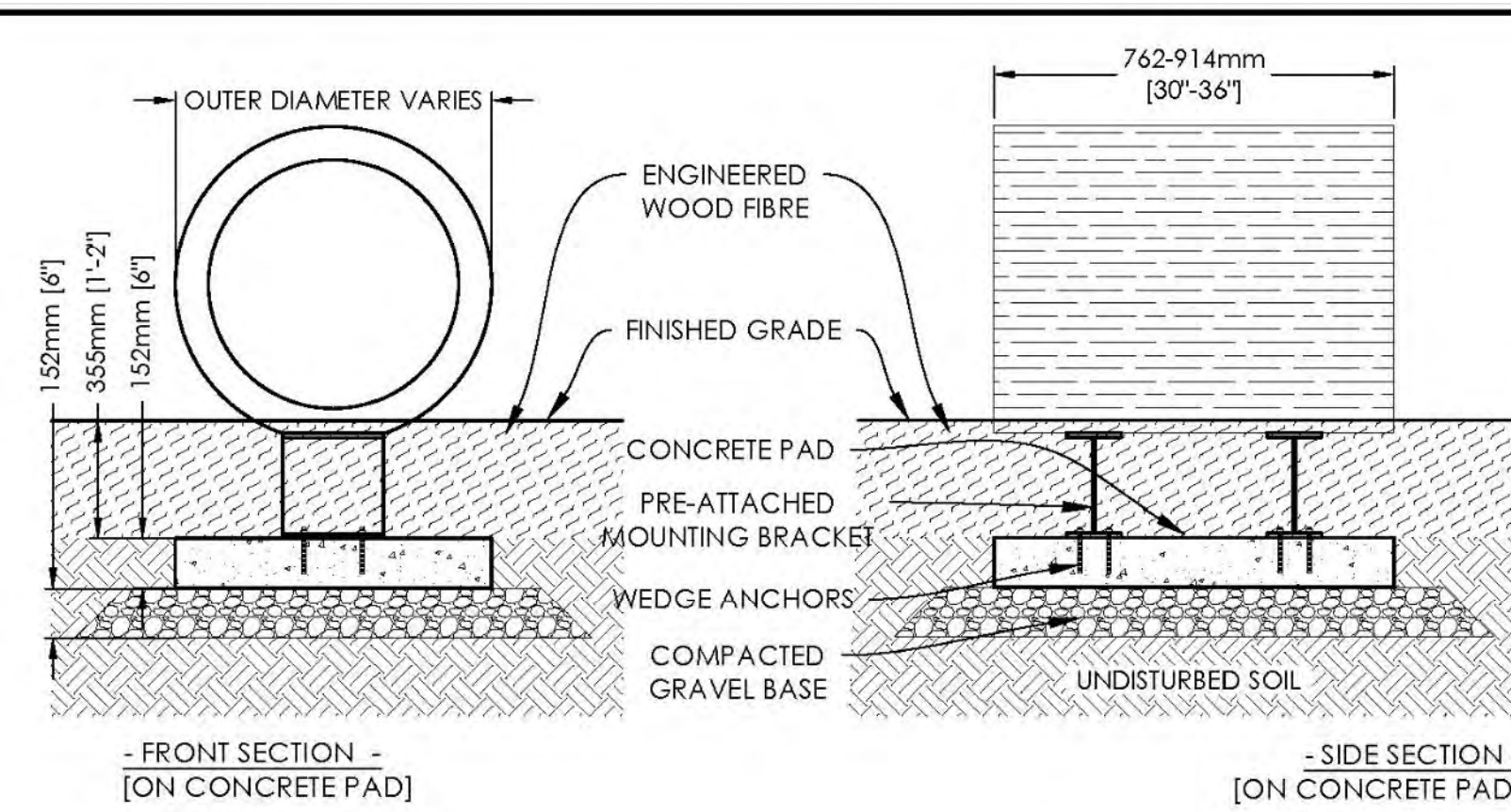
- SONOTUBE FOOTING -
FOR LOOSE FILL FINISHED SURFACE



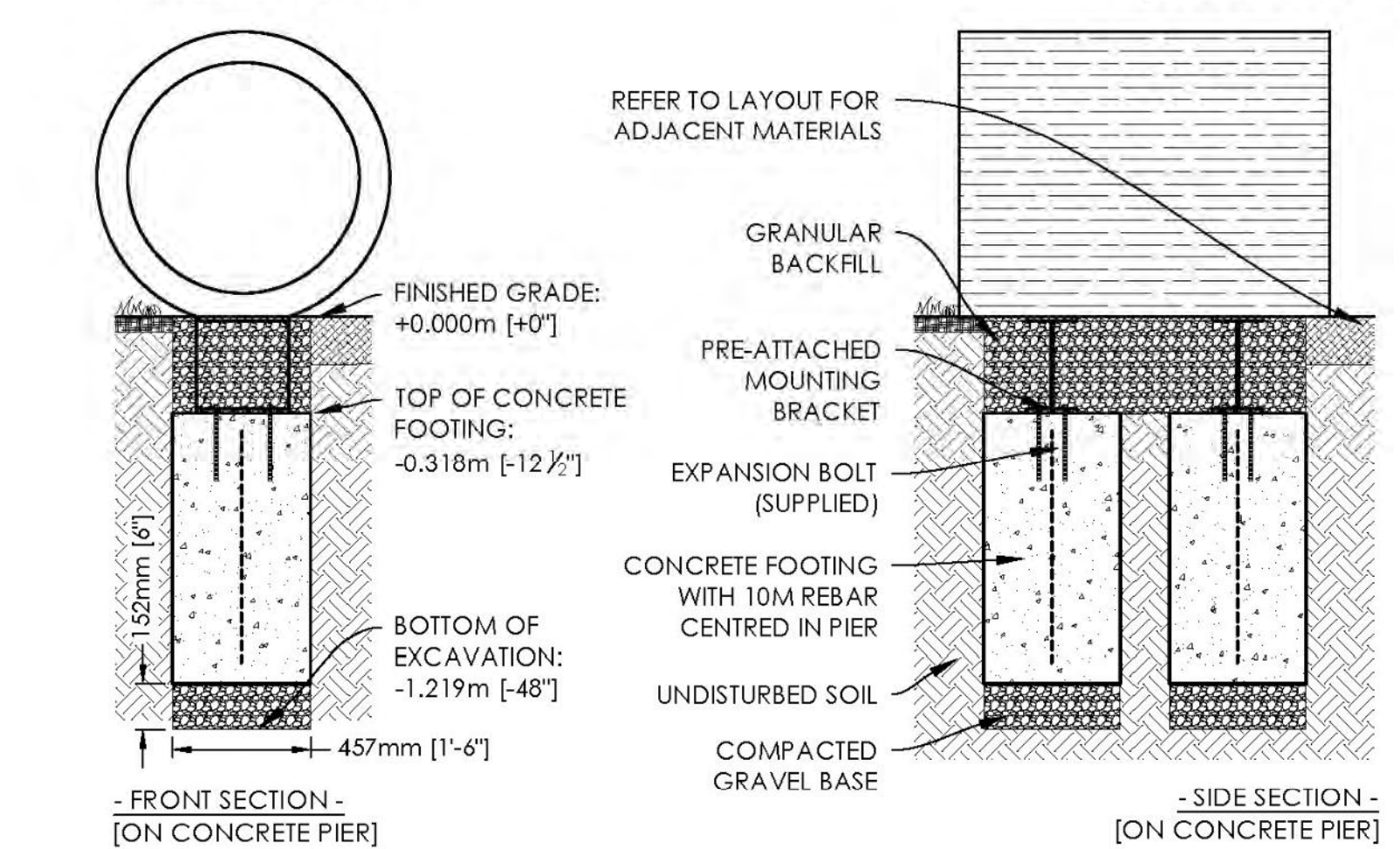
- CONTINUOUS POUR FOOTING -
FOR SOLID MATERIAL FINISHED SURFACE



- CONTINUOUS POUR FOOTING -
FOR SOLID MATERIAL FINISHED SURFACE



- FRONT SECTION - [ON CONCRETE PAD] - SIDE SECTION - [ON CONCRETE PAD]



- FRONT SECTION - [ON CONCRETE PIER] - SIDE SECTION - [ON CONCRETE PIER]



2 STEPPING ROUNDS

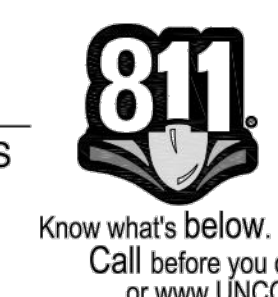
MANUFACTURER: NATURE'S INSTRUMENTS
CONTACT: SALES@NATURESINSTRUMENTS.COM
PHONE: 1.877.733.7456
MATERIAL: SOLID HARDWOOD

SCALE: NTS

3 LOG TUNNEL

MANUFACTURER: NATURE'S INSTRUMENTS
CONTACT: SALES@NATURESINSTRUMENTS.COM
PHONE: 1.877.733.7456
MATERIAL: SOLID HARDWOOD LOG

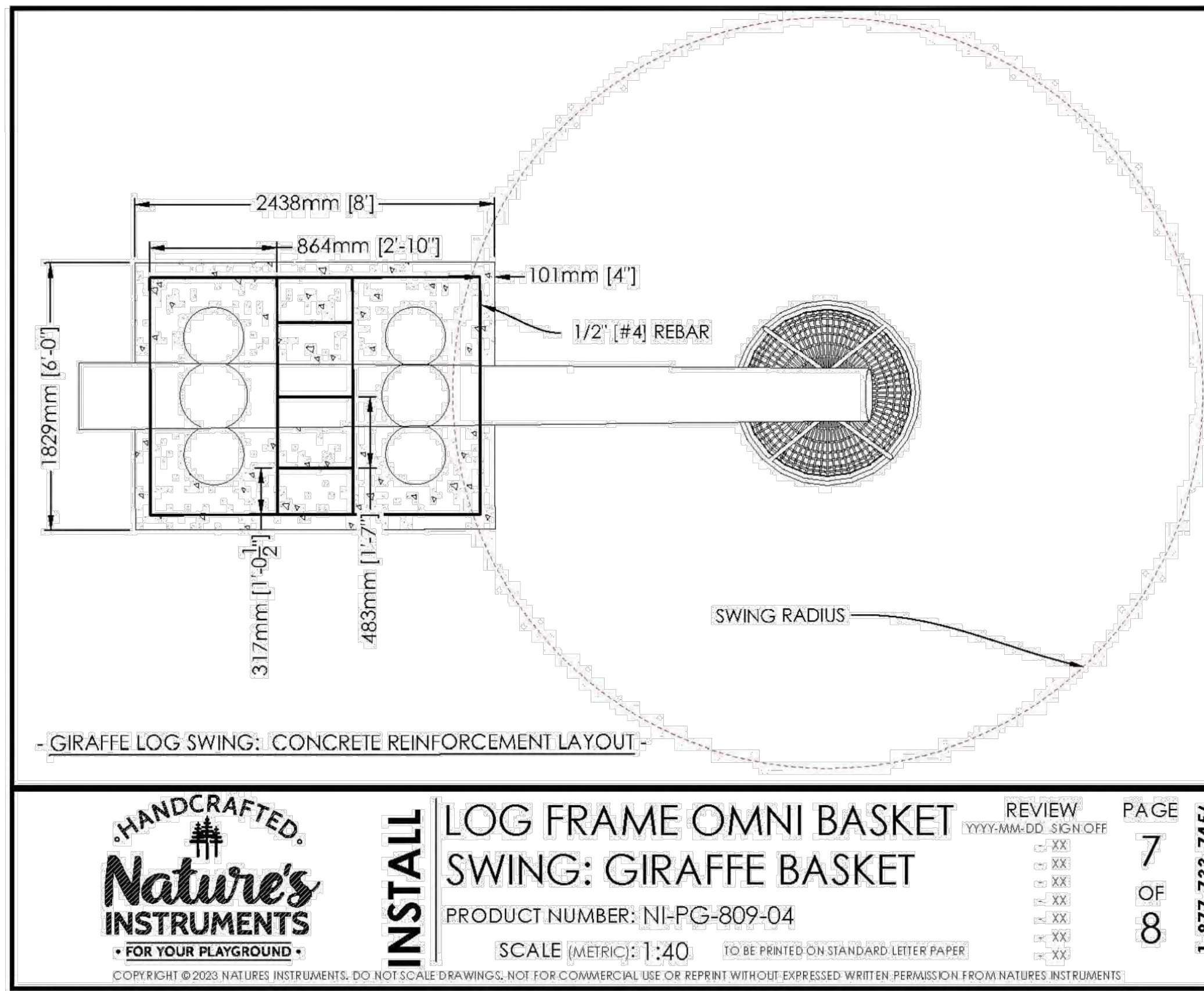
SCALE: NTS



RENEZVOUS
IDLEWILD PARK
WINTER PARK, CO 80482

DOCUMENT SET	ISSUE DATE
SUBMITTAL SET	12/06/2023
CONSTRUCTION SET	
DWN. BY:	MT
REVISIONS:	
REV 1:	02/14/2024
REV 2:	03/14/2024

SITE
DETAILS
L5.7



	INSTALL	LOG FRAME OMNI BASKET	REVIEW	PAGE										
		SWING: GIRAFFE BASKET	<table border="1"> <tr><td>✓</td><td>XX</td></tr> <tr><td>✓</td><td>XX</td></tr> <tr><td>✓</td><td>XX</td></tr> <tr><td>✓</td><td>XX</td></tr> <tr><td>✓</td><td>XX</td></tr> <tr><td>✓</td><td>XX</td></tr> </table>	✓	XX	✓	XX	✓	XX	✓	XX	✓	XX	✓
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PRODUCT NUMBER: NI-PG-809-04		SCALE (METRIC): 1:40	TO BE PRINTED ON STANDARD LETTER PAPER											
1-877-733-7456		OF 8												

COMPONENTS

NATURE'S INSTRUMENTS NI-PG-809-04 GIRAFFE LOG SWING PACKAGE INCLUDES THE FOLLOWING:

1	@	5379mm [17'-7 3/4"] HORIZONTAL SWING BEAM
2	@	LOG COLUMNS (2 SETS OF 3 LOGS) WITH PRE-ATTACHED CLEATS
1	@	NEST SWING WITH HARDWARE
4	@	STEEL ANGLE IRONS
2	@	THREADED ROD (1 3/8" x 36") HOT DIP GALVANIZED
2	@	38mm [1-1/2"] S.S NUT AND WASHER
2	@	TWO-PART EPOXY
2	@	HARDWOOD PLUGS

REQUIRED MATERIALS NOT INCLUDED:

• ALL FOOTING MATERIALS	• BACKFILL
• GRANULAR BASE COURSE	• PROTECTIVE SAFETY SURFACING
• CLEAR GRAVEL	• REBAR
	• ADHESIVE

NOTES

- THE SWING MUST HAVE A REQUIRED PROTECTIVE SAFETY ZONE IN ACCORDANCE WITH THE MOST CURRENT LOCAL PLAYGROUND STANDARD.
- REVIEW CONSTRUCTION DOCUMENTS FOR ACTUAL SURFACE TYPE AND DEPTH. IF SAFETY SURFACE OTHER THAN EWF (ENGINEERED WOOD FIBRE) IS PROPOSED, PLEASE CONSULT WITH MANUFACTURER.

EXCAVATION

- EXCAVATE PIT (MIN. 2438mm [8'] x 1829mm [6'-0"] x 1676mm [5'-6"] DEEP. PIT DEPTHS MEASURED FROM SUBGRADE.
- INSTALL COMPACTED GRANULAR BASE COURSE TO BE 305mm [12"] DEPTH CRUSHED GRAVEL (OR 19mm [3/4"] CLEAR GRAVEL). GRANULAR BASE TO FILL THE ENTIRE BOTTOM OF EXCAVATED HOLE.

****IF DIMENSIONS ARE OFF CONTACT NATURE'S INSTRUMENTS WITH IMAGES OF THE INSTALLATION STEPS PRIOR TO MAKING ANY ADJUSTMENTS TO THE LOGS****

- GIRAFFE LOG SWING: ISO VIEW -

	INSTALL	LOG FRAME OMNI BASKET	REVIEW	PAGE										
		SWING: GIRAFFE BASKET	<table border="1"> <tr><td>✓</td><td>XX</td></tr> <tr><td>✓</td><td>XX</td></tr> <tr><td>✓</td><td>XX</td></tr> <tr><td>✓</td><td>XX</td></tr> <tr><td>✓</td><td>XX</td></tr> <tr><td>✓</td><td>XX</td></tr> </table>	✓	XX	✓	XX	✓	XX	✓	XX	✓	XX	✓
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PRODUCT NUMBER: NI-PG-809-04		SCALE (METRIC): 1:25	TO BE PRINTED ON STANDARD LETTER PAPER											
1-877-733-7456		OF 8												

NOTES - CONTINUED

REBAR

- ENSURE REBAR IS MIN. 100mm [4"] FROM ALL EDGES AND LOGS.
- CREATE A GRID OF HORIZONTAL AND VERTICAL REBAR (AS SHOWN BELOW).
- ENSURE REBAR IS TIED AND LIFTS ARE MIN. 152mm [6"] SPACED.

CONCRETE (TO BE INSTALLED IN 2 SEPARATE POURS)

- FIRST CONCRETE POUR:
 - INSTALL CONCRETE PAD TO ACHIEVE SPECIFIED ELEVATIONS.
 - MANUFACTURER RECOMMENDS CONCRETE SHOULD BE MINIMUM 30MPa (4500 PSI). FOLLOW LOCAL REGULATIONS FOR A LOAD BEARING FOOTING.
 - ALLOW MINIMUM 12 HOURS FOR CONCRETE TO CURE.
 - REMOVE FORMS AND BACKFILL AS NEEDED. MATERIAL ON TOP OF CONCRETE TO BE STONE DUST OR EQUIVALENT.

- GIRAFFE LOG SWING: FOOTING ISO SECTION -

	INSTALL	LOG FRAME OMNI BASKET	REVIEW	PAGE										
		SWING: GIRAFFE BASKET	<table border="1"> <tr><td>✓</td><td>XX</td></tr> <tr><td>✓</td><td>XX</td></tr> <tr><td>✓</td><td>XX</td></tr> <tr><td>✓</td><td>XX</td></tr> <tr><td>✓</td><td>XX</td></tr> <tr><td>✓</td><td>XX</td></tr> </table>	✓	XX	✓	XX	✓	XX	✓	XX	✓	XX	✓
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PRODUCT NUMBER: NI-PG-809-04		SCALE (METRIC): 1:25	TO BE PRINTED ON STANDARD LETTER PAPER											
1-877-733-7456		OF 8												

- LABELING PLAN -

INSTALL THREADED RODS THROUGH PRE-DRILLED HOLES.

ANGLE IRONS LABELED AS FOLLOWS. SECONDARY LABELS ARE FOR OPPOSITE SIDE OF SWING POSTS.

	INSTALL	LOG FRAME OMNI BASKET	REVIEW	PAGE										
		SWING: GIRAFFE BASKET	<table border="1"> <tr><td>✓</td><td>XX</td></tr> <tr><td>✓</td><td>XX</td></tr> <tr><td>✓</td><td>XX</td></tr> <tr><td>✓</td><td>XX</td></tr> <tr><td>✓</td><td>XX</td></tr> <tr><td>✓</td><td>XX</td></tr> </table>	✓	XX	✓	XX	✓	XX	✓	XX	✓	XX	✓
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1-877-733-7456		OF 8												

1
L5.8

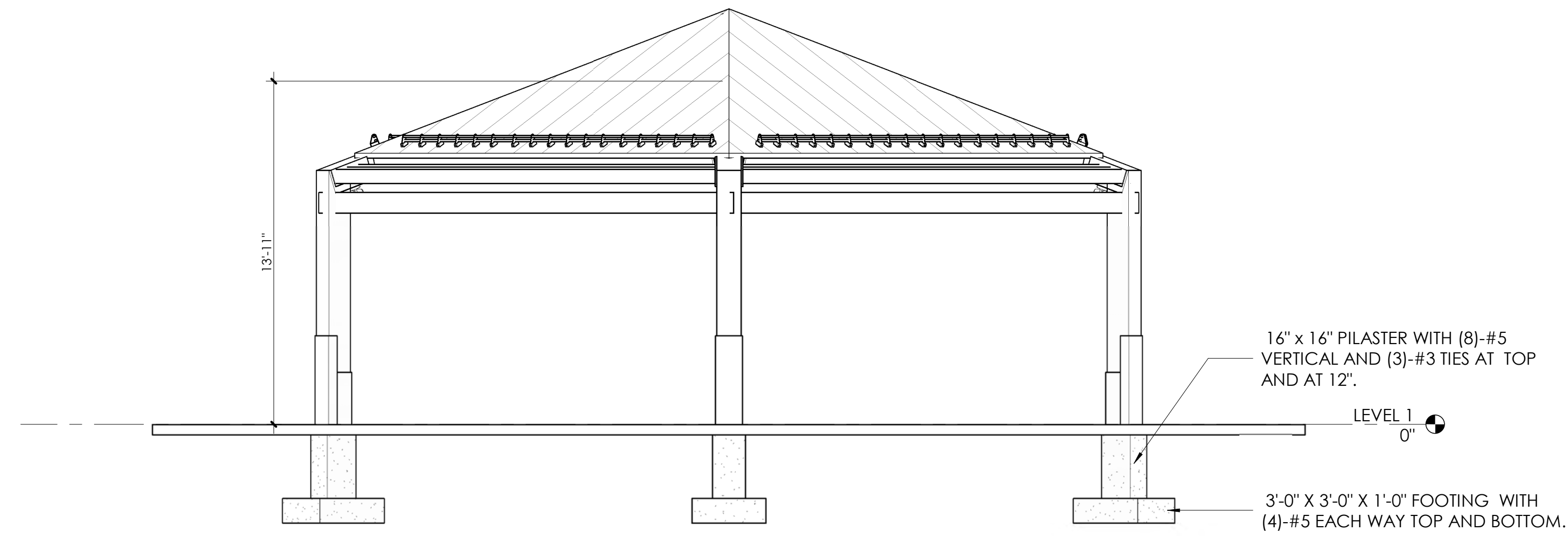
GIRAFFE SWING

MANUFACTURER: NATURE'S INSTRUMENTS
 CONTACT: SALES@NATURESINSTRUMENTS.COM
 PHONE: 1.877.733.7456
 MATERIAL: HARDWOOD, STAINLESS STEEL RING FRAME, CHAIN/PLASTIC BASKET SEAT, SYNTHETIC ROPE, STEEL CORE ROPE ATTACHMENTS

SCALE: NTS



L5.8



2 PAVILION - ELEVATION_DRB
1/4" = 1'-0"



OUTDOOR LIGHTING TABULATION			
FIXTURE NAME	PROPOSED # OF FIXTURES	PROPOSED # LUMENS	PROPOSED CCT (IN KELVIN)
JETT WALL SCONCE	6	975	2700 K

MATERIAL LEGEND	
	MATERIAL NAME: STANDING SEAM METAL ROOF - ZEE - LOCK PANEL MFR: BERRIDGE COLOR: CHARCOAL GREY
	HORIZONTAL CEDAR SIDING TEXTURE: SMOOTH COLOR: SW 3513 SPICE CHEST
	HEAVY TIMBER COLUMNS AND RAFTERS TEXTURE: SMOOTH COLOR: SW 3513 SPICE CHEST
	FASCIA AND RAKE MATERIAL: COMPOSITE BOARD TEXTURE: SMOOTH COLOR: SW 3022 BLACK ALDER
	TUB STEEL MATERIAL: STAINLESS STEEL TEXTURE: SMOOTH COLOR: SW 3022 BLACK ALDER
	INTERIOR LIGHT ZONE OUTDOOR WALL SCONCE ACCESS LIGHTING COLOR: BLACK

PROJ. NO. 000000
DRAWN: Author
CHECKED: Checker
APPROVED: Approver
DATE: 05.23.2023
REVISIONS

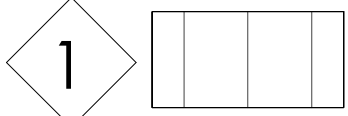
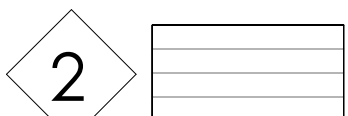
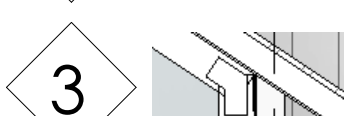

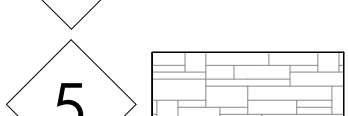

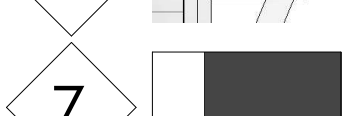
ISSUED FOR: NOT FOR CONSTRUCTION
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SCALE: As indicated


SHEET TITLE:
PAVILION DRB

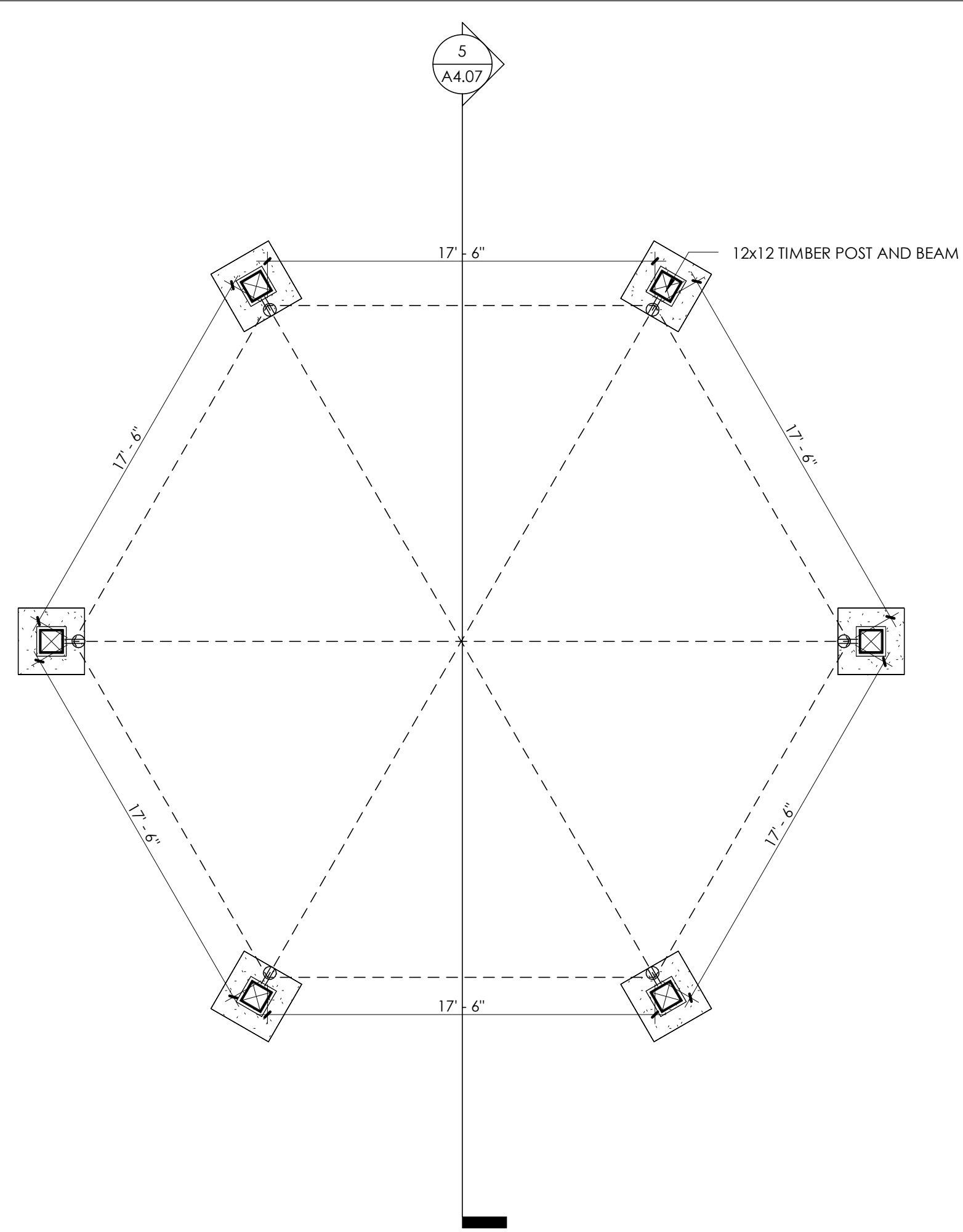
DRB 1.2

MATERIAL LEGEND

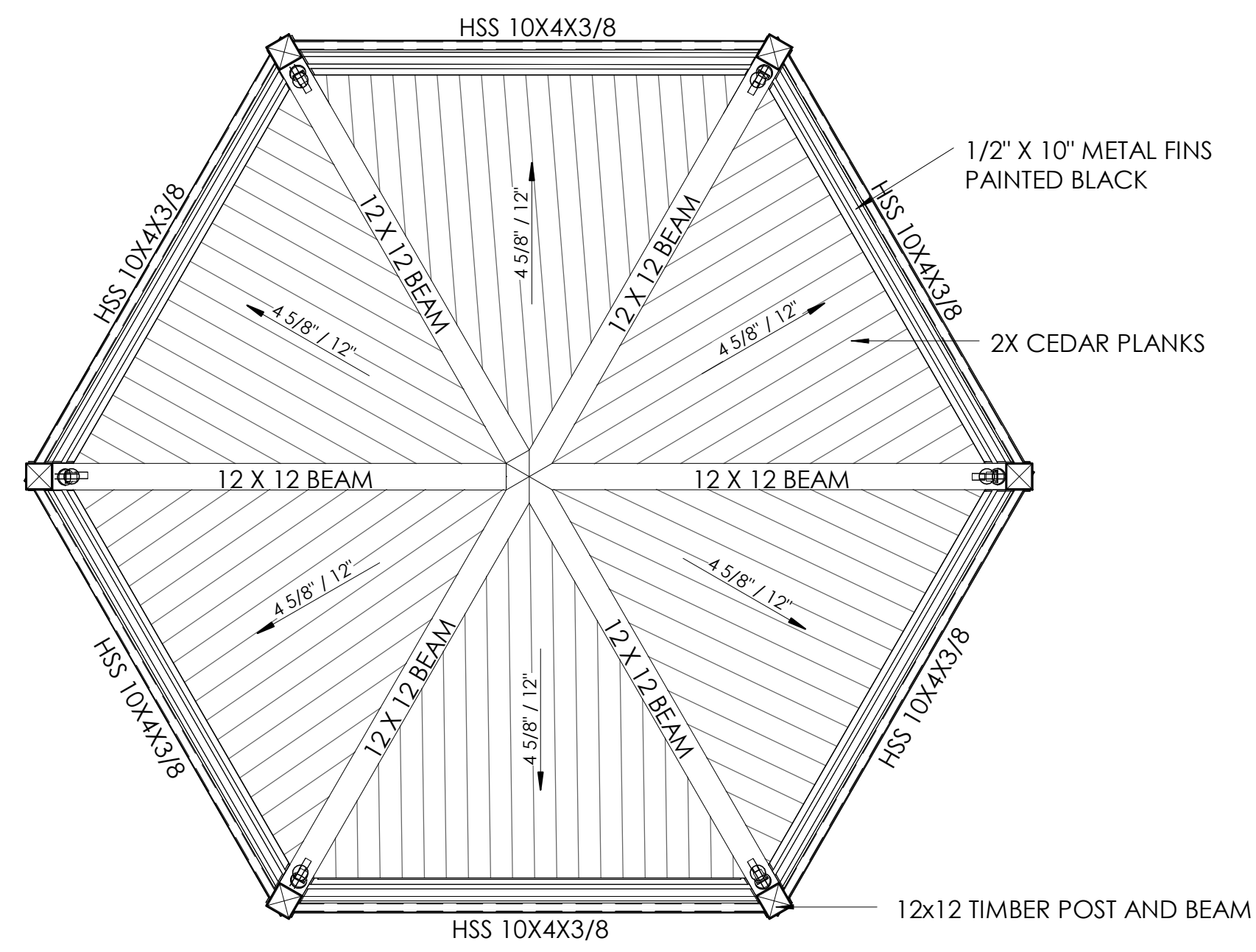
- 1  MATERIAL NAME: STANDING SEAM METAL
ROOF - ZEE - LOCK PANEL
MFR: BERRIDGE
COLOR: CHARCOAL GREY
- 2  HORIZONTAL CEDAR LAP SIDING
EXPOSURE: 6"
TEXTURE: SMOOTH
COLOR: SW 3513 SPICE CHEST
- 3  HEAVY TIMBER COLUMNS AND RAFTERS
TEXTURE: SMOOTH
COLOR: SW 3513 SPICE CHEST
- 4  ALUMINUM STOREFRONT
COLOR: BLACK
GLASS COLOR: CLEAR
- 5  MATERIAL NAME: STONE VENEER
MFR: LOCAL STONE
COLOR:
- 6  FASCIA AND RAKE
MATERIAL: COMPOSITE BOARD
TEXTURE: SMOOTH
COLOR: SW 3022 BLACK ALDER
- 7  METAL ACCENT
TEXTURE: METAL PANEL
COLOR: BLACK

ROOF TYPES

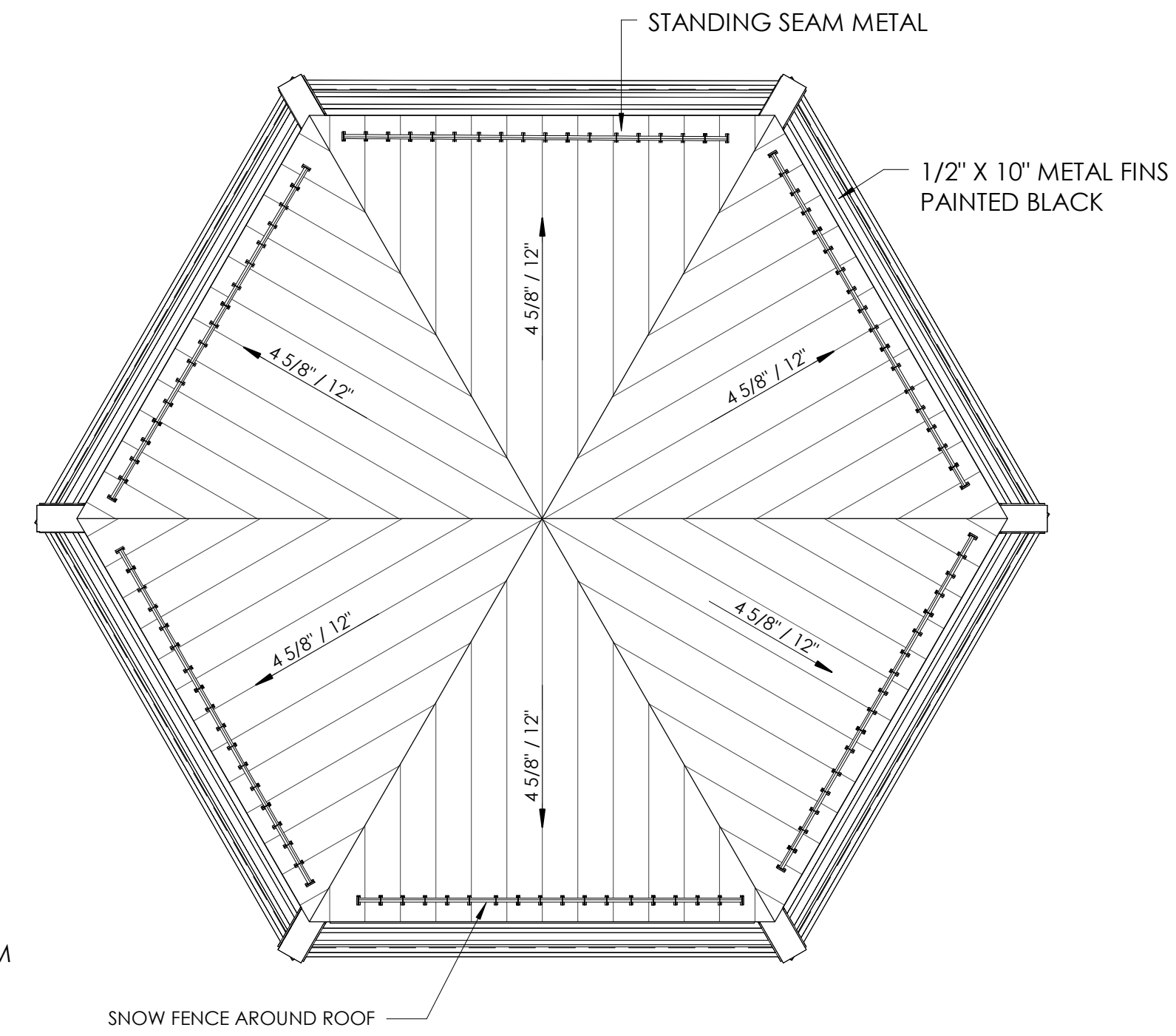
- R1  METAL ROOF:
STANDING SEAM METAL, ICE AND WATERSHIELD, 3/4" OSB
SHEATHING, 2X10'S AT 1'-4" O.C. (RE: STRUCTURAL), 2X CEDAR
PLANKS, STAINED.



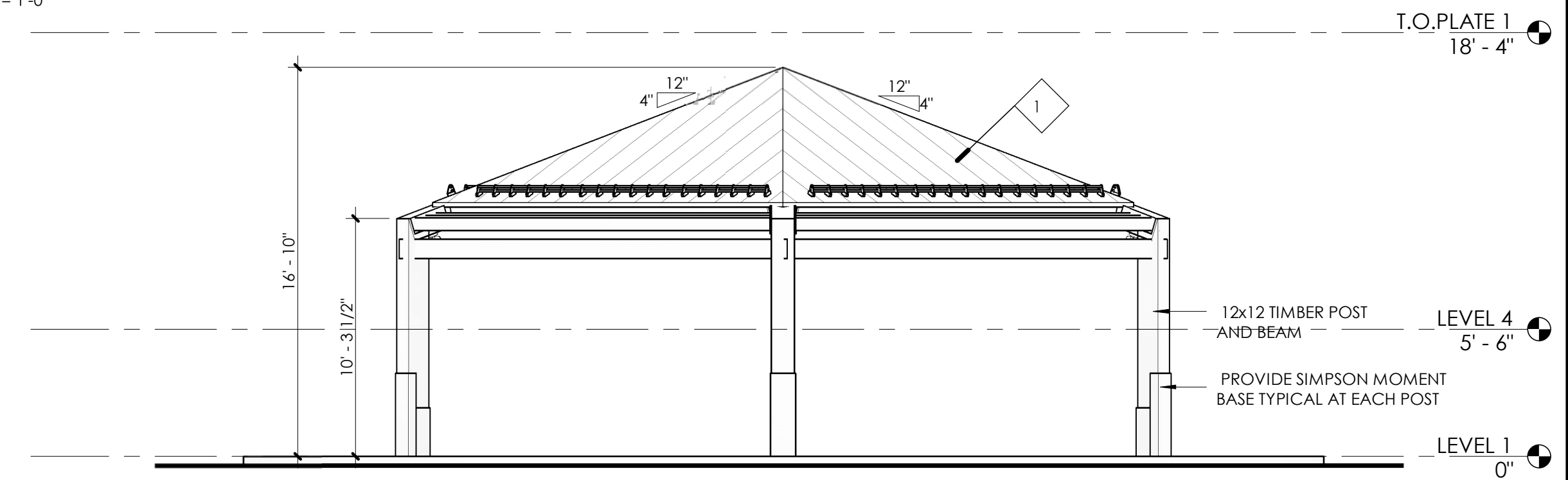
2 PAVILION STRUCTURE FLOOR PLAN
3/16" = 1'-0"



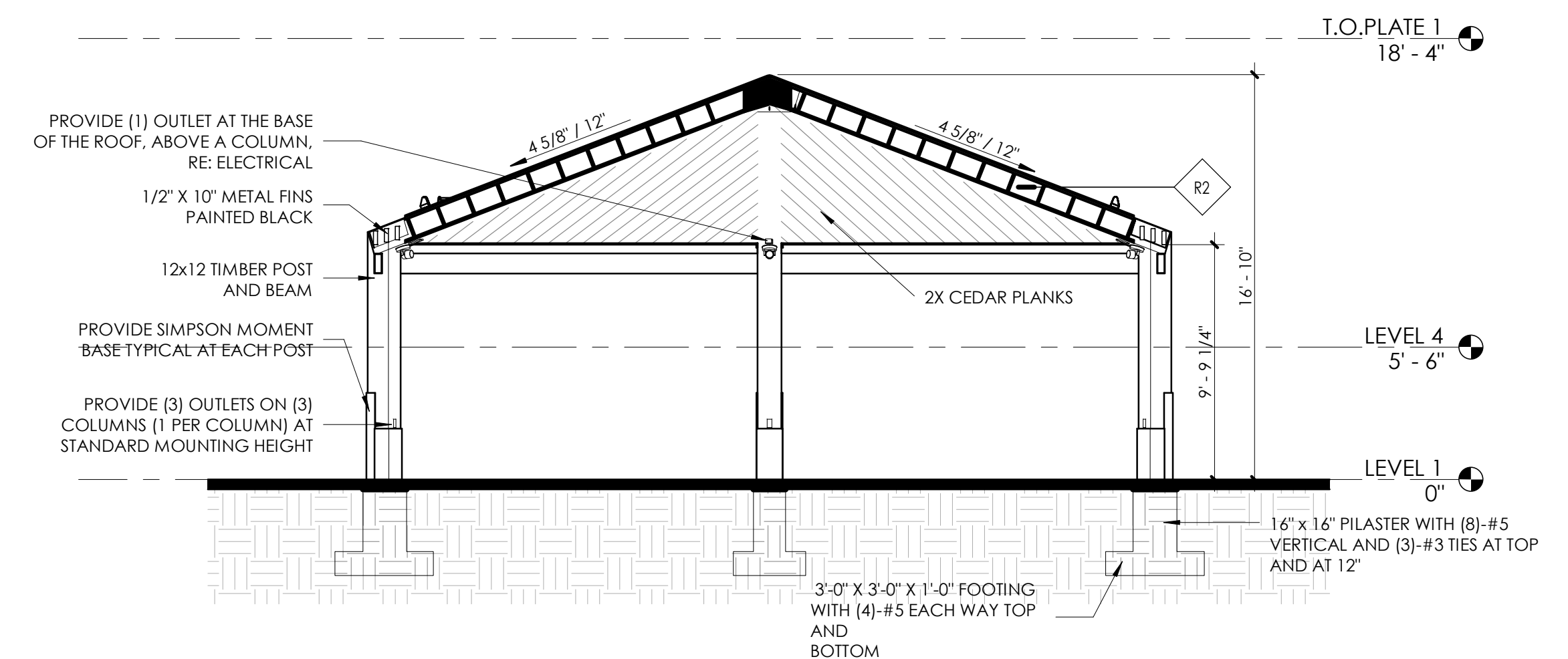
4 PAVILION STRUCTURE RCP
3/16" = 1'-0"



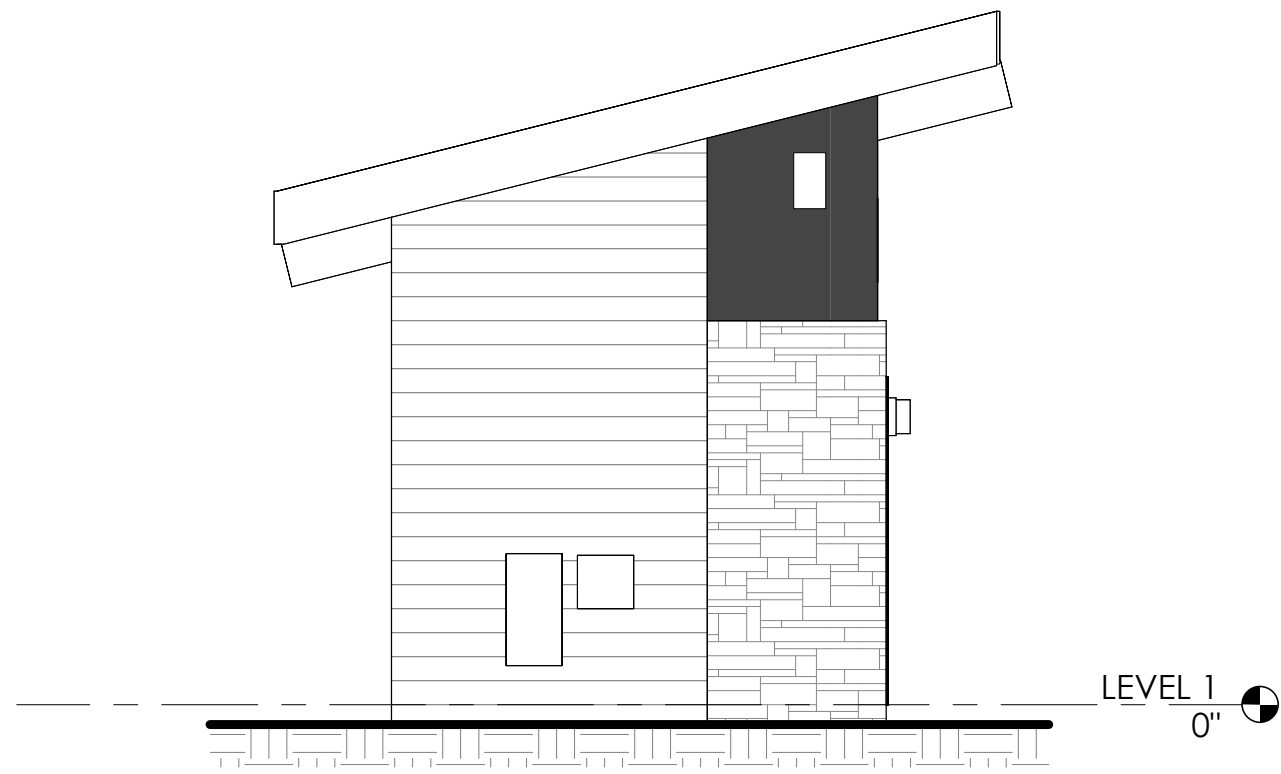
6 PAVILION STRUCTURE - ROOF PLAN
3/16" = 1'-0"



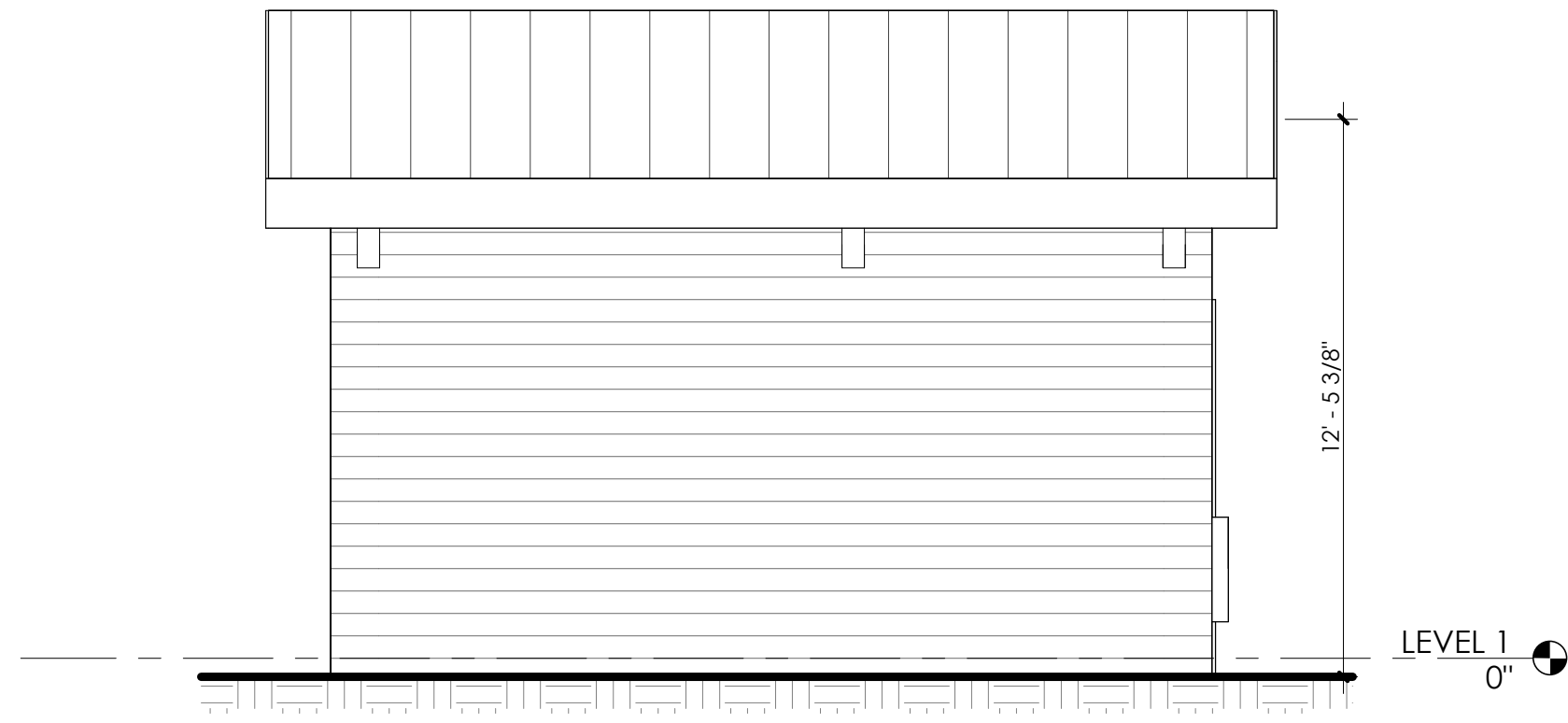
3 PAVILION STRUCTURE - ELEVATION
3/16" = 1'-0"



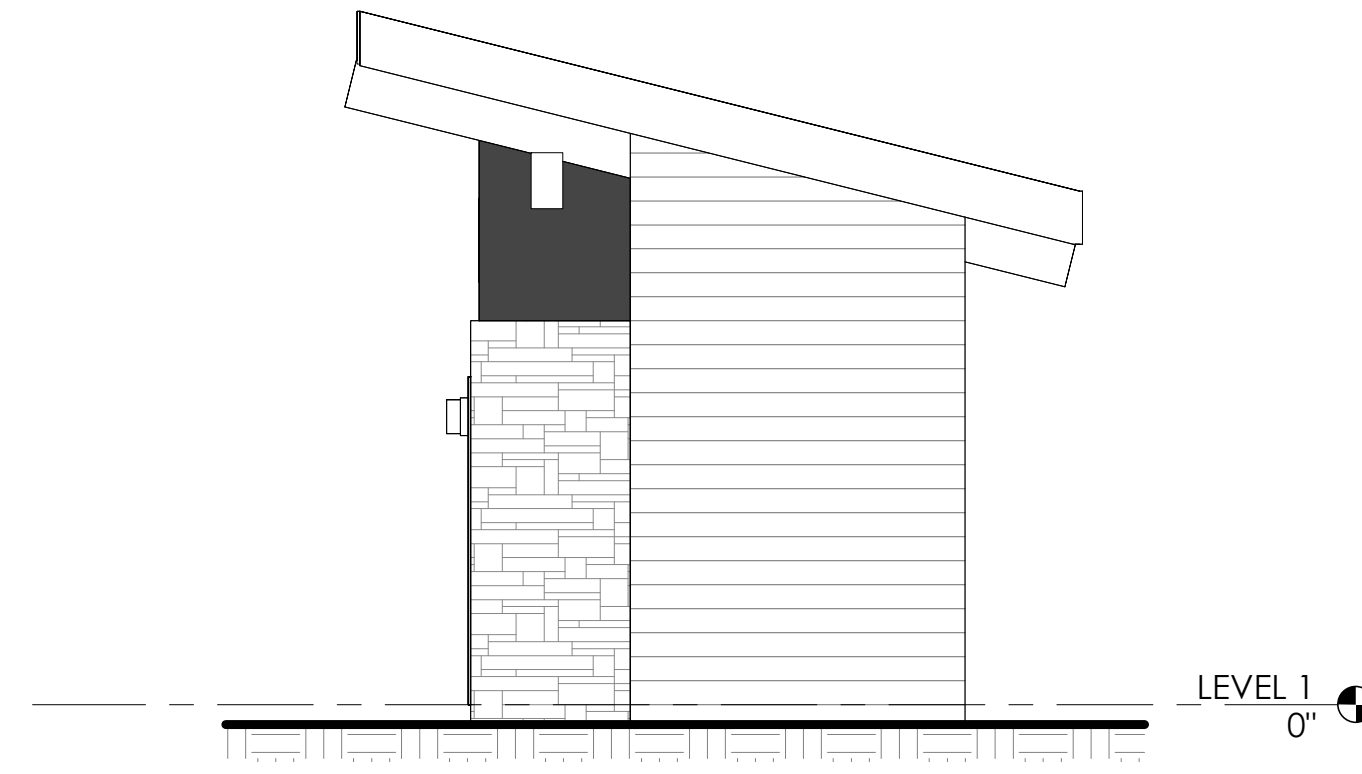
5 PAVILION STRUCTURE - SECTION
3/16" = 1'-0"



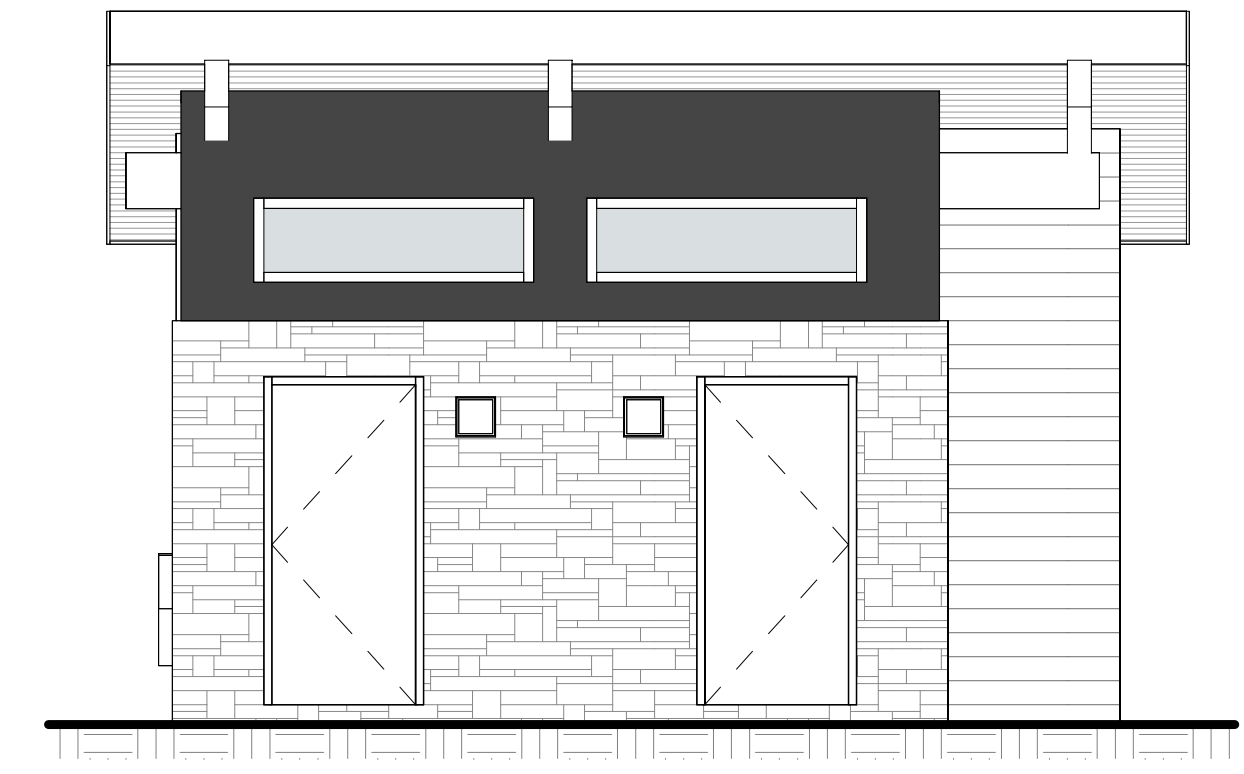
5 RESTROOM-ELEV.4 DRB
1/4" = 1'-0"



4 RESTROOM-ELEV.3 DRB
1/4" = 1'-0"



3 RESTROOM-ELEV.2 DRB
1/4" = 1'-0"



2 RESTROOM-ELEV.1 DRB
1/4" = 1'-0"



OUTDOOR LIGHTING TABULATION			
FIXTURE NAME	PROPOSED # OF FIXTURES	PROPOSED # LUMENS	PROPOSED CCT (IN KELVIN)
JETT WALL SCONCE	2	975	2700K

MATERIAL LEGEND		
		ASPHALT SHINGLES GAF TIMBERLINE HDZ LIFETIME SHINGLES COLOR: PEWTER GRAY
		HORIZONTAL HARD-PLANK EXPOSURE: 6" TEXTURE: SMOOTH COLOR: SW 3513 SPICE CHEST
		HEAVY TIMBER COLUMNS AND RAFTERS TEXTURE: SMOOTH COLOR: SW 3513 SPICE CHEST
		WINDOW: COMPOSITE BLACK WINDOW W/ LOW-E CLEAR INSULATED GLASS TRIM: PAINTED COMPOSITE
		MATERIAL NAME: STONE VENEER MFR: LOCAL SCREE STONE COLOR:
		FASCIA AND RAKE MATERIAL: COMPOSITE BOARD TEXTURE: SMOOTH COLOR: SW 3022 BLACK ALDER
		HARD-BOARD T&G SOFFIT COLOR: CHARCOAL GRAY
		POOL SIDE BUILDING LIGHTS JETT OUTDOOR WALL SCONCE SKU 01242 COLOR: BLACK DARK SKY INTERNATIONAL COMPLIANT

FLAGNOTES PER SHEET

- 6.9 COMPOSITE RAKE: 1x10 SMOOTH FINISH COMPOSITE FASCIA W/ PREFINISHED METAL RAKE FLASHING. - PAINT.
- 8.0 FRAMED MIRROR.
- 22.00 FLOOR DRAIN, RE: MECHANICAL.
- 22.01 STAINLESS STEEL MOP SINK.
- 22.03 BLOWOUT JET TOILET - OFF FLOOR. PROVIDE BLOCKING AS REQUIRED.
- 22.04 MERIDIAN STAINLESS STEEL CURVED FRONT UNI-BASIN - ADA COMPLIANT.
- 22.05 WALL MOUNTED HAND DRYERS.
- 23.00 WALL MOUNTED ELECTRIC HEATER ABOVE DOOR

PARTITION TYPES

EXTERIOR WALL:

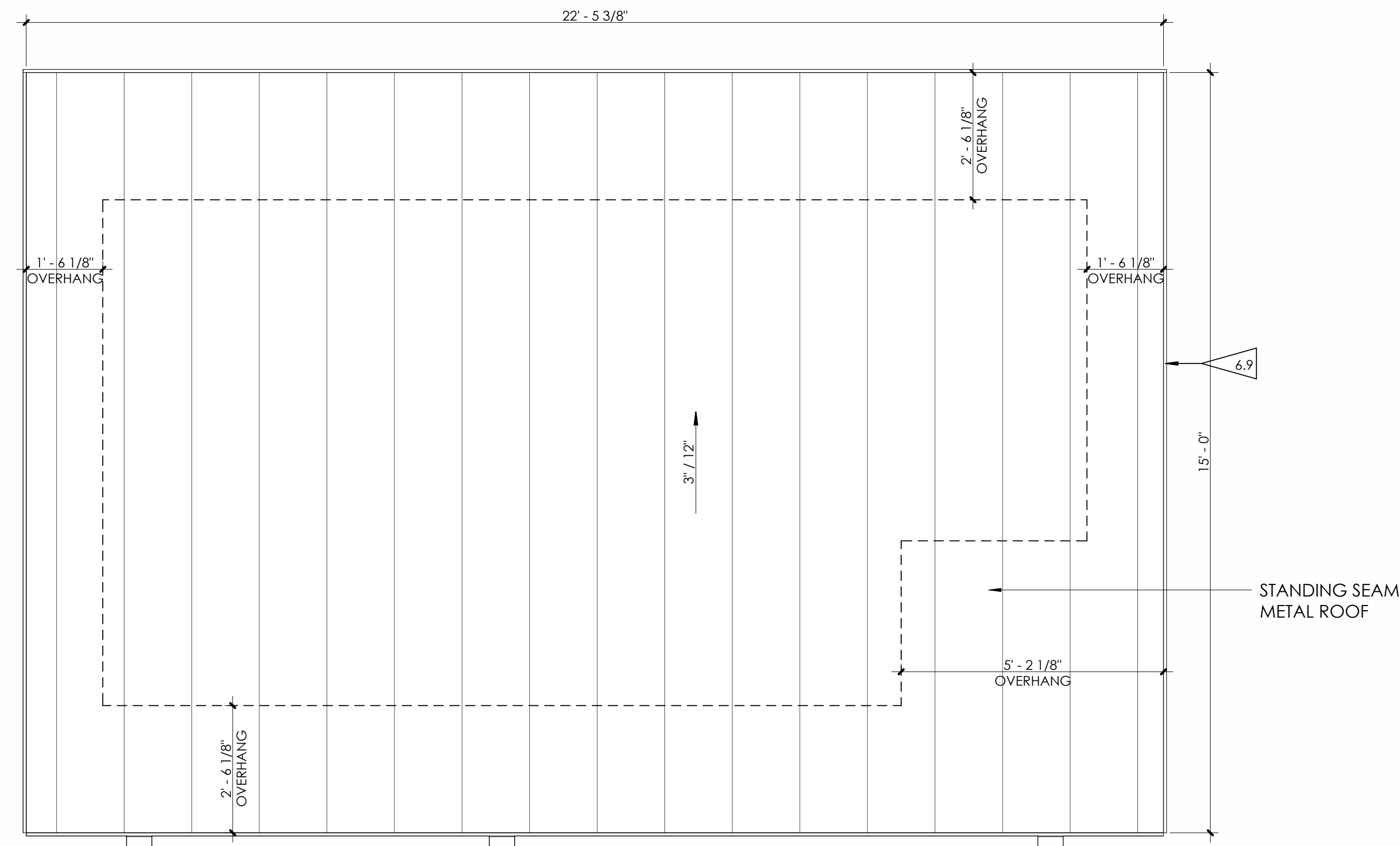
- 5 STONE VENEER, METAL LATH, 3" RIGID INSULATION, 8" CMU BLOCK - PAINTED
- 6 CEMENTITIOUS SIDING, FURRING STRIPS, 3" RIGID INSULATION, 8" CMU BLOCK - PAINTED.

INTERIOR WALL:

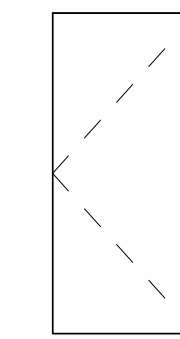
- 24 1/2" GYP. BD., 2 X 4 STUD (RE: STRUCTURE FOR SPACING), 1/2" GYP. BD.
- 26 1/2" GYP. BD., 2 X 6 STUD (RE: STRUCTURE FOR SPACING), R-30 BATT INSULATION, 1/2" GYP. BD.

ROOF TYPES:

- R1 METAL ROOF:
STANDING SEAM METAL, ICE AND WATERSHIELD, 3/4" OSB SHEATHING, 2X10'S AT 1'-4" O.C. (RE: STRUCTURAL), R-50 (SPRAY FOAM), 5/8" TYPE 'X' G.B. - PAINT.

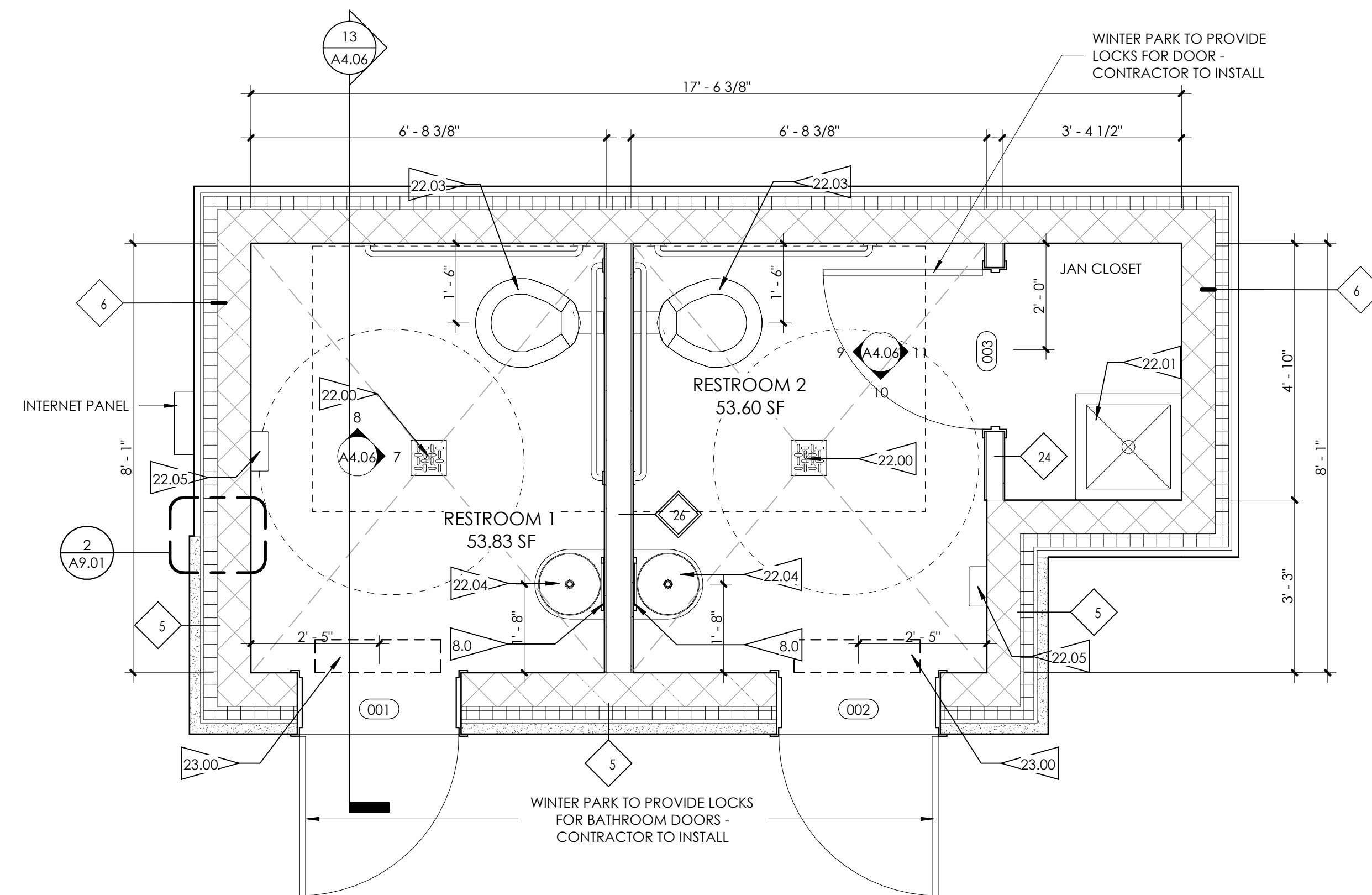


3 RESTROOM - ROOF PLAN
1/2" = 1'-0"



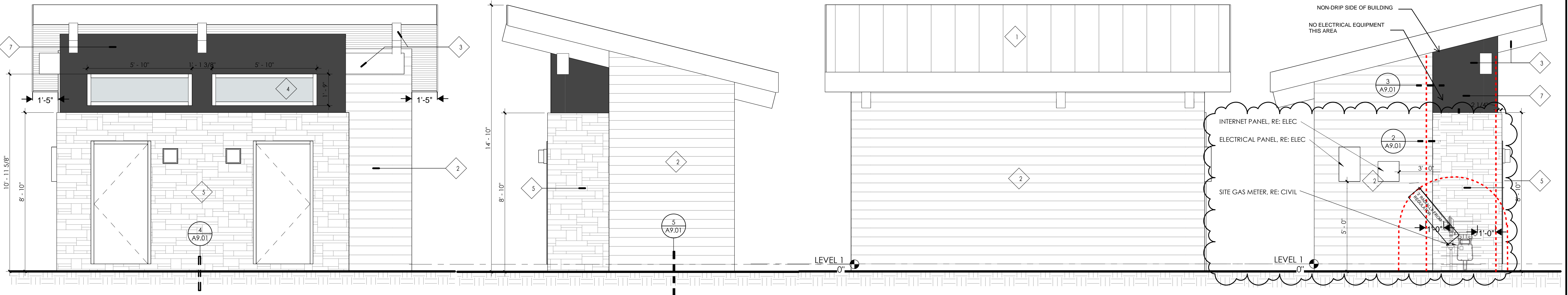
TYPE F
FLUSH DOOR

DOOR NUMBER	DOOR SCHEDULE								
	TYPE	WIDTH	HEIGHT	LEAF QUANTITY	LEAF THICKNESS	LEAF MATERIAL	LEAF FINISH	FRAME MATERIAL	FRAME FINISH
001	F	3'-0"	6'-8"	1	1 3/8"	HM	DARK GREY	HM	DARK GREY
002	F	3'-0"	6'-8"	1	1 3/8"	HM	DARK GREY	HM	DARK GREY
003	F	3'-0"	6'-8"	1	1 3/8"	HM	DARK GREY	HM	DARK GREY



2 RESTROOM - FLOOR PLAN
1/2" = 1'-0"



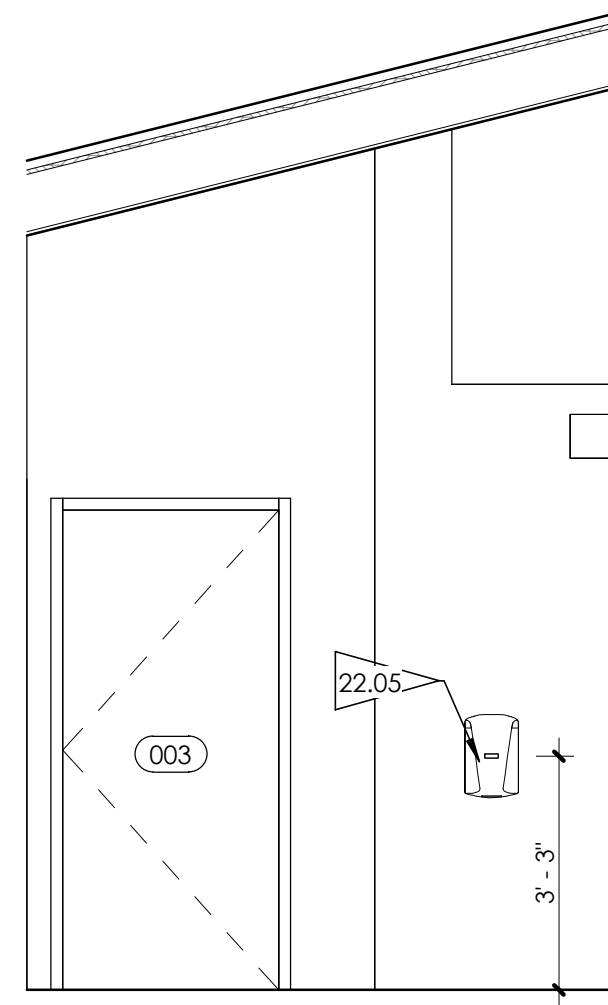


2 RESTROOM-ELEV.1
3/8" = 1'-0"

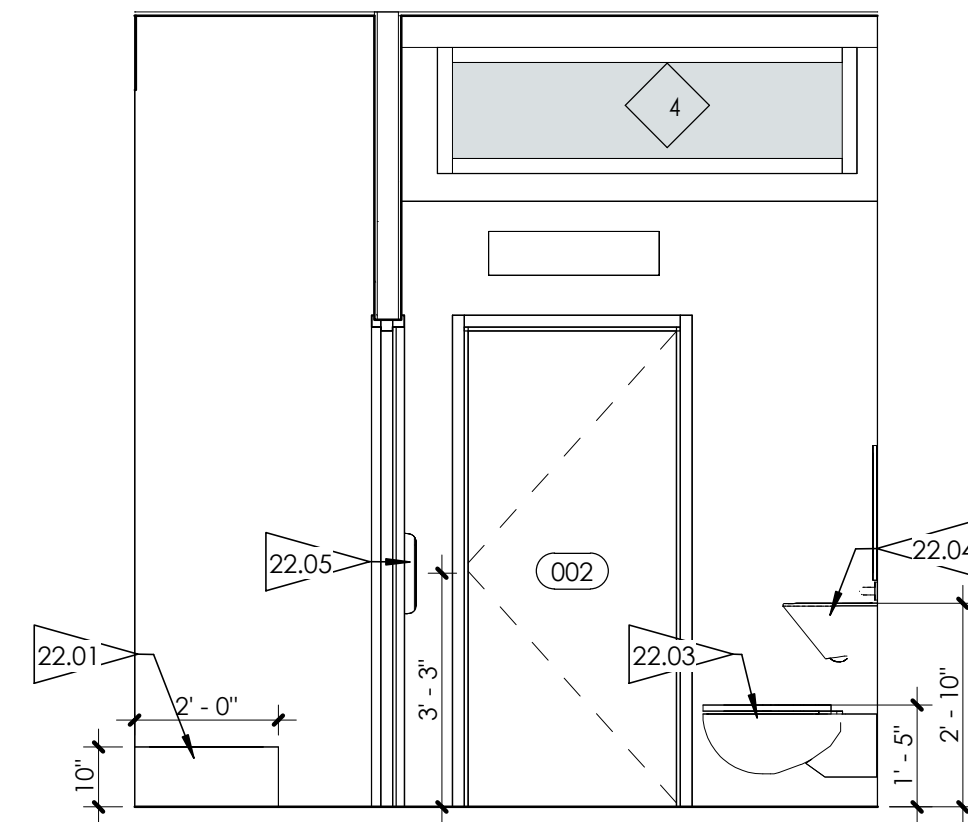
3 RESTROOM-ELEV.2
3/8" = 1'-0"

4 RESTROOM-ELEV.3
3/8" = 1'-0"

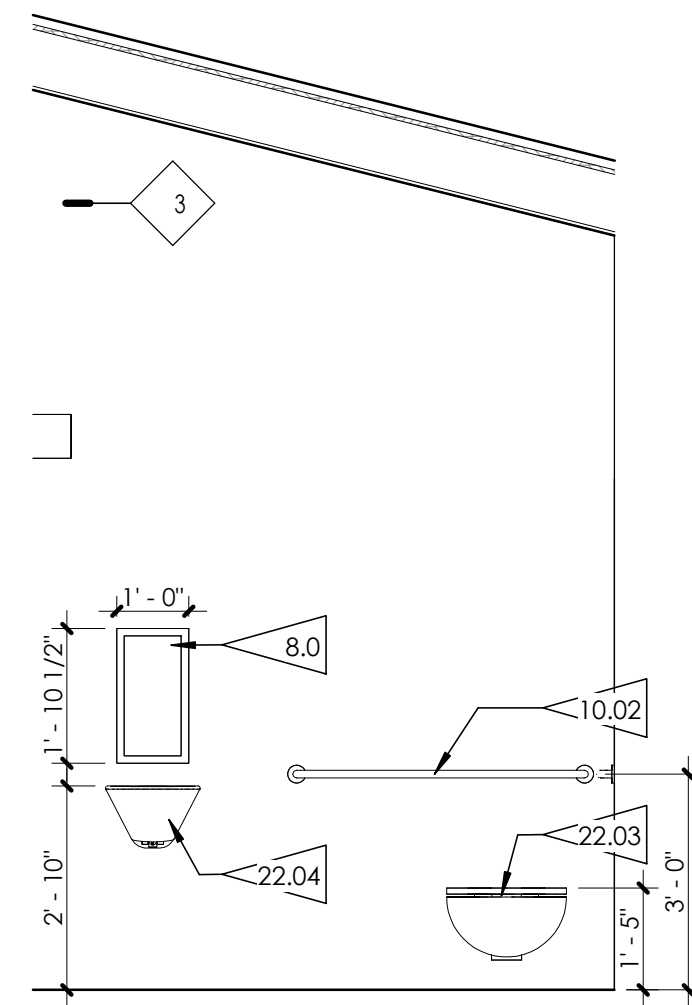
5 RESTROOM-ELEV.4
3/8" = 1'-0"



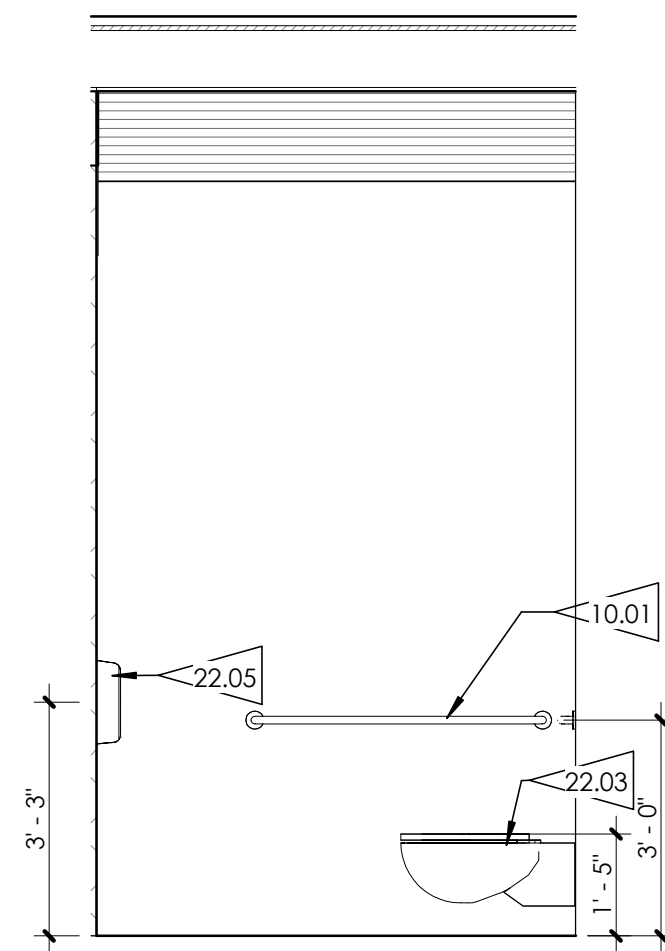
11 RESTROOM 2 - ELEV.3
3/8" = 1'-0"



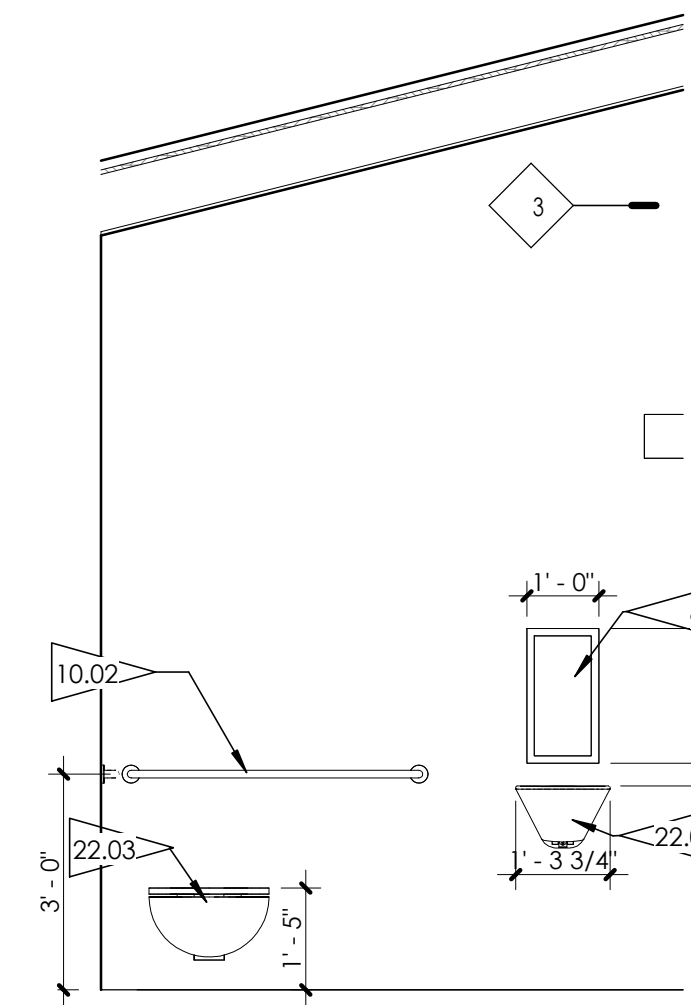
10 RESTROOM 2 - ELEV.2
3/8" = 1'-0"



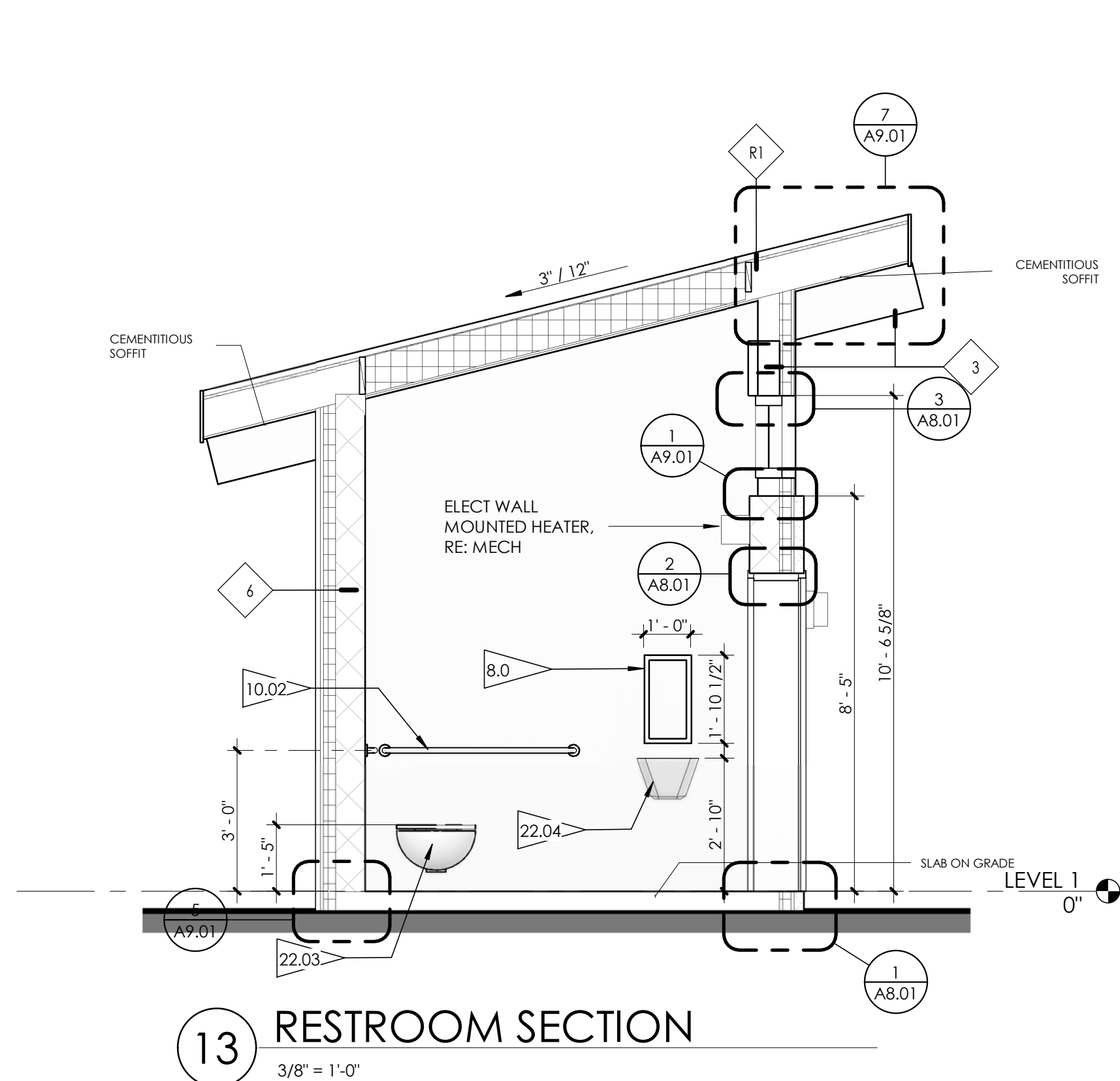
9 RESTROOM 2 - ELEV.1
3/8" = 1'-0"



8 RESTROOM 1 - ELEV.2
3/8" = 1'-0"



7 RESTROOM 1 - ELEV.1
3/8" = 1'-0"



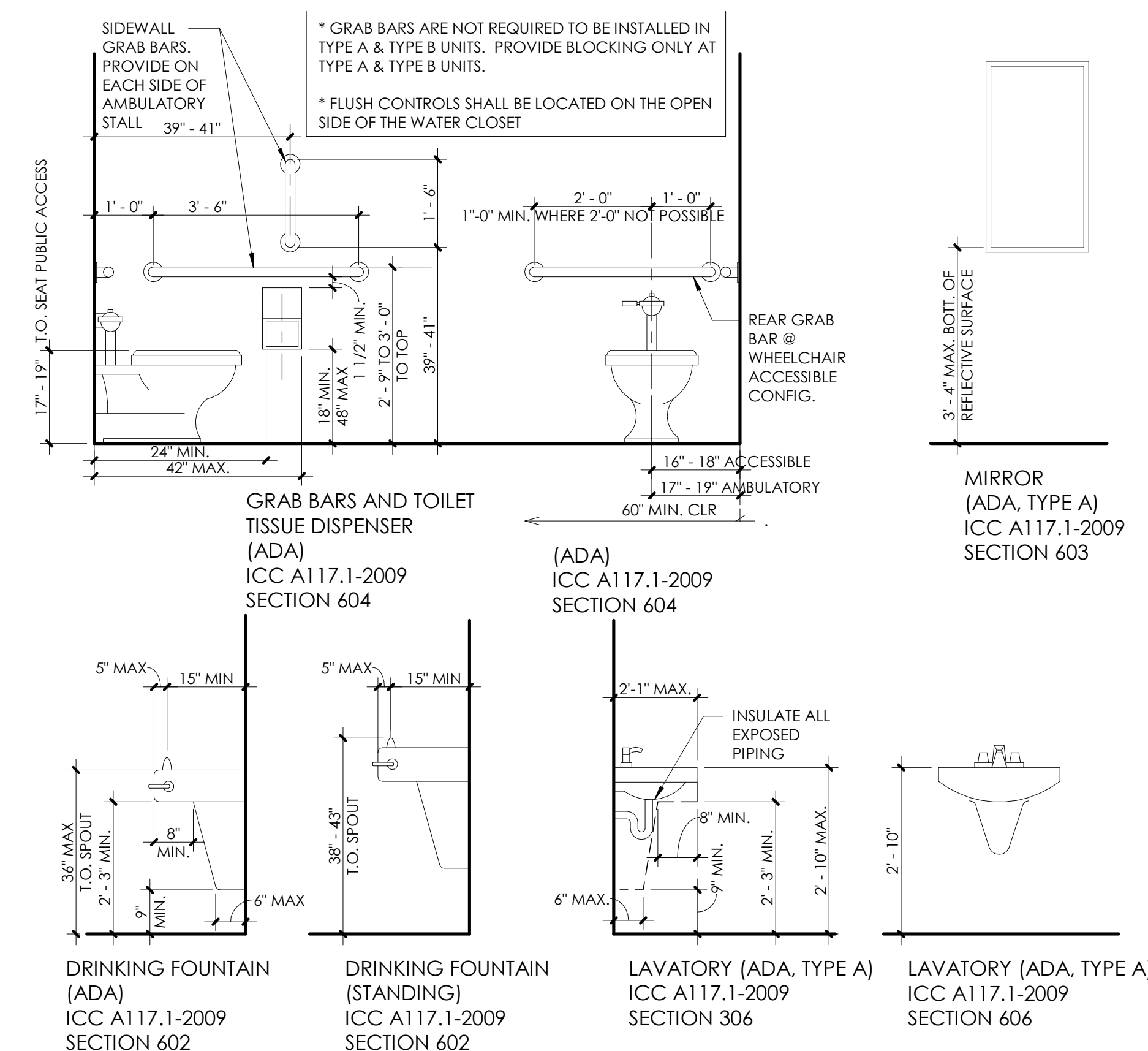
13 RESTROOM SECTION
3/8" = 1'-0"

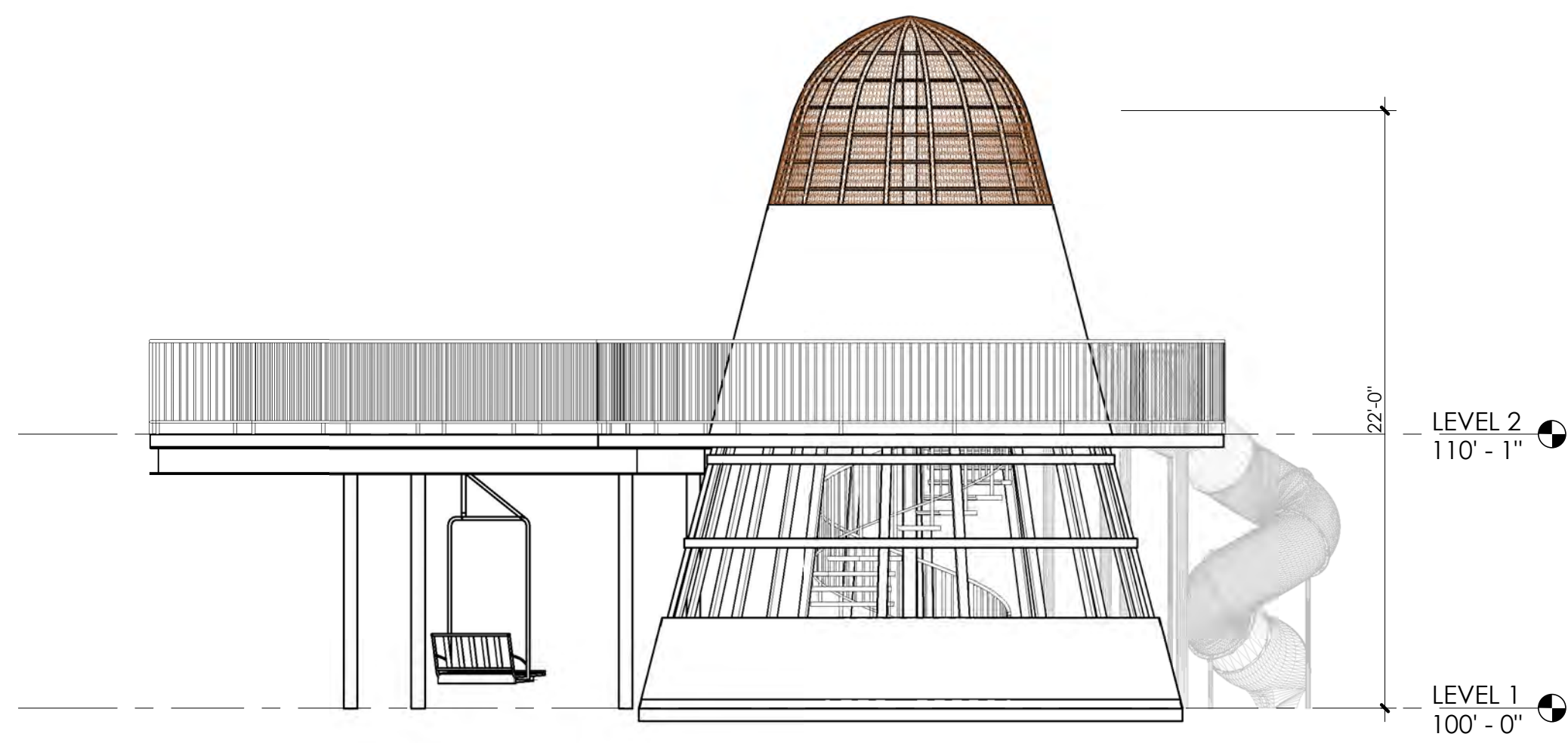
FLAGNOTES PER SHEET

- 8.0 FRAMED MIRROR.
- 10.01 BOBRICK B5806-42 GRAB BAR.
- 10.02 BOBRICK B5806-36 GRAB BAR.
- 22.01 STAINLESS STEEL MOP SINK.
- 22.03 BLOWOUT JET TOILET - OFF FLOOR. PROVIDE BLOCKING AS REQUIRED.
- 22.04 MERIDIAN STAINLESS STEEL CURVED FRONT UNI-BASIN - ADA COMPLIANT.
- 22.05 WALL MOUNTED HAND DRYERS.

MATERIAL LEGEND

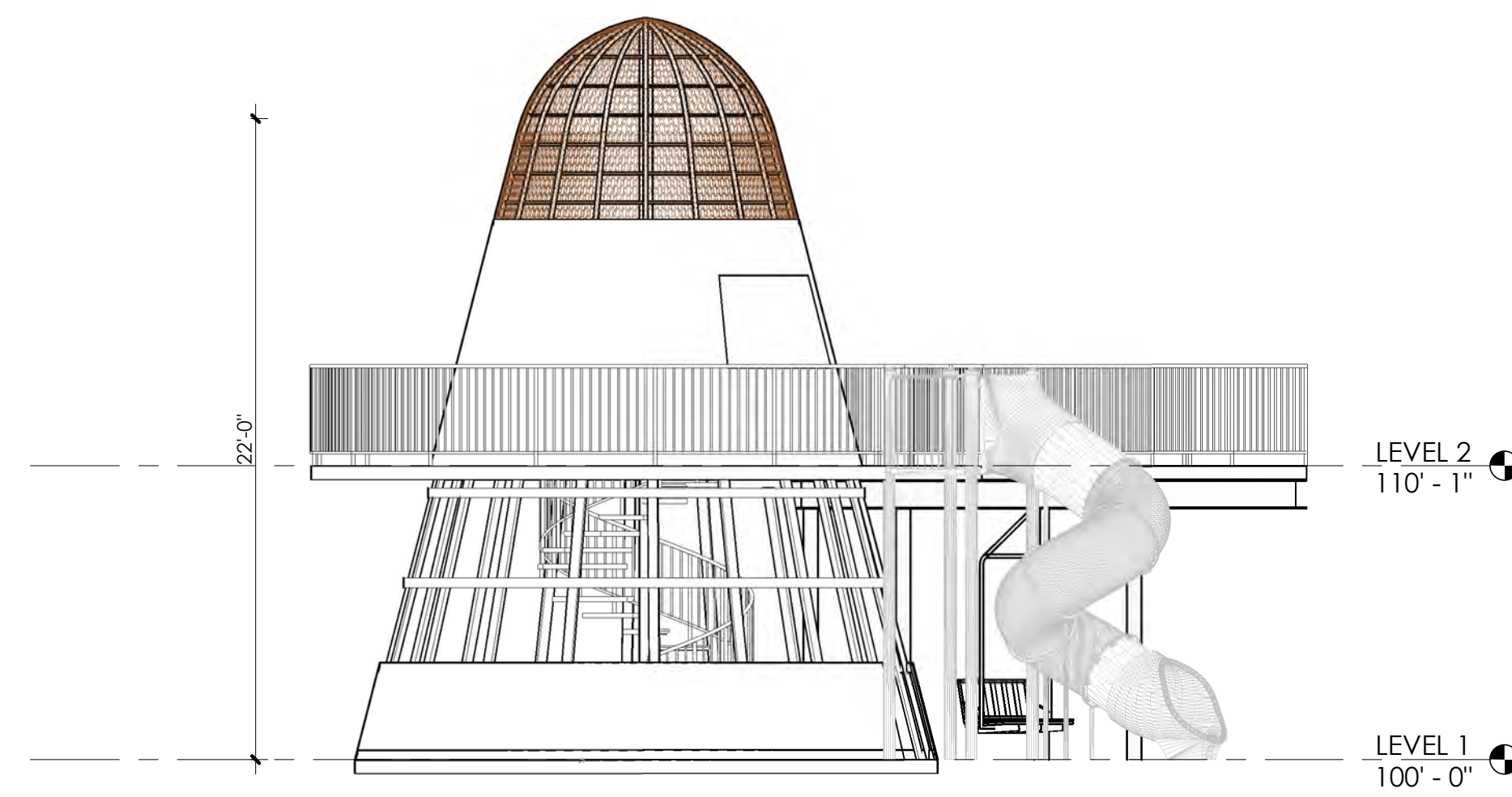
1		MATERIAL NAME: STANDING SEAM METAL ROOF - ZEE - LOCK PANEL MFR: BERRIDGE COLOR: CHARCOAL GREY
2		HORIZONTAL CEDAR LAP SIDING EXPOSURE: 6" TEXTURE: SMOOTH COLOR: SW 3513 SPICE CHEST
3		HEAVY TIMBER COLUMNS AND RAFTERS TEXTURE: SMOOTH COLOR: SW 3513 SPICE CHEST
4		ALUMINUM STOREFRONT COLOR: BLACK GLASS COLOR: CLEAR
5		MATERIAL NAME: STONE VENEER MFR: LOCAL STONE COLOR:
6		FASCIA AND RAKE MATERIAL: COMPOSITE BOARD TEXTURE: SMOOTH COLOR: SW 3022 BLACK ALDER
7		METAL ACCENT TEXTURE: METAL PANEL COLOR: BLACK





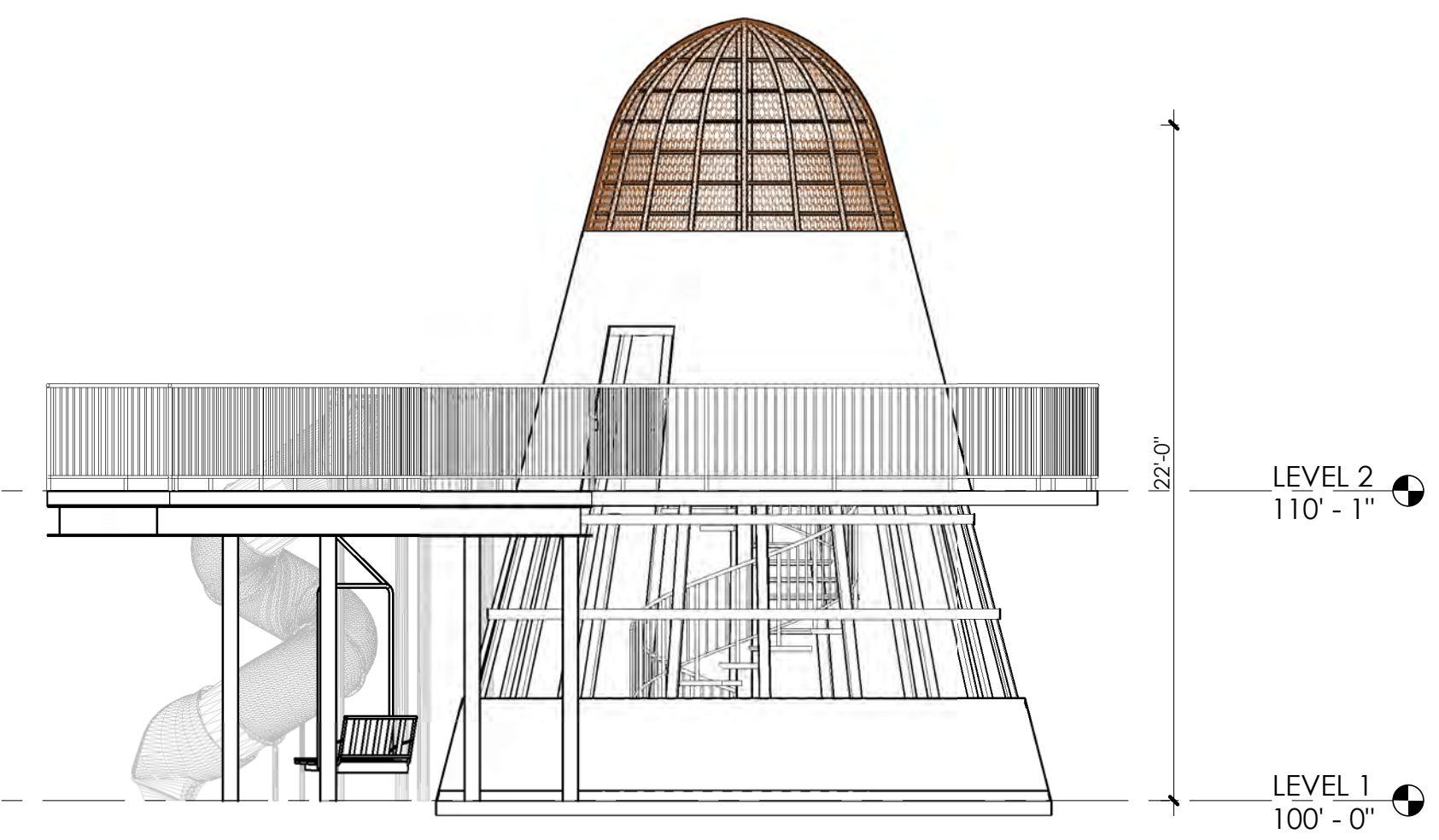
5 WEST ELEVATION_DRB

3/16" = 1'-0"



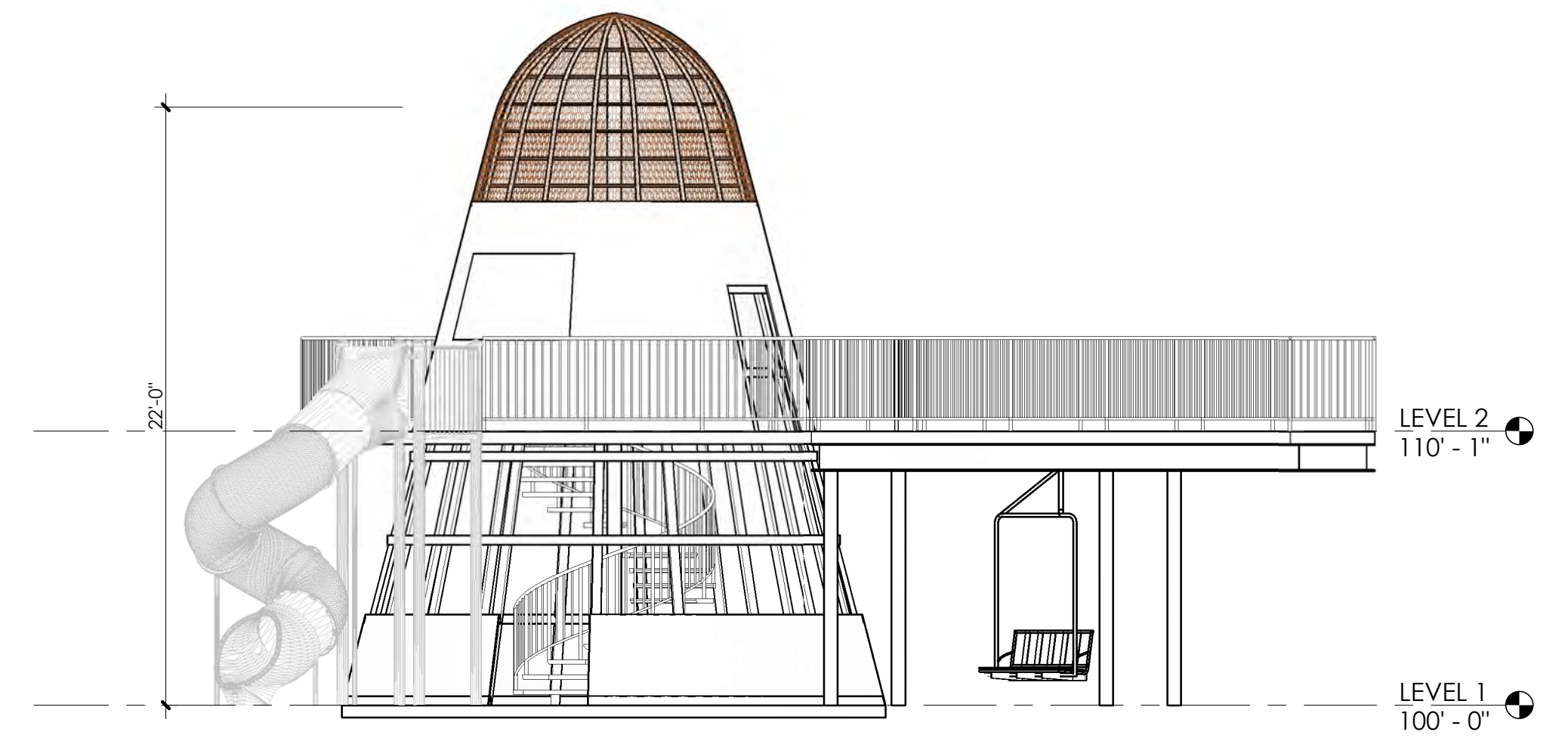
4 SOUTH ELEVATION_DRB

3/16" = 1'-0"



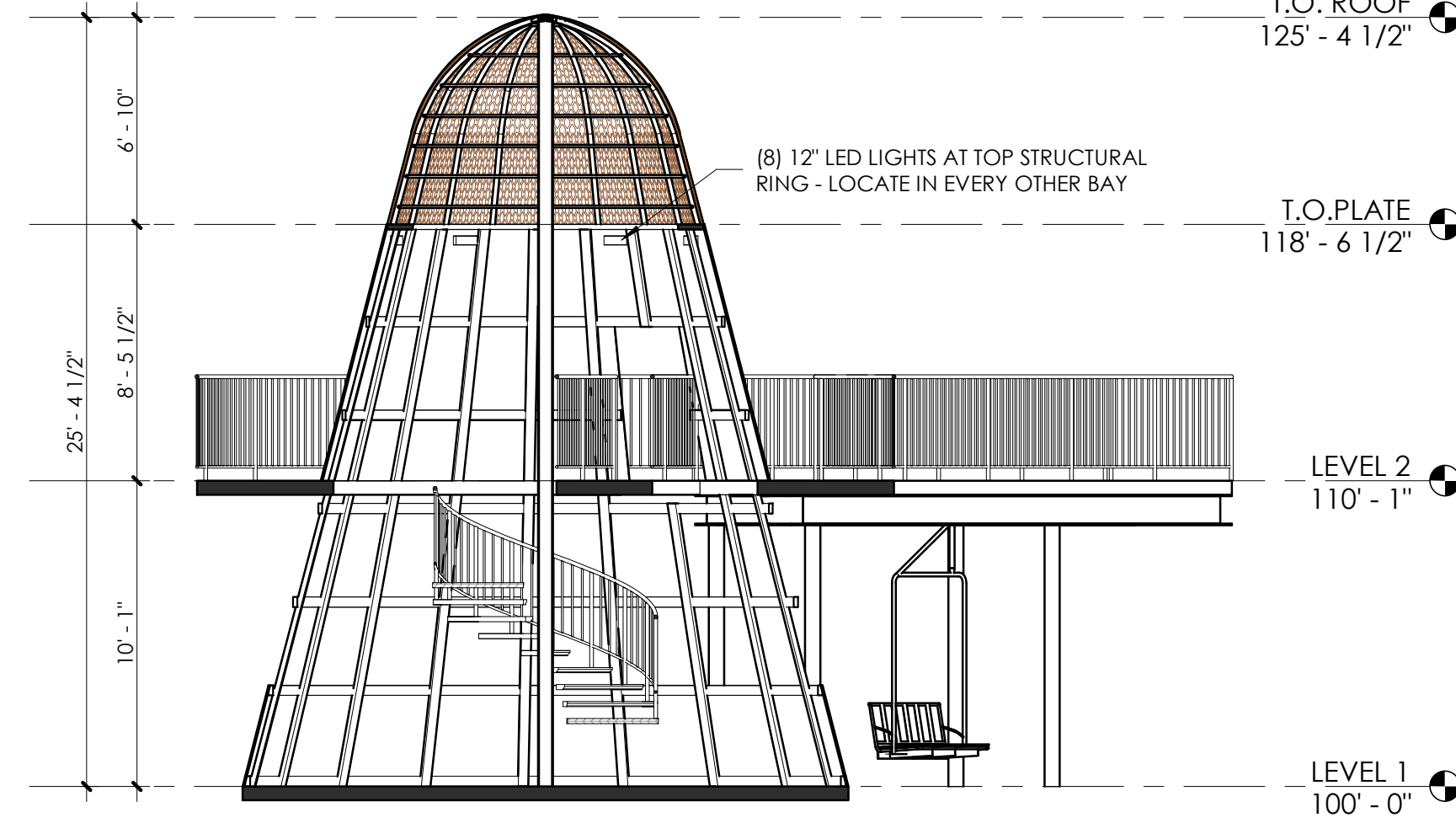
3 NORTH ELEVATION_DRB

3/16" = 1'-0"



2 EAST ELEVATION_DRB

3/16" = 1'-0"



6 SECTION 1_DRB

3/16" = 1'-0"

OUTDOOR LIGHTING TABULATION

FIXTURE NAME	PROPOSED # OF FIXTURES	PROPOSED # LUMENS	PROPOSED CCT (IN KELVIN)
VOLT 12" HARDSCAPE LED LIGHT	8	65 EA	2700K

MATERIAL LEGEND

	STEEL PANELS COLOR: TERRA COTTA (SIMULATED TO CORTEN)
	STEEL TUBE POWDER COATED HANDRAILS COLOR: BLACK
	NEW TECH WOOD COMPOSITE DECKING COLOR: MADRID RED
	STEEL FRAME WITH DIAMOND PLATE MESH COLOR: BLACK FRAME, TERRA COTTA MESH



IDLEWILD PARK AT RENDEZVOUS
WINTER PARK, COLORADO

PROJ. NO. 000000
DRAWN: Author
CHECKED: Checker
APPROVED: Approver
DATE: ISSUE DATE
REVISIONS

ISSUED FOR: NOT FOR CONSTRUCTION
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SCALE: 3/8" = 1'-0"

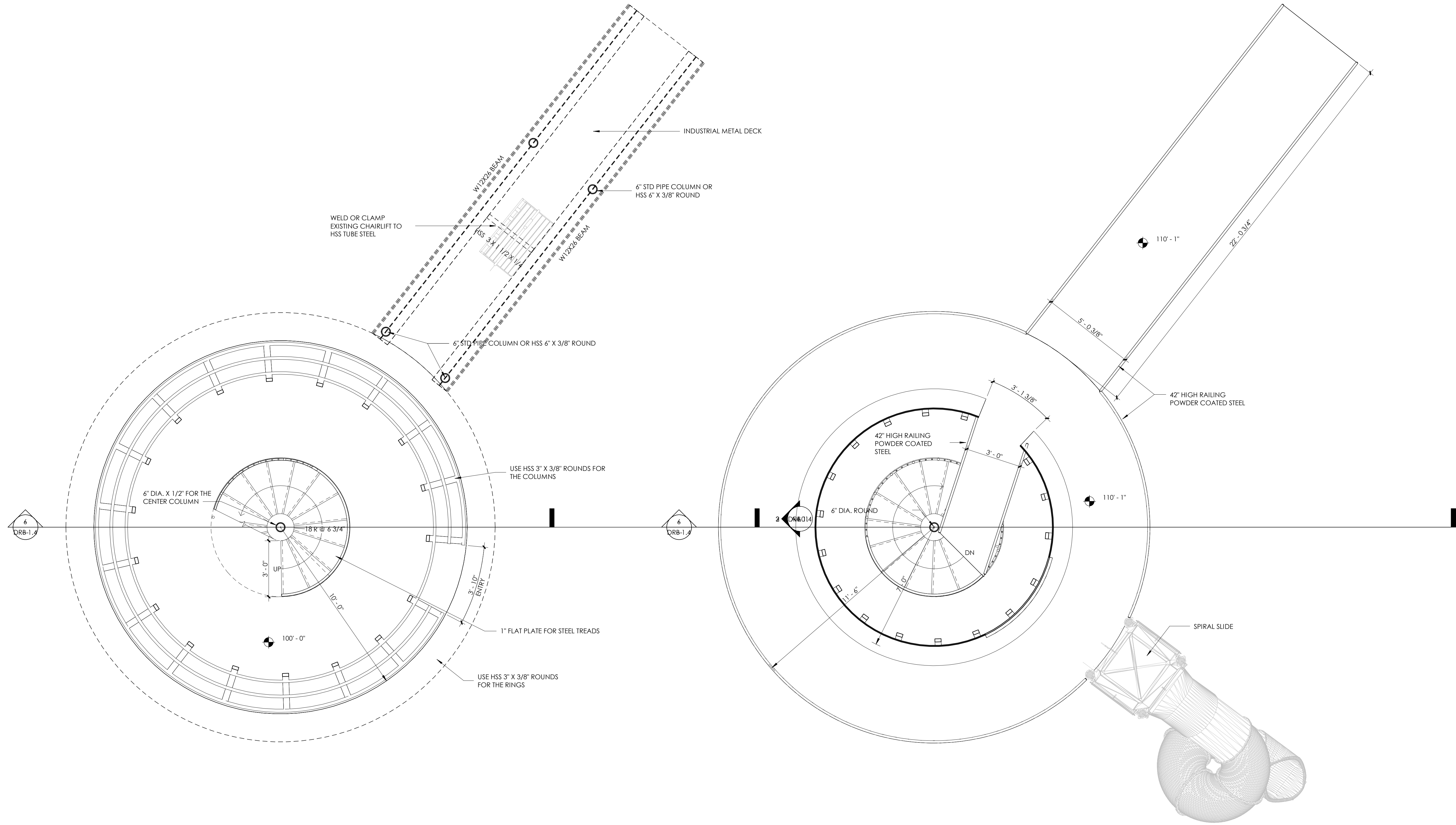
SHEET TITLE: FLOOR PLAN

A2.01

GENERAL PLAN NOTES

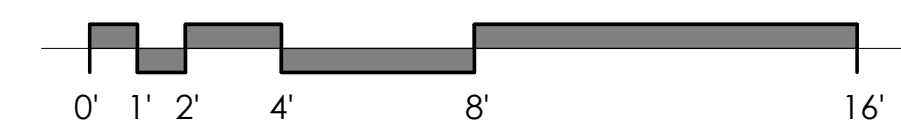
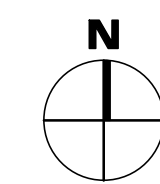
- 1.
- 2.
- 3.
- 4.
- 5.

FLAGNOTES



1 LEVEL 1 FLOOR PLAN
3/8" = 1'-0"

2 LEVEL 2 FLOOR PLAN
3/8" = 1'-0"



IDLEWILD PARK AT RENDEZVOUS

WINTER PARK, COLORADO

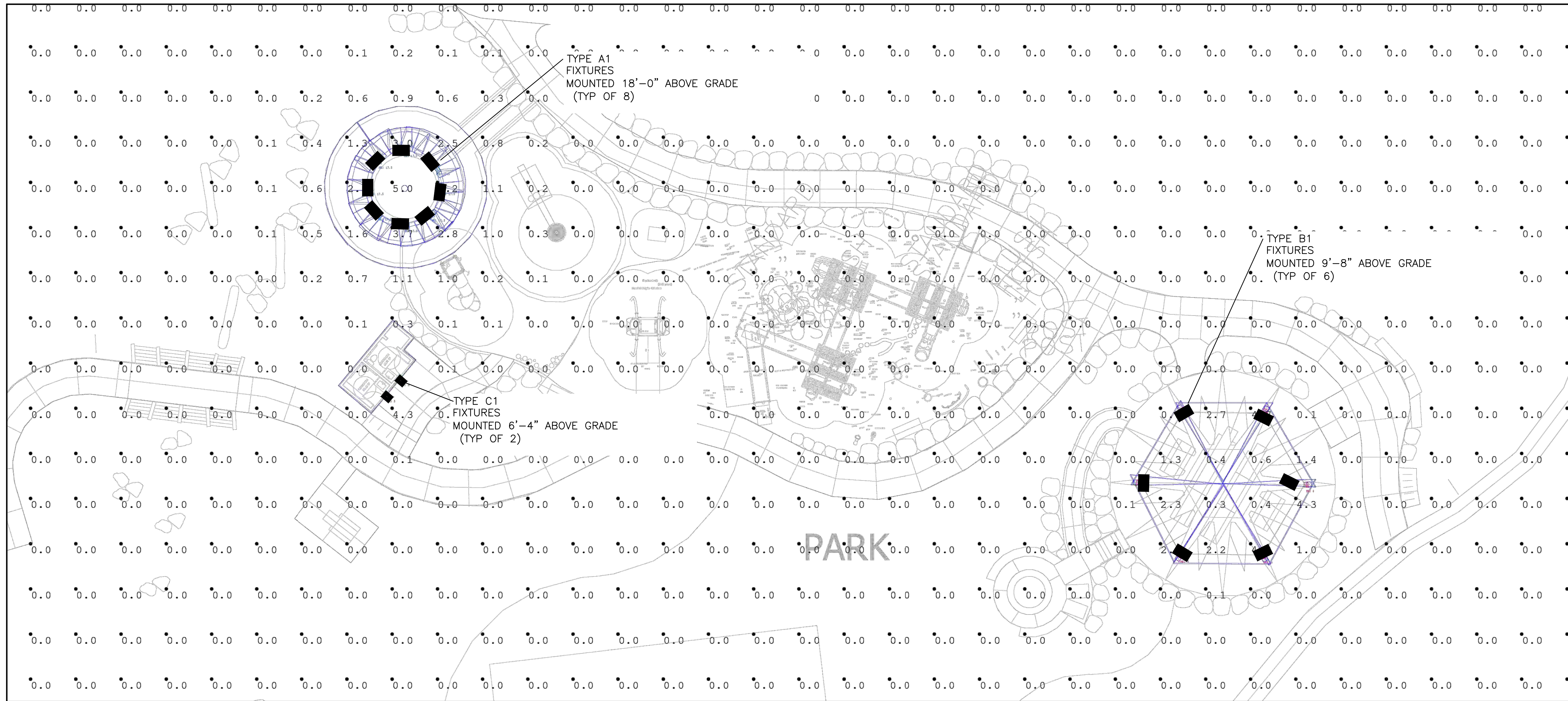
PROJ. NO. 000000
DRAWN: KDA
CHECKED: SB/LP
APPROVED: SB/LP
DATE: 2.08.2024
REVISIONS

ISSUED
FOR: NOT FOR
CONSTRUCTION
© NEO STUDIO

SCALE:

SHEET TITLE:
IDLEWILD PARK
PHOTOMETRIC PLAN

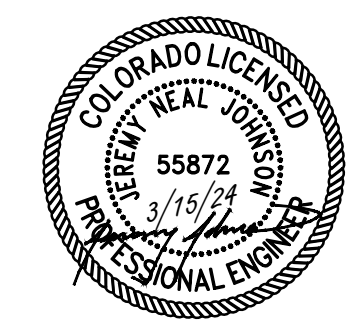
E0.12



1 IDLEWILD PARK PHOTOMETRIC PLAN
1" = 20'-0"

Luminaire Schedule						
Symbol	Qty	Label	Description	LLF	Luminaire Lumens	Total Watts
■	2	C1	EW39005	0.900	519	22.14
■	8	A1	B95-HE-BLK-LD4-16W-40-CL-120-EDC1	0.900	974	123.2
■	6	B1	BALLARD DESIGNS JETT SOURCE LD474	0.900	693	58.8

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.07	5.0	0.0	N.A.	N.A.
PATH	Illuminance	Fc	0.09	4.3	0.0	N.A.	N.A.
PAVILLION	Illuminance	Fc	1.78	4.3	0.3	5.93	14.33
RESTROOM	Illuminance	Fc	1.53	4.3	0.1	15.30	43.00
WIGWAM	Illuminance	Fc	2.75	5.0	1.1	2.50	4.55



EE PROJ #231216
ee
LLC
EXCELLENCE IN ENGINEERING
12005 Antelope Trail
Parker, Colorado 80138
303-748-1189
info@eeparker.com



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Jett Outdoor Wall Sconce
Store / Residential / Wall Mount
SKU 01242

Product Details
Product Website:
<https://www.ballarddesigns.com/jett-outdoor-wall-sconce/lighting/outdoor-lighting/610930?listIndex=19&uniqueId=610930>

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VOLT 12" LED Hardscape Light

Store / Search by Use / Area

SKU 00576

Product Details

Product website:

<http://www.voltlighting.com/landscape-lighting-12v...>

Durable linear integrated 2700K LED fixture for mounting under capstones or overhangs

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Outdoor Sports Lighting

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6" Round Direct - Ceiling / Wall Mount - Wildlife Friendly

Store / Search by Use / Wall mount

SKU 01065

Product Details

Product Website:

<https://www.speclight.com/c955/6quot;-Round-Direct-Ceiling-Wall-Mount-Wildlife-Friendly.htm>

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MEMO

TO Planning Commission

FROM James Shockey, Community Development Director

DATE April 9, 2024

RE Zoning Request – Annexation – Valley Hi Enclave (PLN24-023)

Background:

The Town (the “Applicant”) is annexing the Valley Hi Motel property as an enclave annexation. The 0.57-acre property is located in the downtown core just south of Vasquez Road. On March 5, 2024, Town Council adopted a resolution declaring its intent to consider a proposed annexation ordinance to annex the property (Resolution 2123, Series 2024). The next step is to review the property’s proposed zoning ahead of annexing the property into the Town limits. Pursuant to § 5-C-2 of the Unified Development Code (the “UDC”) the Planning Commission studies and makes recommendations regarding any proposed amendment to the Town’s adopted zoning.

Analysis of Existing Conditions:

Existing Land Use

The property is currently zoned Tourist by Grand County and is located within the Growth Area for the Town of Winter Park as identified in the [2011 Grand County Master Plan](#). The property has two businesses, the Valley Hi Motel and Serene Wellness, a marijuana shop that recently closed.

Surrounding Land Use

The parcel is surrounded to the south and east by Roam, to the west by Main Street, and north by a vacant parcel. The Town’s boundaries surround the property. Roam is zoned Planned Development, Destination Center (P-D, D-C) and the vacant property is zoned Destination Center (D-C).



Service and Infrastructure Capacity

The area is already served by water, sewer, electric and gas services. The property is located within the Grand County Water and Sanitation District No. 1 service boundaries.

Transportation and Traffic

The property is accessed from Highway 40. The Town’s Transit Service, the LIFT, has a regular service line that stops just north of the property.

Requested Zoning for the Property:

The Applicant requests the property be zoned Destination Center (D-C). The purpose of the D-C District is to create a “planned mixture of high density and upper-floor residential and commercial uses in horizontal and vertical formats that are arranged to create a walkable pedestrian environment” (UDC, Table 2-A-4, *Zoning Districts*).

Compliance with Comprehensive Plan and Three-Mile Plan:

The proposed zoning requested for this property conforms with the Comprehensive Plan, i.e., the [Imagine Winter Park Plan](#), and the Three-Mile Plan.

§ 5-B-8 Public Notice Requirements:

This rezoning request has had proper public notification pursuant to § 5-B-8 of the UDC. A Newspaper Publication (PUB) was published in the Middle Park Times on March 27, 2024, providing notification of the meeting and requesting comments. A Surrounding Property Owners Mailing (ML) was sent to property owners within 300' of the property on March 27, 2024. A Property Posting (PO) was posted on the same day.

No comments have been received as of April 4, 2024.

Staff Recommendation:

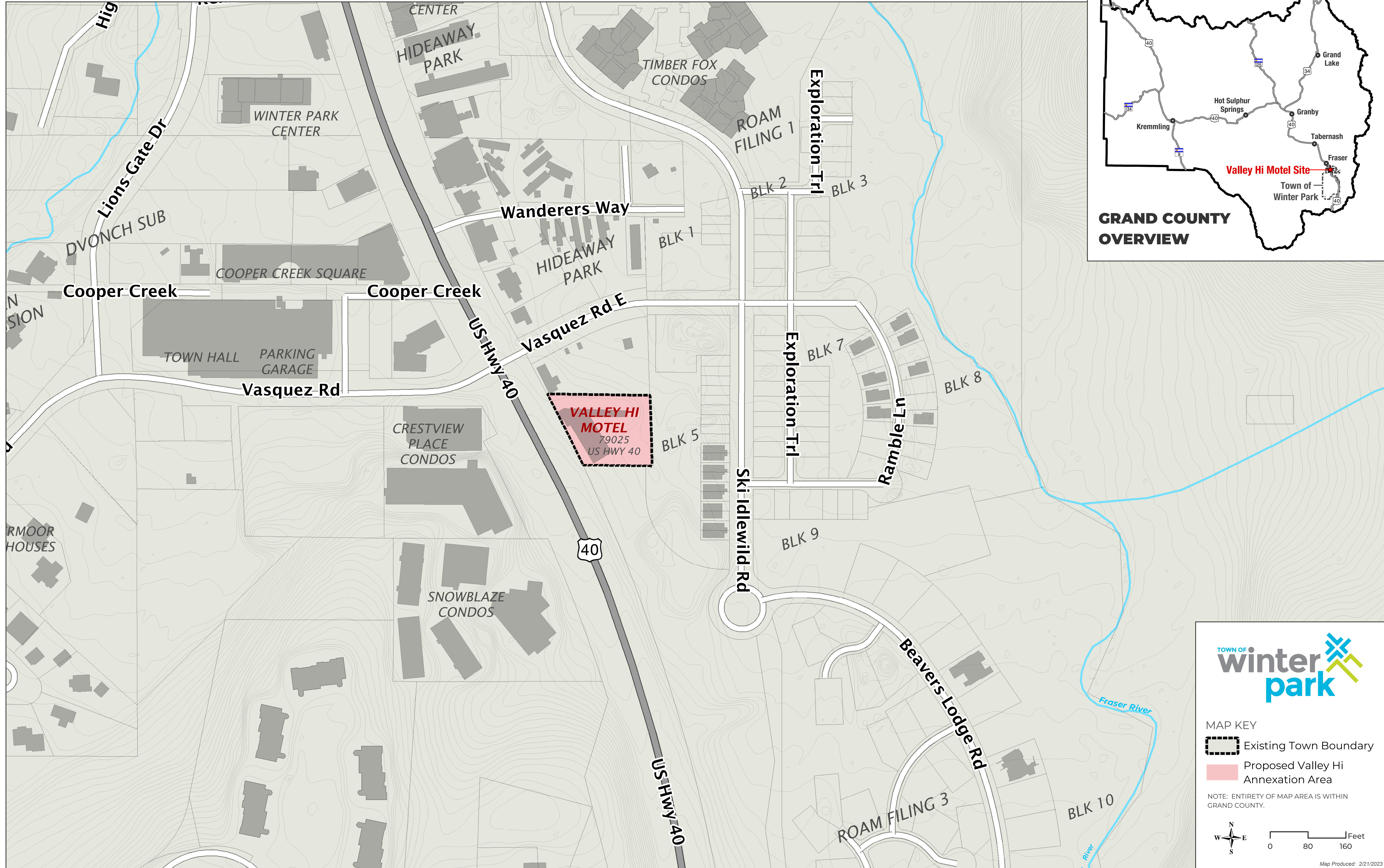
Staff agrees with the Applicant's request for D-C zoning classification for the Valley Hi Enclave property. The property meets the objectives for the D-C district as set out in the Comprehensive Plan and is consistent with the requisite principles for annexation outlined in the Three-Mile Plan.

The Planning Commission should provide a recommendation of approval to the Town Council as it has been determined the zoning upon annexation of the Property to the District is appropriate because the criteria in § 5-C-2(f) of the UDC is met, specifically the zoning:

- a. Is due to new growth trends;
- b. Serves an area and community need;
- c. Is compatible with and provides benefits to the surrounding area;
- d. Is in conformance with the policies, intents, and requirements of the UDC and Town's Comprehensive Plan; and
- e. Provides adequate facilities to serve the type and scope of the proposed development.

VALLEY HI MOTEL ENCLAVE ANNEXATION

EXHIBIT A: EXISTING AND PROPOSED TOWN BOUNDARY



TOWN OF winter park

MAP KEY

- Existing Town Boundary
- Proposed Valley Hi Annexation Area

NOTE: ENTIRETY OF MAP AREA IS WITHIN GRAND COUNTY.

N
W E S

0 80 160 Feet

Map Produced: 2/21/2023

Valley Hi



This property is commonly referred to as the Valley Hi parcel. It is located along Main Street near the intersection of Vasquez Road.



Land Use:

The property is currently zoned Tourist District by Grand County and is located within the Growth Area for the Town of Winter Park as identified in the 2011 Grand County Master Plan. It is an enclave within the Town of Winter Park. The 0.371 acre parcel is developed with the Valley Hi Motel and Serene Wellness, a retail marijuana business.

Transportation:

The property is accessed from Main Street near the intersection of Vasquez Road.

Utility Provisions:

The property is already served with water, sewer, electric and gas services.

Community Services:

This section lies within the East Grand Fire District and the East Grand School District. Police protection is currently provided by the Grand County Sheriff's Department with mutual aid from the Fraser Winter Park Police Department. Fire protection and the school district boundaries would remain the same in the event of any annexation. Police protection, however, would be provided exclusively by the Fraser Winter Park Police Department upon annexation.

Open Space, Parks & Recreation:

There is no open space associated with this commercial lot.

Water Availability:

This property is located within the Grand County Water and Sanitation District No. 1 district boundaries. Water service is provided to the existing motel and retail shop.

Annexation Considerations:

If it were to be annexed into the Town, appropriate zoning for this parcel would be DC – Destination Center District due to its proximity to the downtown.

