



**TOWN OF WINTER PARK
PLANNING COMMISSION**
Tuesday, June 11, 2024 8:00 AM

A G E N D A

I. Call to Order

II. Roll Call of Commission Members

III. Public Comment

This time is reserved for anyone from the public to speak about items not on the agenda. The Planning Commission is not prepared to decide on matters brought up during this time, but if warranted, will place them on a future agenda.

IV. Conflict of Interest

V. Consent Agenda:

- a. Minutes – May 28, 2024

VI. General Business:

- a. Minor Site Plan – Lots 1-5, Block 9, Roam Filing 1 – 4, 12, 30, 36, 42 Ramble Lane (PLN24-040)
- b. Minor Site Plan - UPPR Moffat Tunnel West Portal Industrial Treatment Plant Improvements Project (PLN24-042)

VII. Director's Report:

This time is reserved for specific items from staff requiring Commission direction and for relaying important information to the Commission.

- a. Senior Planner Update

VIII. Planning Commission Items of Discussion

This time is reserved for Commission discussion items that are not listed on the agenda.

Online Meeting Login Instructions – See next page

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You can log into the Zoom meeting through the link above to view what is projected on the screen. You can use either your computer audio or the number above. Everyone will be muted upon entry into the meeting to ensure that we have manageable background noise and limited interruptions.

Public Hearing Process

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**TOWN OF WINTER PARK
PLANNING COMMISSION
Tuesday, May 28, 2024 8:00 AM**

MINUTES

DATE: Tuesday, May 28, 2024

MEETING: Winter Park Planning Commission

PLACE: Town Hall Council Chambers and Zoom Meeting Call

PRESENT: Chair Dave Barker, Vice Chair Brad Holzwarth, and Commissioners Doug Robbins, Chris Tagseth, Thomas McDonald, Angela McDonough and Roger Kish are present. Also present are Community Development Director James Shockey, Contracted Town Planner Shelia Booth (on Zoom), and Assistant Town Attorney Kunal Parikh (on Zoom).

OTHERS

PRESENT: None.

I. Call to Order

The Planning Commission meeting starts at 8:02 am.

II. Roll Call of Commission Members

All Commissioners are present today.

III. Public Comment

No comments are received.

IV. Conflict of Interest

No one comes forward.

V. Consent Agenda:

- a. Minutes – April 23, 2024. These minutes were updated at the request of the Planning Commission.
- b. Minutes – May 14, 2024
- c. Approval of Encroaching Retaining Walls – 19-99 Promontory Point – Lots 22-31, Rendezvous Filing No. 1, Subdivision Exemption No. 3 (PLN24-029)

Vice Chair Holzwarth moves, and Commissioner McDonough seconds the motion approving the Consent Agenda. Motion carries 7, 0.

VI. General Business:

- a. PUBLIC HEARING – Final Plat – Lakota Pointe (PLN24-002)

Contracted Planner Sheila Booth presents the staff report. It is noted that two public comments were received. Ms. Booth states that the Final Plat complies with the UDC and recommends approval with three conditions.

The Commissioners note the public comments were not included in the packet and requested they be put on the screen for review. Planner Booth shares them on the screen.

The Commissioners also ask about legal correspondence from the Town Attorney that was sent to the Planning Commission under separate cover. Director Shockey states this letter was intended to inform the Commission concerning the sewer line issue. The Commissioners would like this letter to be added to the package, so it is part of the public record. Staff stated the correspondence from legal counsel to the Planning Commission is confidential and not for public distribution. Staff can include the letter from the Director to the applicant informing them of the staff position concerning the sewer issue.

The applicants, Mr. Jeff Marck from Terracina Design and Ken Boesnish from Lakota Pointe Winter Park, LLC comes forward. Mr. Marck has a presentation he shares on the screen.

Chair Barker opens the public hearing.

Mr. George Bailey comes forward. Mr. Bailey expresses his concerns regarding the wetlands and environmental impact on Cub Creek. Mr. Bailey asks the Commission to take a pause to analyze this Final Plat further.

Ms. Tracey Vangolen comes forward. Ms. Vangolen has concerns about parking during construction and she adheres to Mr. Bailey's concerns.

Ms. Debra Woida also comes forward and she emphasizes that the impact on the wetlands and the wildlife can be improved.

Chair Barker closes the public hearing.

Mr. Ken Boenish comes forward. Mr. Boenish clarifies the direction of the sewer line, construction period time (three weeks), environmental impact, and the discussion with Winter Park Water and Sanitation District to minimize the impact on the area.

The Commissioners ask Mr. Boenish about the easements for the sewer lines. Mr. Boenish shows the proposed easements on the screen. Mr. Jeff Marck also comes forward to discuss the exact location of the easements.

Then, the Commissioners start to deliberate. There is mention of the public comments, the sewer line easements and the construction period. Later, the Commissioners have a conversation about the general scope of the project and how the applicant is presenting several elements in this Final Plat.

Vice Chair Holzwarth moves, and Commissioner McDonald seconds the motion recommending approval of the Lakota Pointe Final Plat as it was determined the application is in conformance with section 5-D-5 of the UDC with the following conditions:

- a. Prior to recordation of the final plat, the applicant shall revise the final plat, snow storage exhibit and landscape plan in conformance with staff's red-marked prints dated April 15, 2024.
- b. The applicant shall work with MPEI and Xcel to finalize design and provide necessary easements.
- c. Prior to recordation of the final plat, the applicant shall place a utility note addressing the location of surface utilities in compliance with the Town Standards.
- d. The February 14, 2024, letter from the Community Development Director to the Lakota Pointe Development, LLC shall be added to the Planning Department's case files and made part of the application's public record.

Motion carries 7,0.

VII. Director's Report:

Director Shockey provides a brief conversation about the assessment the Town Council conducted of the Community Development Department. The Commissioner requested the Town Manager provide them with a presentation outlining the assessment.

VIII. Planning Commission Items of Discussion

The Commissioners discuss the Highway 40 streetscape project, the Gravity Haus trailer, and if there was a date for the Beaver Lodge demolition.

The Commissioners discuss if the color white should be acceptable as a primary color in the Town as this color can have a wide range of tones and finishes. The Commission reviewed the guidelines presented on the screen and noted white should be considered if it meets the intent of Section 3.8.2 of the Town Design Guidelines.

There being no further business to discuss, upon a motion regularly adopted, the meeting was adjourned at 9:23 a.m.

The next scheduled meeting of the Planning Commission will be Tuesday, June 11, 2024, at 8:00 a.m.

Irene Kilburn, Building, Planning Technician II



MEMO

TO Planning Commission
FROM James Shockey, Community Development Director
DATE June 11, 2024
RE Minor Site Plan Lots 1-5, Block 9, Roam Filing No. 1

Property Owner: Bonanza Homes, LLC

Applicant: Fred Cooke of Bonanza Homes, LLC

Location: Lots 1-5 Roam Filing No. 1, Block 9 (the "Property")

Architects: Lodestone Design Group

Zoning:

D-C, P-D (Destination Center, Planned Development) (Roam Final Development Plan (FDP); 1st Amendment, Reception No. 2019007767; 2nd Amendment, Reception No. 2019010345; Planning Area ("PA") 2)

Authority:

Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Director considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park Minor Site Plan approval is required before building permit issuance.

Variances:

No Board of Adjustment (BOA) variance requests are included with the application.

Architecture:

Five (5) new single-family attached dwelling units (DU) on vacant unimproved land using three (3) models. There are four (4) color and material schemes. There are two (2) garage spaces in attached garages and each dwelling has a roof deck above the third floor. Total building footprints are outlined below.

Lot 1: James Peak II Model Option 1, attached garage, 2,873 sqft

Lot 2: Jane Model, attached garage, 2,510 sqft

Lot 3: Jane Model Mirrored, attached garage, 2,510 sqft

Lot 4: Jane Model, attached garage, 2,510 sqft

Lot 5: Jane II Model Mirrored, attached garage, 2,427 sqft

Title Commitment:

Satisfactory. A title commitment from the past six months was submitted.

Homeowner's Association Review:

Satisfactory. The Roam Design Review Committee has provided a letter stating its approval of the plans.

Material and Color:

Satisfactory. There are four (4) material and color schemes. All models feature a stone veneer base, a combination of flat and gabled dark bronze metal roofing, and a combination of lap and board siding that visually divide the upper stories.

- On the Elevation Plans for Lots 1 – 5, the applicant shall clarify the materials of the board and batten siding and the lap siding.

Outdoor Lighting:

Unsatisfactory. Two (2) fixtures are proposed. One (1) contains the International Dark Sky Association (IDA) approval stamp (UDC, § 3-K-3(A)(1)). The other fixture is a deck sconce and does not have the required IDA approval stamp. Each lot shall not exceed 5,100 lumens, and each fixture shall not exceed 850 lumens, and the plans do not provide adequate information to confirm quantity of light fixtures nor the proposed lumens for Lots 1-5. Photometric plans are not required for single-family homes.

- The Applicant must clarify the location of all lighting fixtures and provide the IDA approval of the NUVI deck sconce, if available. Light fixtures that are not IDA-approved are prohibited.

	Fixture Name	Proposed # of Fixtures	Proposed Lumens per Fixture	Proposed CCT
Lots 1-5	NUVI Medium Deck Sconce	6 per lot	140 per fixture (6 per lot)	2700K
Lots 1-5	Lozano 13” Wall Light	2 per lot	90 per fixture (2 per lot)	3000K

Accessory Dwelling Unit (ADU):

N/A, not proposed.

Site Plan:

Unsatisfactory.

1. A site dimensional table was not provided; it needs to include setbacks, building footprint (SF) (including, decks, porches, balconies, and patios); drives, sidewalks, and parking areas; easements; areas to be designated open space; the site’s total acreage; and percentage of building coverage to open space.
2. Lot 1 - The Site Plan indicates a drainage swale is located on the southern portion of Lot 1. The drainage swale appears to go through a proposed column that supports the rear covered porch.
3. Lot 5 – a portion of the front porch encroaches into the 5-foot required front setback, sanitary sewer easement, and utility easement along the property frontage. Redesign the porch so that it is not encroaching into the sanitary sewer and utility easement.
 - The applicant needs to provide a site dimensional table with setbacks, building footprint (SF) (including, decks, porches, balconies, and patios); drives, and parking areas; the site’s total acreage; and percentage of building coverage to open space.
 - The applicant shall indicate how the proposed swale will interact with the column or otherwise redesign the floor plan or vegetative swale so that they do not intersect. ‘

- The applicant shall redesign the front porch so that it is not encroaching into the sanitary sewer and utility easement.

Floorplans:

Unsatisfactory. The Floor Plans for Lots 1-5 do not provide the total square footage. On Lot 1, the word “covered porch” is misspelled in the Floor Plan.

- The applicant shall indicate the total square footage as well as the square footage for each room.
- The applicant shall correct any misspelled notes in the Floor Plans.

Building Elevations:

Satisfactory.

Setbacks:

Unsatisfactory.

1. Lot 2- The column and portions of the front porch encroaches into the side yard setback. A setback reduction is permitted up to three feet according to UDC Table 3-A-7.
 2. Lot 3- The column and portions of the front porch encroaches into the side yard setback. A setback reduction is permitted up to three feet according to UDC Table 3-A-7.
 3. Lot 4- The column and portions of the front porch encroaches into the side yard setback. A setback reduction is permitted up to three feet according to UDC Table 3-A-7.
- The applicant shall indicate on the Site Plan for Lot 2-4, the side setback measurement to the column and overhang of the front porch.

Building Coverage:

N/A. No building coverage limit exists for this Planning Area (PA-2).

Building Height:

Satisfactory. Maximum midpoint height is approximately 37' 3" and maximum overall height is 41' 10 7/8". The maximum permitted midpoint building height is 40' for PA-2. However, the height appears to be measured incorrectly from the sub floor and not existing or finished grade of the buildings as determined by UDC Art. 7 Definitions.

- The applicant shall adjust the starting point of the height measurement to the existing or finished grade in compliance with the UDC Building Height standards.

Parking:

Satisfactory. As required by UDC 3.9.3, two (2) off-street parking spaces are required, and two (2) spaces are provided in each DU's two-car garage.

Landscaping:

Unsatisfactory. This property is not subject Land Use Transition Zones but shall otherwise comply with the Roam FDP, Section H, Landscape and Snow Storage Guidelines, which requires lots in Roam to follow the Town of Winter Park Landscape Design Regulations and Guidelines. There are two proposed trees that are not located on the recommended plant list in the Town of Winter Park Landscape Design

Regulations and Guidelines. The Canada Red Cherry and Rocky Mt. Douglas Fir will not count towards the required landscaping unless a qualified design professional can justify their use.

- The proposed Canada Red Cherry and Douglas Fir are not the included on the recommended plant list for the Winter Park Landscape Design Regulations. Applicant shall provide justification from a qualified design professional for use of the two tree species.

Snow Storage:

Unsatisfactory. UDC 3-H-5 requires that a minimum of 25% of all driving surfaces, including gravel shoulders, parking areas, and pedestrian walkways is designated for snow storage. The site plan labels proposed snow storage locations but does not provide any tabulation that verifies it complies with UDC standards.

- Applicant shall provide a snow storage table that includes the following information:

Lot #	Landscape Area (SF)	Asphalt Hardscape (SF)	Snow Storage required (SF)	Snow Storage provided. (SF)
1				
2				
3				
4				
5				

Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:

The Town Engineer is reviewing the plans for erosion control, drainage, and grading.

- If required by the Town Engineer, applicant shall revise erosion control, drainage, and grading plans to address the comments.

Driveway:

Satisfactory.

Utility Review:

N/A

Staging Area:

Unsatisfactory. According to Town records, the applicant does not own the property containing the staging area and the applicant is prohibited from placing a staging area within a drainage easement. Additionally, wetlands exist within Tract D and are outside of the Limits of Disturbance of the adjacent residential lots. A drainage easement is located on top of the wetlands as well where the wetlands intersect the existing stormwater drain. In Tract D, the temporary dumpster enclosure, staging area with concrete washout, and portable restroom are in close proximity to the drainage easement and wetlands located within the tract. Exhibit D of the Roam FDP states that wetland impacts will be processed and approved with the regulations outlined by US Army Corp of Engineers.

- The applicant shall remove the proposed staging area from the Site Plan and provide another

location.

Inspection:

Building Division staff have not performed a Pre-Disturbance inspection of the property.

- No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Staff Recommendation:

Staff approves the Administrative Site Plan with the following conditions:

1. On the Elevation Plans for Lots 1 – 5, the applicant shall clarify the materials of the board and batten siding and the lap siding.
2. The Applicant must clarify the location of all lighting fixtures and provide the IDA approval of the NUVI deck sconce, if available. IDA-approved lighting fixtures are required.
3. The applicant needs to provide a site dimensional table on each Site Plan with setbacks, building footprint (SF) (including, decks, porches, balconies, and patios); drives, and parking areas; the site's total acreage; and percentage of building coverage to open space.
4. The applicant shall indicate how the proposed swale will interact with the column or otherwise redesign the floor plan or vegetative swale so that they do not intersect.
5. The applicant shall indicate the total square footage as well as the square footage for each room.
6. The applicant shall correct any misspelled notes in the Floor Plans.
7. The applicant shall redesign covered porch on Lot 1 so that it does not encroach more than 3-feet into the 5-foot setback requirement.
8. The applicant shall indicate on the Site Plan for Lot 2-4, the side setback measurement to the column and overhang of the front porch.
9. The applicant shall adjust the starting point of the elevation on all Elevation Plans to comply with the UDC Building Height standards.
10. Applicant shall update the landscape requirement table so that the two aforementioned species are not included in the "Provided" section of the table.
11. Applicant shall provide a snow storage table that complies with UDC 3-H-5 snow storage requirements.
12. The applicant shall confirm that no structures, including temporary structures, will be located within the 30-foot required water quality setback.
13. The applicant shall remove the proposed staging area from the Site Plan and provide another location
14. No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.
15. Applicant shall complete the Land Use application including checklists and required tabulation tables.
16. The applicant shall redesign the front porch so that it is not encroaching into the sanitary sewer and utility easement.

Required Permits:

- ✓ Building Permit
- ✓ Driveway Permit
- ✓ SFD/Duplex Deposit Agreement

Wilds360 Phase II Minor Site Plan Application Narrative

Block 9, Lots 1-5

1. Narrative
 - A. Project Name: **Wilds 360, ROAM**
 - B. Street address: **4, 12, 30, 38, 42 Ramble Lane, Winter Park, CO 80482.**
 - C. Name, address, email and telephone number:

Owner: Bonanza Homes, LLC (Fred Cooke, Manager), PO Box 3640, Winter Park, CO 80482, fred@bonanzahomesllc.com, Phone: (970) 379-7696.

Applicant: Same as Owner.

HOA: NONE.

Project Manager: Kelvin Cooke, (970) 837-1146

Architect: Lodestone Design Group, Scott Robinson, 501 Walnut St., Frederick, CO 80530, scott@lodestonedesign.com, Phone: (303) 800-8633.

Engineer: JVA Inc., 47 Cooper Creek Way #328, Winter Park, CO 80482, Jeffrey Beauregard, jbeauregard@jvajva.com, Phone: (413) 519-2688.

Surveyor: Four Points Surveying & Engineering, 440 S. Lincoln Avenue, Steamboat Springs, CO 80487, Walter Magill, walterm@fourpointsse.com, Phone: (970) 871-6772.

Land Planner: NONE.
 - D. Legal Description: **Lots 1, 2, 3, 4, 5, Block 9, Filing 1, Roam Subdivision, Town of Winter Park, State of Colorado.**
 - E. Zoning District: **One/Two Family Dwelling Units**
 - F. Lot Size (acreages & sq. ft.)

Lot 1 – 0.0651 acre; 2,835 sq. ft.

Lot 2 – 0.0465 acre; 2,016 sq. ft.

Lot 3 – 0.0465 acre; 2,016 sq. ft.

Lot 4 – 0.0465 acre; 2,016 sq. ft.

Lot 5 – 0.0448 acre; 1,950 sq. ft.
 - G. All proposed uses: **Single family residences.**
 - H. Number of dwelling units: **5**
 - I. Number of bedrooms per dwelling units: **4**
 - J. Size of residential space (sq. ft.)

Lot 1 – 2,873 sq. ft.

Lot 2 – 2,510 sq. ft.

Lot 3 – 2,510 sq. ft.

Lot 4 – 2,510 sq. ft.

Lot 5 – 2,427 sq. ft.
 - K. Number of off-street parking spaces: **2**
 - L. Construction schedule indicating major milestones for project.

Start Construction – May 2024

Foundation completed – July 2024 to August 2024

House Dry-in – October 2024 to November 2024

Drywall complete – November 2024 to December 2024

Certificate of Occupancy – February 2025 to April 2025



MINOR SITE PLAN APPLICATION FORM

The Planning Division is here to assist you with your Minor Site Plan Application (“Application”) pursuant to Site Plan (Sec. 5-E-1) in the Unified Development Code (UDC). Applications are administratively and legislatively reviewed and approval is required. The Application will be reviewed in accordance with the procedures and requirements outlined in Sec. 5-E-1 in the UDC.

This publication outlines the Minor Site Plan Application process and submittal requirements.

All submittal items shall be submitted in PDF format in accordance with the Site Development and Permit Decision File Naming Conventions to permits@wpgov.com. Ensure your application is complete by checking each of the required submittal (RS) boxes below.

1 Required Items			
Plan Sheet(s)	RS*	Item #	Submittal Items
	<input type="checkbox"/>	1.	Minor Site Plan Application Form. Executed.
	<input type="checkbox"/>	2.	Land Use Review Application Form. Executed.
	<input type="checkbox"/>	3.	Driveway Permit Application Form. Executed.
	<input type="checkbox"/>	4.	Single-Family/Two-Family Attached Dwelling Deposit Agreement Form. Executed.
	<input type="checkbox"/>	5.	Title Commitment. Including Schedules A and B. The applicant shall provide a title insurance commitment proving the applicant’s ownership of the land to be platted and that all land to be dedicated or conveyed to the Town is free and clear from all liens and encumbrances except as expressly agreed to by the Town.
	<input type="checkbox"/>	6.	HOA Architectural Control Committee Approval Letter. If property is governed by HOA.
	<input type="checkbox"/>	7.	Narrative. Shall include the following: A. Project name. B. Street address. C. Name, address, email and telephone number of owner, applicant, HOA, project manager, architect, engineer, surveyor, and land planner, as applicable. D. Legal description. E. Zoning district. F. Lot size (acreage and sq. ft.). G. All proposed uses. H. Number of dwelling units. I. Number of bedrooms per dwelling unit. J. Size of residential space (sq. ft.). K. Number of proposed off-street parking spaces. L. Construction schedule indicating major milestones for project.
	<input type="checkbox"/>	8.	Project Drawings. Shall contain project name, legal description, date of preparation, north arrow, legend, vicinity map, and topography at two-foot (2’) intervals. Shall be sized ARCH D (24”x36”). Shall be oriented so that north is up.
	<input type="checkbox"/>	8A.	Topographic Survey.
	<input type="checkbox"/>	8B.	Construction Plans. Shall have a minimum scale of 1”=20’ and be in conformance with the Standards and Specifications for Design and Construction. All plans shall be at the same

		<p>scale and shall align with one another.</p> <p>A. Grading and Drainage Plan.</p> <p>B. Revegetation, Erosion, and Sediment Control Plan.</p>
	<input type="checkbox"/>	<p>8C. Site Plan. Shall have a minimum scale of 1"=20'. All elements listed below shall be dimensioned.</p> <p>A. Building coverage ratio table. Shall include area (sq. ft. and acreage) of the following: building footprint (including roof overhangs, decks, porches, balconies, and patios); drives, sidewalks, and parking areas; easements; areas to be designated open space; the site's total acreage; and percentage of building coverage to open space.</p> <p>B. Driveway. Slope, dimensions, and culvert locations, if any.</p> <p>C. Easements, proposed and existing, public and private. Type and location. If existing easements, provide reception numbers on file with the Grand County Clerk and Recorder's Office.</p> <p>D. Environmental features. Includes riparian buffers, floodplains, floodways, and floodway fringes, wetlands, forests and woodlands, slopes greater than twenty percent (20%), slopes greater than thirty percent (30%), and geologic hazard areas.</p> <p>E. Limit of disturbance.</p> <p>F. Other improvements. Retaining walls, berms, trash receptacles, trash enclosures, fencing, signage, fire features, water features, hot tubs, pools, affixed barbeque grills, outdoor kitchens, sculptures, etc.</p> <p>G. Parking areas for construction workers' vehicles.</p> <p>H. Parking spaces. Dimensioned and counted.</p> <p>I. Property lines.</p> <p>J. Protection notes.</p> <p style="padding-left: 20px;">a. "No disturbance, grading, or removal of significant natural features and vegetation will occur beyond the "limit of disturbance" line, as shown on this plan."</p> <p style="padding-left: 20px;">b. "The "limit of disturbance" line shall be delineated prior to construction with flags, roping, four foot (4') tall orange construction fencing, or other acceptable means."</p> <p>K. Setback distances as required by zoning district. From all property lines.</p> <p>L. Setback distances from all existing and proposed structures, including retaining walls. Draw a line to tie the structure to a point on the property line.</p> <p>M. Snow storage areas.</p> <p>N. Storage areas for soil, construction equipment, and other materials.</p> <p>O. Street addresses or unit numbers.</p> <p>P. Street ROW, proposed and existing, public and private. Type, location, and name.</p> <p>Q. Structures, proposed and existing.</p> <p>R. Top of foundation elevations. For main corners of each structure.</p> <p>S. Utilities, proposed and existing. For mains and service lines.</p> <p>T. Walkways and paths.</p>
	<input type="checkbox"/>	<p>8D. Building Elevations. See Article 3.A, <i>Lot and Building Standards</i>. Shall have a minimum scale of 1/8"=1'.</p> <p>A. Profiles.</p> <p>B. Location where buildings intersect the existing and proposed grades for each profile.</p> <p>C. Building materials. Shall be annotated to correspond with Building Materials Board.</p> <p>D. Location of outdoor lighting fixtures.</p>
	<input type="checkbox"/>	<p>8E. Floorplans. Shall have a minimum scale of 1/8"=1'. All plans shall be black and white, at the same scale, and shall align with one another. Shall include a roof plan.</p>
	<input type="checkbox"/>	<p>8F. Landscaping Plan. See Article 3.I, <i>Landscaping, Buffering, and Screening</i>. Shall have a minimum scale of 1"=20'. Shall include the following:</p>

		<p>A. Proposed species name.</p> <p>B. Property lines labeled with required bufferyard types.</p> <p>C. Structures, existing and proposed.</p> <p>D. Landscaping, existing and proposed.</p> <p>E. Hardscaping, existing and proposed.</p> <p>F. Top-of-wall and bottom-of-wall elevations of all retaining walls and site walls.</p>
	<input type="checkbox"/>	8G. Bufferyard Tabulation. See “Bufferyard Tabulation” below.
	<input type="checkbox"/>	8H. Tree Removal and Protection Plan. See Article 3.G, <i>Tree Removal and Protection</i> . All trees proposed for protection greater than four inches (4”) in caliper.
	<input type="checkbox"/>	9. Outdoor Lighting Board. See Article 3.K, <i>Outdoor Lighting</i> . Shall include cut sheets for all proposed outdoor lighting fixtures with International Dark Sky Association (IDA) Approval Symbol. Shall indicate mounting heights.
	<input type="checkbox"/>	10. Outdoor Lighting Tabulation. See “Outdoor Lighting Tabulation” below.
	<input type="checkbox"/>	<p>11. Building Materials Board. Shall be annotated to correspond with Building Elevations. Shall include photographs of swatches demonstrating color and material composition for the following:</p> <p>A. Decks</p> <p>B. Doors (incl. garage and entry doors)</p> <p>C. Fascia</p> <p>D. Fencing</p> <p>E. Foundation</p> <p>F. Gates</p> <p>G. Railings</p> <p>H. Roofs</p> <p>I. Siding</p> <p>J. Soffits</p> <p>K. Window and door trim</p> <p>L. Window glass type</p>
	<input type="checkbox"/>	12. Renderings. Shall be 3D, in color, and accurate in scale.
	<input type="checkbox"/>	13. Wetland Delineation. See Article 3.C, <i>Resource Identification and Sensitive Lands Protection</i> . If applicable.
	<input type="checkbox"/>	14. Hillside and Ridgeline Development Study. See Article 3.C, <i>Resource Identification and Sensitive Lands Protection</i> . If impacting slopes greater than twenty percent (20%).
	<input type="checkbox"/>	15. File Naming Conventions. All Minor Site Plan Applications shall be submitted pursuant to the Site Development and Permit Decision File Naming Conventions.
Required Submittal (RS*) = <input type="checkbox"/>		

Bufferyard Tabulation

Tabulation of required bufferyard types per property line and list of proposed plantings proposed per property line. See Sec. 3-I-5, *Bufferyards*, for requirements.

	Evergreen Trees Required	Evergreen Trees Provided	Deciduous Trees Required	Deciduous Trees Provided	Shrubs Required	Shrubs Provided	Berm Height	Deficiency (if any)
N Boundary Length: _____ linear feet Adjacent properties are zoned: _____ Bufferyard Type: A B C D (circle one)								
S Boundary Length: _____ linear feet Adjacent properties are zoned: _____ Bufferyard Type: A B C D (circle one)								
E Boundary Length: _____ linear feet Adjacent properties are zoned: _____ Bufferyard Type: A B C D (circle one)								
W Boundary Length: _____ linear feet Adjacent properties are zoned: _____ Bufferyard Type: A B C D (circle one)								

Outdoor Lighting Tabulation

See Article 3.K, *Outdoor Lighting*, for requirements. Ensure each fixture’s cut sheet contains the International Dark Sky Association (IDA) Approval Symbol.

Fixture Name	Proposed # of Fixtures	Proposed Lumens per Fixture	Proposed Correlated Color Temperature (in degrees Kelvin)
KICHLER 59002BK	2	90	3000K
HINKLEY NUVI 15446BZ	6	140	2700K

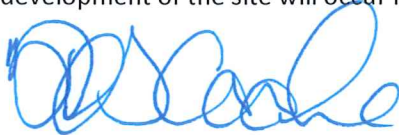
2 **Process for Approval** – See Sec. 5-E-1, *Site Plan*.

3 **Fees** – See Sec. 5-B-6, *Application Fees*. An invoice will be sent once the planning file has been created.

- A. \$100.00 Minor Site Plan Application Review Fee.
- B. \$3,000.00 Deposit for Building Exterior, Driveway, and Landscaping.
- C. \$50.00 Driveway Permit Application Fee.

4 **Applicant's Certification Statement**

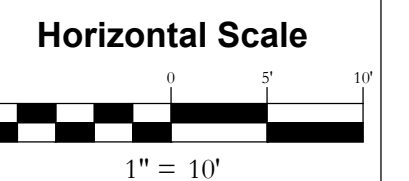
I, Fred Cooke, as Applicant and duly representative of the owner, hereby certify that the information included upon the attached submittal items are true and accurate; and that the development of the site will occur in accordance with the submittal items.



4/10/24

NO.	DATE	REVISIONS

**LOTS 1-5, BLOCK 9,
ROAM SUBDIVISION
RAMBLE LANE
WINTER PARK, COLORADO 80482**



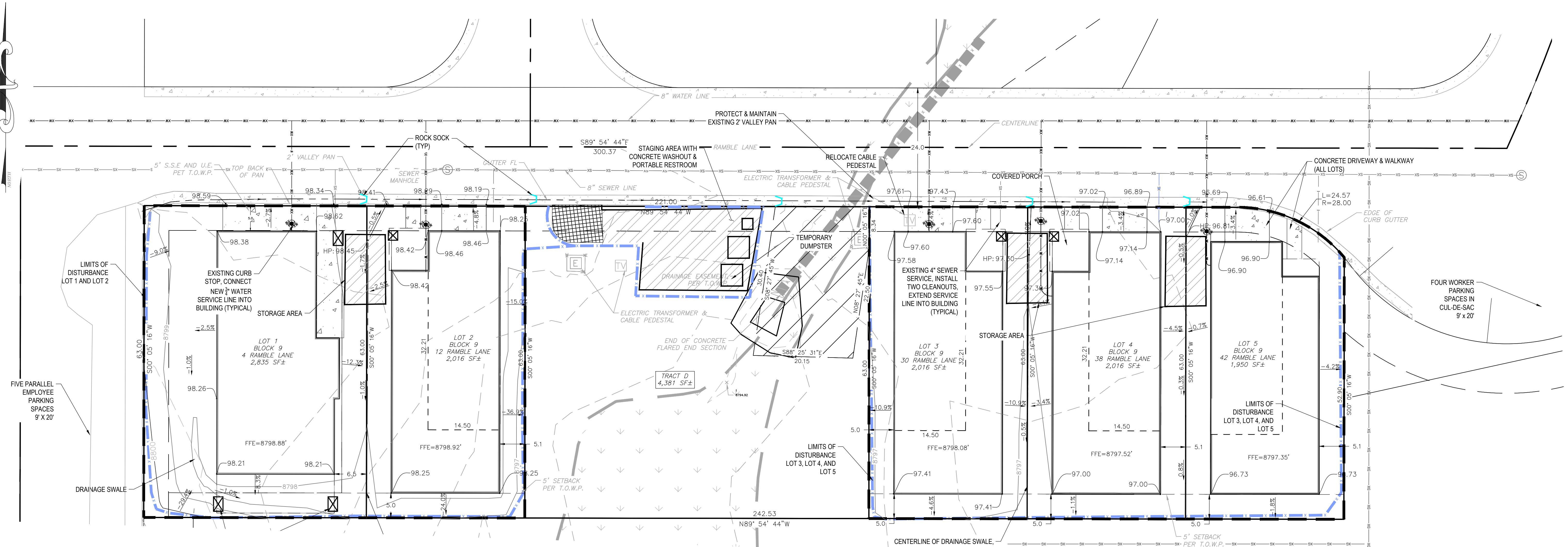
Contour Interval = 2 ft

DATE: 4-8-2024
JOB #: 2185-002
DRAWN BY: AP
DESIGN BY: AP
REVIEW BY: FPSE

IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN A4 X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.

SITE PLAN

DRAWING:
SHEET #



LEGEND	
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	EXISTING EASEMENT
	EXISTING EDGE OF ASPHALT
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	PROPOSED 1' CONTOUR
	PROPOSED 5' CONTOUR
	EXISTING DRAINAGE DITCH
	PROPOSED DRAINAGE DITCH
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING SEWER MAIN
	PROPOSED SEWER SERVICE
	EXISTING WATER MAIN
	PROPOSED WATER SERVICE
	EXISTING FIRE HYDRANT
	PROPOSED GRAVEL SURFACING
	PROPOSED ASPHALT PAVING
	PROPOSED CONCRETE PAVING
	PROPOSED PARKING STRIPING
	EXISTING BUILDING FOOTPRINT
	PROPOSED BUILDING FOOTPRINT
	PROPOSED BUILDING OVERHANG
	PROPOSED FENCING
	SNOW STORAGE
	EXISTING LABEL
	PROPOSED LABEL

STORMWATER MANAGEMENT PLAN NOTES:

- THIS PLAN SHALL BE KEPT ON SITE AT ALL TIMES AND UPDATED TO REFLECT ANY CHANGES.
- CLEARING OR GRADING SHALL NOT BEGIN UNTIL ALL CONTROL MEASURES HAVE BEEN INSTALLED.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION AND ESTABLISHING ANY REQUIRED PERMANENT CONTROL MEASURES TO PREVENT RELEASE OF POLLUTANTS FROM THE PROJECT SITE.
- CONTROL MEASURES SHALL BE USED, MODIFIED, AND MAINTAINED WHENEVER NECESSARY TO REFLECT CURRENT CONDITIONS. CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EVERY PRECIPITATION EVENT. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM CONTROL MEASURES WHEN THE SEDIMENT LEVEL REACHES 1/2 THE HEIGHT OF THE CONTROL MEASURE (APPLIED TO ROCK CHECK DAMS AND STRAW WATTLE).
- THE CONTRACTOR SHALL PROMPTLY REMOVE ALL SEDIMENT, MUD, AND CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE RIGHT OF WAY, PRIVATE PROPERTY, OR WATER WAYS AS A RESULT OF THE CONSTRUCTION ACTIVITIES.
- ALL INGRESS AND EGRESS ACCESS POINTS ON TO THE DISTURBED SITE MUST BE STABILIZED WITH A VEHICLE TRACKING CONTROL PAD. ACCESS SHALL ONLY BE VIA APPROVED LOCATIONS AS SHOWN ON APPROVED CSMP.
- TEMPORARY SOIL STABILIZATION MEASURES SHALL BE IMPLEMENTED WHERE GROUND DISTURBANCES HAVE TEMPORARILY OR PERMANENTLY CEASED FOR 14 DAYS OR FOR AREAS OF LAND DISTURBANCE WITHIN ONE GROWING SEASON.
- CONCRETE WASTE AND WASHOUT WATER FROM MIXING TRUCKS SHALL BE CONTAINED ON SITE, REMOVED FROM THE SITE, AND PROPERLY DISPOSED. MATERIALS SHALL NOT BE ALLOWED TO ENTER STATE WATERS.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL LAWS. IN ADDITION CONTRACTOR MUST OBTAIN REQUIRED PERMITS.
- CONTRACTOR SHALL PROVIDE ADEQUATE WASTE MANAGEMENT INCLUDING BUT NOT LIMITED TO A REGULARLY MAINTAINED ON SITE DUMPSTER AND PORTA-POTTY.
- FINAL STABILIZATION IS THE CONDITION REACHED WHEN ALL GROUND SURFACE DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED, AND FOR ALL AREAS OF GROUND SURFACE DISTURBING ACTIVITIES A UNIFORM VEGETATIVE COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST 70 PERCENT OF PRE-DISTURBANCE LEVELS, OR EQUIVALENT PERMANENT, PHYSICAL EROSION REDUCTION METHODS HAVE BEEN EMPLOYED.
- TOTAL DISTURBANCE AREA IS LESS THAN ONE ACRE AND DOES NOT REQUIRE A STATE STORMWATER GENERAL PERMIT.

GENERAL NOTES:

- OWNER: BONANZA HOMES LLC.
- FIELD SURVEYING COMPLETED SEPTEMBER 7, 2022 BY FPSE.
- TOPOGRAPHIC DATA GENERATED FROM FIELD SURVEY DATA.
- PROPERTY CORNERS WERE FOUND AS INDICATED HEREON PER FIELD SURVEY.
- BENCHMARK: NAD-83 COLORADO STATE PLANE, U.S. SURVEY FEET.
- DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.
- GEO-TECHNICAL REPORT.
- ALL FINISHED BARE GROUND SURFACES SHALL RECEIVE A MINIMUM OF 6" OF NATIVE TOPSOIL FOR FINAL GRADING AND SHALL BE RELATIVELY FREE OF STONES, CLODS, STICKS, AND OTHER DEBRIS.
- ALL FINISHED GROUND SHALL BE PROPERLY SEEDED, FERTILIZED, MULCHED AND VEGETATION ESTABLISHED PER THE LANDSCAPING PLAN.
- ALL FINISHED GROUND SHALL BE STABILIZED WITH ENGINEER APPROVED STRAW EROSION CONTROL BLANKET. APPLY GRASS SEED AND FERTILIZER OF OWNER'S CHOICE BEFORE AND AFTER STRAW BLANKET INSTALLATION AT THE APPROPRIATE SPECIFIC SEEDING RATE.
- ALL DISTURBED AREAS NOT RECEIVING GRAVEL SURFACING SHALL BE RE-VEGETATED WITHIN ONE CONSTRUCTION SEASON.
- ALL DETAILS PROVIDED SHALL BE ADHERED TO UNLESS OTHERWISE APPROVED BY CIVIL ENGINEER OR RECORD.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES. CALL THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-800-922-1987 AND ANY NECESSARY PRIVATE UTILITY TO PERFORM LOCATES PRIOR TO CONDUCTING ANY SITE WORK.

GRADING:

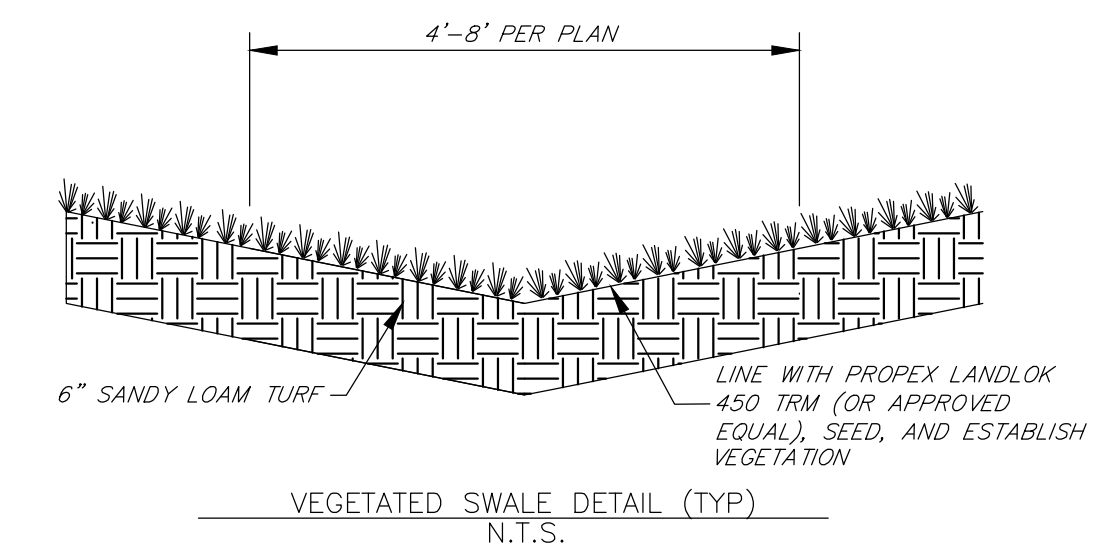
- GRADING SHALL OCCUR WITHIN THE PROPERTY LIMITS. WHERE OFF-SITE WORK IS APPROVED, WRITTEN PERMISSION OF THE ADJACENT PROPERTY OWNER MUST BE OBTAINED PRIOR TO ANY OFF-SITE GRADING OR CONSTRUCTION.
- NO WORK SHALL OCCUR IN WETLANDS OR FLOODPLAINS WITHOUT APPROPRIATE PERMITS. ANY WORK SHALL BE IN ACCORDANCE WITH THE ISSUED PERMITS.
- GRADING DESIGN DOES NOT CALL FOR THE CONSTRUCTION OF SLOPES GREATER THAN 2:1.

EROSION CONTROL:

- CONTRACTOR SHALL SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN TO THE CITY FOR APPROVAL PRIOR TO BUILDING PERMIT ISSUANCE.
- CONTRACTOR SHALL WORK IN A MANNER THAT MINIMIZES THE POTENTIAL FOR EROSION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, INSPECTING, AND MAINTAINING ALL NECESSARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION AND REMOVING EROSION CONTROL WHEN PROJECT IS COMPLETE AND VEGETATION IS ESTABLISHED.
- ANY AREA DISTURBED BY CONSTRUCTION AND NOT PAVED OR NATURAL ROCK SURFACE SHALL BE REVEGETATED WITHIN ONE CONSTRUCTION SEASON.

PROTECTION NOTES:

- NO DISTURBANCE, GRADING, OR REMOVAL OF SIGNIFICANT NATURAL FEATURES AND VEGETATION WILL OCCUR BEYOND THE "LIMIT OF DISTURBANCE" LINE, AS SHOWN ON THIS PLAN.
- THE LIMIT OF DISTURBANCE LINE SHALL BE DELINEATED PRIOR TO CONSTRUCTION WITH FLAGS, ROPING, FOUR FOOT (4) TALL CONSTRUCTION FENCING, OR OTHER ACCEPTABLE MEANS.



TOTAL EARTHWORK QUANTITIES:

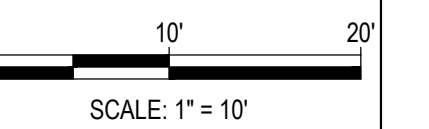
AREA OF DISTURBANCE:	10,935	SQ. FT.
TOPSOIL STRIPPING:	405	CU. YDS.
TOTAL CUT:	520	CU. YDS.
TOTAL FILL:	50	CU. YDS.
NET (CUT):	470	CU. YDS.

NOTES:

- TOPSOIL STRIPPING VOLUME ASSUMES AN AVERAGE TOPSOIL DEPTH OF 1.0 FT. ACTUAL TOPSOIL DEPTH MAY VARY ACROSS THE ENTIRE AREA OF DISTURBANCE.
- THE TOTAL CUT VOLUME INCLUDES TOPSOIL STRIPPING.
- A FILL FACTOR OF 1.10 WAS USED FOR CUT-FILL VOLUME CALCULATIONS.
- FILL VOLUME INCLUDES NATIVE MATERIAL AND ALL IMPORT MATERIALS. (I.E. GRAVEL, ASPHALT, CONCRETE, ETC.)



Horizontal Scale



Contour Interval = 2 ft

DATE: 03/21/2024
JOB #: 2185-002
DRAWN BY: AP
DESIGN BY: AP
REVIEW BY: FPSE

IF THIS DRAWING IS PRESENTED IN A
FORMAT OTHER THAN A4 X 36", THE
GRAPHIC SCALE SHOULD BE UTILIZED.

GRADING &
DRAINAGE PLAN

DRAWING:

SHEET NO.

C3

LEGEND	
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	EXISTING EASEMENT
	EXISTING EDGE OF ASPHALT
	EXISTING 2' CONTOUR
	EXISTING 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED 10' CONTOUR
	EXISTING DRAINAGE DITCH
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING SEWER MAIN
	PROPOSED SEWER SERVICE
	EXISTING WATER MAIN
	PROPOSED WATER SERVICE
	EXISTING FIRE HYDRANT
	EXISTING ASPHALT PAVING
	PROPOSED PARKING STRIPING
	PROPOSED CONCRETE PAVING
	SHALLOW SWALE FLOW LINE
	PROPOSED BUILDING FOOTPRINT
	PROPOSED BUILDING OVERHANG
	PROPOSED FENCING
	WETLANDS
	EXISTING LABEL
	PROPOSED LABEL

GRADING:

1. GRADING SHALL OCCUR WITHIN THE PROPERTY LIMITS. WHERE OFF-SITE WORK IS APPROVED, WRITTEN PERMISSION OF THE ADJACENT PROPERTY OWNER MUST BE OBTAINED PRIOR TO ANY OFF-SITE GRADING OR CONSTRUCTION.
2. NO WORK SHALL OCCUR IN WETLANDS OR FLOODPLAINS WITHOUT APPROPRIATE PERMITS. ANY WORK SHALL BE IN ACCORDANCE WITH THE ISSUED PERMITS.
3. GRADING DESIGN DOES NOT CALL FOR THE CONSTRUCTION OF SLOPES GREATER THAN 2:1.

EROSION CONTROL:

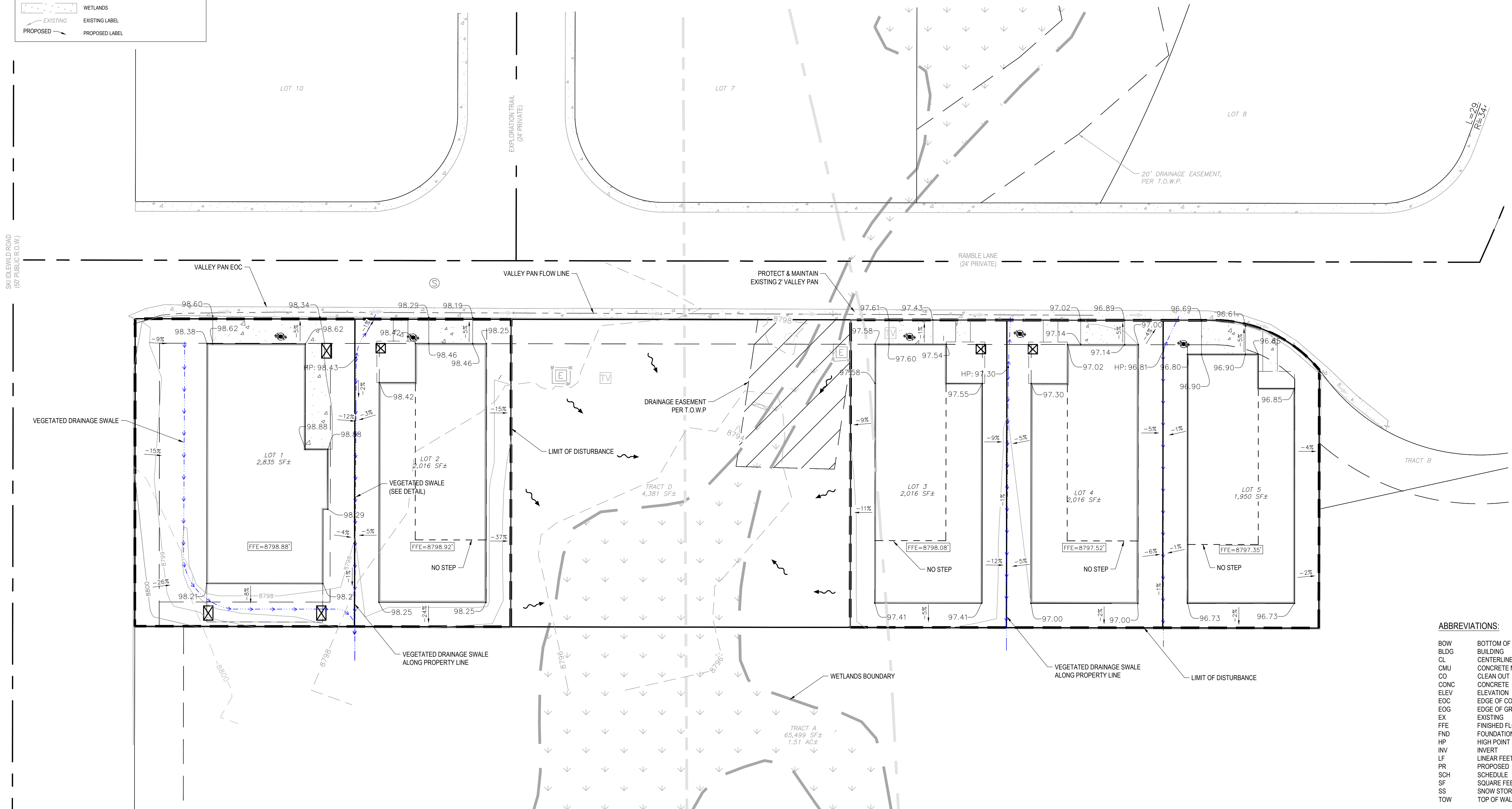
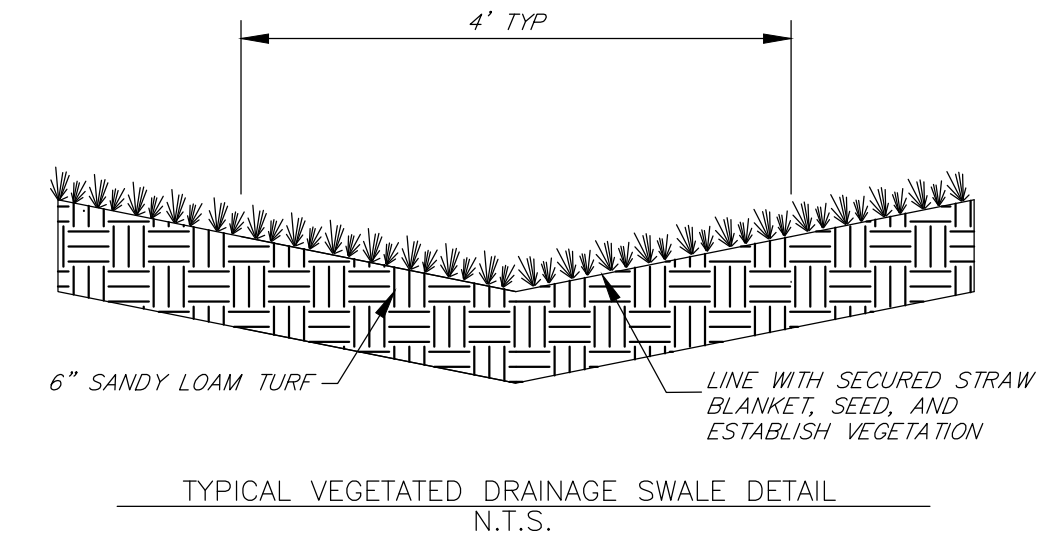
1. CONTRACTOR SHALL SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN TO THE CITY FOR APPROVAL PRIOR TO BUILDING PERMIT ISSUANCE.
2. CONTRACTOR SHALL WORK IN A MANNER THAT MINIMIZES THE POTENTIAL FOR EROSION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, INSPECTING, AND MAINTAINING ALL NECESSARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION AND REMOVING EROSION CONTROL WHEN PROJECT IS COMPLETE AND VEGETATION IS ESTABLISHED.
4. ANY AREA DISTURBED BY CONSTRUCTION AND NOT PAVED OR NATURAL ROCK SURFACE SHALL BE REVEGETATED WITHIN ONE CONSTRUCTION SEASON.

TOTAL EARTHWORK QUANTITIES:

AREA OF DISTURBANCE:	10,935	SQ. FT.
TOPSOIL STRIPPING:	405	CU. YDS.
TOTAL CUT:	535	CU. YDS.
TOTAL FILL:	14	CU. YDS.
NET (CUT):	521	CU. YDS.

NOTES:

1. TOPSOIL STRIPPING VOLUME ASSUMES AN AVERAGE TOPSOIL DEPTH OF 1.0 FT. ACTUAL TOPSOIL DEPTH MAY VARY ACROSS THE ENTIRE AREA OF DISTURBANCE.
2. THE TOTAL CUT VOLUME INCLUDES TOPSOIL STRIPPING.
3. A FILL FACTOR OF 1:10 WAS USED FOR CUT-FILL VOLUME CALCULATIONS.
4. FILL VOLUME INCLUDES NATIVE MATERIAL AND ALL IMPORT MATERIALS. (I.E. GRAVEL, ASPHALT, CONCRETE, ETC.)

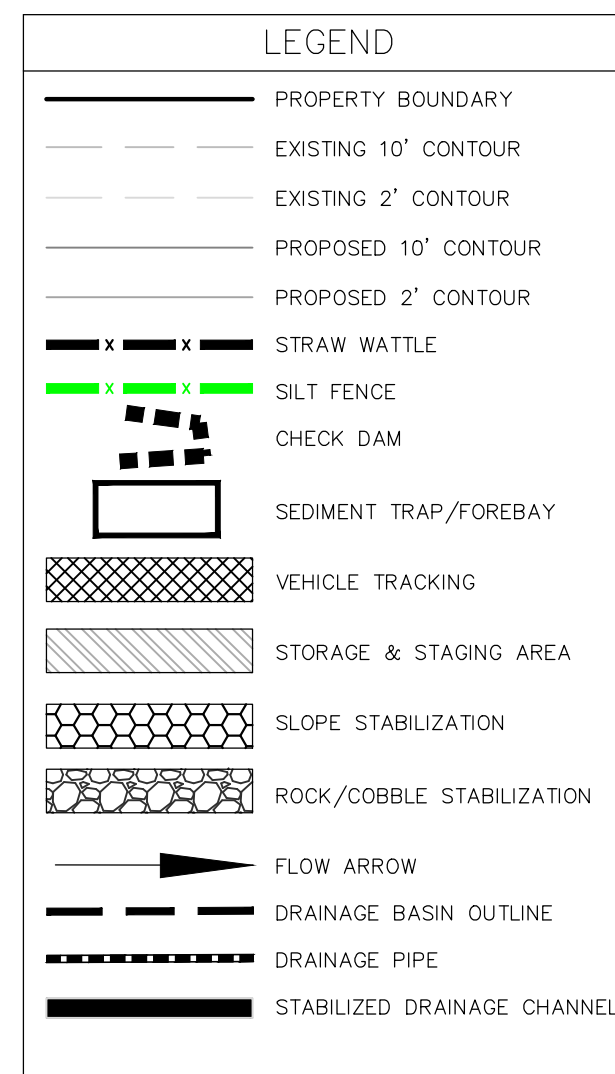


ABBREVIATIONS:

BOW	BOTTOM OF WALL
BLDG	BUILDING
CL	CENTERLINE
CMU	CONCRETE MASONRY UNITS
CO	CLEAN OUT
CONC	CONCRETE
ELEV	ELEVATION
EOC	EDGE OF CONCRETE
EOG	EDGE OF GRAVEL
EK	EXISTING
FFE	FINISHED FLOOR ELEVATION
FND	FOUNDATION
HP	HIGH POINT
INV	INVERT
LF	LINEAR FEET
PR	PROPOSED
SCH	SCHEDULE
SF	SQUARE FEET
SS	SNOW STORAGE
TOW	TOP OF WALL

STORM WATER SITE MANAGEMENT NOTES:

1. THIS PLAN SHALL BE KEPT ON SITE AT ALL TIMES AND UPDATED TO REFLECT ANY CHANGES.
2. CONCRETE WASTE AND WASHOUT WATER FROM MIXING TRUCKS SHALL BE CONTAINED ON SITE, REMOVED FROM THE SITE, AND PROPERLY DISPOSED. MATERIALS SHOULD NOT ENTER STATE WATERS.
3. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING TEMPORARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION AND ESTABLISHING ANY REQUIRED PERMANENT BEST MANAGEMENT PRACTICES (BMP'S).
4. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL LAWS. IN ADDITION CONTRACTOR MUST OBTAIN REQUIRED PERMITS.
5. CLEARING OR GRADING SHALL NOT BEGIN UNTIL ALL SEDIMENT CONTROL DEVICES HAVE BEEN INSTALLED.
6. THE CONTRACTOR SHALL PROMPTLY REMOVE ALL SEDIMENT, MUD, AND CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE RIGHT OF WAY, PRIVATE PROPERTY, OR WATER WAYS AS A RESULT OF THE CONSTRUCTION ACTIVITIES.
7. ALL INGRESS, EGRESS POINTS AND VEHICLE ACCESS POINTS ONTO DISTURBED SITE MUST BE STABILIZED WITH A VEHICLE TRACKING CONTROL PAD. ACCESS SHALL ONLY BE VIA APPROVED LOCATIONS AS SHOWN ON APPROVED CSM.P.
8. SLOPE STABILIZATION, BY MEANS OF TACKIFIER OR EROSION CONTROL BLANKETS SHALL BE INSTALLED WITHIN (14) DAYS OF ACHIEVING FINISHED GRADE ON ALL SLOPES GREATER THAN 3:1. NO SLOPES SHALL EXCEED 2:1 MAX SLOPE.
9. SOIL STABILIZATION MEASURES SHALL BE IN PLACE AND AREAS ARE TO BE REVEGETATED: (1) FOR STOCKPILES, IF INACTIVE FOR MORE THAN 30 DAYS (2) FOR AREAS OF LAND DISTURBANCE WITHIN ONE GROWING SEASON.
10. INLET AND OUTLET PROTECTION SHALL BE INSTALLED IN CONJUNCTION WITH STORM DRAIN INLETS AND CULVERTS WHERE DRAINAGE AREA IS NOT VEGETATED. DROP INLET STRUCTURES SHALL HAVE SILT BAGS. FLARED END SECTIONS AND CONCRETE HEADWALLS SHALL BE ENCIRCLED WITH STRAW WATTLE.
11. BMP'S SHALL BE USED, MODIFIED, AND MAINTAINED WHENEVER NECESSARY TO REFLECT CURRENT CONDITIONS. BMP'S SHALL BE INSPECTED WEEKLY AND AFTER EVERY PRECIPITATION EVENT. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM BMP'S WHEN THE SEDIMENT LEVEL REACHES 1/2 THE HEIGHT OF THE BMP.
12. EMERGENCY ACCESS MUST BE KEPT OBSTACLE FREE AND PASSABLE AT ALL TIMES.
13. FOR ANY WORK TO BE DONE IN THE RIGHT OF WAY, COORDINATE WITH THE CITY CONSTRUCTION SITE MANAGER REGARDING SPECIAL PERMITTING. NO WORK SHALL BE CONDUCTED IN THE ROW BETWEEN NOVEMBER 1 AND APRIL 1 WITHOUT PRIOR APPROVAL FROM THE DIRECTOR OF PUBLIC WORKS.
14. WHERE REQUIRED AS PART OF THE ROW PERMIT OR WHERE SITE WORK AFFECTS THE PEDESTRIAN OR VEHICLE TRAVEL WAY, TRAFFIC CONTROL SHALL BE INSTALLED. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
15. SIDEWALKS ADJACENT TO CONSTRUCTION SITES SHALL BE MAINTAINED, FOR PUBLIC USE, BY THE CONTRACTOR. IN AREAS WHERE CONSTRUCTION IS TAKING PLACE NEXT TO THE SIDEWALK AND OVERHEAD HAZARDS ARE POSSIBLE, SITE IS RESPONSIBLE FOR INSTALLING AND MAINTAINING SIDEWALK PROTECTION.

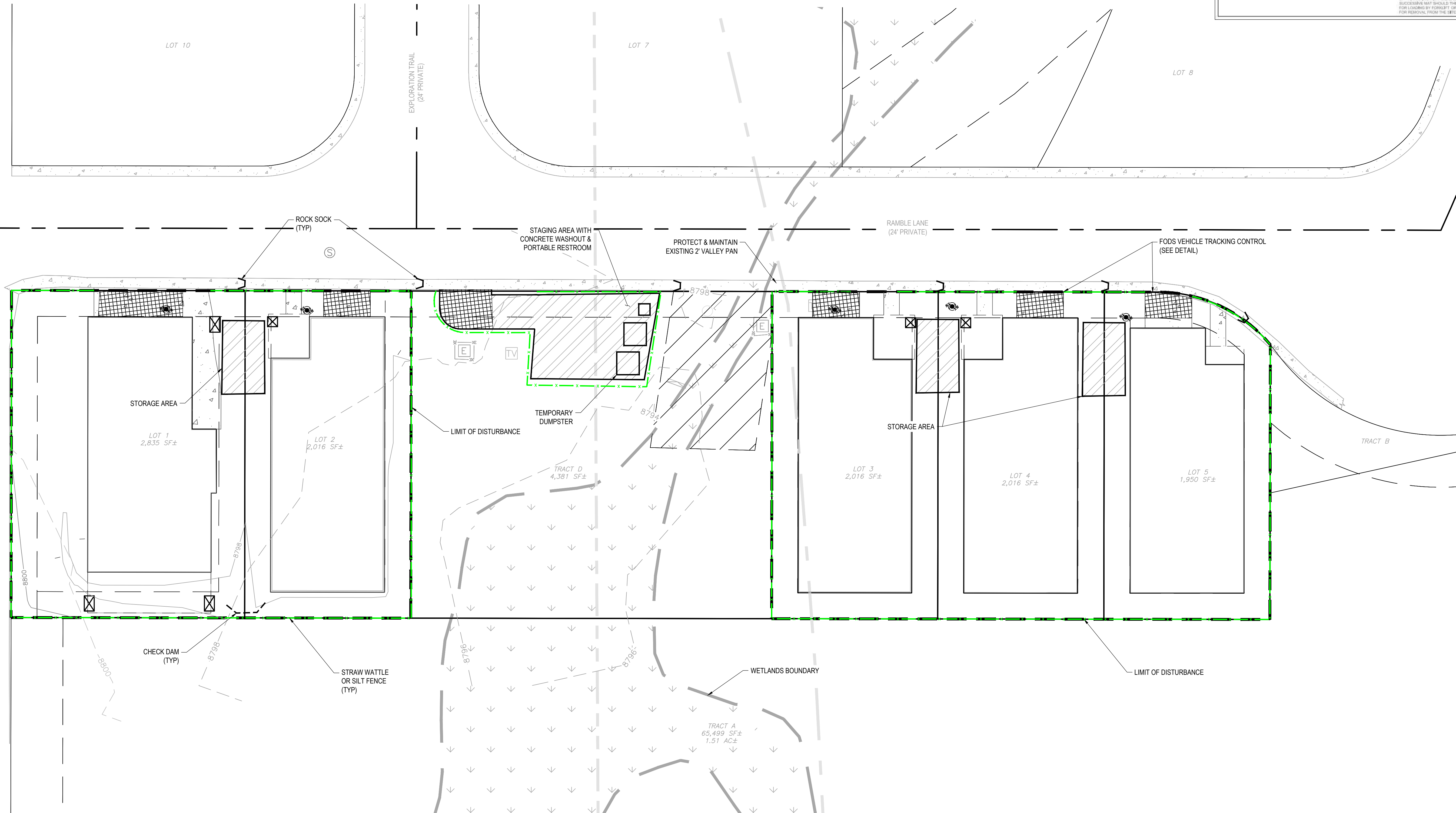
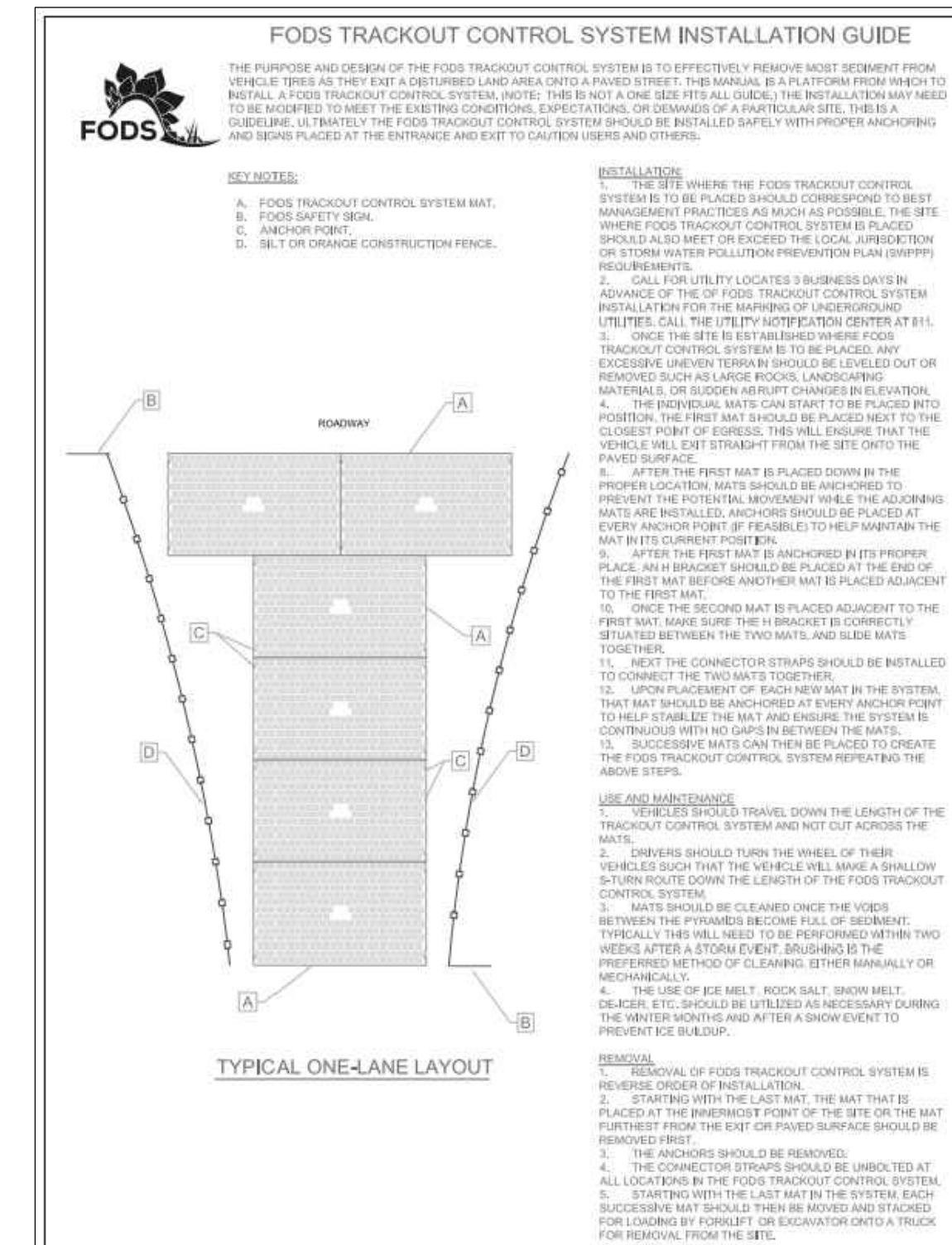
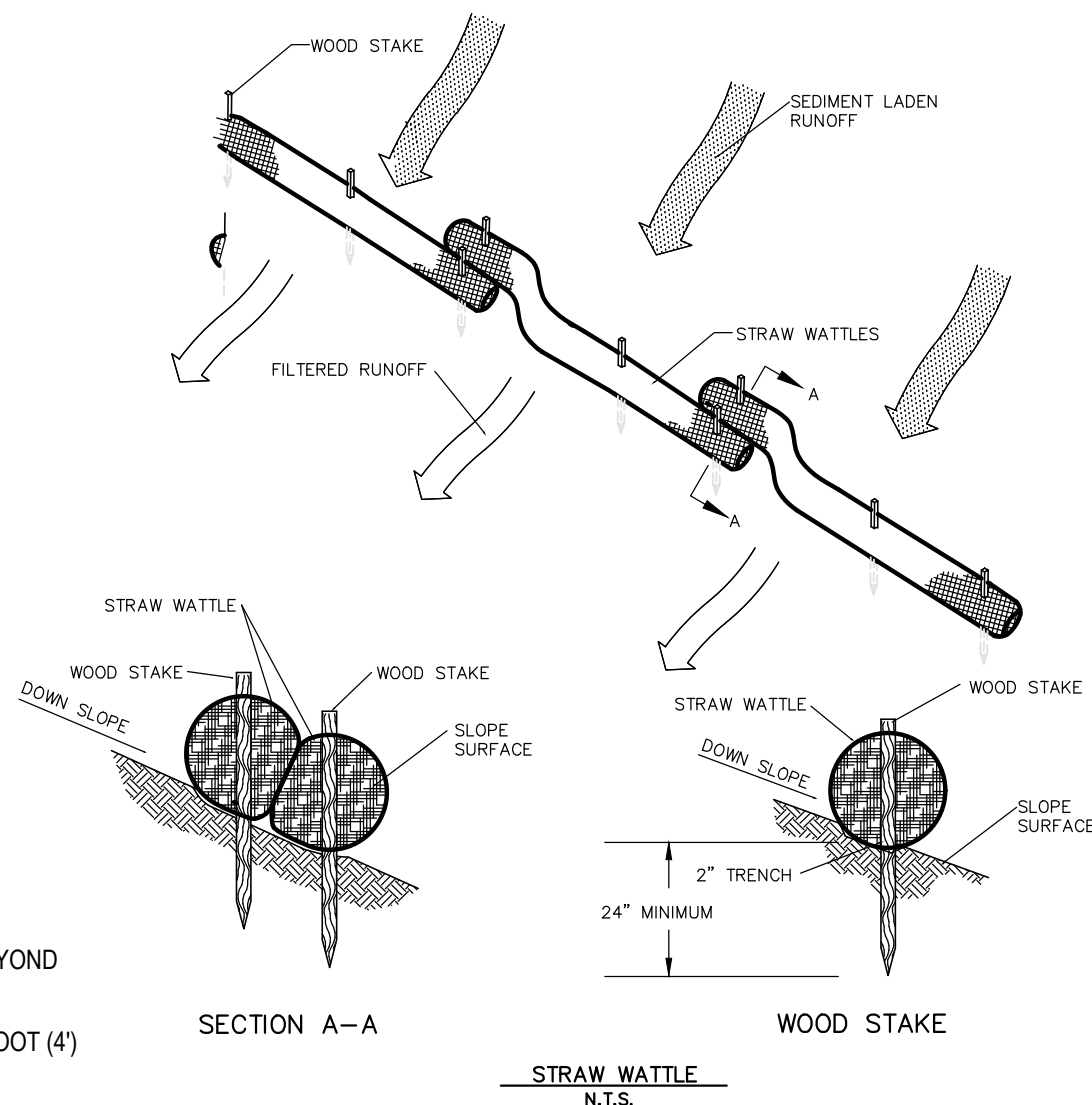
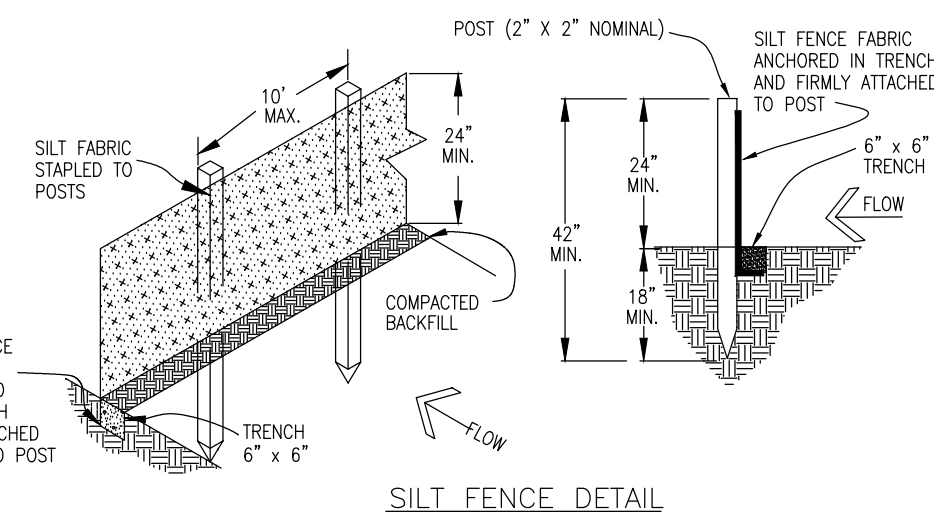


PROTECTION NOTES:

1. NO DISTURBANCE, GRADING, OR REMOVAL OF SIGNIFICANT NATURAL FEATURES AND VEGETATION WILL OCCUR BEYOND THE "LIMIT OF DISTURBANCE" LINE, AS SHOWN ON THIS PLAN.
2. THE "LIMIT OF DISTURBANCE" LINE SHALL BE DELINEATED PRIOR TO CONSTRUCTION WITH FLAGS, ROPING, FOUR FOOT (4') TALL ORANGE CONSTRUCTION FENCING, OR OTHER ACCEPTABLE MEANS.

EROSION CONTROL:

1. CONTRACTOR SHALL SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN TO THE CITY FOR APPROVAL PRIOR TO BUILDING PERMIT ISSUANCE.
2. CONTRACTOR SHALL WORK IN A MANNER THAT MINIMIZES THE POTENTIAL FOR EROSION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, INSPECTING, AND MAINTAINING ALL NECESSARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION AND REMOVING EROSION CONTROL WHEN PROJECT IS COMPLETE AND VEGETATION IS ESTABLISHED.
4. ANY AREA DISTURBED BY CONSTRUCTION AND NOT PAVED OR NATURAL ROCK SURFACE SHALL BE REVEGETATED WITHIN ONE CONSTRUCTION SEASON.



440 S. Lincoln Ave, Suite 4A
P.O. Box 775966
Steamboat Springs, CO 80487
(970)-871-6772
www.fourpointse.com

NO.	DATE	REVISIONS	INT

**LOTS 1-5, BLOCK 9,
ROAM SUBDIVISION
RAMBLE LANE
WINTER PARK, COLORADO 80482**

Horizontal Scale

SCALE: 1" = 10'

Contour Interval = 2 ft

DATE: 03/21/2024
JOB #: 2185-002
DRAWN BY: AP
DESIGN BY: AP
REVIEW BY: FPSE

IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN A4 X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.

DRAWING:

**STORMWATER
MANAGEMENT
PLAN**

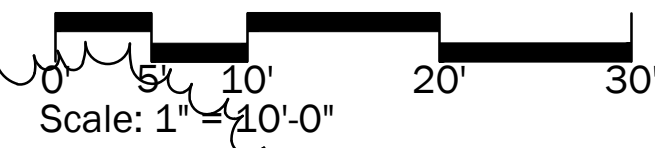
SHEET NO.

C4

TREE AND GROUNDPLANE PLAN

RAMBLE LANE

Drawing Scale & North Arrow



TREE SCHEDULE

TREES	BOTANICAL / COMMON NAME	SIZE	HEIGHT	WIDTH	QTY
PT	Populus tremuloides Aspen (Clump)	#10	20-50 Ft.	20-30 Ft.	11
PC	Prunus virginiana 'Shubert' Canada Red Cherry	2" Cal.	20-25 Ft.	15-20 Ft.	4

EVERGREEN TREES	BOTANICAL / COMMON NAME	SIZE	HEIGHT	WIDTH	QTY
PF	Pinus flexilis Limber Pine	6" Ht.	30-50 Ft.	15-30 Ft.	5
PM	Pseudotsuga menziesii Rocky Mt. Douglas Fir	6" Ht.	50-80 Ft.	15-25 Ft.	2

GROUNDPLANE SCHEDULE

GROUND COVERS	BOTANICAL / COMMON NAME	SIZE	QTY
	4"-8" Washed River Rock	Completely Covering Weed Barrier Fabric	1,351 sf
	Fr Fiber Mulch/ Decomposed Granite	3" Depth	1,781 sf
	Native Grass with Wildflower Seed	Seed	1,164 sf

NATIVE GRASS SEED MIX

	% of Mix	PLS		% of Mix	PLS
Mountain Brome Grass, Bromar	20%	10.0			
Canada Bluegrass, Talon	5%	2.5	Cornflower	10%	5.0
Big Bluegrass, Sherman	5%	5.0	African Daisy	10%	5.0
Sheep Fescue, Covar	10%	5.0	Black-eyed Susan	10%	5.0
Slender Wheatgrass	20%	10.0	Baby's Breath	10%	5.0
Pubescent Wheatgrass, Luna	25%	12.5	Blue Flax	5%	2.5
Cicer Milkwech	2%	1.0	Sweet Alyssum	5%	2.5
Annual Ryegrass, Gulf	5%	2.5	California Poppy	5%	2.5
Woods Rose	6%	3.0	Wall Flower, Siberian	5%	2.5
White Dutch Clover	2%	1.0	Plains Coneflower	5%	2.5

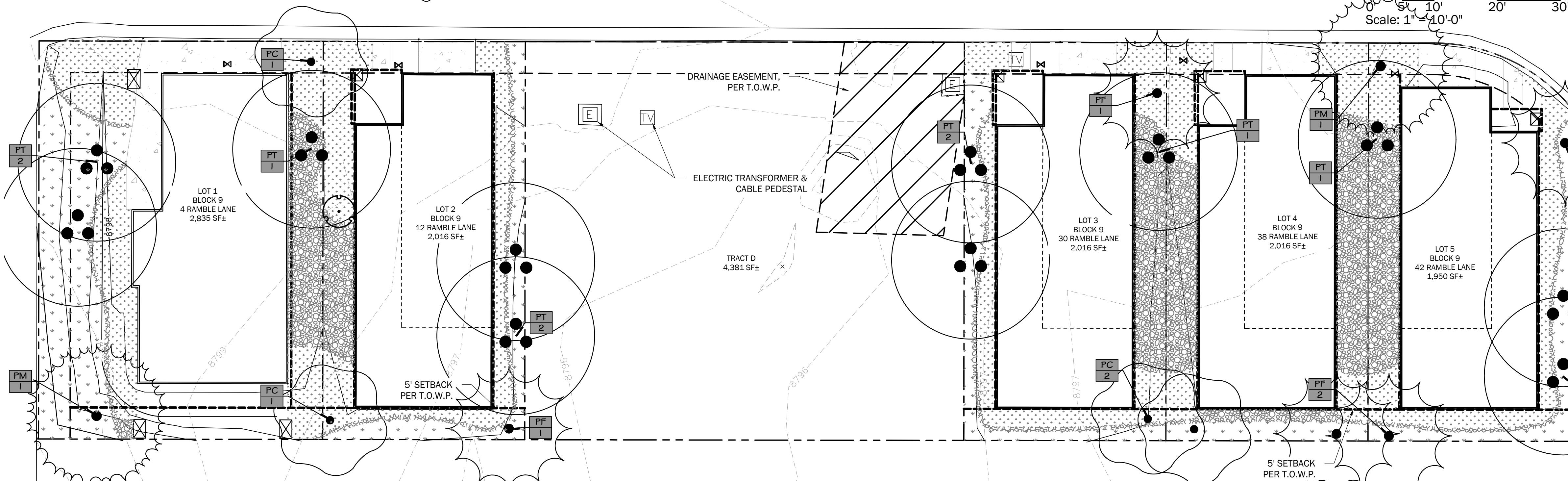
Native Wildflower Seed

	% of Mix	PLS		% of Mix	PLS
			Garland Daisy	4%	2.0
			Perennial Gaillardia	3%	1.5
			Annual Gaillardia	3%	1.5
			Evening Primrose	3%	1.5
			Sweet William, Pink	3%	1.5
			Shasta Daisy	3%	1.5
			Corn Poppy	2%	1.0
			Catchfly	2%	1.0
			Rocky Mt. Penstemon	2%	1.0
			Spurred Snapdragon	2%	1.0
			Purple Coneflower	2%	1.0
				100%	55 PLS

*White Dutch Clover is optional

Seed Application: Drill Seed 0.25"-0.5" into the Soil. In areas not accessible to a drill hand broadcast at double the above rate and rake 0.25"-0.5" into the soil. On slopes steeper than 2:1, Hydroseed at Double the rate.

Hydroseed Application: Hydromulch shall consist of Cellulose fiber mulch and mulch tackifier and shall be applied at the rates of 2,000 lbs per acre and 100 lbs per acre consecutively.



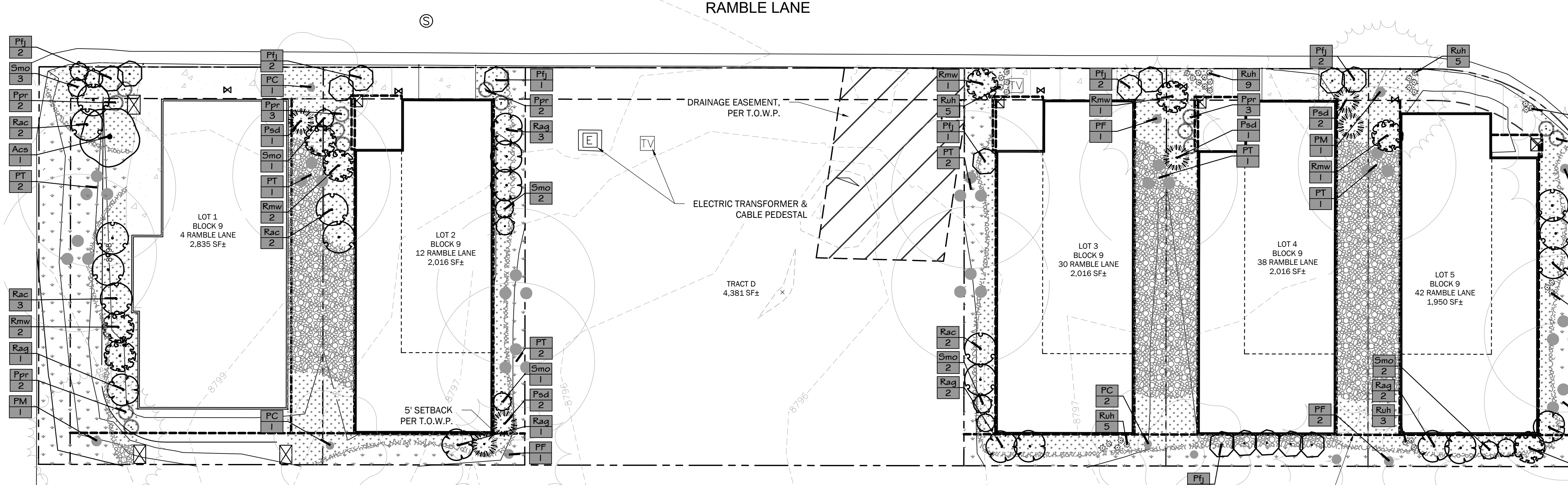
SHRUB PLAN

RAMBLE LANE

SHRUB SCHEDULE

SHRUBS	BOTANICAL / COMMON NAME	SIZE	HEIGHT	WIDTH	QTY
AcS	Amelanchier canadensis Canadian Serviceberry	#5	15-25 Ft.	15-20 Ft.	1
Ppr	Picea pungens 'Roundabout' Roundabout Colorado Spruce	#3	2-3 Ft.	2-3 Ft.	14
Psd	Picea pungens 'Sester Dwarf' Sester Dwarf Colorado Spruce	#6	6-8 Ft.	3-5 Ft.	6
Pfj	Potentilla fruticosa 'Jackman' Jackman's Bush Cinquefoil	#5	2-3 Ft.	3-4 Ft.	15
Roc	Ribes alpinum Alpine Currant	#5	3-6 Ft.	3-6 Ft.	12
Rog	Ribes aureum Yellow Currant	#5	4-6 Ft.	4-6 Ft.	10
Rmw	Rosa woodii Mountain Rose	#5	3-6 Ft.	3-6 Ft.	8
Smo	Symphoricarpos oreophilus Mountain Snowberry	#5	2-4 Ft.	2-4 Ft.	11

PERENNIALS	BOTANICAL / COMMON NAME	SIZE	HEIGHT	WIDTH	QTY
Ruh	Rudbeckia hirta Black-eyed Susan	#1	2'-3'	12-24 In.	33



LANDSCAPE NOTES

- LANDSCAPE PLAN AND DETAILS TO BE USED IN CONJUNCTION WITH THE CIVIL AND ARCHITECTURAL PLANS TO FORM COMPLETE INFORMATION REGARDING SITE WORK.
- PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE OFFICE OF THE OWNER'S REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- THE SHOWN UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING "CALL BEFORE YOU DIG" AT (800) 922-1987. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED TO UTILITIES. CONTRACTOR TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO BEFORE DIGGING, INCLUDING BUT NOT LIMITED TO, TRENCHING AND SHRUB AND TREE PLANTING PITS. IF UTILITIES OCCUR AT LOCATIONS OF PROPOSED SHRUBS OR WITHIN EIGHT (8) FEET OF PROPOSED TREES, THE CONTRACTOR SHALL REPORT SUCH CONDITIONS TO THE OWNER'S REPRESENTATIVE. DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR IS THE RESPONSIBILITY OF THE CONTRACTOR.
- PREPARE ALL SOIL WITH SAND BASED GRANULAR HUMATE AT THE RATE OF 435 LBS. PER ACRE.
- NATIVE GRASS AREAS SHALL BE PREPARED WITH ASPEN RICH COMPOST OR AN APPROVED EQUAL AT A RATE OF 3 CUBIC YARDS PER 1,000 SQUARE FEET. THIS PREPARATION SHALL BE THOROUGHLY INCORPORATED INTO THE 6" OF SOIL.
- APPLY BIOSOL ALL NATURAL ORGANIC FERTILIZER AT THE RATE OF 1800 LBS. PER ACRE IN ALL SEEDING AREAS.
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TOOLS AND SERVICE NECESSARY TO FURNISH AND INSTALL ALL WORK SPECIFIED AND AS SHOWN ON THESE PLANS. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT OWNER'S REPRESENTATIVE'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
- AN EVENLY PLACED LAYER OF COBBLE PLACED ON ALL AREAS DESIGNATED ON THE PLAN COMPLETELY COVERING PINNED WEED BARRIER FABRIC. WEED BARRIER SHALL BE A WOVEN, POROUS MAT AS MANUFACTURED BY AMERICAN EXCELSIOR POLYSPUN XL, DUPONT TYPAR STYLE 3341 OR MIRAFI "MIRASCAPE". THE WEED BARRIER SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS. ALL WEED BARRIER SHALL BE COMPLETELY COVERED BY BREEZE.
- AN EVENLY PLACED LAYER OF ORGANIC MULCH (FIBER AND DECOMPOSED GRANITE SHALL BE PLACED ON ALL AREAS DESIGNATED ON THE PLAN. ORGANIC MULCH SHALL BE APPLIED DIRECTLY TO TILLED, SCARIFIED, AMENDED AND UNCOMPACTED SOIL. NO WEED BARRIER FABRIC SHALL BE USED IN THESE AREAS.
- ALL FIR FIBER MULCH MUST BE TREATED WITH FLAME STOP II, PER MANUFACTURER INSTRUCTIONS; MANUFACTURER: FLAME STOP INC., 924 BLUE MOUND ROAD, FT. WORTH, TX 76134, 1-877-387-7867, WWW.FLAMESTOP.COM
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY OWNER'S REPRESENTATIVE WITH A SAMPLE OF ALL TYPES OF MULCH FOR APPROVAL PRIOR TO INSTALLATION.
- STEEL EDGING, OR OTHER, SHALL NOT BE PROVIDED WITH THIS LANDSCAPE PLAN. AN 8"-16" BAND OF COBBLE SHALL SEPARATE AREAS OF FIBER MULCH & SEED.
- ALL EXISTING TOPSOIL IS TO BE STRIPPED AND STOCKPILED FOR USE IN PROPOSED LANDSCAPE. TOPSOIL SHOULD BE LOCATED WHERE IDENTIFIED ON THE CIVIL ENGINEERING GRADING AND EROSION CONTROL PLAN.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING EROSION CONTROL MEASURES AS PER THE CITY OF WINTER PARK SPECIFICATIONS DURING THE DURATION OF WORK ON-SITE.
- CONTRACTOR SHALL PROVIDE 4" OF TOPSOIL AT ALL SOD AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. LANDSCAPE CONTRACTOR SHALL

PERFORM ALL FINISH GRADING.

- FOR PROPOSED SITE GRADING, SEE GRADING PLAN.
- CULTIVATE THE SUBSOIL ON ALL PLANTING BEDS AND SOD AREAS TO A DEPTH OF 12".
- ALL PLANT MATERIALS SHALL HAVE BACKFILL CAREFULLY PLACED AROUND THE BASE AND SIDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF THE BALL, THEN THOROUGHLY SOAK WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS AND LOOSE BURLAP AROUND BASE OF TRUNK SHALL BE REMOVED AT THIS TIME. REMAINDER OF PIT SHALL THEN BE BACKFILLED, ALLOWING FOR DEPTH OF MULCH, SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED AGAIN.
- ALL SHRUBS AND TREES SHALL BE PLANTED A MINIMUM OF 12" INSIDE OF ALL EDGING AND AWAY FROM WALLS AND OTHER PERMANENT STRUCTURES.
- ALL PLANT LOCATIONS ARE APPROXIMATE; ADJUST AS NECESSARY TO AVOID CONFLICTS. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF LOCATIONS PRIOR TO PLANTING TREES AND SHRUBS.
- QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON THE PLANTING PLAN. REPORT ANY DISCREPANCIES IN THE PLANTING PLAN IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE-FREE, AND BE TYPICAL OF THE SPECIES. PLANTS SHALL COMPLY IN ALL APPLICABLE RESPECTS WITH ACCEPTABLE STANDARDS AS SET FORTH IN THE COLORADO NURSERY ACT OF 1965 - TITLE 35, ARTICLE 25, CRS 1974 (SEE LANDSCAPE THE NURSERY ACT). OWNER AND OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO FINAL ACCEPTANCE OF WORK, ANY AND ALL PLANTS WHICH, IN THEIR OPINION, FAIL TO MEET THESE SPECIFICATION REQUIREMENTS.
- PLANTS ARE TO BE SIZED AS SHOWN PER SPECIES ON THE PLANT SCHEDULE.
- THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL PROVISIONAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANTS' HEALTHY CONDITION.
- ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. BALLS OF PLANTS THAT CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOIST MULCH. PERIODICALLY APPLY WATER TO MULCH-COVERED BALLS TO KEEP MOIST. IF PLANTING SHOULD OCCUR DURING GROWING SEASON, APPLY ANTI-DESSICANT TO LEAVES BEFORE TRANSPORT TO REDUCE LIKELIHOOD OF WINDBURN. REAPPLY ANTI-DESSICANT AFTER PLANTING TO REDUCE TRANSPIRATION.
- WRAP ALL TREE TRUNKS SPIRALLY WITH APPROVED WRAPPING MATERIAL FROM GROUND TO THE FIRST BRANCH. SECURELY TIE WRAPPING AT THE TOP AND BOTTOM WITH MASKING TAPE. TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING IN THE MANNER SHOWN ON THE PLANTING DETAILS.
- AFTER PLANTING IS COMPLETED, REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE NATURAL HABIT OR SHAPE OF PLANT. CENTRAL LEADERS SHALL NOT BE REMOVED.
- FINE GRADE SEED AREAS TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING.
- CONTRACTOR TO REMOVE TREE STAKES, TREE WRAP, AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER THE COMMENCEMENT OF THE PLANTING INSTALLATION.

- AT THE COMPLETION OF PLANTING OPERATIONS ALL PLANTS SHALL BE INSPECTED BY THE OWNER AND OWNER'S REPRESENTATIVE. CONTRACTOR SHALL REPLACE IMMEDIATELY ANY PLANTS NOT IN HEALTHY AND VIGOROUS CONDITION AT THAT TIME AT NO EXPENSE TO THE OWNER. ANY PLANT NOT IN HEALTHY CONDITION DURING THE TWO-YEAR WARRANTY PERIOD SHALL BE REPLACED AS PER THE ORIGINAL SPECIFICATIONS, FREE OF CHARGE TO THE OWNER.
- REMOVE ALL RUBBISH, EQUIPMENT AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND UNOBSTRUCTED CONDITION AT ALL TIMES.
- THE FINISH GRADES AS SHOWN ON CIVIL CONSTRUCTION DRAWINGS SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS AND BUILDINGS.
- THE TILLING OF PLANTING BEDS AND PLACEMENT OF BACKFILL IS TO OCCUR JUST PRIOR TO PLANTING; THEREAFTER, PROTECTION FROM COMPACTION AND CONSTRUCTION TRAFFIC SHOULD BE GIVEN.
- 24 HOURS PRIOR TO PLANTING ALL PLANT MATERIAL, CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE TO INSPECT AND APPROVE THE PLANT LAYOUT LOCATIONS.
- ALL TREES TO BE DEEP WATERED BY HAND OR TRUCK AT TIME OF PLANTING AND CONTINUE UNTIL TEMPORARY IRRIGATION SYSTEM IS OPERATING.
- TEMPORARY IRRIGATION WILL BE PROVIDED TO ALL TREES, SHRUBS AND PERENNIALS VIA DRIP IRRIGATION FOR A MINIMUM OF TWO GROWING SEASONS.
- IRRIGATION WILL BE PROVIDED TO ALL AREAS OF NATIVE SEED WITH TEMPORARY SPRAY IRRIGATION.

FRONT YARD LANDSCAPE REQUIREMENTS - Code Section 4-16.7

Street Name or Zone Boundary	Street Name	Linear Footage	# of Lots	Trees (1 per Lot)			Shrubs (2 per 10 ft)			Evergreen Shrubs (20% of Total)		
				Required	Provided	Extra	Required	Provided	Extra	Required	Provided	Extra
Lots 1-2	Ramble	76	2	2	9	7	8	40	32	8	12	4
Lots 3-5	Ramble	100	3	3	13	10	10	36	26	8	8	0

APPROVAL STAMP



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Wilds
360
at Winter Park

Winter Park,
Colorado

LANDSCAPE PLAN

Date Submitted: April 28, 2023
Revised: June 20, 2023

LA1

LANDSCAPE PLAN

Not For Construction

SPECIFICATIONS

Certifications/Qualifications

www.kichler.com/warranty

Dimensions

Base Backplate	6.00 DIA
Extension	10.25"
Weight	1.30 LBS
Height from center of Wall opening (Spec Sheet)	3.00"
Height	13.00"
Width	9.00"

Light Source

Dimmable	Yes
Lamp Included	Not Included
Lamp Type	A19
Light Source	Incandescent
Max or Nominal Watt	150.00
# of Bulbs/LED Modules	1
Max Wattage/Range	150W
Socket Type	Medium
Socket Wire	150"

Mounting/Installation

Interior/Exterior	Exterior
Lead Wire Length	6"
Location Rating	Wet
Mounting Weight	1.30 LBS

FIXTURE ATTRIBUTES

Housing

Primary Material	ALUMINUM
Shade Description	Metal
Shade Dimensions	9 DIA X 3.62
Shade Included	Yes

Product/Ordering Information

SKU	59002BK
Finish	Black
Style	Coastal
UPC	783927573009

Finish Options

- Black
- Catalina Blue
- White



ALSO IN THIS FAMILY



59002CBL



59000CBL



59000WH



59003WH



59002WH



59001BK

Home » Our Work » Lighting » Lighting for Industry » Fixture Seal of Approval » Find Dark Sky Friendly Lighting

Find Dark Sky Friendly Lighting

IDA's [Fixture Seal of Approval program](#) certifies outdoor lighting fixtures as being Dark Sky Friendly, meaning that they minimize glare while reducing light trespass and skyglow.

All products approved in the program are required to be fully shielded and to minimize the amount of blue light in the nighttime environment. To learn more about good outdoor lighting, visit our [Lighting Basics page](#).

IDA does not sell lighting. To find retailers that sell good lighting, see our [Dark Sky Retailers](#) page or browse the guide below to find fixtures that have been approved under our Fixture Seal of Approval program.



Lozano

Store / Residential / Wall Mount

SKU 01003

Product Details

Product Website:
<https://www.kichler.com/products/search/?family=lozano>

Share this product with your friends

Share Tweet Pin it



Dark Sky Approved Products

- Search by Company
- Search by Use
- Search by Retailer
- Color Temperature
- Residential
 - Ceiling Mount
 - Wall Mount
 - Pole Mount
 - Pathway
 - Deck & Stair

Search Products

NUVI

15446BZ

NUVI MEDIUM DECK SCONCE

NUVI offers exceptional 12v LED horizontal illumination due to its innovative composite optic technology. Constructed of durable, solid vinyl alloy NUVI is fit for harsh environments, offering resiliency and long-life. A diverse range of mounting opportunities and easy installation ensure maximum flexibility. ETL rated for indoor/outdoor use.



DETAILS	
FINISH:	Bronze
MATERIAL:	Vinyl Alloy
GLASS:	Composite PC

DIMENSIONS	
WIDTH:	5"
DEPTH:	3
EXTENSION:	0"

LIGHT SOURCE	
LIGHT SOURCE:	Integrated LED
LED NAME:	ENX4
WATTAGE:	1.90w LED *Included
VOLTAGE:	12v
COLOR TEMP:	2700
LUMENS:	140
CRI:	80
INCANDESCENT EQUIVALENCY:	1 x 20w
DIMMABLE:	Yes - MLV On Transformer Primary
TRANSFORMER REQUIRED:	Yes

MOUNTING	
LEAD WIRE:	1 X 60"

SHIPPING	
CARTON LENGTH:	0.8
CARTON WIDTH:	3.2
CARTON HEIGHT:	5.5
CARTON WEIGHT:	0.3



PRODUCT DETAILS:

- Suitable for use in wet (outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- Rated for both indoor and outdoor use
- Photometrics are based off engine photometrics at various mounting heights.
- Easy and efficient installation: fewer fixtures illuminate a more extensive area, offering a diverse range of mounting opportunities.
- Exceptional 12V LED horizontal illumination due to innovative composite optic technology
- Available as single items or packages of 10
- LED integrated components carry a 10-year limited warranty
- Nuvi Series products carry a lifetime limited warranty

HINKLEY

HINKLEY
33000 Pin Oak Parkway
Avon Lake, OH 44012

PHONE: (440) 653-5500
Toll Free: 1 (800) 446-5539

hinkley.com

NUVI

15446BZ-10

NUVI MEDIUM DECK SCONCE 10-PACK

Nuvi provides exceptional horizontal LED hardscape lighting to perfectly graze light over textured surfaces while safely illuminating interior or exterior areas, and is backed by Hinkley's lifetime warranty.

DETAILS	
FINISH:	Bronze
MATERIAL:	Vinyl Alloy
GLASS:	Composite PC
DIMMABLE:	YES, WITH MLV ON TRANSFORMER PRIMARY

DIMENSIONS	
WIDTH:	5"
DEPTH:	3

LIGHT SOURCE	
LIGHT SOURCE:	Integrated LED
LED NAME:	ENX4
VOLTAGE:	12v
VOLT AMPS:	2.8
COLOR TEMP:	2700
LUMENS:	140
CRI:	80
INCANDESCENT EQUIVALENCY:	1 x 20w
DIMMABLE:	YES, WITH MLV ON TRANSFORMER PRIMARY
TRANSFORMER REQUIRED:	Yes

SHIPPING	
CARTON LENGTH:	3.2
CARTON WIDTH:	5.5
CARTON HEIGHT:	8.7
CARTON WEIGHT:	3

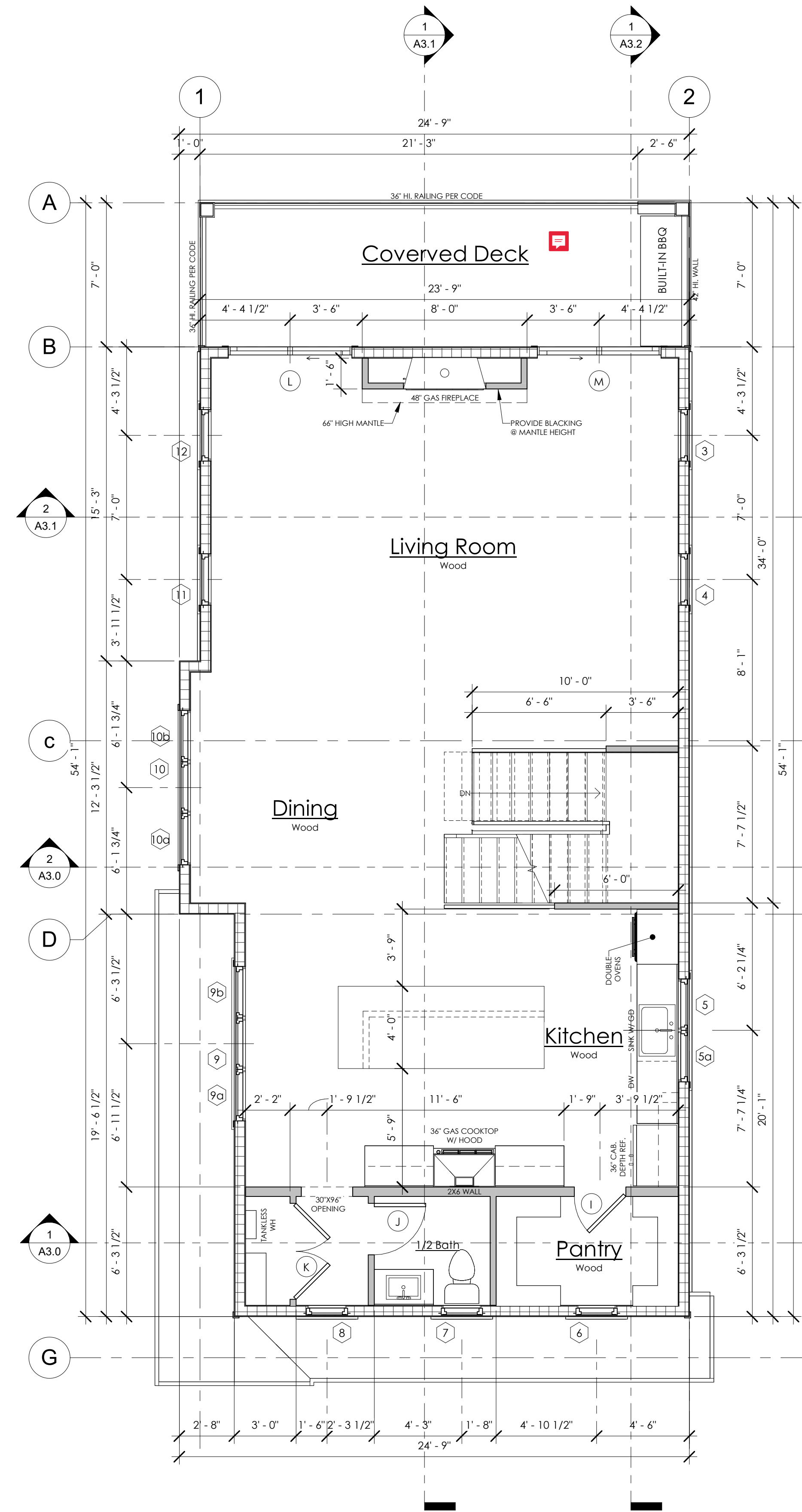


PRODUCT DETAILS:

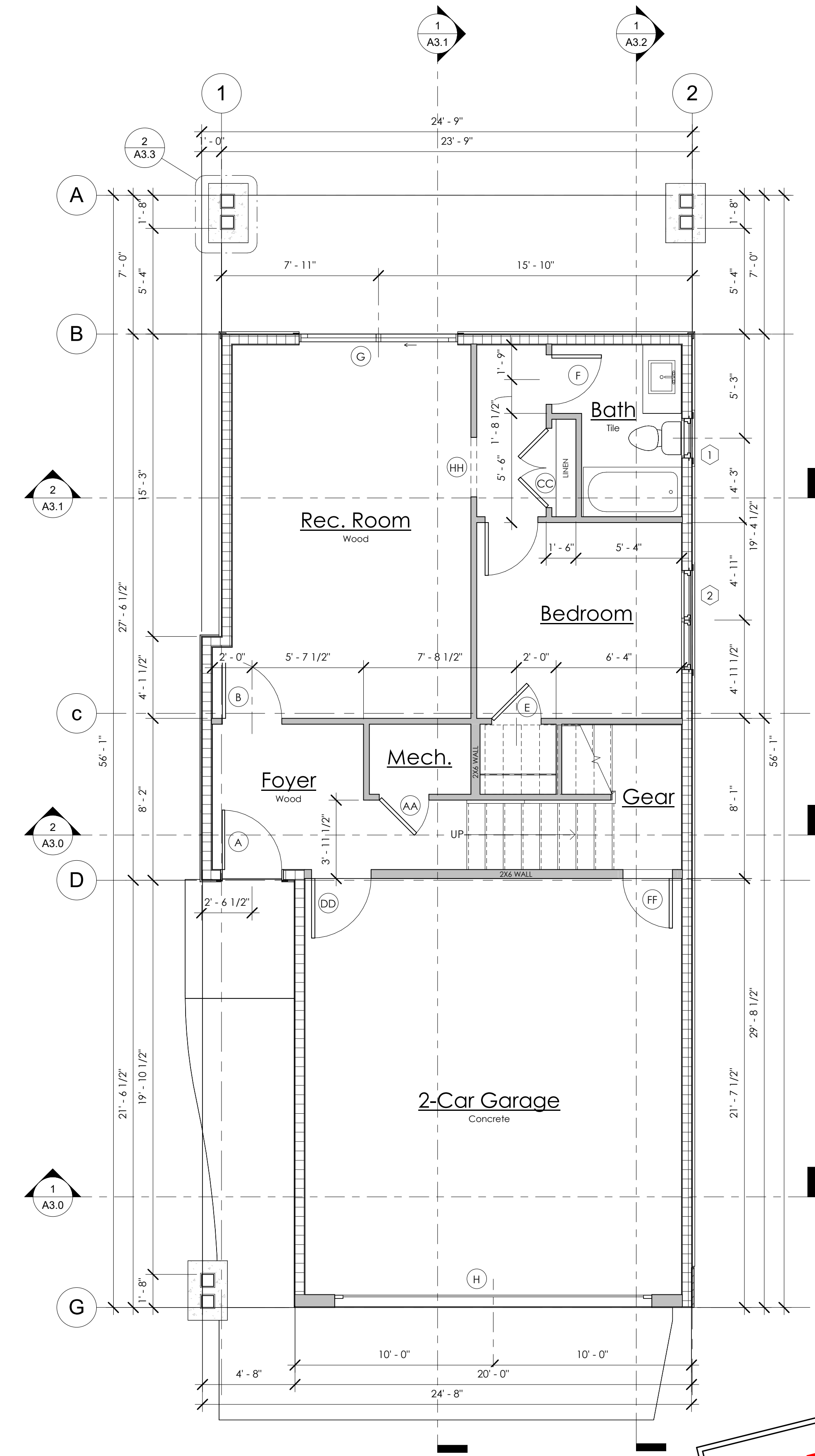
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- Suitable for both indoor and outdoor use
- Photometrics are based off engine/bulb photometrics at various mounting heights.
- Easy and efficient installation: fewer fixtures illuminate a more extensive area, offering a diverse range of mounting opportunities.
- Exceptional 12V LED horizontal illumination due to innovative composite optic technology
- Available as single items or packages of 10
- For more information on how to control your landscape lighting via the Hinkley Home Automation App, [click here](#).
- LED integrated components carry a 10-year limited warranty

Mark	Width	Height	Type	Notes
A	3'-0"	8'-0"	EXTERIOR; SINGLE - ENTRY	
B	3'-0"	8'-0"	INTERIOR; SINGLE - SOLID CORE	
C	2'-4"	8'-0"	INTERIOR; SINGLE - SOLID CORE	
D	6'-0"	6'-8"	EXTERIOR; SGD XO	
E	2'-6"	6'-8"	INTERIOR; SINGLE - SOLID CORE	
F	2'-6"	8'-0"	INTERIOR; SINGLE - SOLID CORE	
G	8'-0"	8'-0"	EXTERIOR; SGD XO	
H	16'-0"	8'-0"	OVERHEAD; INSULATED METAL	
I	2'-6"	8'-0"	INTERIOR; SINGLE - SOLID CORE	
J	2'-6"	8'-0"	INTERIOR; SINGLE - SOLID CORE	
K	4'-8"	8'-0"	INTERIOR; PAIR - SOLID CORE	
L	6'-0"	8'-0"	EXTERIOR; SGD XO	
M	6'-0"	8'-0"	EXTERIOR; SGD XO	
N	2'-6"	8'-0"	INTERIOR; SINGLE - SOLID CORE	
O	2'-6"	8'-0"	INTERIOR; BARN DOOR - SOLID CORE	
P	2'-8"	8'-0"	INTERIOR; SINGLE - SOLID CORE	
Q	2'-6"	8'-0"	INTERIOR; SINGLE - SOLID CORE	
R	2'-8"	8'-0"	INTERIOR; SINGLE - SOLID CORE	
T	4'-0"	8'-0"	INTERIOR; PAIR - SOLID CORE	
U	2'-8"	8'-0"	INTERIOR; SINGLE - SOLID CORE	
V	6'-0"	8'-0"	INTERIOR; BI-PASS - SOLID CORE	
W	2'-8"	8'-0"	INTERIOR; SINGLE - SOLID CORE	
X	6'-0"	8'-0"	INTERIOR; BI-PASS - SOLID CORE	
Y	2'-6"	8'-0"	INTERIOR; BARN DOOR - SOLID CORE	
Z	2'-6"	8'-0"	INTERIOR; BARN DOOR - SOLID CORE	
S	1'-6"	6'-8"	INTERIOR; SINGLE - SOLID CORE	
AA	2'-4"	6'-8"	INTERIOR; SINGLE - SOLID CORE	

Mark	Width	Height	Type	Notes
1	2'-0"	3'-4"	SINGLE CASEMENT	
2	2'-6"	4'-6"	DOUBLE CASEMENT	EGRESS
3	2'-6"	5'-0"	SINGLE CASEMENT	
4	2'-6"	5'-0"	SINGLE CASEMENT	
5	2'-6"	4'-6"	SINGLE CASEMENT	
5a	2'-6"	4'-6"	SINGLE CASEMENT	
6	2'-0"	2'-6"	SINGLE CASEMENT	
7	2'-0"	2'-6"	FIXED	
8	2'-0"	2'-6"	SINGLE CASEMENT	
9	2'-6"	5'-0"	DOUBLE CASEMENT	
9a	2'-6"	5'-0"	SINGLE CASEMENT	
9b	2'-6"	5'-0"	SINGLE CASEMENT	
10	2'-6"	5'-0"	DOUBLE CASEMENT	
10a	2'-6"	5'-0"	SINGLE CASEMENT	
10b	2'-6"	5'-0"	SINGLE CASEMENT	
11	2'-6"	5'-0"	SINGLE CASEMENT	
12	2'-6"	5'-0"	SINGLE CASEMENT	
13	2'-0"	3'-4"	SINGLE CASEMENT	
14	2'-6"	5'-0"	SINGLE CASEMENT	EGRESS
16	2'-0"	3'-4"	SINGLE CASEMENT	
17	2'-6"	5'-0"	DOUBLE CASEMENT	EGRESS
18	2'-6"	5'-0"	SINGLE CASEMENT	EGRESS
19	2'-6"	5'-0"	SINGLE CASEMENT	EGRESS
20	2'-6"	2'-0"	DOUBLE CASEMENT	
21	2'-0"	4'-0"	SINGLE CASEMENT	EGRESS
22	2'-0"	4'-0"	SINGLE CASEMENT	EGRESS
23	2'-6"	5'-0"	SINGLE CASEMENT	EGRESS
25	5'-0"	5'-0"	FIXED	
26	2'-6"	5'-0"	SINGLE CASEMENT	
27	2'-6"	4'-0"	SINGLE CASEMENT	



3 2nd Level Floor Plan
 SCALE: 1/4" = 1'-0"



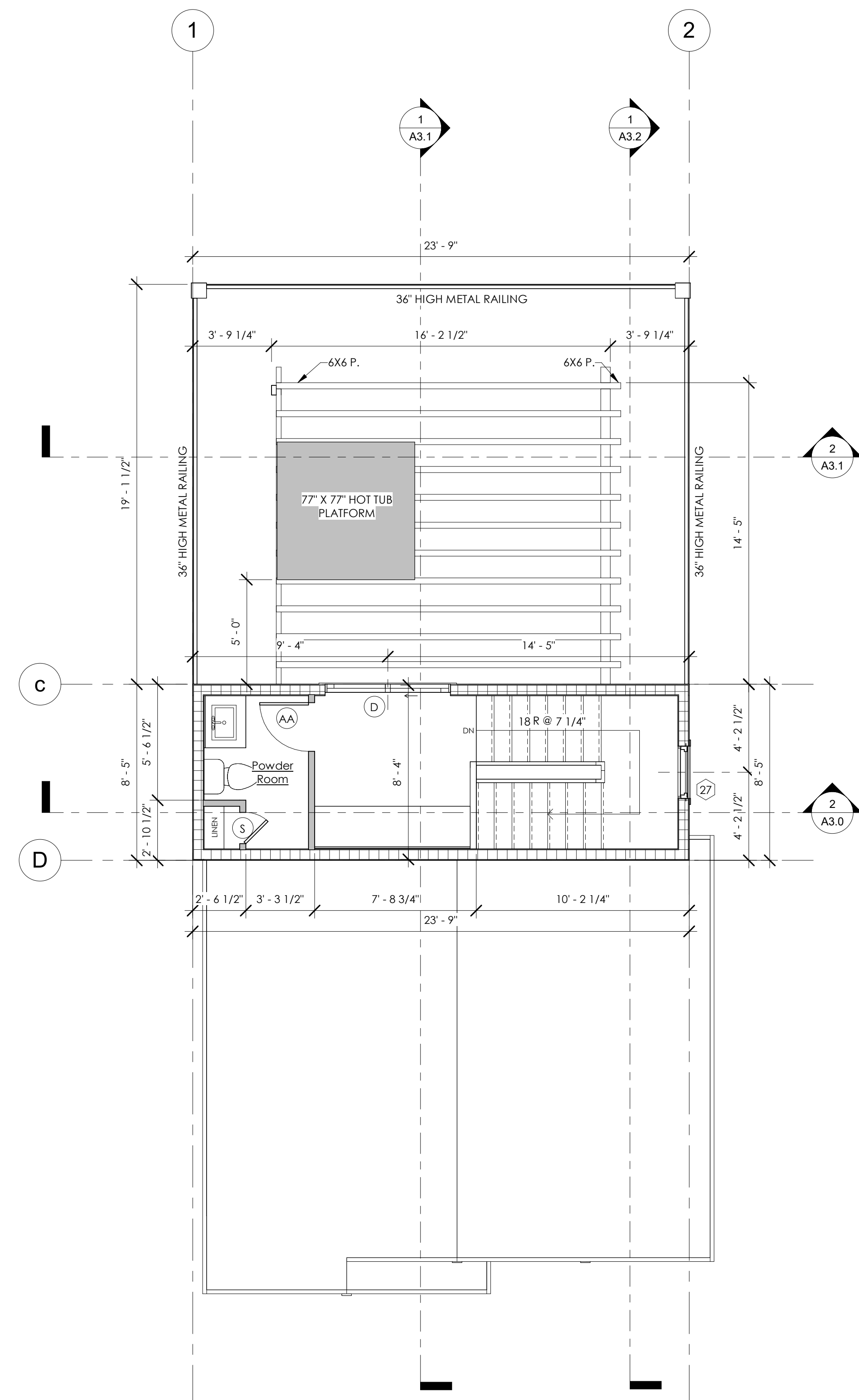
1 1st Level Floor Plan
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

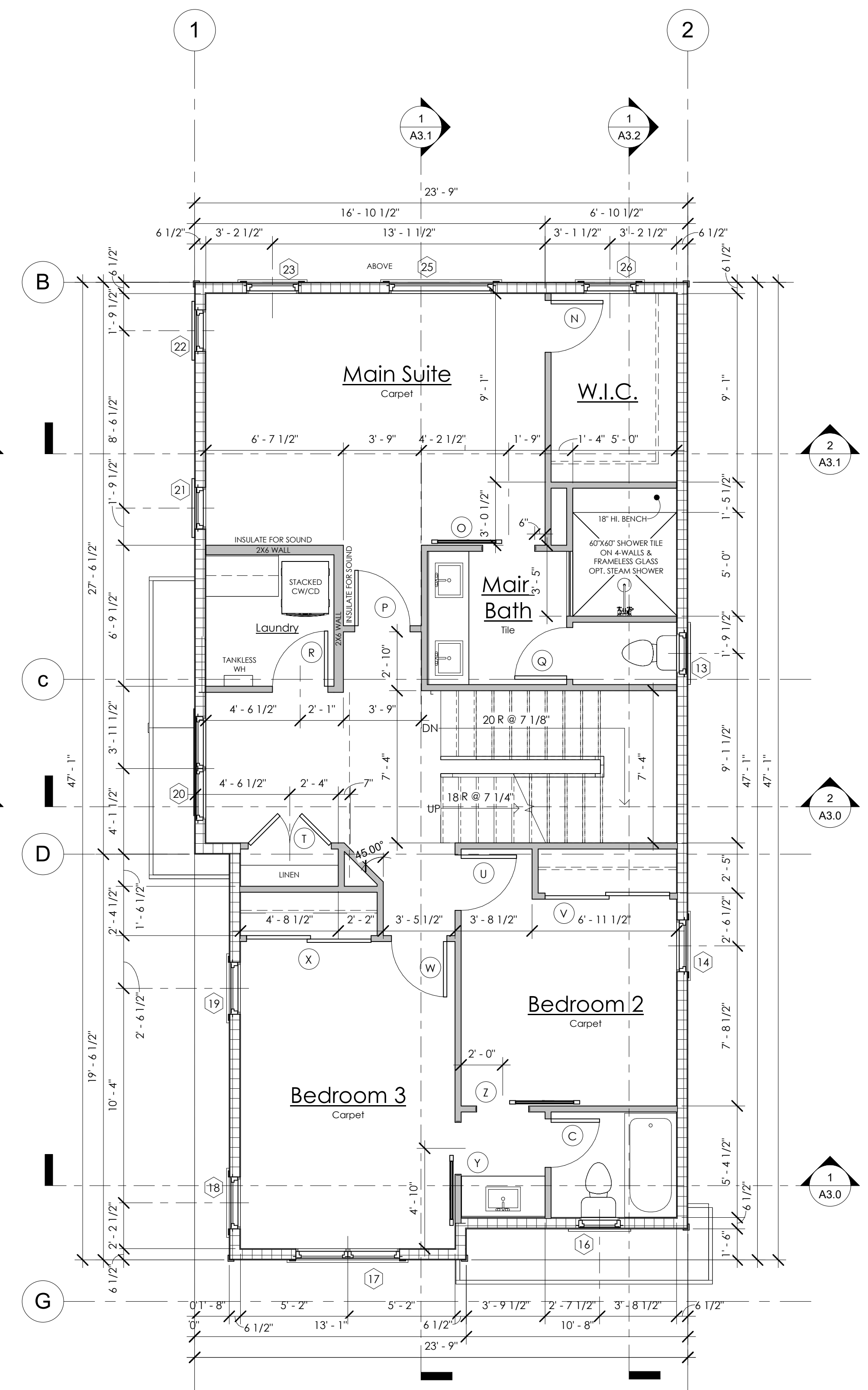
PLANNING SUBMISSION

Mark	Width	Height	Type	Notes
A	3'-0"	8'-0"	EXTERIOR: SINGLE - ENTRY	
B	3'-0"	8'-0"	INTERIOR: SINGLE - SOLID CORE	
C	2'-4"	8'-0"	INTERIOR: SINGLE - SOLID CORE	
D	6'-0"	6'-8"	EXTERIOR: SGD XO	
E	2'-6"	6'-8"	INTERIOR: SINGLE - SOLID CORE	
F	2'-6"	8'-0"	INTERIOR: SINGLE - SOLID CORE	
G	8'-0"	8'-0"	EXTERIOR: SGD XO	
H	16'-0"	8'-0"	OVERHEAD: INSULATED METAL	
I	2'-6"	8'-0"	INTERIOR: SINGLE - SOLID CORE	
J	2'-6"	8'-0"	INTERIOR: SINGLE - SOLID CORE	
K	4'-8"	8'-0"	INTERIOR: PAIR - SOLID CORE	
L	6'-0"	8'-0"	EXTERIOR: SGD OX	
M	6'-0"	8'-0"	EXTERIOR: SGD XO	
N	2'-6"	8'-0"	INTERIOR: SINGLE - SOLID CORE	
O	2'-6"	8'-0"	INTERIOR: BARN DOOR - SOLID CORE	
P	2'-8"	8'-0"	INTERIOR: SINGLE - SOLID CORE	
Q	2'-6"	8'-0"	INTERIOR: SINGLE - SOLID CORE	
R	2'-8"	8'-0"	INTERIOR: SINGLE - SOLID CORE	
T	4'-0"	8'-0"	INTERIOR: PAIR - SOLID CORE	
U	2'-8"	8'-0"	INTERIOR: SINGLE - SOLID CORE	
V	6'-0"	8'-0"	INTERIOR: BI-PASS - SOLID CORE	
W	2'-8"	8'-0"	INTERIOR: SINGLE - SOLID CORE	
X	6'-0"	8'-0"	INTERIOR: BI-PASS - SOLID CORE	
Y	2'-6"	8'-0"	INTERIOR: BARN DOOR - SOLID CORE	
Z	2'-6"	8'-0"	INTERIOR: BARN DOOR - SOLID CORE	
S	1'-6"	6'-8"	INTERIOR: SINGLE - SOLID CORE	
AA	2'-4"	6'-8"	INTERIOR: SINGLE - SOLID CORE	
AA	2'-6"	8'-0"	INTERIOR: SINGLE - SOLID CORE	
CC	4'-0"	8'-0"	INTERIOR: PAIR - SOLID CORE	
DD	3'-0"	8'-0"	EXTERIOR: SINGLE - SOLIDS CORE	20 MINUTE FIRE RATED

Mark	Width	Height	Type	Notes
1	2'-0"	3'-4"	SINGLE CASEMENT	
2	2'-6"	4'-6"	DOUBLE CASEMENT	EGRESS
3	2'-6"	5'-0"	SINGLE CASEMENT	
4	2'-6"	5'-0"	SINGLE CASEMENT	
5	2'-6"	4'-6"	SINGLE CASEMENT	
5a	2'-6"	4'-6"	SINGLE CASEMENT	
6	2'-0"	2'-6"	SINGLE CASEMENT	
7	2'-0"	2'-6"	FIXED	
8	2'-0"	2'-6"	SINGLE CASEMENT	
9	2'-6"	5'-0"	DOUBLE CASEMENT	
9a	2'-6"	5'-0"	SINGLE CASEMENT	
9b	2'-6"	5'-0"	SINGLE CASEMENT	
10	2'-6"	5'-0"	DOUBLE CASEMENT	
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10b	2'-6"	5'-0"	SINGLE CASEMENT	
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12	2'-6"	5'-0"	SINGLE CASEMENT	
13	2'-0"	3'-4"	SINGLE CASEMENT	
14	2'-6"	5'-0"	SINGLE CASEMENT	EGRESS
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22	2'-0"	4'-0"	SINGLE CASEMENT	EGRESS
23	2'-6"	5'-0"	SINGLE CASEMENT	EGRESS
25	5'-0"	5'-0"	FIXED	
26	2'-6"	5'-0"	SINGLE CASEMENT	
27	2'-6"	4'-0"	SINGLE CASEMENT	



2 Roof Deck Plan
 SCALE: 1/4" = 1'-0"



1 3rd Level Floor Plan
 SCALE: 1/4" = 1'-0"

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 PLANNING SUBMISSION

PROJECT #: 19-131

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#	REVISION	DATE

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 CHECKED: JVS

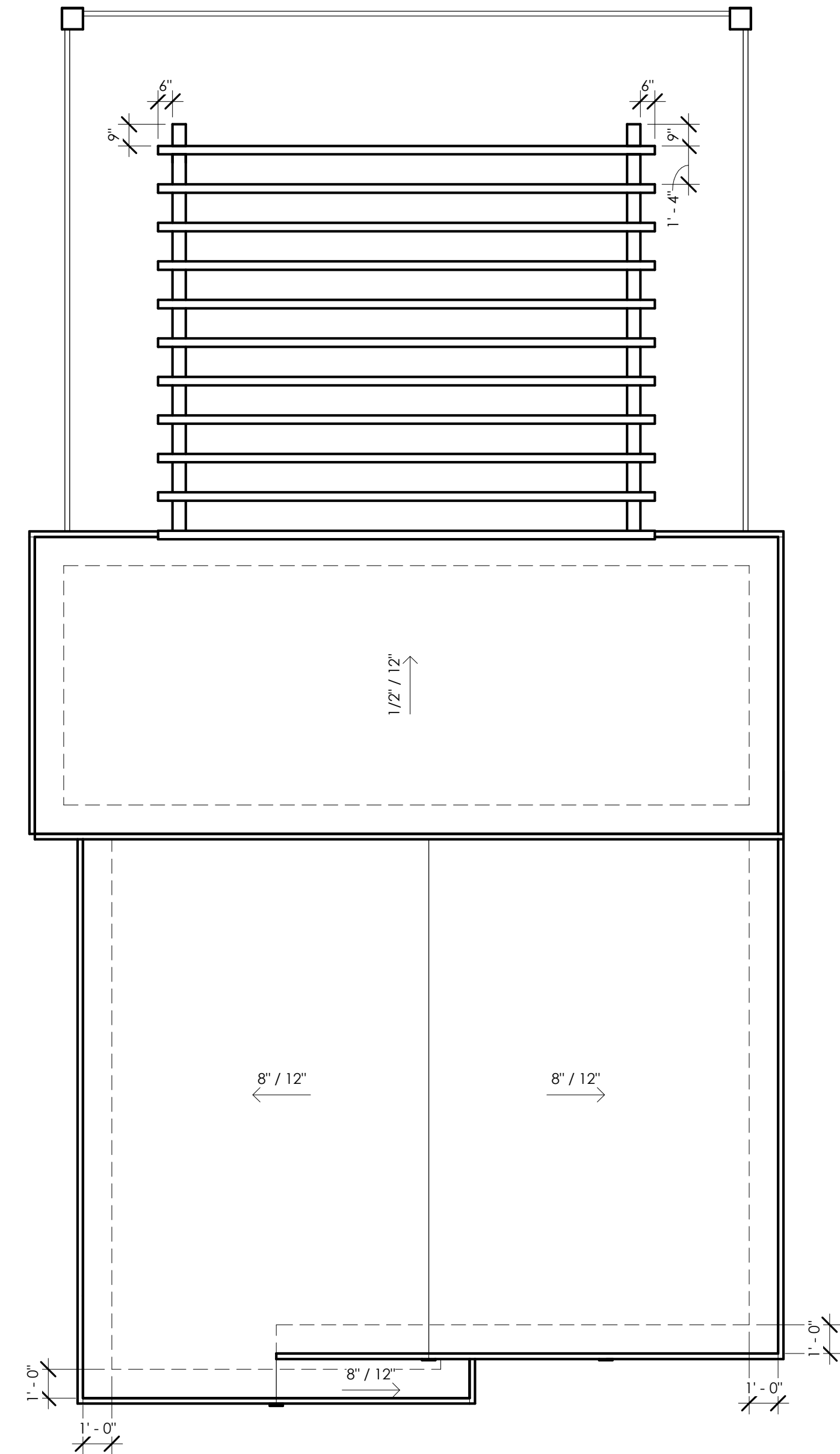
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Roof Plans

A1.2

March 27, 2024



1 Roof Plan
 SCALE: 1/4" = 1'-0"

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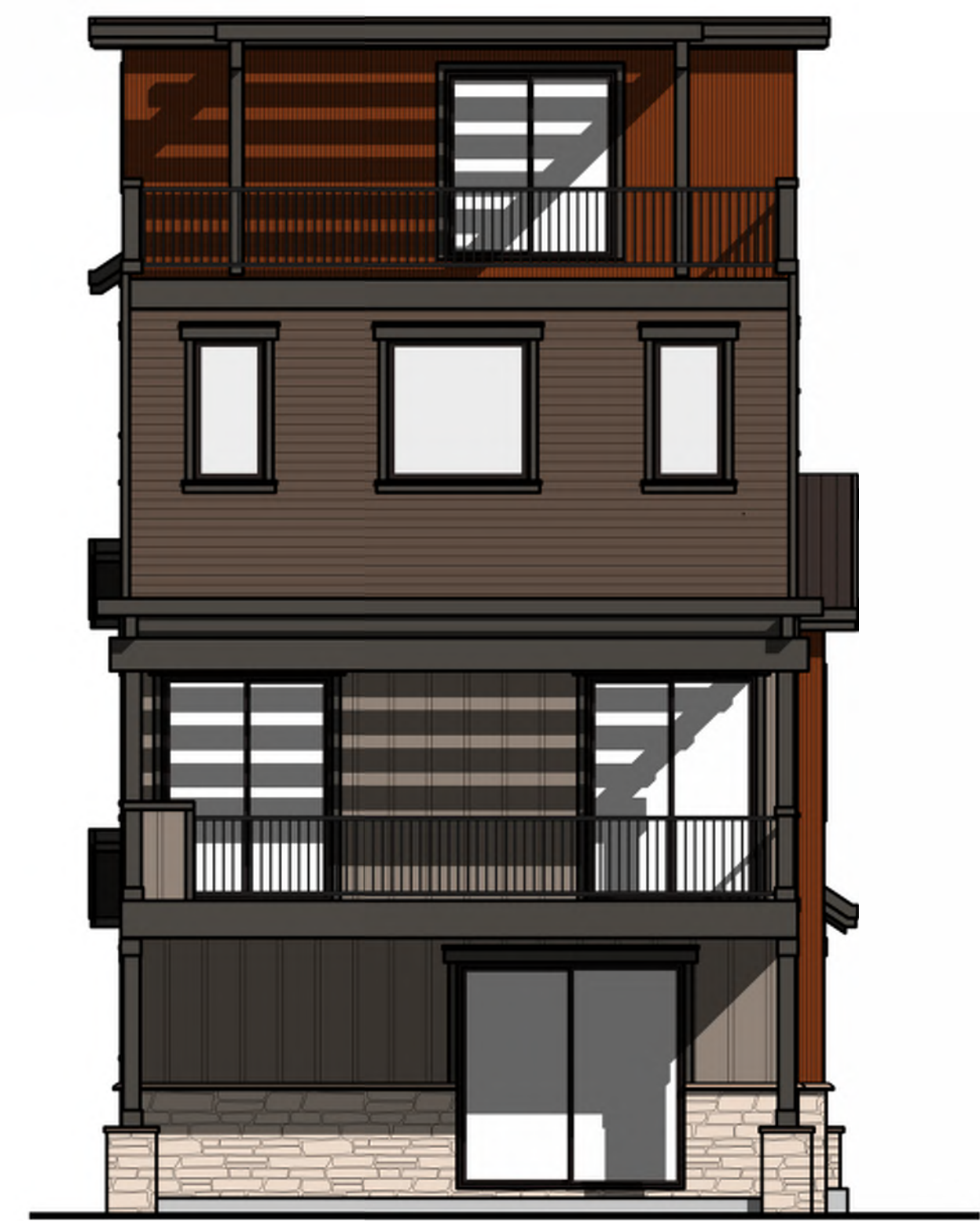
PLANNING SUBMISSION



1 West Elevation - CS1
 SCALE: 3/16" = 1'-0"



2 South Elevation - CS1
 SCALE: 3/16" = 1'-0"



4 North Elevation - CS1
 SCALE: 3/16" = 1'-0"



3 East Elevation - CS1
 SCALE: 3/16" = 1'-0"

- LAP SIDING:
SEMI-SOLID STAIN - GRIZZLY
- BOARD & BATTEN SIDING:
SEMI-SOLID STAIN - TAHOE
- TRIM:
PAINT - BLACK FOX
- DOORS & ALUMINUM CLAD
WOOD FRAMED WINDOWS: CHESTNUT BRONZE



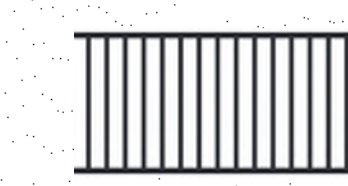
STONE VENEER:
ELDORADO STONE - ORCHARD



CORTEN METAL SIDING:
NATURAL OXIDIZED FINISH



STANDING SEAM METAL ROOFING:
DARK BRONZE



POWDER COATED METAL RAILING:
FORTRESS METAL RAILINGS - BLACK SAND

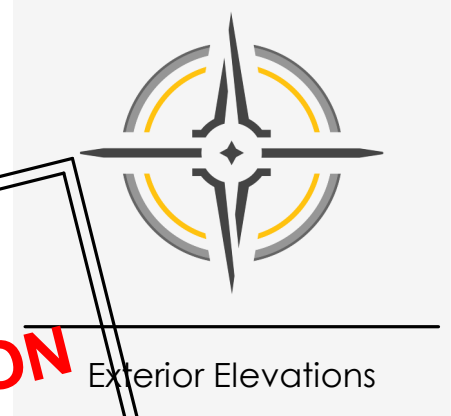
Color Scheme 1
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

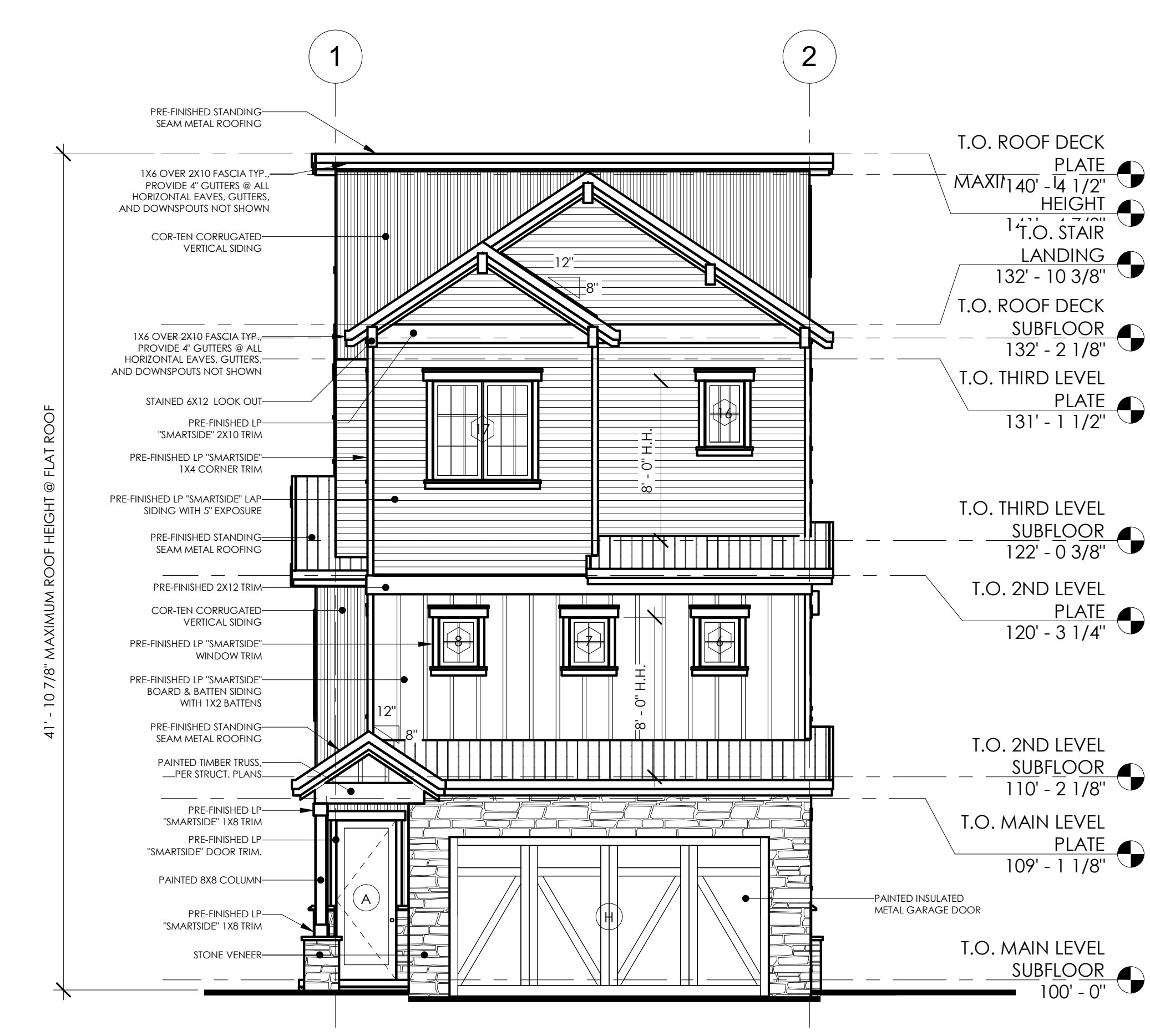
PLANNING SUBMISSION

#	REVISION	DATE

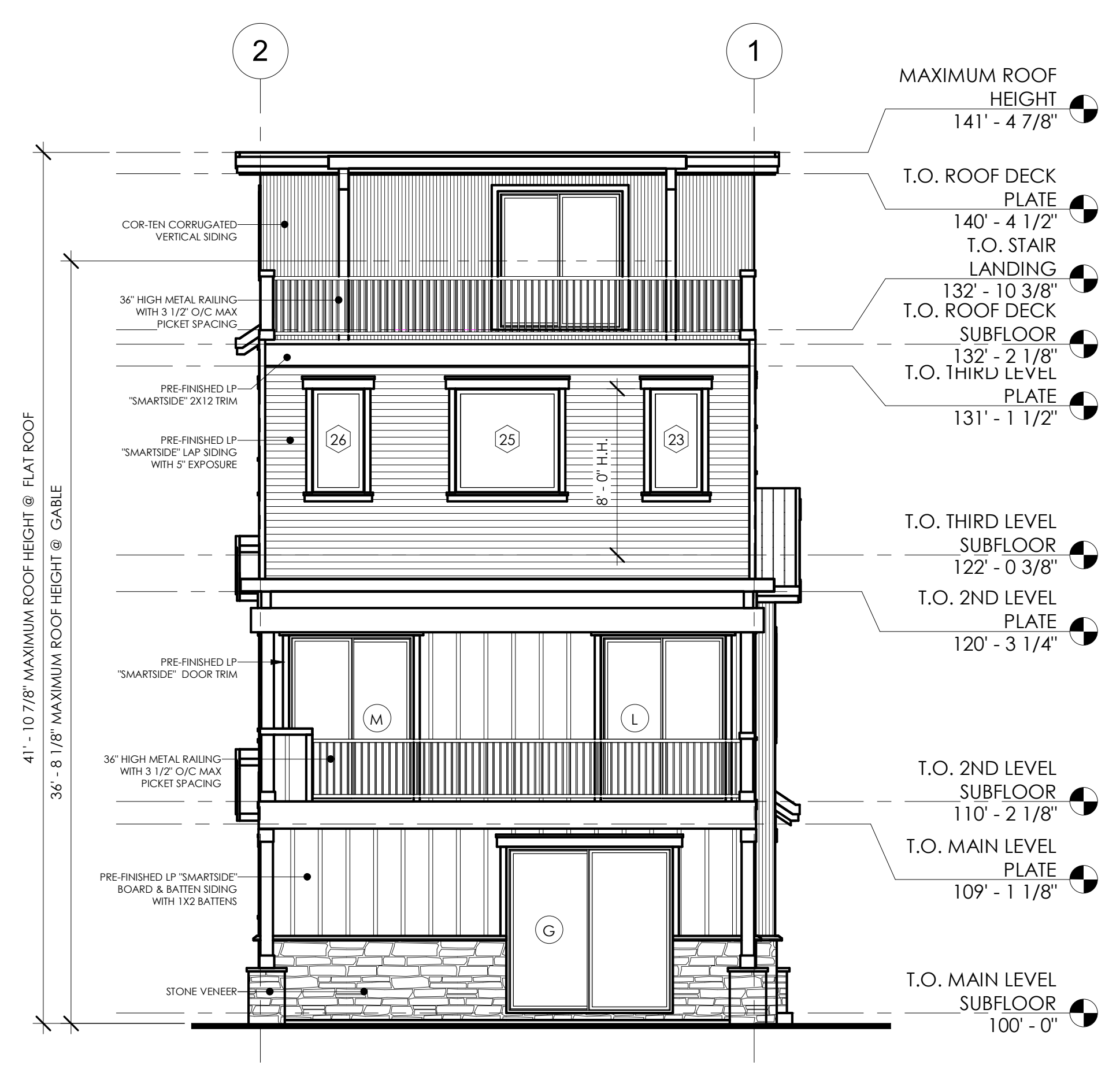
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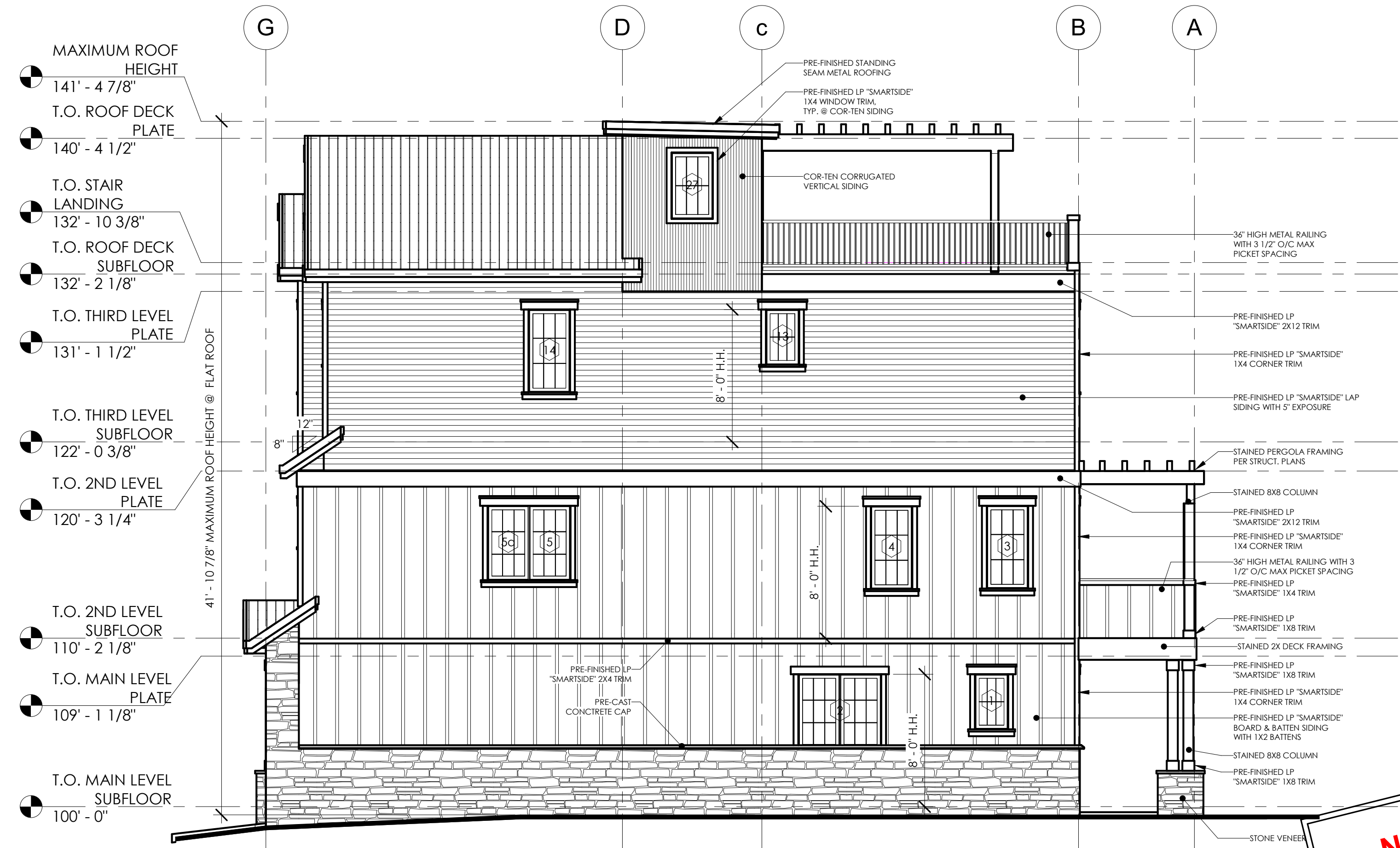
1 West Elevation
SCALE: 3/16" = 1'-0"



2 South Elevation
SCALE: 3/16" = 1'-0"



4 North Elevation
SCALE: 3/16" = 1'-0"



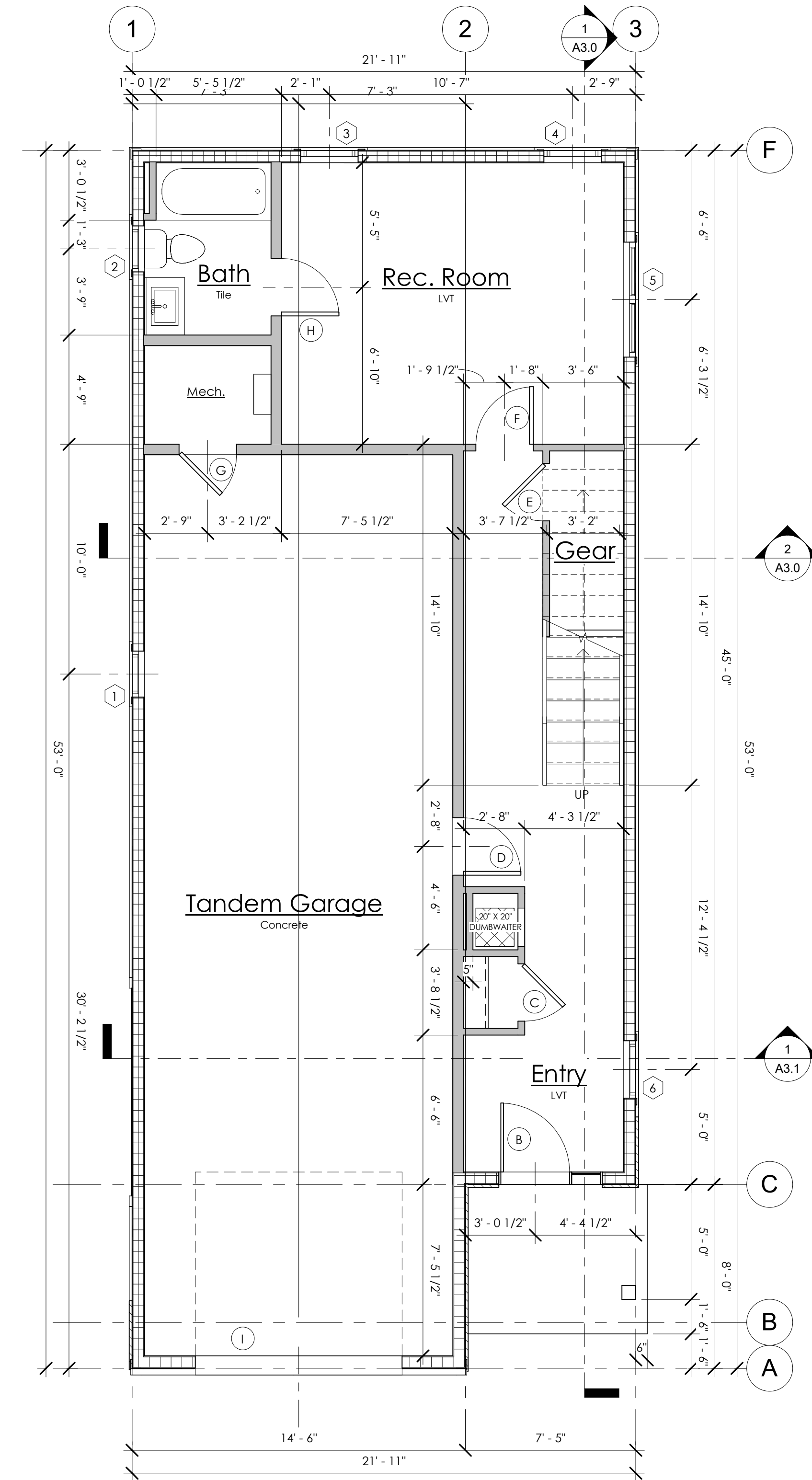
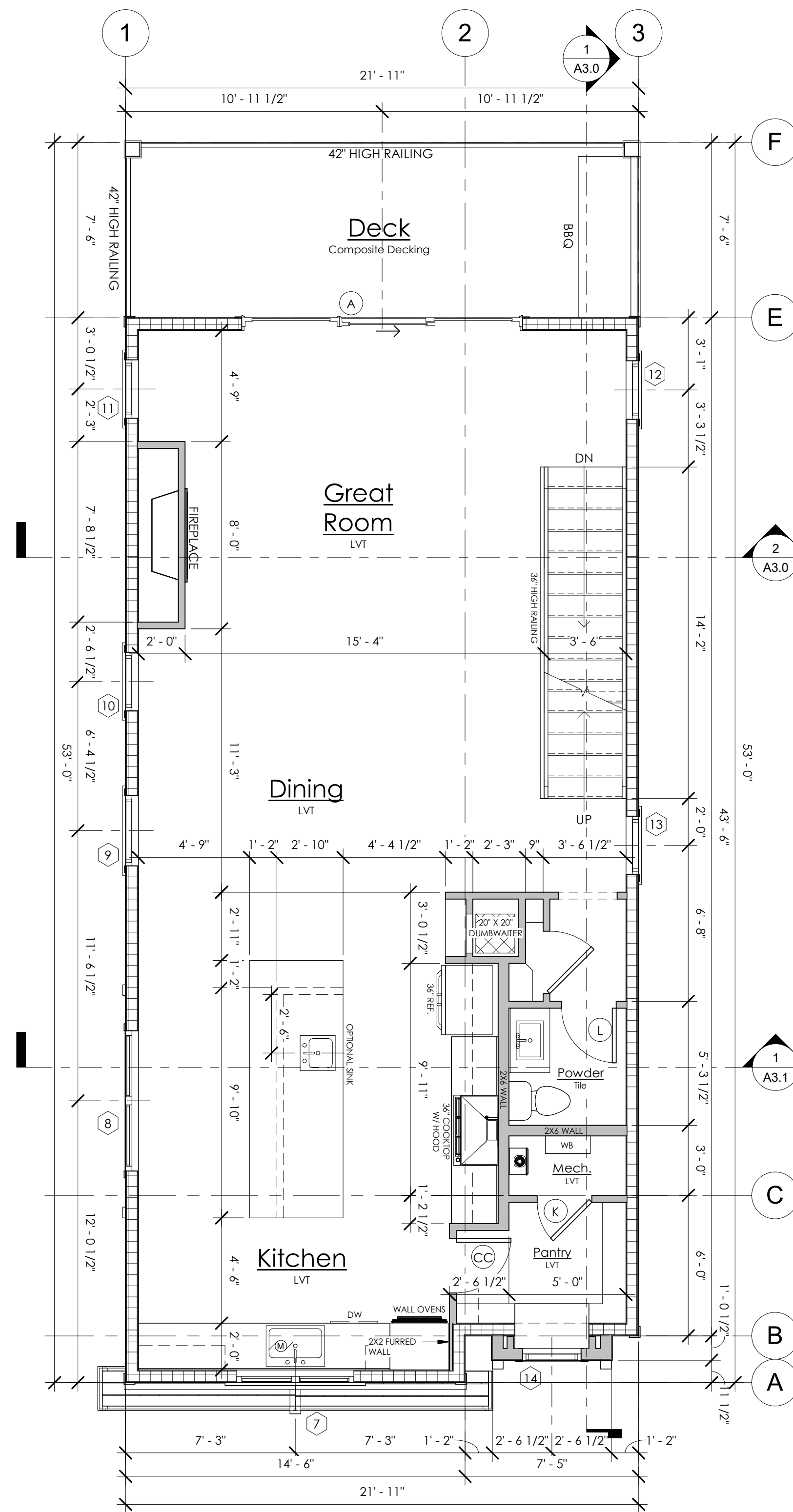
3 East Elevation
SCALE: 3/16" = 1'-0"

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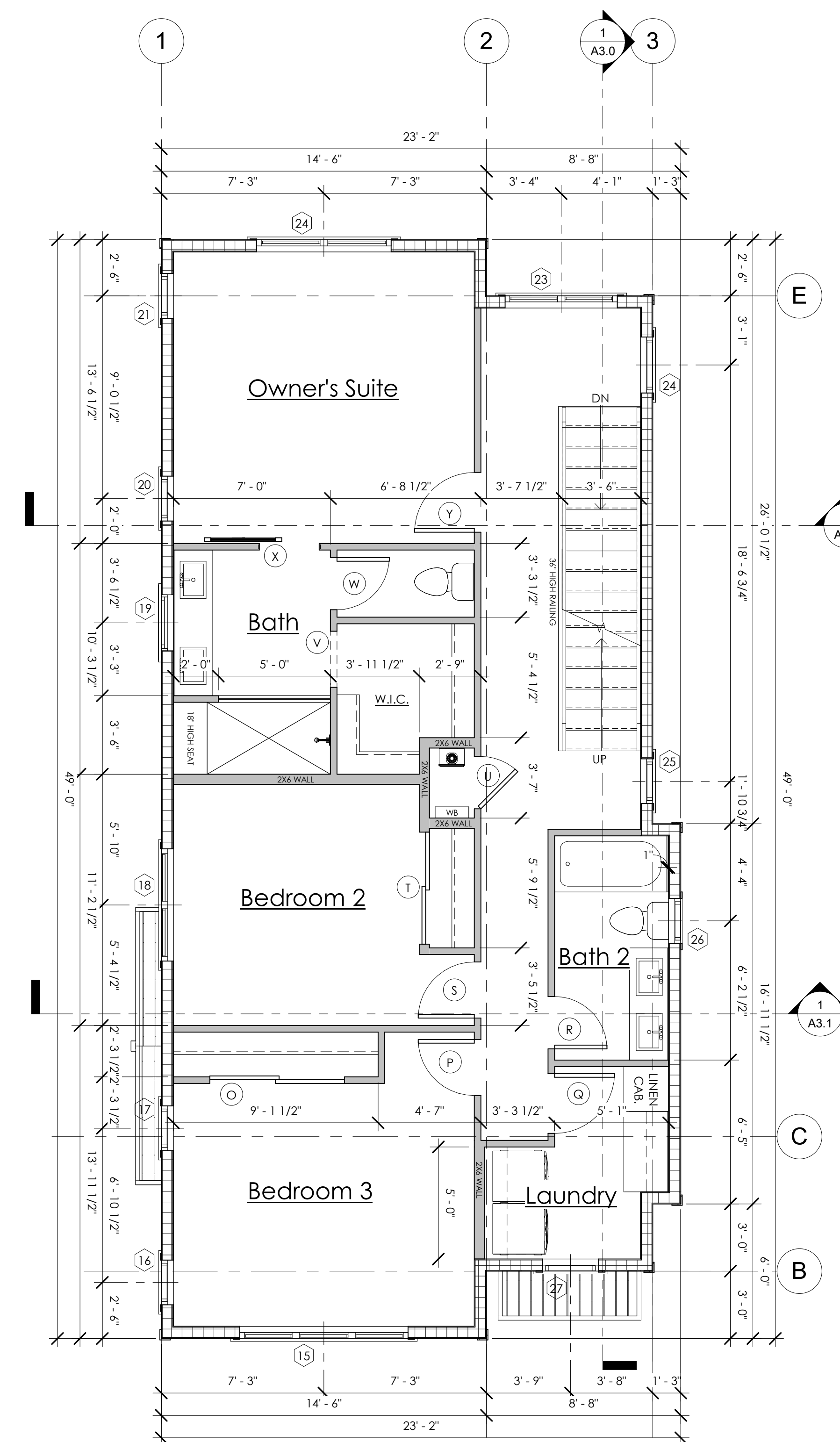
DOOR SCHEDULE				
Mark	Width	Height	Comments	Notes
A	12'-0"	8'-0"	EXTERIOR; SGD OXO	
B	3'-0"	8'-0"	EXTERIOR; SINGLE LIGHT	ENTRY W/ 15" SIDELIGHT
C	2'-6"	7'-0"	INTERIOR	
CC	2'-4"	8'-0"	INTERIOR	
D	2'-6"	7'-0"	INTERIOR	
DD	2'-6"	8'-0"	INTERIOR	
E	2'-6"	7'-0"	INTERIOR	
EE	2'-8"	8'-0"	INTERIOR	
F	2'-6"	7'-0"	INTERIOR	
G	2'-6"	7'-0"	INTERIOR	
H	2'-6"	7'-0"	INTERIOR	
I	9'-0"	8'-0"	INSULATED O.H.	INSULATED METAL
K	2'-4"	8'-0"	INTERIOR	
L	2'-4"	8'-0"	INTERIOR	
O	6'-0"	6'-8"	INTERIOR; BI-PASS	
P	2'-6"	6'-8"	INTERIOR	
Q	2'-8"	6'-8"	INTERIOR	
R	2'-4"	8'-0"	INTERIOR	
S	2'-6"	6'-8"	INTERIOR	
T	5'-0"	6'-8"	INTERIOR; BI-PASS	
U	2'-4"	6'-8"	INTERIOR	
V	2'-6"	6'-8"	CASED OPENING	
W	2'-4"	8'-0"	INTERIOR	
X	2'-8"	6'-8"	INTERIOR; BARN DOOR	
Y	2'-8"	7'-0"	INTERIOR	
Z	2'-6"	6'-8"	INTERIOR	
ZZ	3'-0"	6'-8"	EXTERIOR; SINGLE LIGHT	

WINDOW SCHEDULE				
Mark	Width	Height	Type	Notes
1	2'-0"	4'-0"	SINGLE; CASEMENT	
2	2'-0"	4'-0"	SINGLE; CASEMENT	
3	2'-6"	4'-6"	SINGLE; CASEMENT	
4	2'-6"	4'-6"	SINGLE; CASEMENT	
5	5'-0"	4'-6"	DOUBLE; CASEMENT	
6	2'-6"	4'-6"	DOUBLE; CASEMENT	
7	5'-0"	3'-6"	DOUBLE; CASEMENT	
8	6'-0"	5'-0"	DOUBLE; CASEMENT	
9	3'-0"	5'-0"	SINGLE; CASEMENT	
10	2'-6"	4'-6"	SINGLE; CASEMENT	
11	2'-6"	4'-6"	SINGLE; CASEMENT	
12	2'-6"	4'-6"	SINGLE; CASEMENT	
13	2'-6"	4'-6"	SINGLE; CASEMENT	
14	2'-6"	4'-6"	SINGLE; CASEMENT	
15	7'-6"	5'-0"	TRIPLE; CASEMENT	EGRESS
16	2'-0"	4'-6"	SINGLE; CASEMENT	
17	2'-0"	4'-6"	SINGLE; CASEMENT	
18	5'-0"	4'-6"	DOUBLE; CASEMENT	EGRESS
19	2'-6"	1'-6"	SINGLE; CASEMENT	
20	2'-0"	4'-0"	SINGLE; CASEMENT	
21	2'-0"	4'-0"	SINGLE; CASEMENT	
22	6'-0"	5'-0"	DOUBLE; CASEMENT	EGRESS
23	5'-0"	4'-6"	DOUBLE; CASEMENT	
24	2'-6"	4'-6"	SINGLE; CASEMENT	
25	2'-0"	4'-0"	SINGLE; CASEMENT	
26	2'-6"	4'-6"	SINGLE; CASEMENT	
28	2'-6"	4'-0"	SINGLE; CASEMENT	
29	2'-6"	4'-0"	SINGLE; CASEMENT	

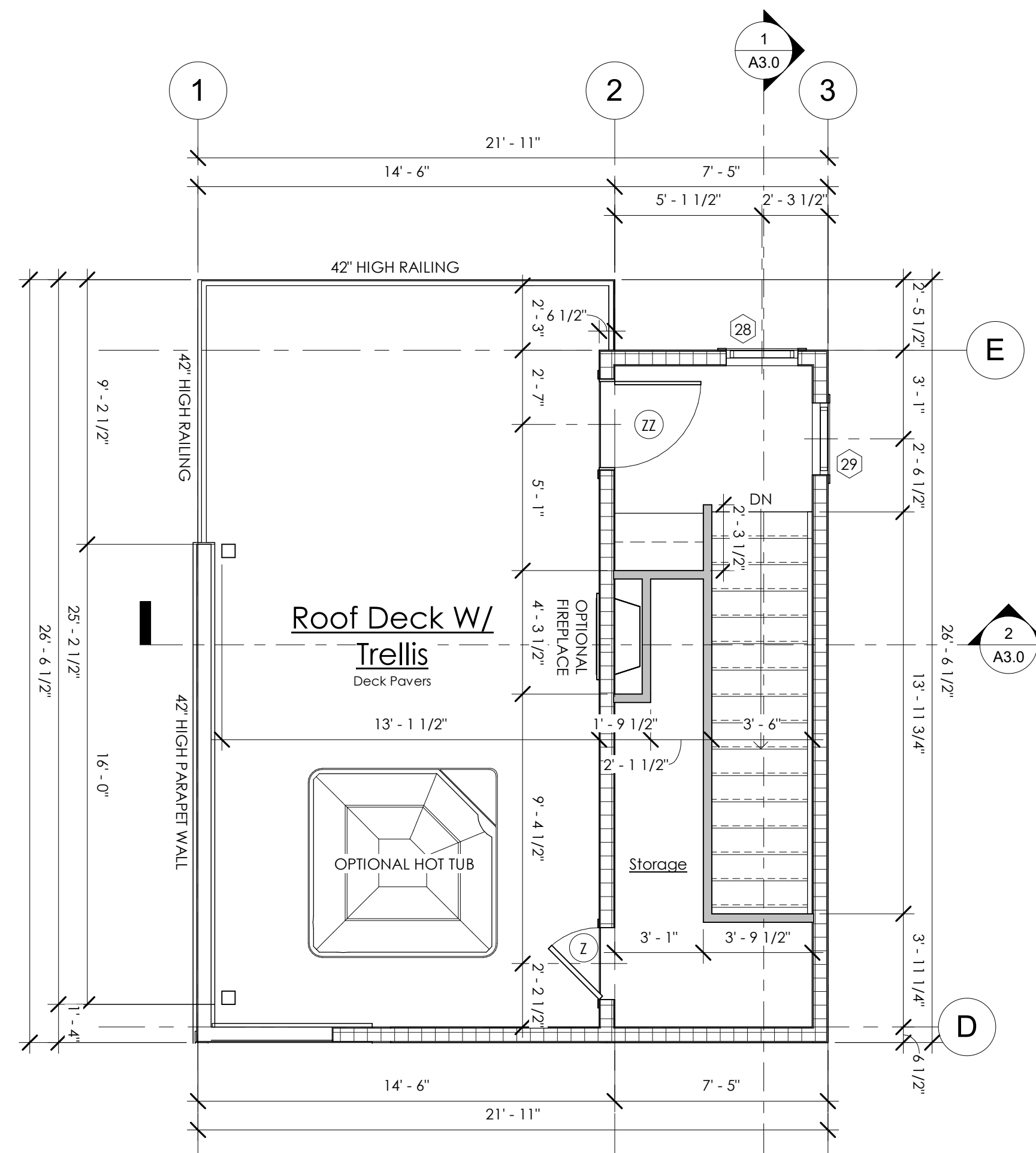


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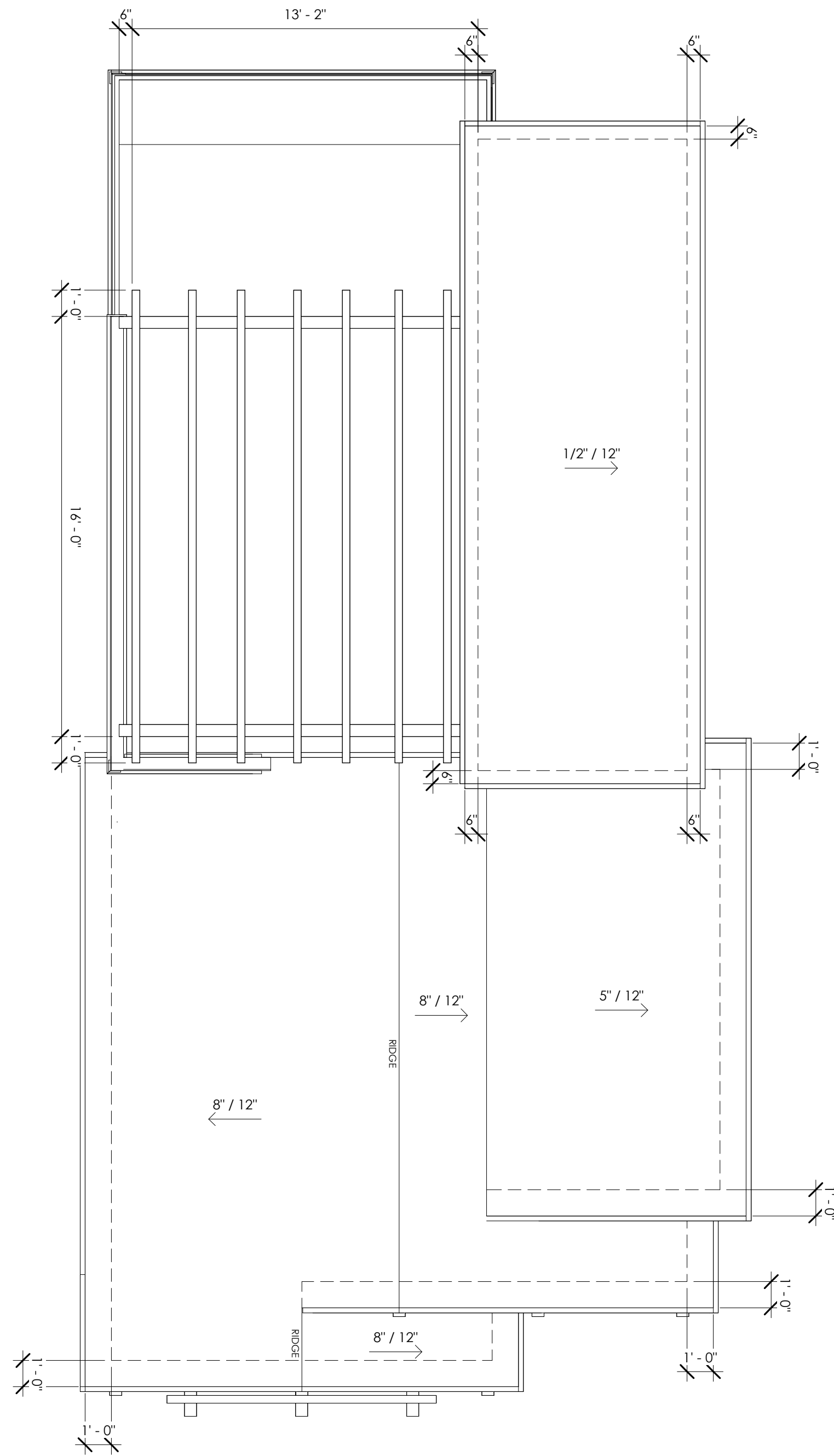
PRELIM. PLANS



1 3rd Floor Plan
 SCALE: 1/4" = 1'-0"



2 Roof Deck Plan
 SCALE: 1/4" = 1'-0"



3 Roof Plan Elevation II
 SCALE: 1/4" = 1'-0"

Mark	Width	Height	Comments	Notes
A	12'-0"	8'-0"	EXTERIOR; SGD OXO	
B	3'-0"	8'-0"	EXTERIOR; SINGLE LIGHT	ENTRY W/ 15" SIDELIGHT
C	2'-6"	7'-0"	INTERIOR	
CC	2'-4"	8'-0"	INTERIOR	
D	2'-6"	7'-0"	INTERIOR	
DD	2'-6"	8'-0"	INTERIOR	
E	2'-6"	7'-0"	INTERIOR	
EE	2'-8"	8'-0"	INTERIOR	
F	2'-6"	7'-0"	INTERIOR	
G	2'-6"	7'-0"	INTERIOR	
H	2'-6"	7'-0"	INTERIOR	
I	9'-0"	8'-0"	INSULATED O.H.	INSULATED METAL
K	2'-4"	8'-0"	INTERIOR	
L	2'-4"	8'-0"	INTERIOR	
O	6'-0"	6'-8"	INTERIOR; BI-PASS	
P	2'-6"	6'-8"	INTERIOR	
Q	2'-8"	6'-8"	INTERIOR	
R	2'-4"	8'-0"	INTERIOR	
S	2'-6"	6'-8"	INTERIOR	
T	5'-0"	6'-8"	INTERIOR; BI-PASS	
U	2'-4"	6'-8"	INTERIOR	
V	2'-6"	6'-8"	CASED OPENING	
W	2'-4"	8'-0"	INTERIOR	
X	2'-8"	6'-8"	INTERIOR; BARN DOOR	
Y	2'-8"	7'-0"	INTERIOR	
Z	2'-6"	6'-8"	INTERIOR	
ZZ	3'-0"	6'-8"	EXTERIOR; SINGLE LIGHT	

Mark	Width	Height	Type	Notes
1	2'-0"	4'-0"	SINGLE; CASEMENT	
2	2'-0"	4'-0"	SINGLE; CASEMENT	
3	2'-6"	4'-6"	SINGLE; CASEMENT	
4	2'-6"	4'-6"	SINGLE; CASEMENT	
5	5'-0"	4'-6"	DOUBLE; CASEMENT	
6	2'-6"	4'-6"	SINGLE; CASEMENT	
7	5'-0"	3'-6"	DOUBLE; CASEMENT	
8	6'-0"	5'-0"	DOUBLE; CASEMENT	
9	3'-0"	5'-0"	SINGLE; CASEMENT	
10	2'-6"	4'-6"	SINGLE; CASEMENT	
11	2'-6"	4'-6"	SINGLE; CASEMENT	
12	2'-6"	4'-6"	SINGLE; CASEMENT	
13	2'-6"	4'-6"	SINGLE; CASEMENT	
14	2'-6"	4'-6"	SINGLE; CASEMENT	
15	7'-6"	5'-0"	TRIPLE; CASEMENT	EGRESS
16	2'-0"	4'-6"	SINGLE; CASEMENT	
17	2'-0"	4'-6"	SINGLE; CASEMENT	
18	5'-0"	4'-6"	DOUBLE; CASEMENT	EGRESS
19	2'-6"	1'-6"	SINGLE; CASEMENT	
20	2'-0"	4'-0"	SINGLE; CASEMENT	
21	2'-0"	4'-0"	SINGLE; CASEMENT	
22	6'-0"	5'-0"	DOUBLE; CASEMENT	EGRESS
23	5'-0"	4'-6"	DOUBLE; CASEMENT	
24	2'-6"	4'-6"	SINGLE; CASEMENT	
25	2'-0"	4'-0"	SINGLE; CASEMENT	
26	2'-6"	4'-6"	SINGLE; CASEMENT	
28	2'-6"	4'-0"	SINGLE; CASEMENT	
29	2'-6"	4'-0"	SINGLE; CASEMENT	

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PRELIM. PLANS



2 East Elevation II - CS2
SCALE: 3/16" = 1'-0"



1 South Elevation II - CS2
SCALE: 3/16" = 1'-0"



4 North Elevation II - CS2
SCALE: 3/16" = 1'-0"



3 West Elevation II - CS2
SCALE: 3/16" = 1'-0"

-  LAP SIDING:
SEMI-SOLID STAIN - TETON
-  BOARD & BATTEN SIDING:
SEMI-SOLID STAIN - WALNUT
-  TRIM:
PAINT - ONYX
-  DOORS & ALUMINUM CLAD
WOOD FRAMED WINDOWS: CHESTNUT BRONZE
-  STONE VENEER:
ELDORADO STONE - CATANIA
-  CORTEN METAL SIDING:
NATURAL OXIDIZED FINISH
-  STANDING SEAM METAL ROOFING:
DARK BRONZE
-  POWDER COATED METAL RAILING:
FORTRESS METAL RAILINGS - BLACK SAND

Color Scheme 2
SCALE: 1/4" = 1'-0"

WILDS 360 @ WINTER PARK:
THE JANE MODEL
12 RAMBLE LANE, LOT 2 - BLOCK 9
WINTER PARK, COLORADO

PROJECT #: 19-131

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Exterior Elevations - Material Board

A2.1

March 19, 2024

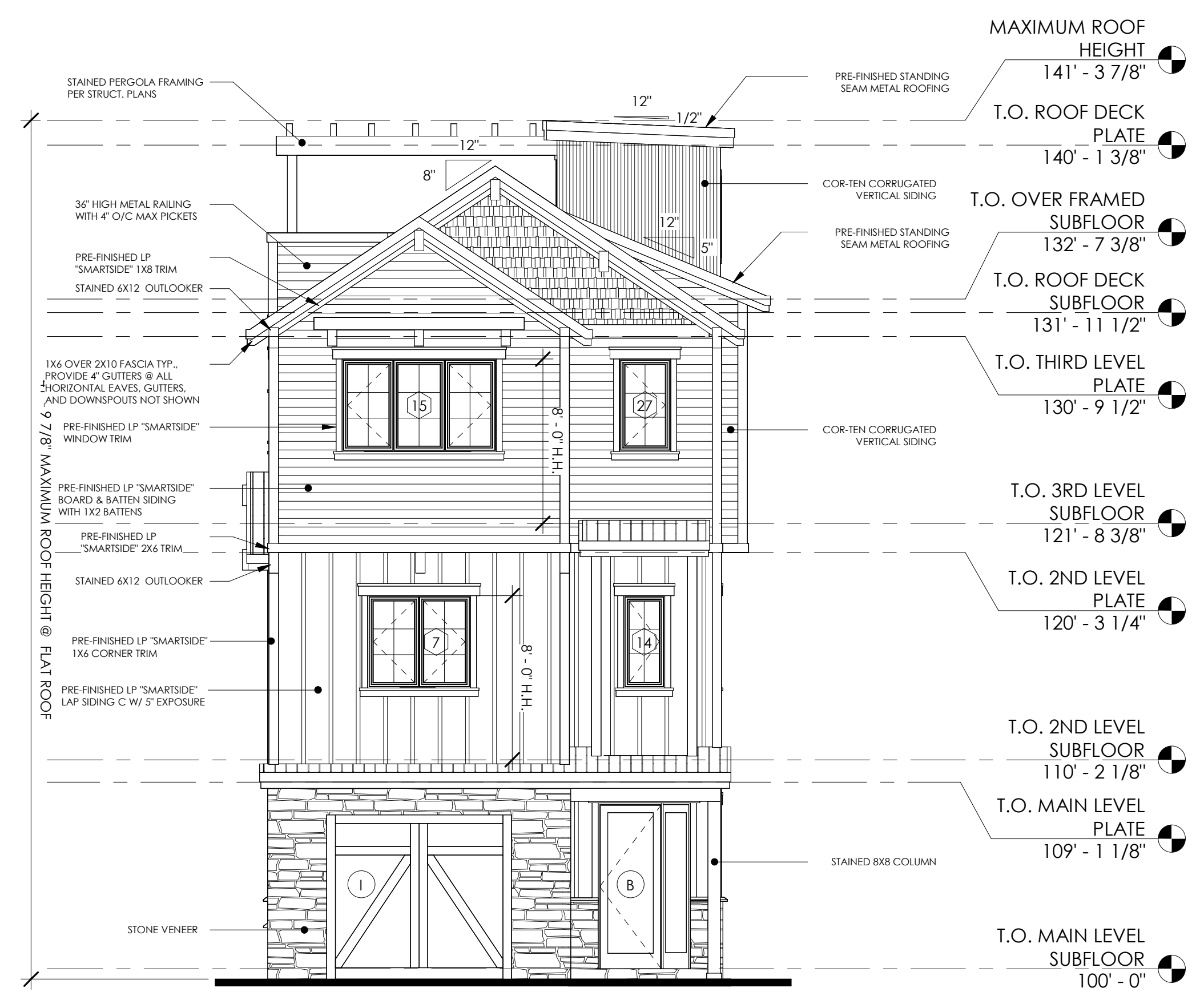
#	REVISION	DATE

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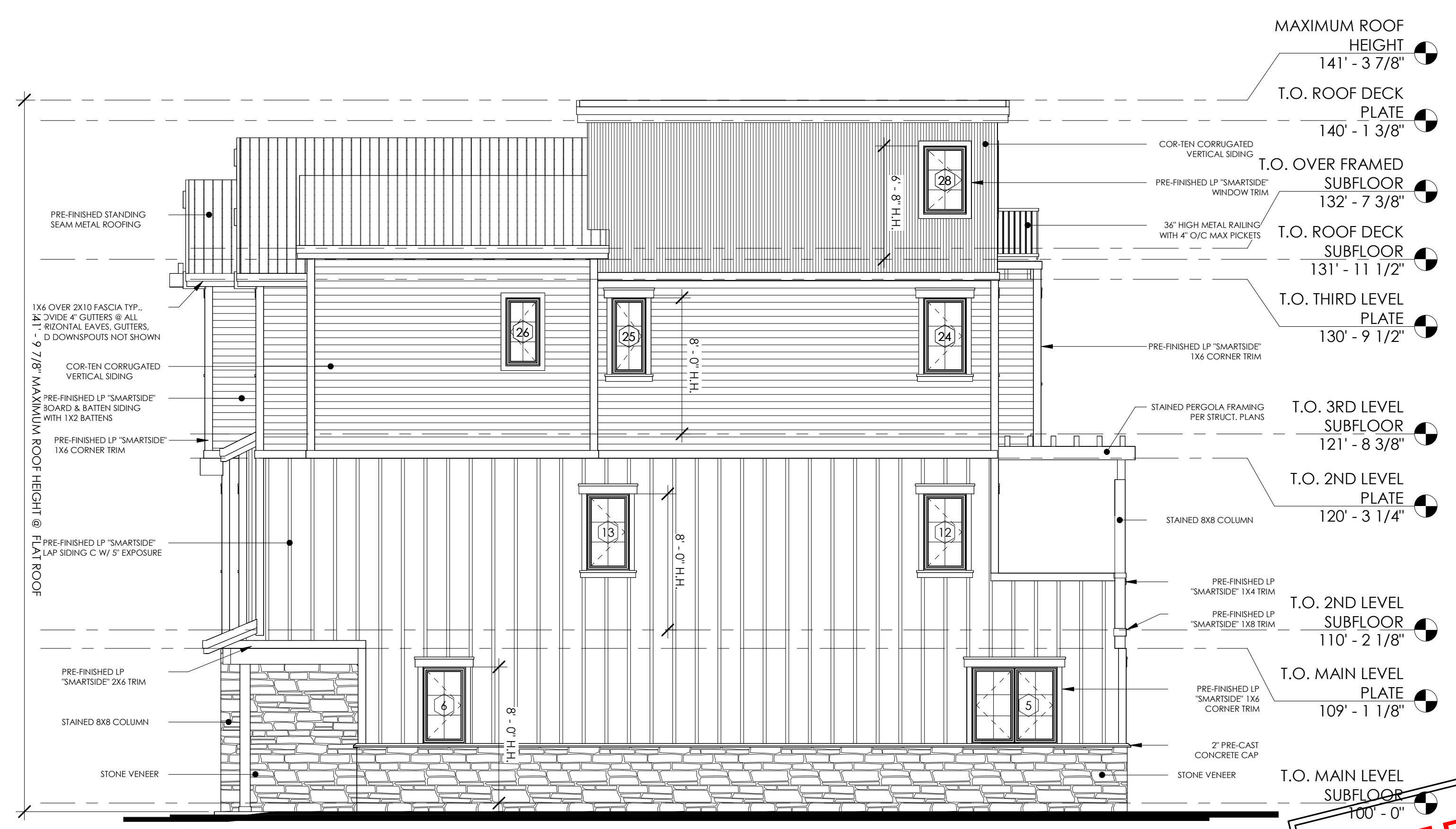
PRELIM. PLAN



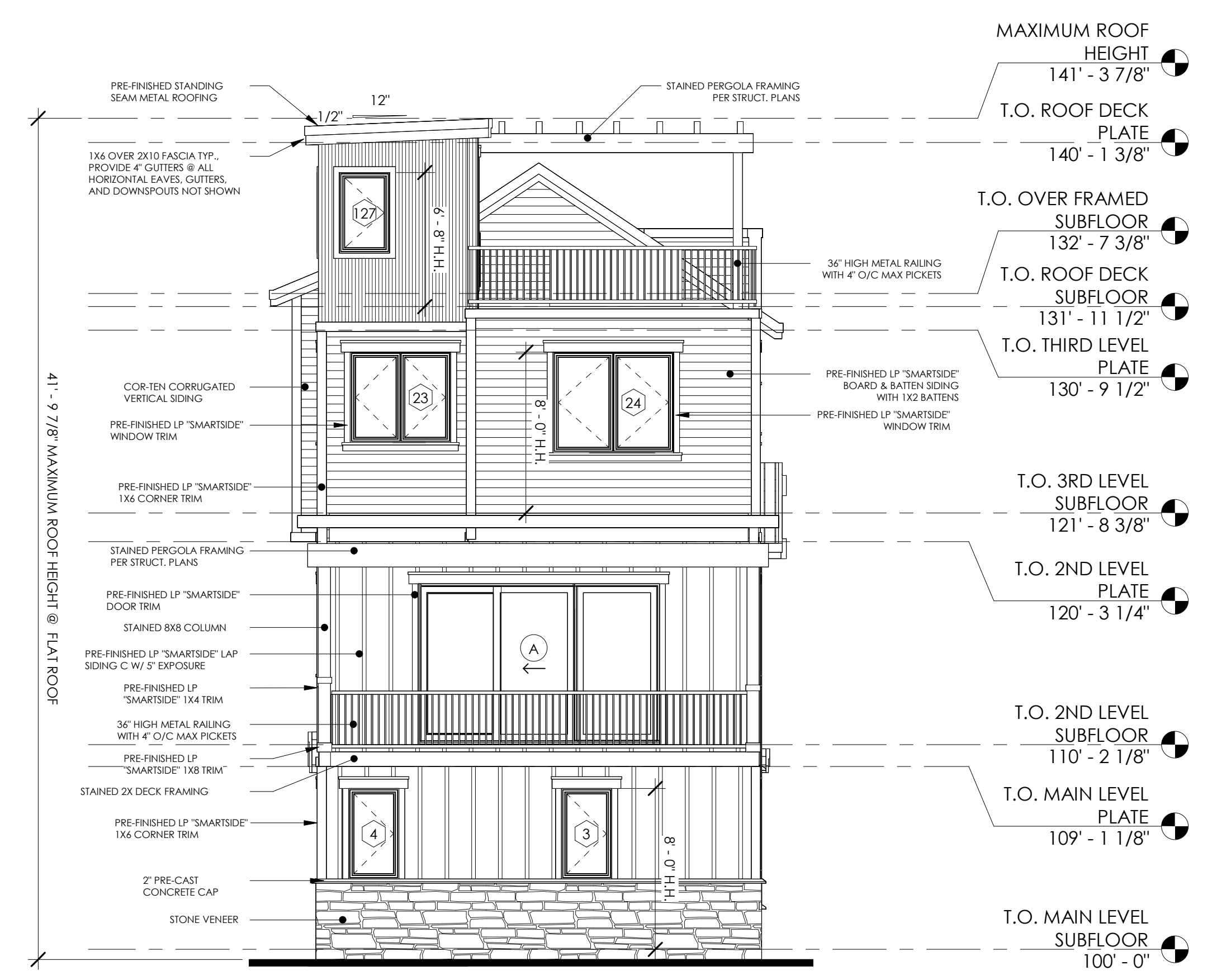
2 South Elevation II
SCALE: 3/16" = 1'-0"



3 West Elevation II
SCALE: 3/16" = 1'-0"



1 East Elevation II
SCALE: 3/16" = 1'-0"

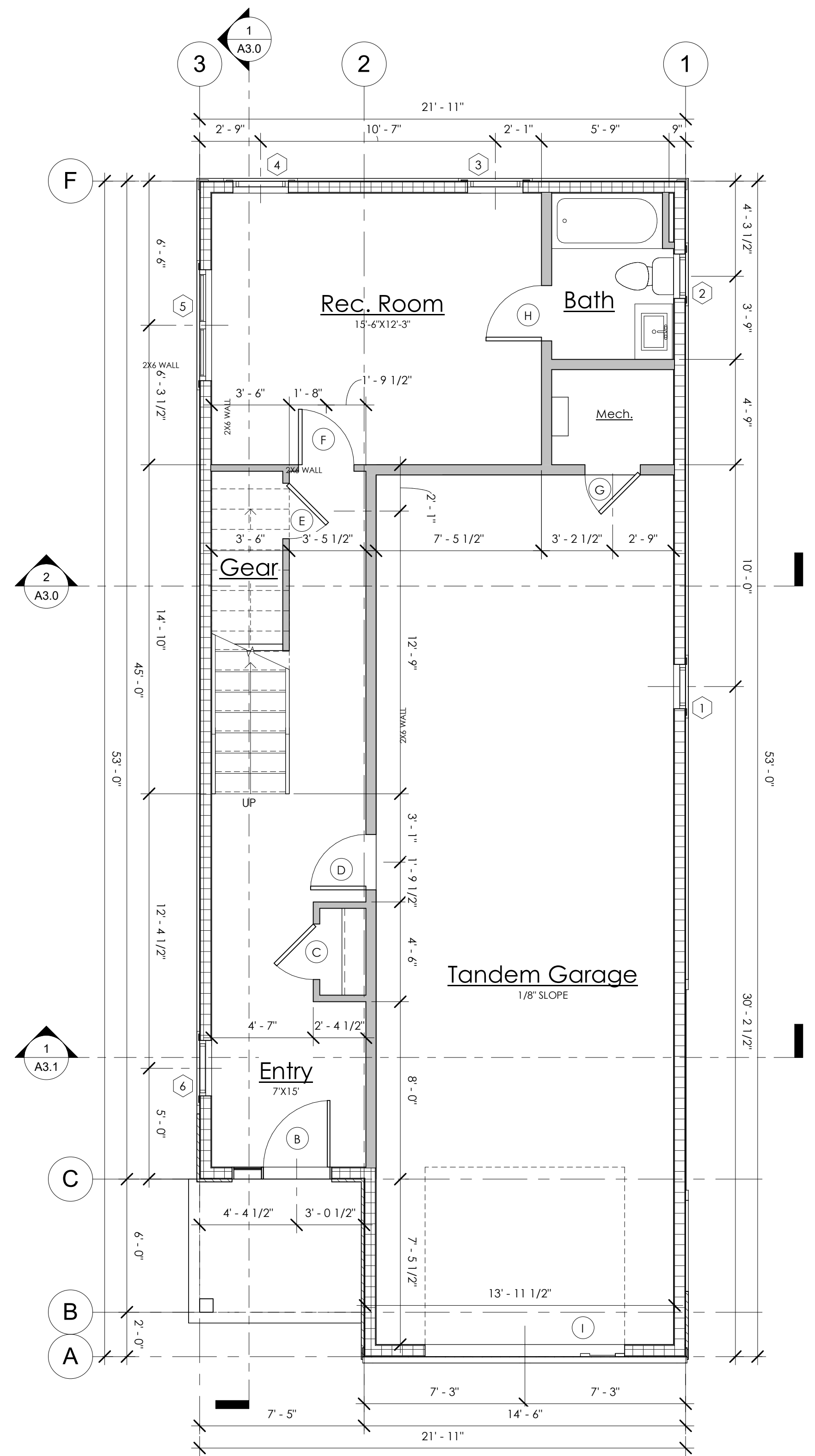
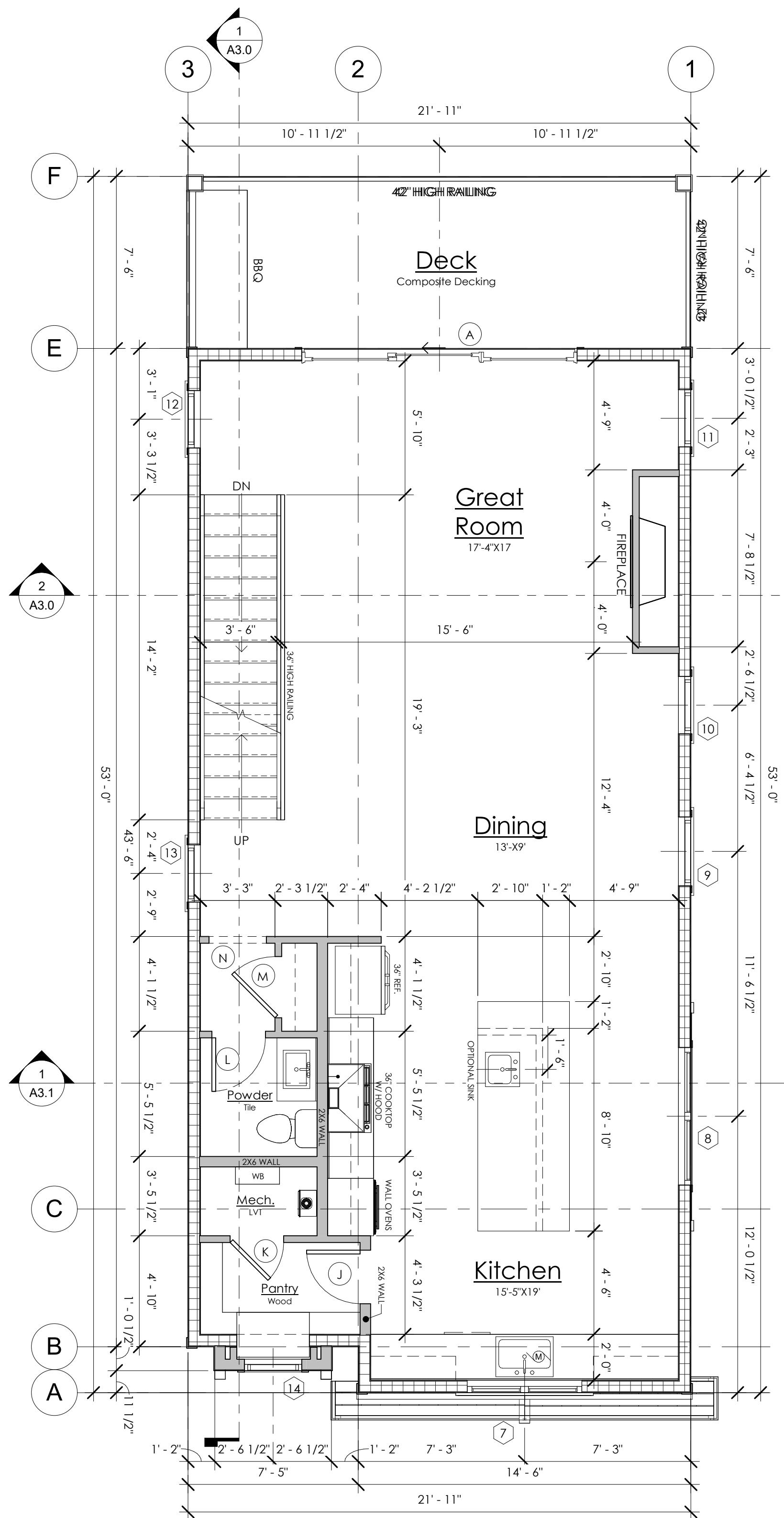


4 North Elevation II
SCALE: 3/16" = 1'-0"



Mark	Width	Height	Comments	Notes
A	12'-0"	8'-0"	EXTERIOR: SGD OXO	
B	3'-0"	8'-0"	EXTERIOR: SINGLE LIGHT	ENTRY W/ 15" SIDELIGHT
BB	1'-3"	8'-0"	EXTERIOR: SIDE FLAT GLASS	NS
C	2'-6"	7'-0"	INTERIOR	
D	2'-6"	7'-0"	INTERIOR	
E	2'-6"	7'-0"	INTERIOR	
F	2'-6"	7'-0"	INTERIOR	
G	2'-6"	7'-0"	INTERIOR	
H	2'-6"	7'-0"	INTERIOR	
I	9'-0"	8'-0"	INSULATED O.H.	INSULATED METAL
J	2'-4"	8'-0"	INTERIOR	
K	2'-4"	8'-0"	INTERIOR	
L	2'-4"	8'-0"	INTERIOR	
M	2'-8"	8'-0"	INTERIOR	
N	2'-6"	8'-0"	CASED OPENING	
O	6'-0"	6'-8"	INTERIOR: BI-PASS	
P	2'-6"	6'-8"	INTERIOR	
Q	2'-8"	6'-8"	INTERIOR	
R	2'-4"	8'-0"	INTERIOR	
S	2'-6"	6'-8"	INTERIOR	
T	5'-0"	6'-8"	INTERIOR: BI-PASS	
U	2'-4"	6'-8"	INTERIOR	
V	2'-6"	6'-8"	CASED OPENING	
W	2'-4"	8'-0"	INTERIOR	
X	2'-8"	6'-8"	INTERIOR: BARN DOOR	
Y	2'-8"	7'-0"	INTERIOR	
Z	2'-6"	6'-8"	INTERIOR	
ZZ	3'-0"	6'-8"	EXTERIOR: SINGLE LIGHT	

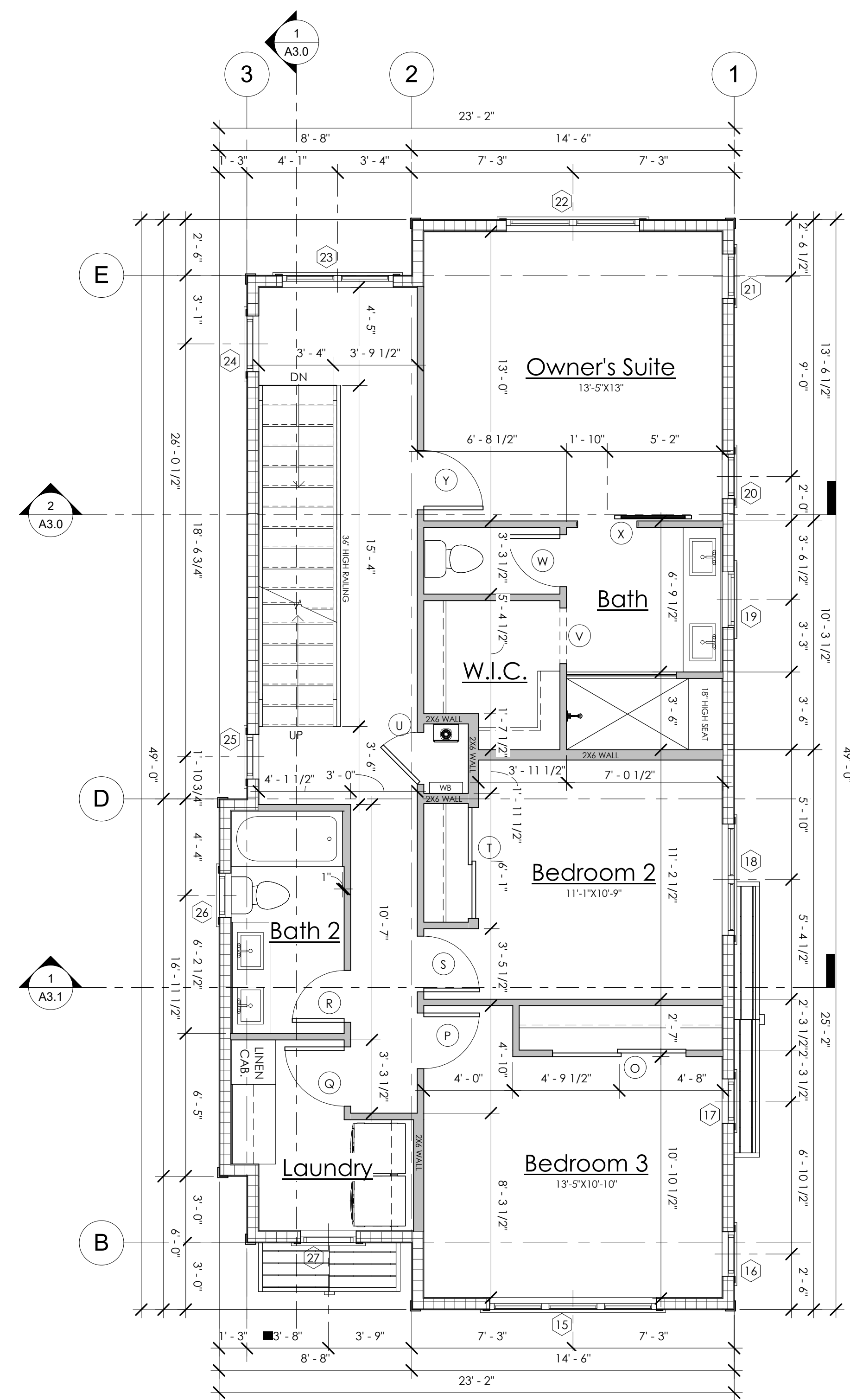
Mark	Width	Height	Comments	Window Notes
1	2'-0"	4'-0"	SINGLE: CASEMENT	
2	2'-0"	4'-0"	SINGLE: CASEMENT	
3	2'-6"	4'-6"	SINGLE: CASEMENT	
4	2'-6"	4'-6"	SINGLE: CASEMENT	
5	5'-0"	4'-6"	DOUBLE: CASEMENT	
6	2'-6"	4'-6"	SINGLE: CASEMENT	
7	5'-0"	3'-6"	DOUBLE: CASEMENT	
8	6'-0"	5'-0"	DOUBLE: CASEMENT	
9	3'-0"	5'-0"	SINGLE: CASEMENT	
10	2'-6"	4'-6"	SINGLE: CASEMENT	
11	2'-6"	4'-6"	SINGLE: CASEMENT	
12	2'-6"	4'-6"	SINGLE: CASEMENT	
13	2'-6"	4'-6"	SINGLE: CASEMENT	
14	2'-6"	4'-6"	SINGLE: CASEMENT	
15	7'-6"	5'-0"	TRIPLE: CASEMENT	EGRESS
16	2'-0"	4'-6"	SINGLE: CASEMENT	
17	2'-0"	4'-6"	SINGLE: CASEMENT	
18	5'-0"	4'-6"	DOUBLE: CASEMENT	EGRESS
19	2'-6"	1'-6"	SINGLE: CASEMENT	
20	2'-0"	4'-0"	SINGLE: CASEMENT	
21	2'-0"	4'-0"	SINGLE: CASEMENT	
22	6'-0"	5'-0"	DOUBLE: CASEMENT	EGRESS
23	5'-0"	4'-6"	DOUBLE: CASEMENT	
24	2'-6"	4'-6"	SINGLE: CASEMENT	
25	2'-0"	4'-0"	SINGLE: CASEMENT	
26	2'-0"	4'-0"	SINGLE: CASEMENT	
27	2'-6"	4'-6"	SINGLE: CASEMENT	
28	2'-6"	4'-0"	SINGLE: CASEMENT	
29	2'-6"	4'-0"	SINGLE: CASEMENT	



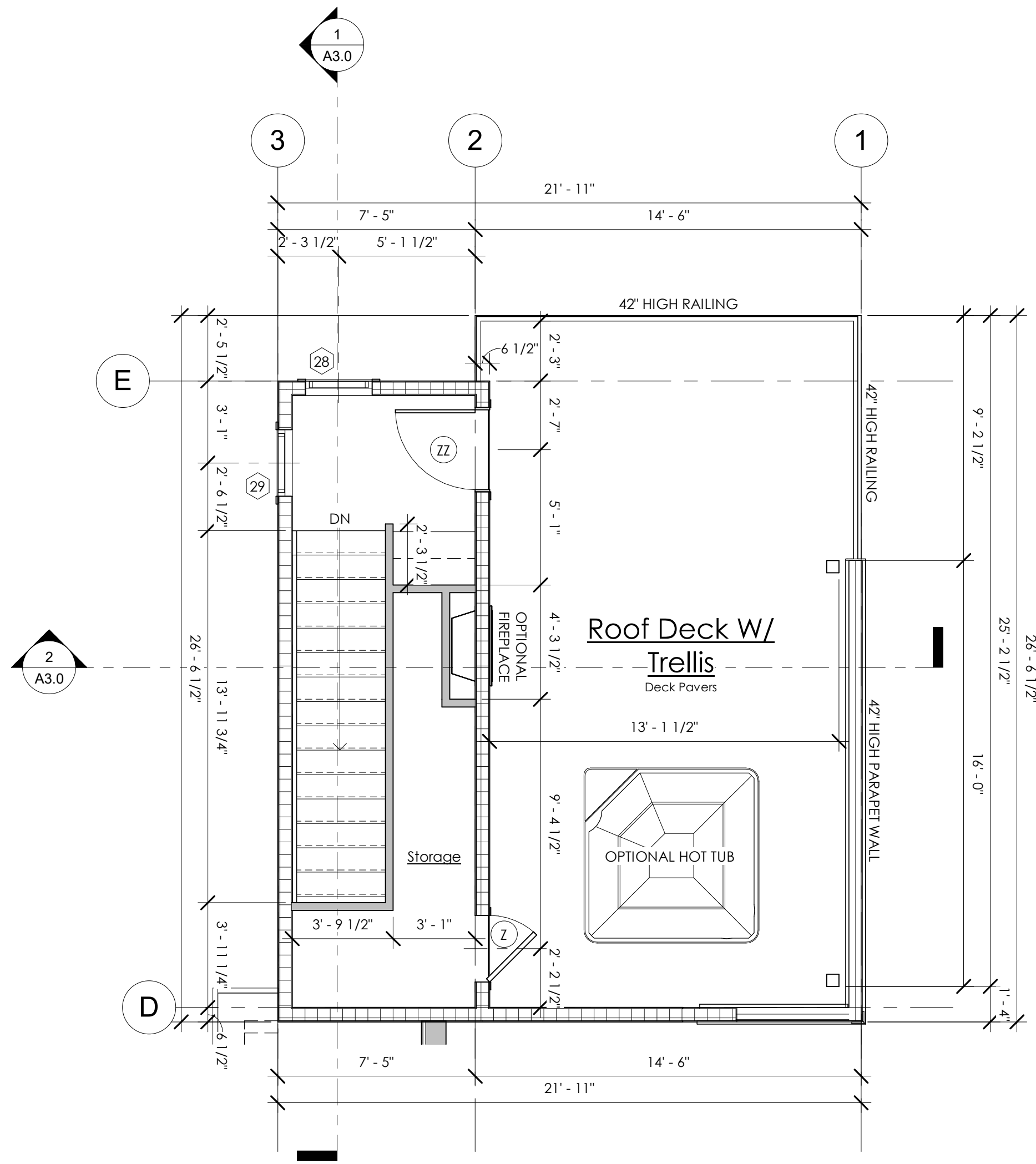
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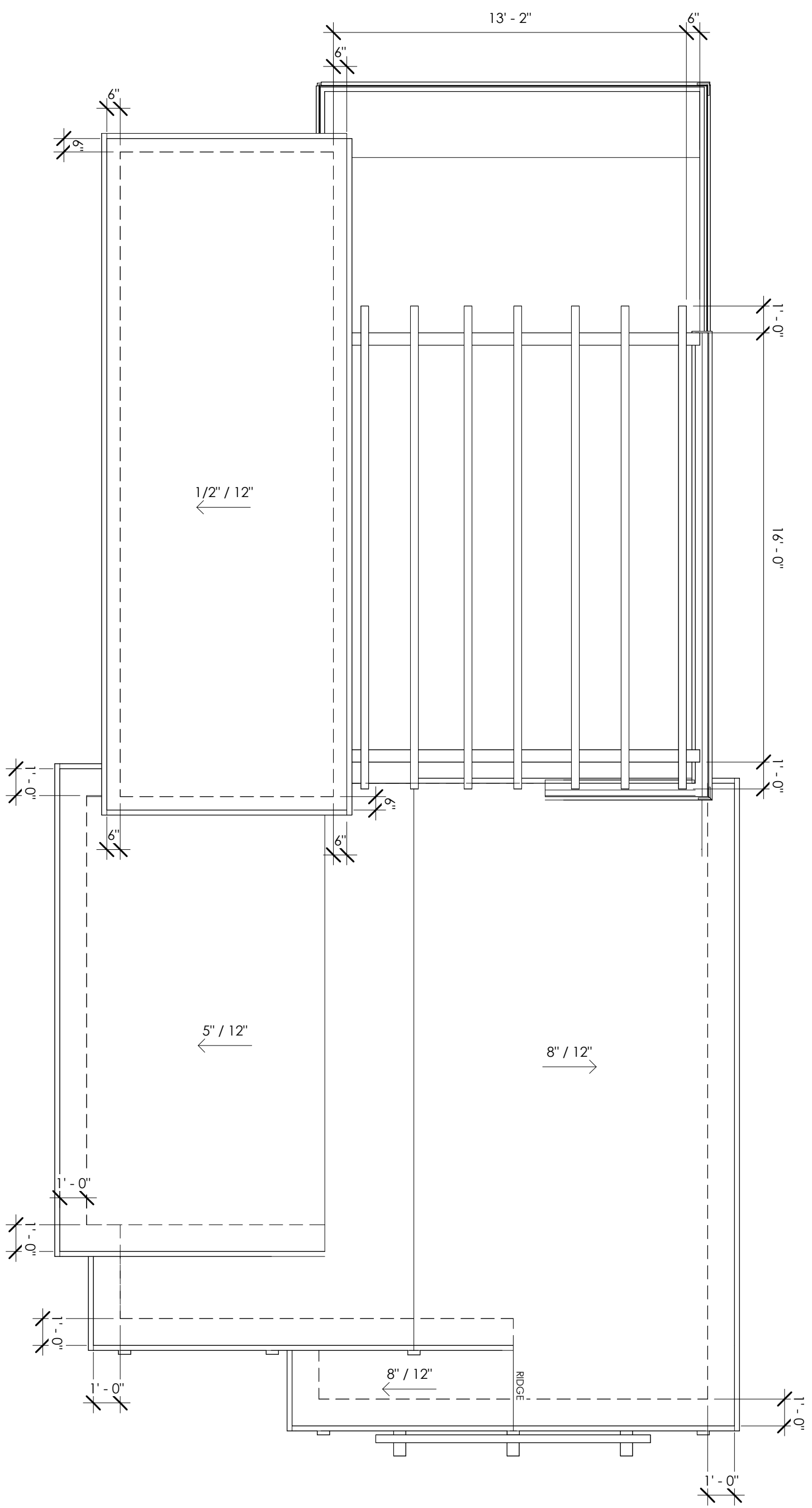
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PLANNING SUBMISSION



3 3rd Floor Plan Elevation I
SCALE: 1/4" = 1'-0"



4 Roof Deck Plan Elevation I
SCALE: 1/4" = 1'-0"



1 Roof Plan Elevation I
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE				
Mark	Width	Height	Comments	Notes
A	12'-0"	8'-0"	EXTERIOR: SGD OXO	
B	3'-0"	8'-0"	EXTERIOR: SINGLE LIGHT	ENTRY W/ 15' SIDELIGHT
BB	1'-3"	8'-0"	EXTERIOR: SIDE FLAT GLASS	NS
C	2'-6"	7'-0"	INTERIOR	
D	2'-6"	7'-0"	INTERIOR	
E	2'-6"	7'-0"	INTERIOR	
F	2'-6"	7'-0"	INTERIOR	
G	2'-6"	7'-0"	INTERIOR	
H	2'-6"	7'-0"	INTERIOR	
I	9'-0"	8'-0"	INSULATED O.H.	INSULATED METAL
J	2'-4"	8'-0"	INTERIOR	
K	2'-4"	8'-0"	INTERIOR	
L	2'-4"	8'-0"	INTERIOR	
M	2'-8"	8'-0"	INTERIOR	
N	2'-6"	8'-0"	CASED OPENING	
O	6'-0"	6'-8"	INTERIOR: BI-PASS	
P	2'-6"	6'-8"	INTERIOR	
Q	2'-8"	6'-8"	INTERIOR	
R	2'-4"	8'-0"	INTERIOR	
S	2'-6"	6'-8"	INTERIOR	
T	5'-0"	6'-8"	INTERIOR: BI-PASS	
U	2'-4"	6'-8"	INTERIOR	
V	2'-6"	6'-8"	CASED OPENING	
W	2'-4"	8'-0"	INTERIOR	
X	2'-8"	6'-8"	INTERIOR: BARN DOOR	
Y	2'-8"	7'-0"	INTERIOR	
Z	2'-6"	6'-8"	INTERIOR	
ZZ	3'-0"	6'-8"	EXTERIOR: SINGLE LIGHT	

WINDOW SCHEDULE				
Mark	Width	Height	Comments	Window Notes
1	2'-0"	4'-0"	SINGLE; CASEMENT	
2	2'-0"	4'-0"	SINGLE; CASEMENT	
3	2'-6"	4'-6"	SINGLE; CASEMENT	
4	2'-6"	4'-6"	SINGLE; CASEMENT	
5	5'-0"	4'-6"	DOUBLE; CASEMENT	
6	2'-6"	4'-6"	SINGLE; CASEMENT	
7	5'-0"	3'-6"	DOUBLE; CASEMENT	
8	6'-0"	5'-0"	DOUBLE; CASEMENT	
9	3'-0"	5'-0"	SINGLE; CASEMENT	
10	2'-6"	4'-6"	SINGLE; CASEMENT	
11	2'-6"	4'-6"	SINGLE; CASEMENT	
12	2'-6"	4'-6"	SINGLE; CASEMENT	
13	2'-6"	4'-6"	SINGLE; CASEMENT	
14	2'-6"	4'-6"	SINGLE; CASEMENT	
15	7'-6"	5'-0"	TRIPLE; CASEMENT	EGRESS
16	2'-0"	4'-6"	SINGLE; CASEMENT	
17	2'-0"	4'-6"	SINGLE; CASEMENT	
18	5'-0"	4'-6"	DOUBLE; CASEMENT	EGRESS
19	2'-6"	1'-6"	SINGLE; CASEMENT	
20	2'-0"	4'-0"	SINGLE; CASEMENT	
21	2'-0"	4'-0"	SINGLE; CASEMENT	
22	6'-0"	5'-0"	DOUBLE; CASEMENT	EGRESS
23	5'-0"	4'-6"	DOUBLE; CASEMENT	
24	2'-6"	4'-6"	SINGLE; CASEMENT	
25	2'-0"	4'-0"	SINGLE; CASEMENT	
26	2'-0"	4'-0"	SINGLE; CASEMENT	
27	2'-6"	4'-6"	SINGLE; CASEMENT	
28	2'-6"	4'-0"	SINGLE; CASEMENT	
29	2'-6"	4'-0"	SINGLE; CASEMENT	



2 East Elevation I - CS1
 SCALE: 3/16" = 1'-0"



1 South Elevation I - CS1
 SCALE: 3/16" = 1'-0"



4 North Elevation I - CS1
 SCALE: 3/16" = 1'-0"



3 West Elevation I - CS1
 SCALE: 3/16" = 1'-0"

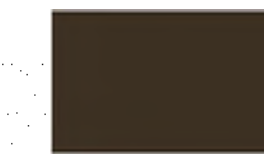
- LAP SIDING:
SEMI-SOLID STAIN - GRIZLY
- BOARD & BATTEN SIDING:
SEMI-SOLID STAIN - TAHOE
- TRIM:
PAINT - BLACK FOX
- DOORS & ALUMINUM CLAD
WOOD FRAMED WINDOWS: CHESTNUT BRONZE



STONE VENEER:
 ELDERADO STONE - ORCHARD



CORTEN METAL SIDING:
 NATURAL OXIDIZED FINISH



STANDING SEAM METAL ROOFING:
 DARK BRONZE



POWDER COATED METAL RAILING:
 FORTRESS METAL RAILINGS - BLACK SAND

Color Scheme 1
 SCALE: 1/4" = 1'-0"

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#	REVISION	DATE

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CHECKED: JVS

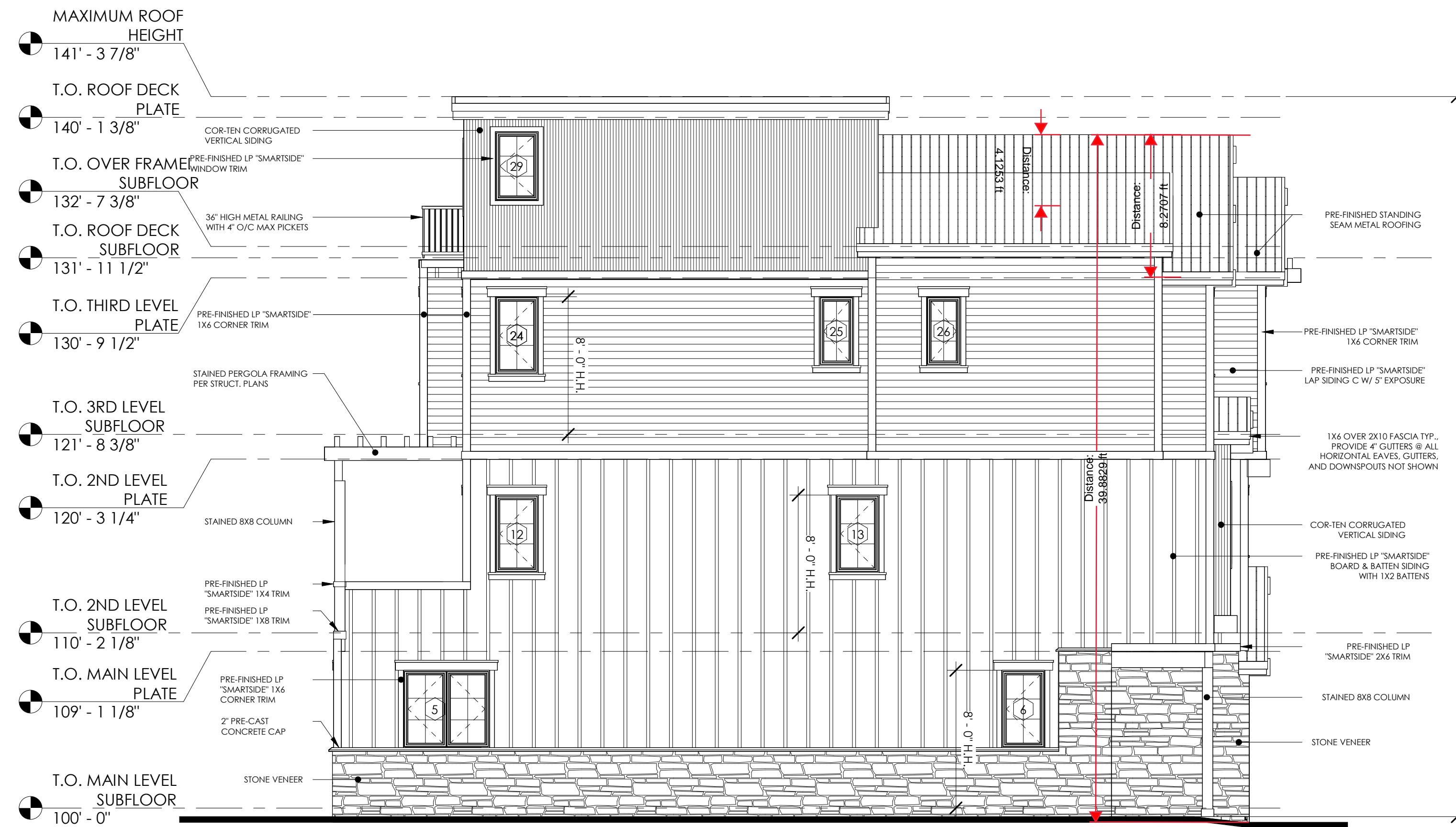
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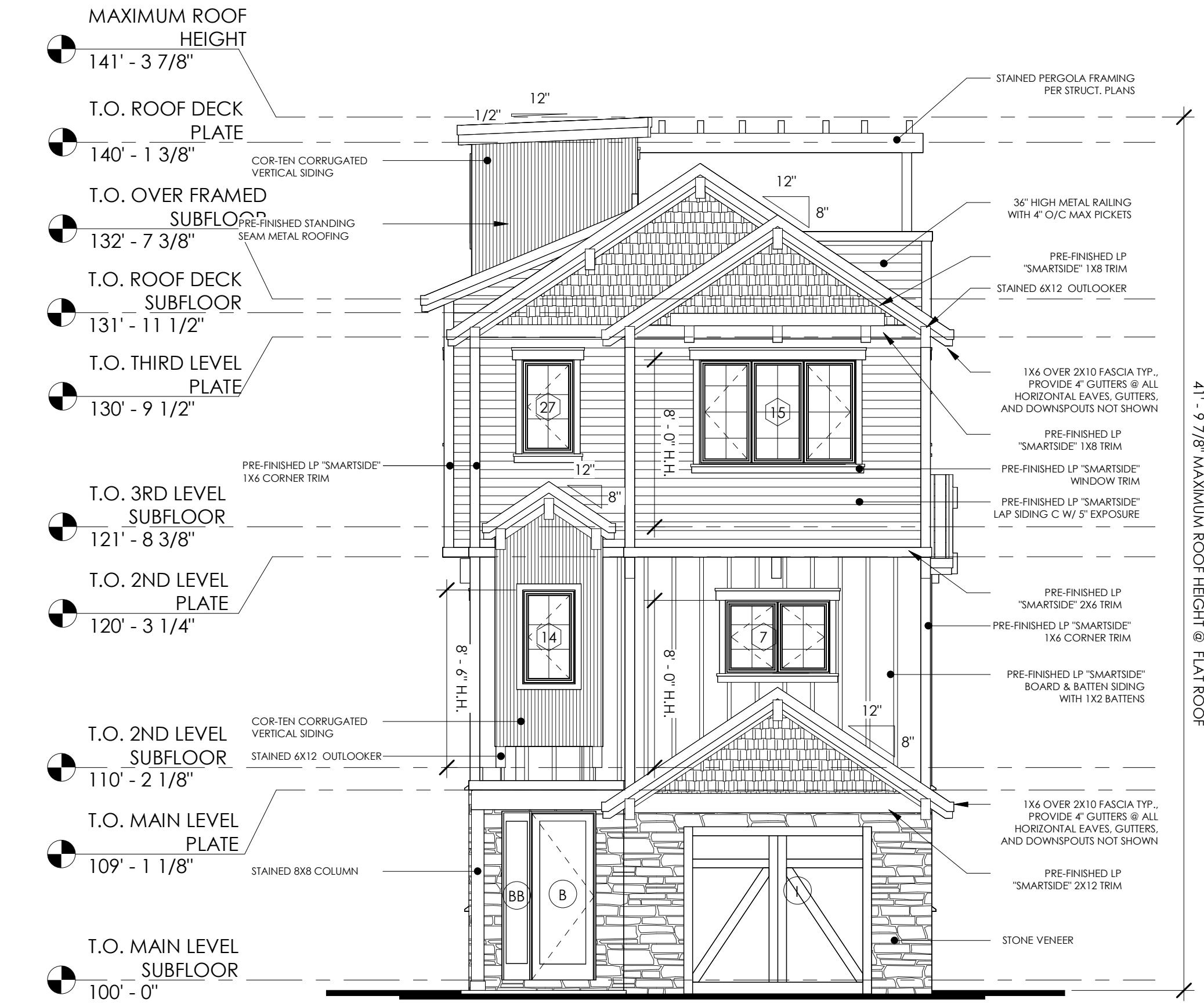
Exterior Elevations

A2.0

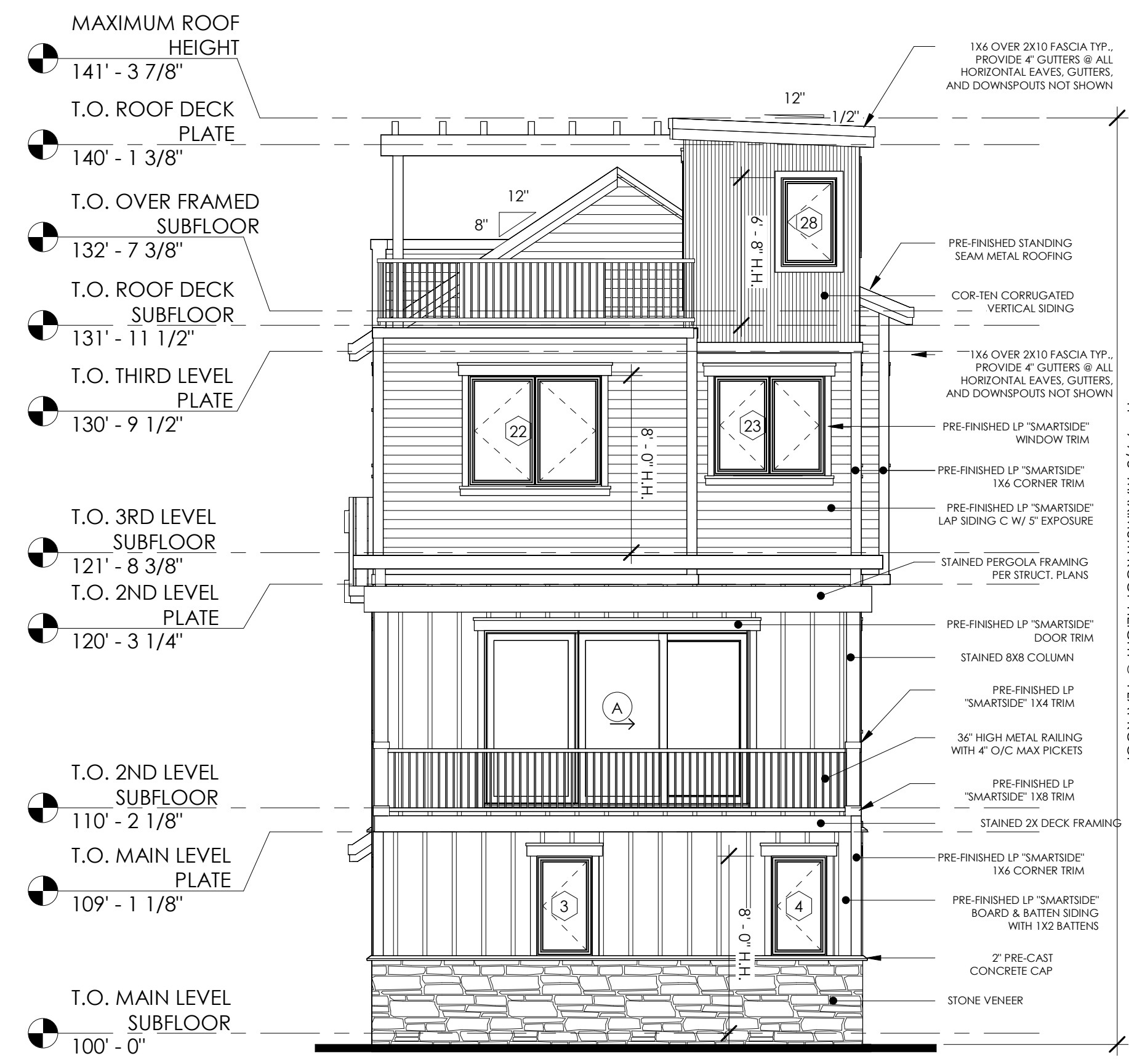
March 27, 2024



3 East Elevation I
SCALE: 3/16" = 1'-0"



2 South Elevation I
SCALE: 3/16" = 1'-0"



4 North Elevation I
SCALE: 3/16" = 1'-0"



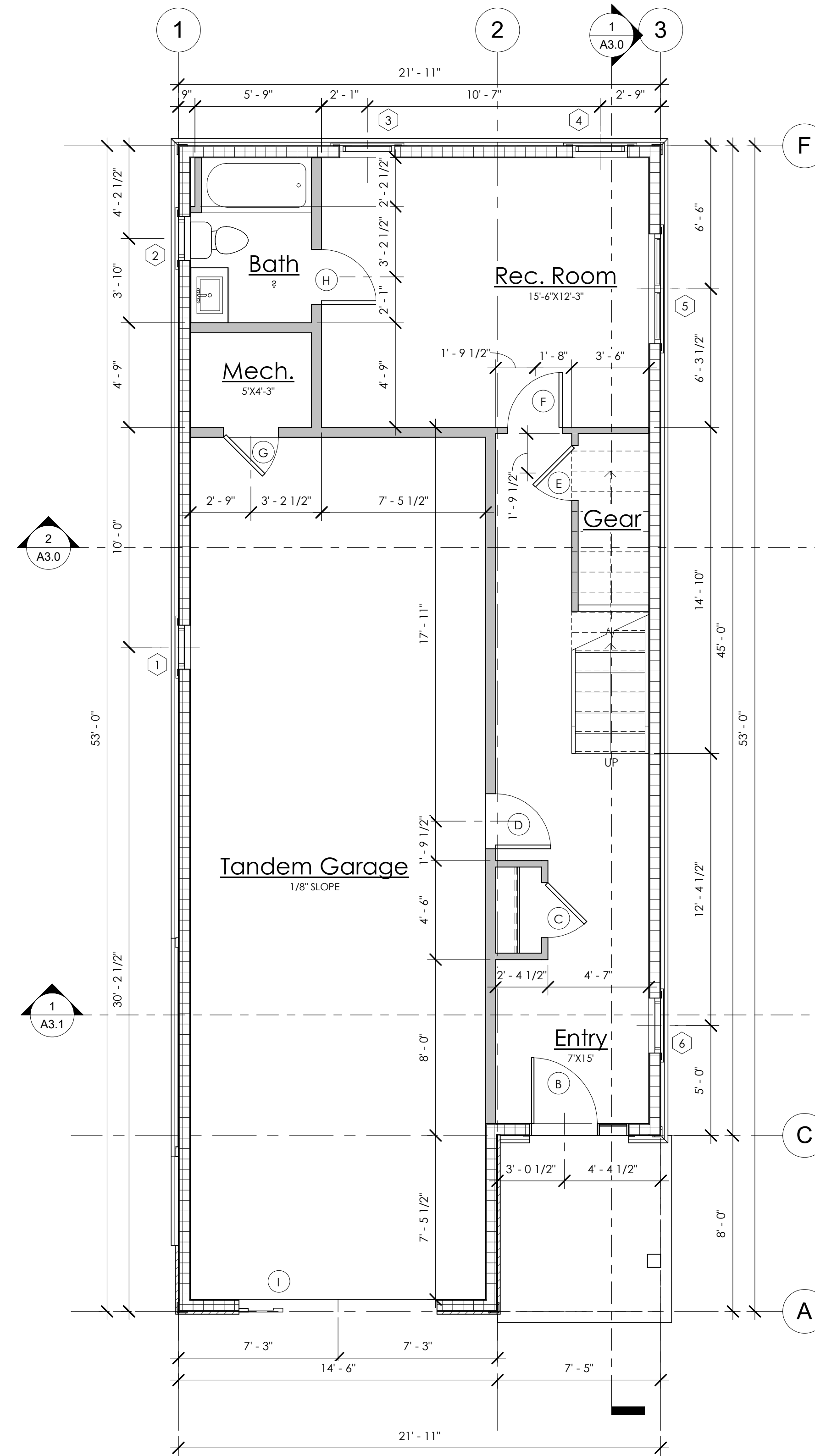
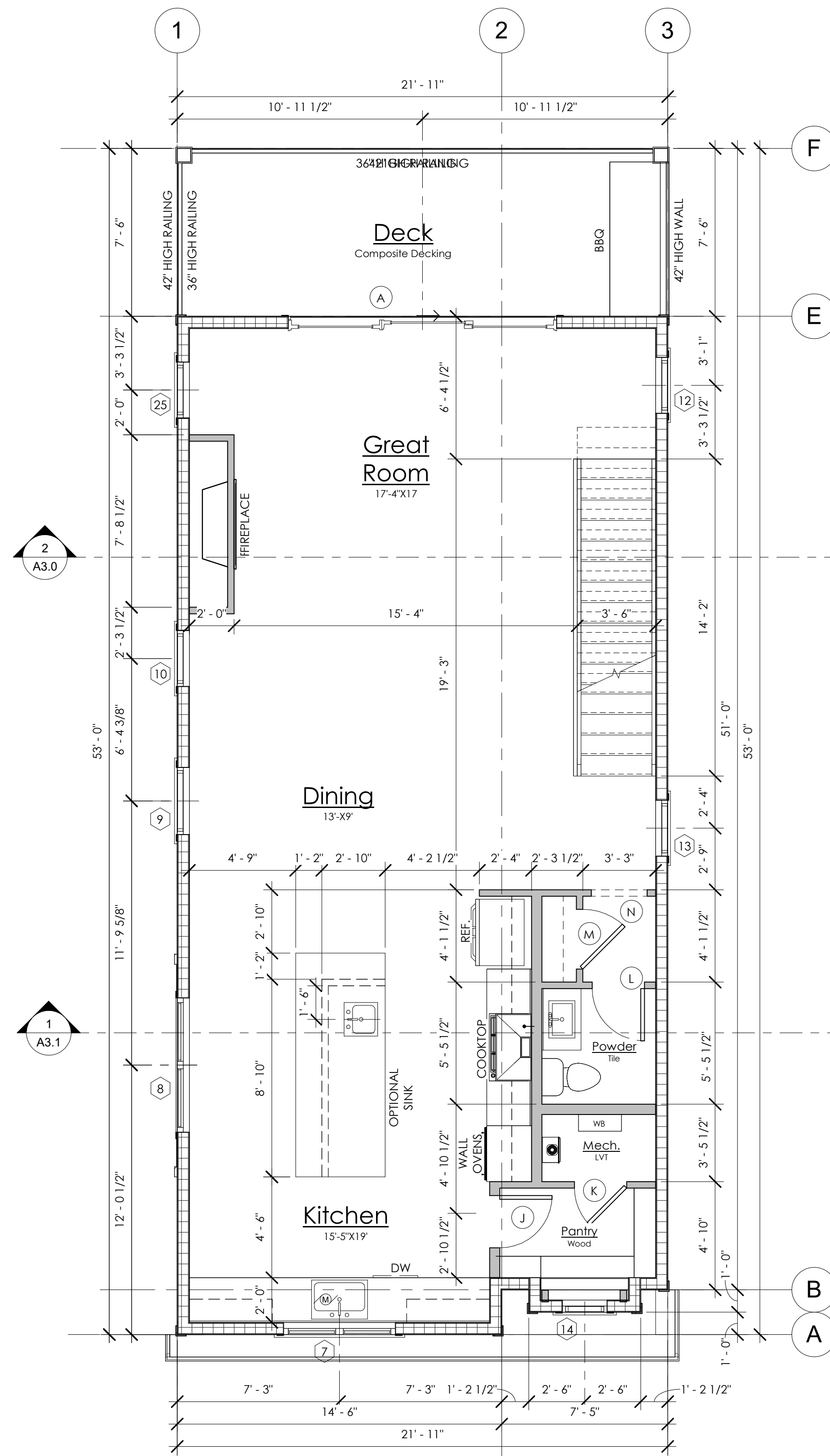
1 West Elevation I
SCALE: 3/16" = 1'-0"

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PLANNING SUBMISSION

Mark	Width	Height	Comments	Notes
A	12'-0"	8'-0"	EXTERIOR: SGD OXO	
B	3'-0"	8'-0"	EXTERIOR: SINGLE LIGHT	ENTRY W/ 15' SIDELIGHT
C	2'-6"	7'-0"	INTERIOR	
D	2'-6"	7'-0"	INTERIOR	
E	2'-6"	7'-0"	INTERIOR	
F	2'-6"	7'-0"	INTERIOR	
G	2'-6"	7'-0"	INTERIOR	
H	2'-6"	7'-0"	INTERIOR	
J	2'-4"	8'-0"	INTERIOR	
K	2'-4"	8'-0"	INTERIOR	
L	2'-4"	8'-0"	INTERIOR	
M	2'-8"	8'-0"	INTERIOR	
N	2'-6"	8'-0"	CASED OPENING	
O	6'-0"	6'-8"	INTERIOR: BI-PASS	
P	2'-6"	6'-8"	INTERIOR	
Q	2'-8"	6'-8"	INTERIOR	
R	2'-4"	8'-0"	INTERIOR	
S	2'-6"	6'-8"	INTERIOR: BI-PASS	
T	5'-0"	6'-8"	INTERIOR: BI-PASS	
U	2'-4"	6'-8"	INTERIOR	
V	2'-6"	6'-8"	CASED OPENING	
W	2'-4"	8'-0"	INTERIOR	
X	2'-8"	6'-8"	INTERIOR: BARN DOOR	
Y	2'-8"	7'-0"	INTERIOR	
Z	2'-6"	6'-8"	INTERIOR	
ZZ	3'-0"	6'-8"	EXTERIOR: SINGLE LIGHT	

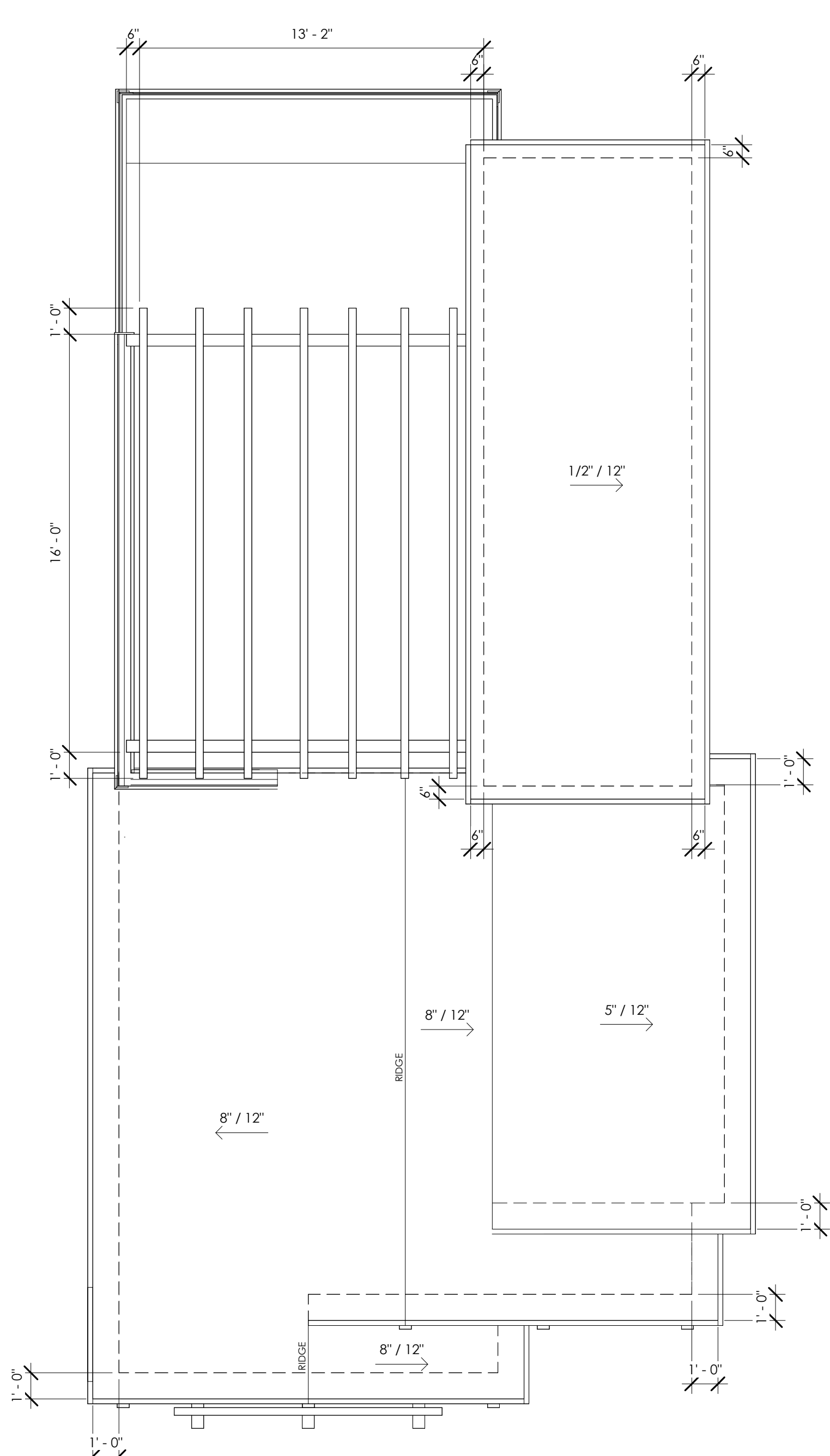
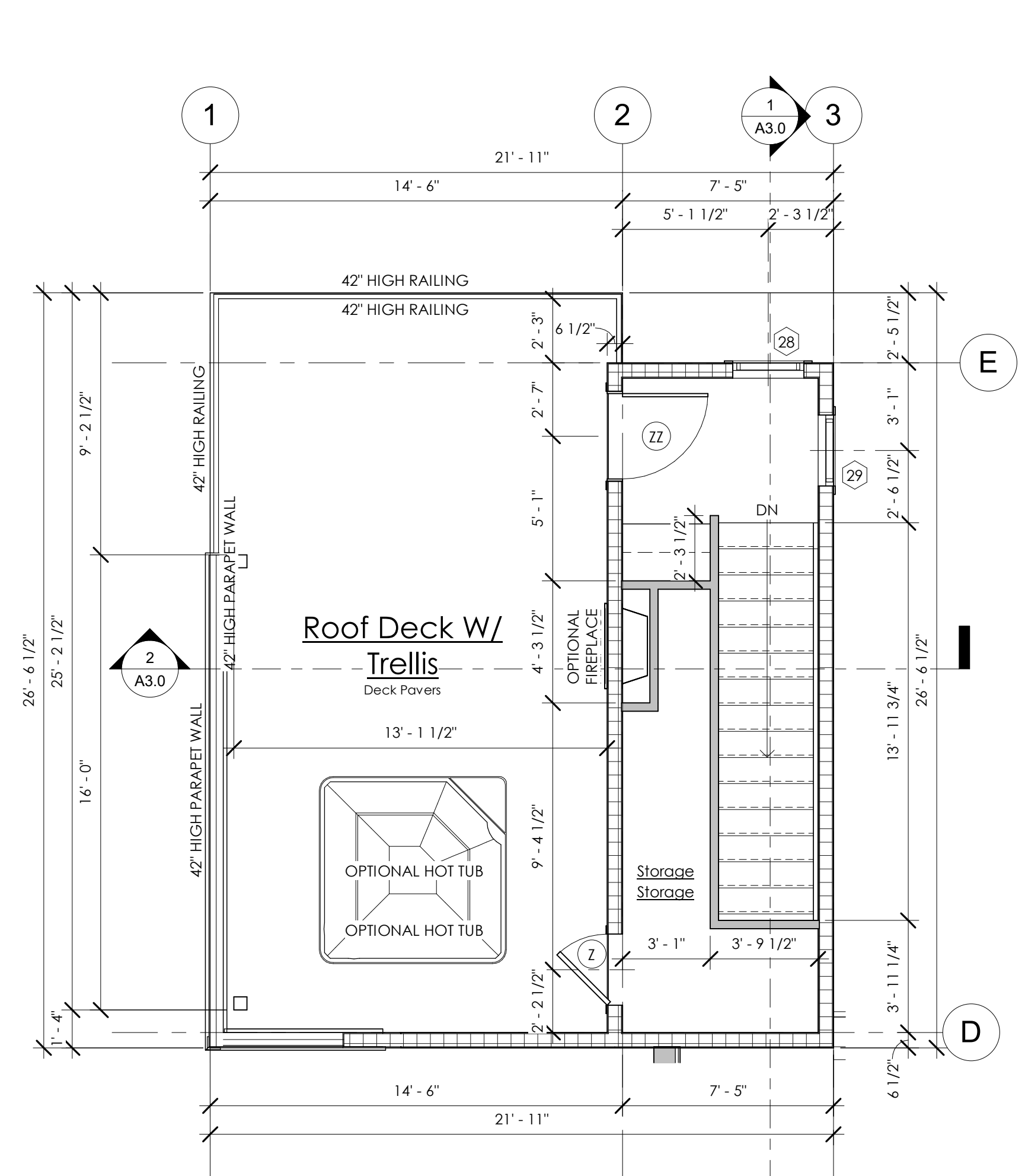
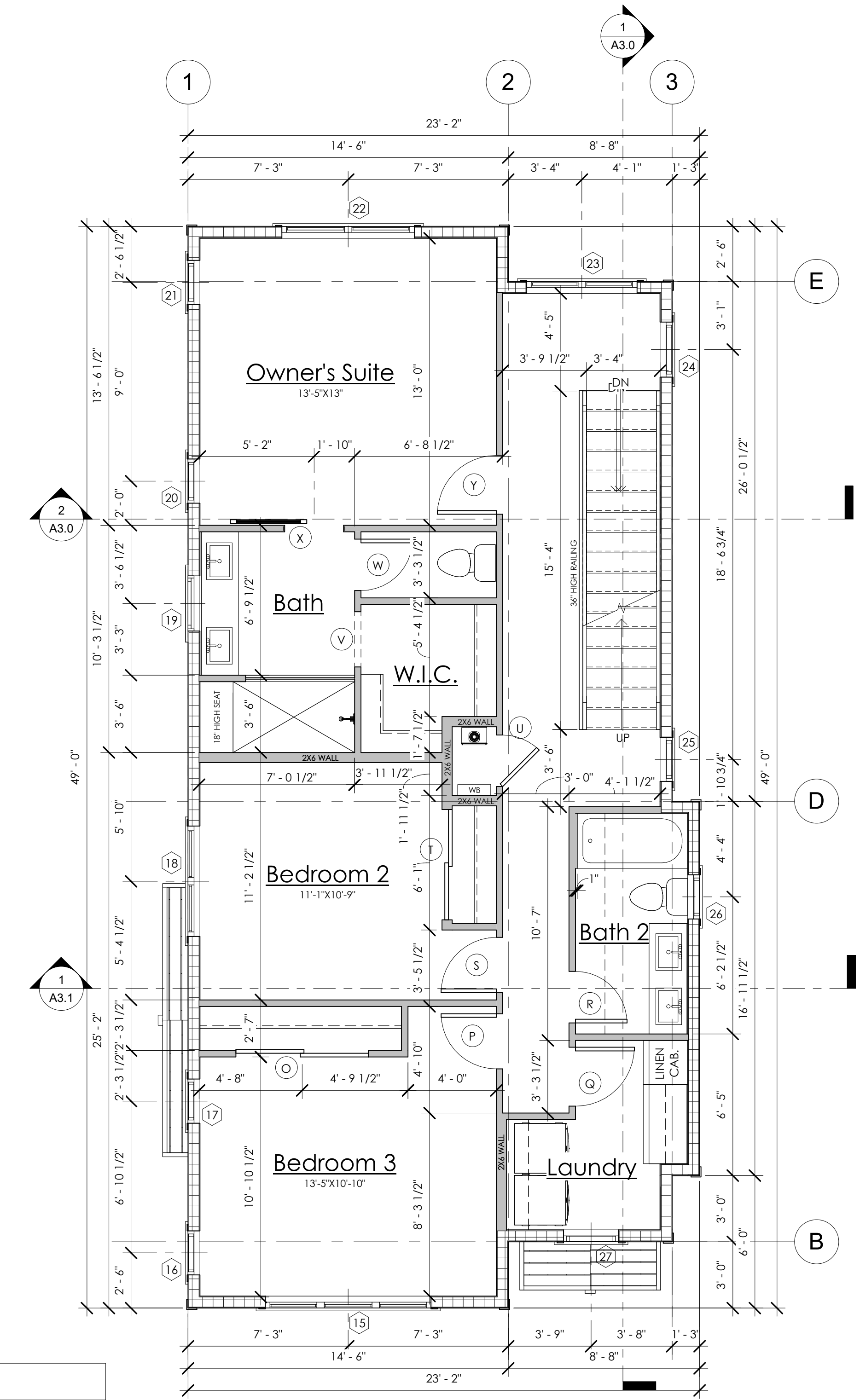
Mark	Width	Height	Type	Notes
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2	2'-0"	4'-0"	SINGLE: CASEMENT	
3	2'-6"	4'-6"	SINGLE: CASEMENT	
4	2'-6"	4'-6"	SINGLE: CASEMENT	
5	5'-0"	4'-6"	DOUBLE: CASEMENT	
6	2'-6"	4'-6"	SINGLE: CASEMENT	
7	5'-0"	3'-6"	DOUBLE: CASEMENT	
8	6'-0"	5'-0"	DOUBLE: CASEMENT	
9	3'-0"	5'-0"	SINGLE: CASEMENT	
10	2'-6"	4'-6"	SINGLE: CASEMENT	
11	2'-6"	4'-6"	SINGLE: CASEMENT	
12	2'-6"	4'-6"	SINGLE: CASEMENT	
13	2'-6"	4'-6"	SINGLE: CASEMENT	
14	2'-6"	4'-6"	SINGLE: CASEMENT	
15	7'-6"	5'-0"	TRIPLE: CASEMENT	EGRESS
16	2'-0"	4'-6"	SINGLE: CASEMENT	
17	2'-0"	4'-6"	SINGLE: CASEMENT	
18	5'-0"	4'-6"	DOUBLE: CASEMENT	EGRESS
19	2'-6"	1'-6"	SINGLE: CASEMENT	
20	2'-0"	4'-0"	SINGLE: CASEMENT	
21	2'-0"	4'-0"	SINGLE: CASEMENT	
22	6'-0"	5'-0"	DOUBLE: CASEMENT	EGRESS
23	5'-0"	4'-6"	DOUBLE: CASEMENT	
24	2'-6"	4'-6"	SINGLE: CASEMENT	
25	2'-0"	4'-0"	SINGLE: CASEMENT	
26	2'-0"	4'-0"	SINGLE: CASEMENT	
27	2'-6"	4'-6"	SINGLE: CASEMENT	
28	2'-6"	4'-0"	SINGLE: CASEMENT	
29	2'-6"	4'-0"	SINGLE: CASEMENT	



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DOOR SCHEDULE				
Mark	Width	Height	Comments	Notes
A	12'-0"	8'-0"	EXTERIOR: SGD OXO	
B	3'-0"	8'-0"	EXTERIOR: SINGLE LIGHT	ENTRY W/ 15" SIDELIGHT
C	2'-6"	7'-0"	INTERIOR	
D	2'-6"	7'-0"	INTERIOR	
E	2'-6"	7'-0"	INTERIOR	
F	2'-6"	7'-0"	INTERIOR	
G	2'-6"	7'-0"	INTERIOR	
H	2'-6"	7'-0"	INTERIOR	
J	2'-4"	8'-0"	INTERIOR	
K	2'-4"	8'-0"	INTERIOR	
L	2'-4"	8'-0"	INTERIOR	
M	2'-8"	8'-0"	INTERIOR	
N	2'-6"	8'-0"	CASED OPENING	
O	6'-0"	6'-8"	INTERIOR: BI-PASS	
P	2'-6"	6'-8"	INTERIOR	
Q	2'-8"	6'-8"	INTERIOR	
R	2'-4"	8'-0"	INTERIOR	
S	2'-6"	6'-8"	INTERIOR	
T	5'-0"	6'-8"	INTERIOR: BI-PASS	
U	2'-4"	6'-8"	INTERIOR	
V	2'-6"	6'-8"	CASED OPENING	
W	2'-4"	8'-0"	INTERIOR	
X	2'-8"	6'-8"	INTERIOR: BARN DOOR	
Y	2'-8"	7'-0"	INTERIOR	
Z	2'-6"	6'-8"	INTERIOR	
ZZ	3'-0"	6'-8"	EXTERIOR: SINGLE LIGHT	

WINDOW SCHEDULE				
Mark	Width	Height	Type	Notes
1	2'-0"	4'-0"	SINGLE: CASEMENT	
2	2'-0"	4'-0"	SINGLE: CASEMENT	
3	2'-6"	4'-6"	SINGLE: CASEMENT	
4	2'-6"	4'-6"	SINGLE: CASEMENT	
5	5'-0"	4'-6"	DOUBLE: CASEMENT	
6	2'-6"	4'-6"	SINGLE: CASEMENT	
7	5'-0"	3'-6"	DOUBLE: CASEMENT	
8	6'-0"	5'-0"	DOUBLE: CASEMENT	
9	3'-0"	5'-0"	SINGLE: CASEMENT	
10	2'-6"	4'-6"	SINGLE: CASEMENT	
11	2'-6"	4'-6"	SINGLE: CASEMENT	
12	2'-6"	4'-6"	SINGLE: CASEMENT	
13	2'-6"	4'-6"	SINGLE: CASEMENT	
14	2'-6"	4'-6"	SINGLE: CASEMENT	
15	7'-6"	5'-0"	TRIPLE: CASEMENT	EGRESS
16	2'-0"	4'-6"	SINGLE: CASEMENT	
17	2'-0"	4'-6"	SINGLE: CASEMENT	
18	5'-0"	4'-6"	DOUBLE: CASEMENT	EGRESS
19	2'-6"	1'-6"	SINGLE: CASEMENT	
20	2'-0"	4'-0"	SINGLE: CASEMENT	
21	2'-0"	4'-0"	SINGLE: CASEMENT	
22	6'-0"	5'-0"	DOUBLE: CASEMENT	EGRESS
23	5'-0"	4'-6"	DOUBLE: CASEMENT	
24	2'-6"	4'-6"	SINGLE: CASEMENT	
25	2'-0"	4'-0"	SINGLE: CASEMENT	
26	2'-0"	4'-0"	SINGLE: CASEMENT	
27	2'-6"	4'-6"	SINGLE: CASEMENT	
28	2'-6"	4'-0"	SINGLE: CASEMENT	
29	2'-6"	4'-0"	SINGLE: CASEMENT	

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March 27, 2024

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-  LAP SIDING:
SEMI-SOLID STAIN - BLACK HILLS
-  BOARD & BATTEN SIDING:
SEMI-SOLID STAIN - WALNUT
-  TRIM:
PAINT - ONYX
-  DOORS & ALUMINUM CLAD
WOOD FRAMED WINDOWS: CHESTNUT BRONZE
-  STONE VENEER:
ELDORADO STONE - ORCHARD
-  CORTEN METAL SIDING:
NATURAL OXIDIZED FINISH
-  STANDING SEAM METAL ROOFING:
DARK BRONZE
-  POWDER COATED METAL RAILING:
FORTRESS METAL RAILINGS - BLACK SAND

Color Scheme 5
 SCALE: 1/4" = 1'-0"



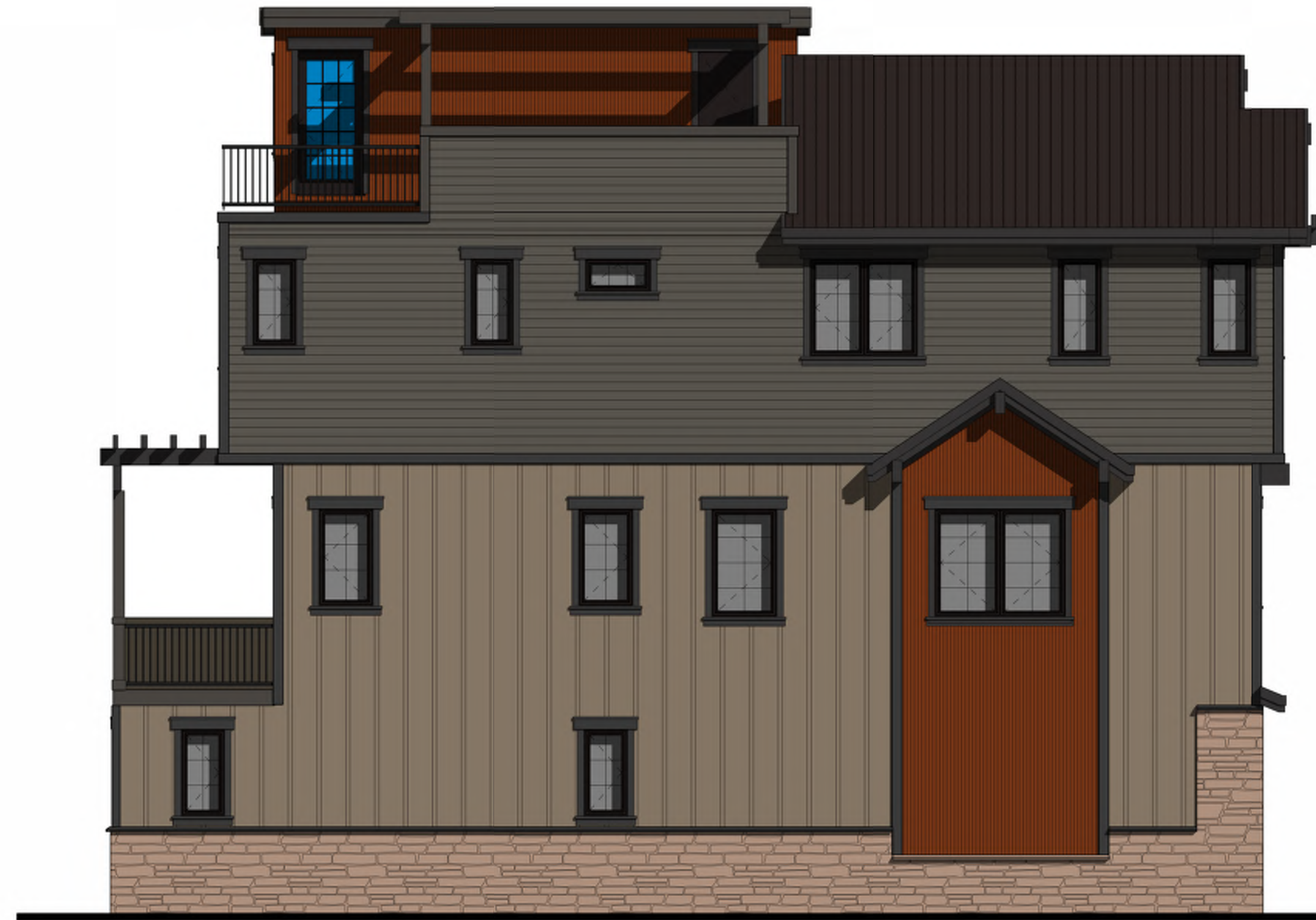
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 SCALE: 3/16" = 1'-0"



1 South Elevation I - CS5
 SCALE: 3/16" = 1'-0"



4 North Elevation I - CS5
 SCALE: 3/16" = 1'-0"



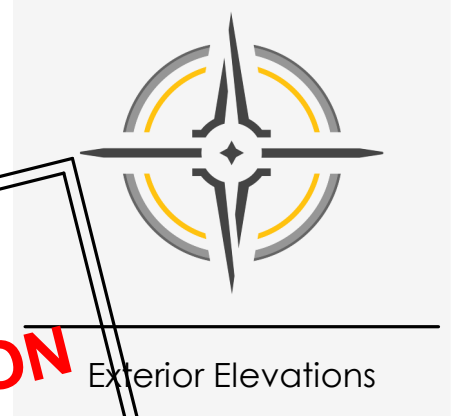
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 SCALE: 3/16" = 1'-0"

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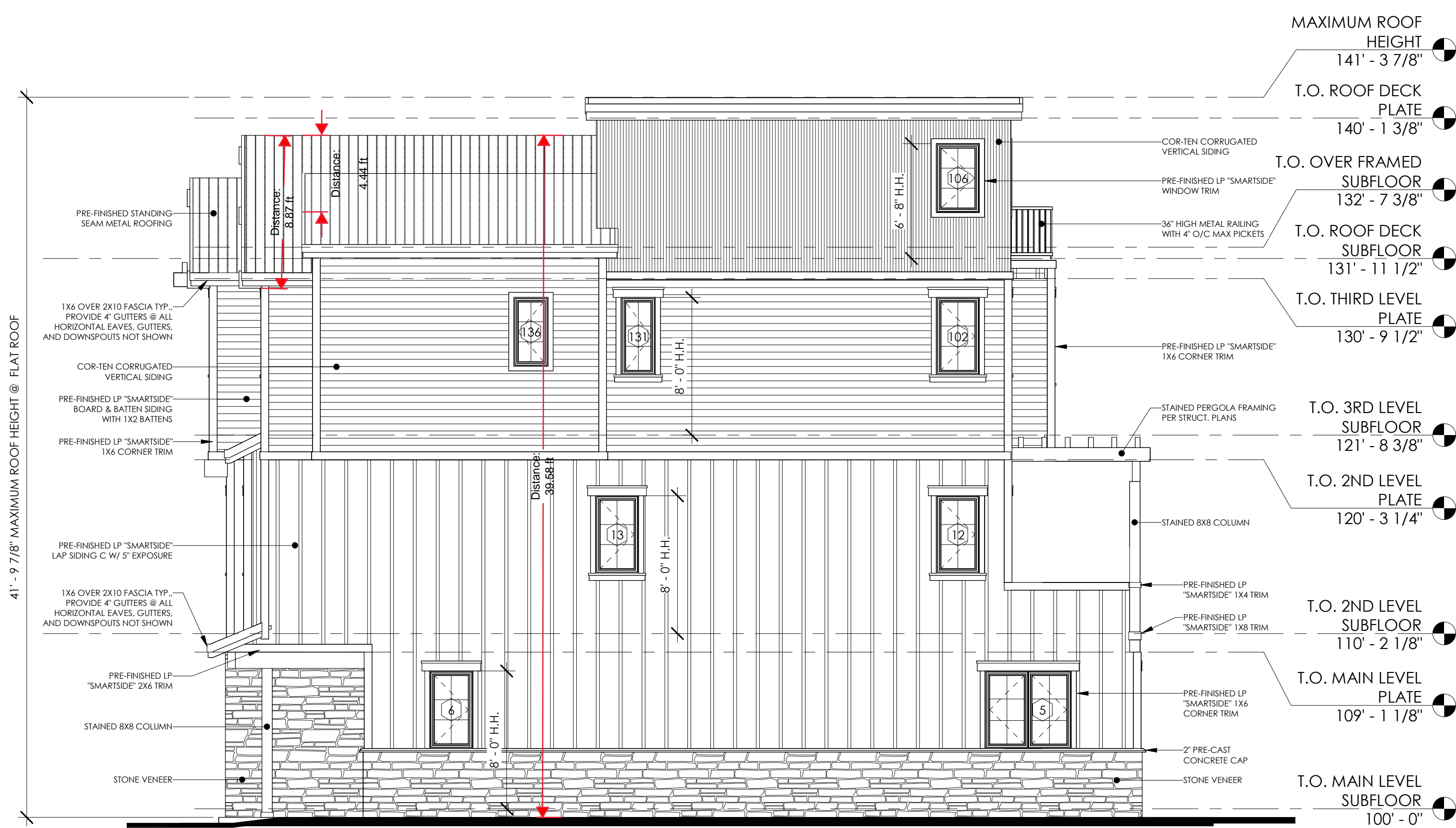
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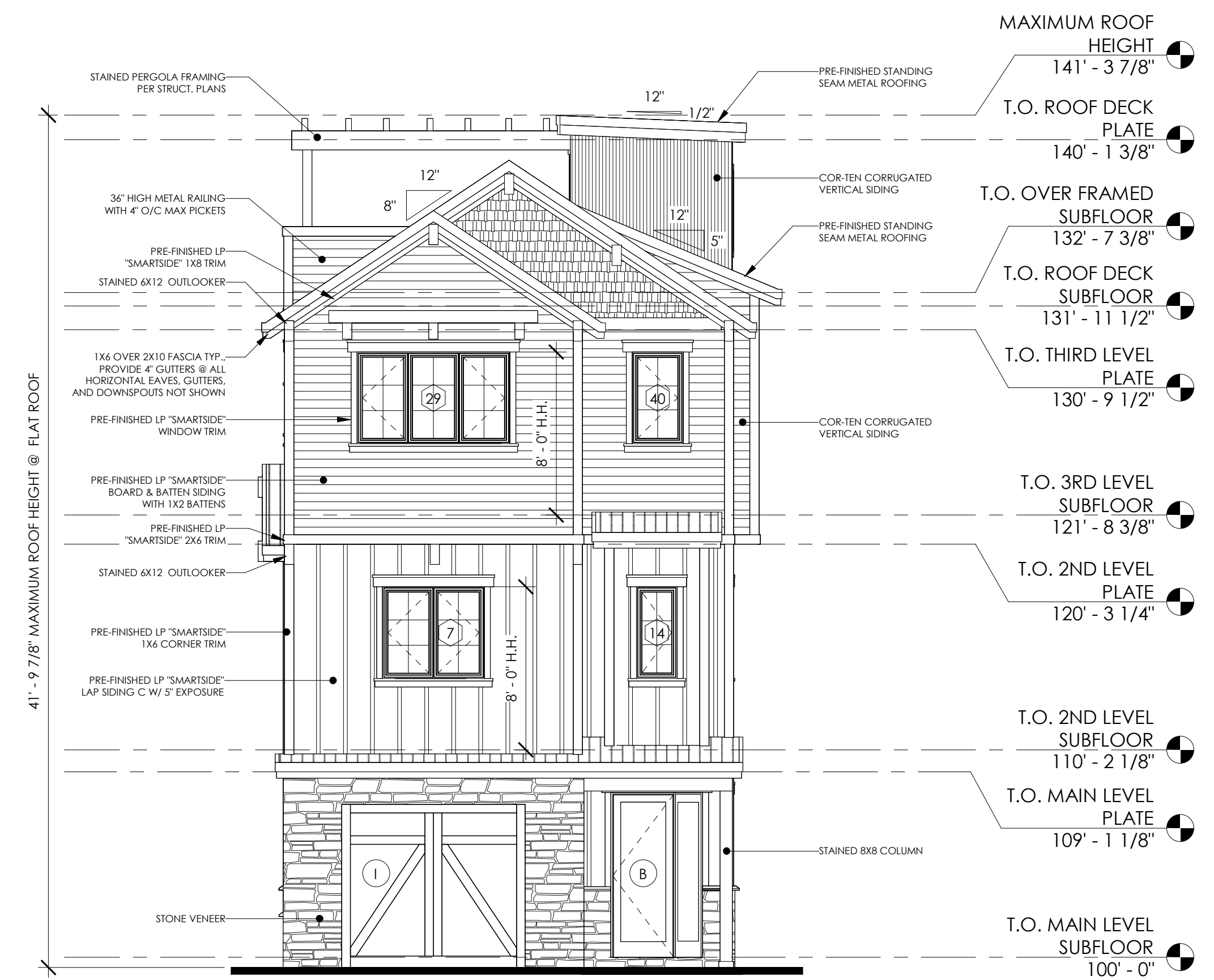
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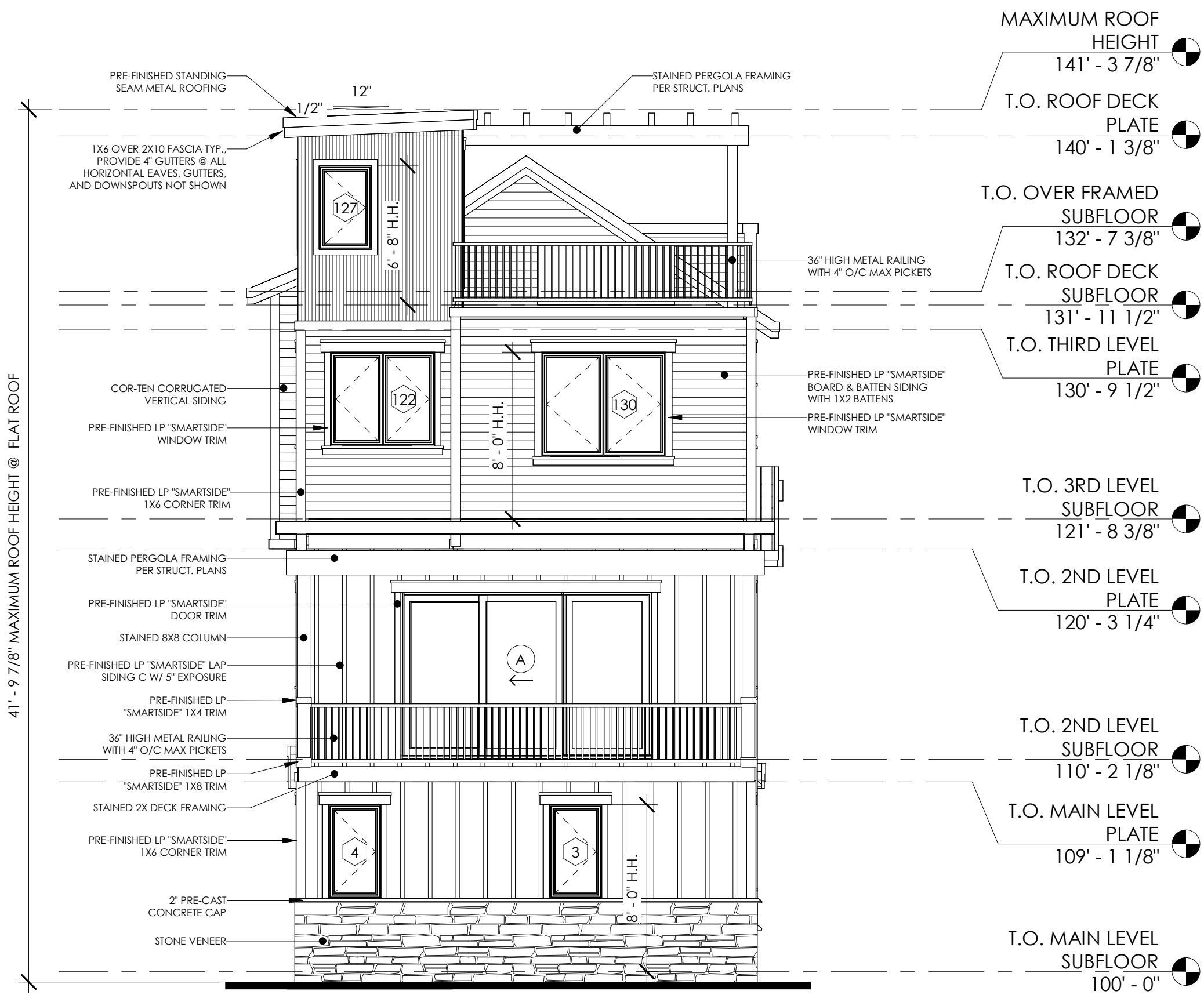
A2.0
March 27, 2024



3 East Elevation II
SCALE: 3/16" = 1'-0"



2 South Elevation II
SCALE: 3/16" = 1'-0"



4 North Elevation II
SCALE: 3/16" = 1'-0"



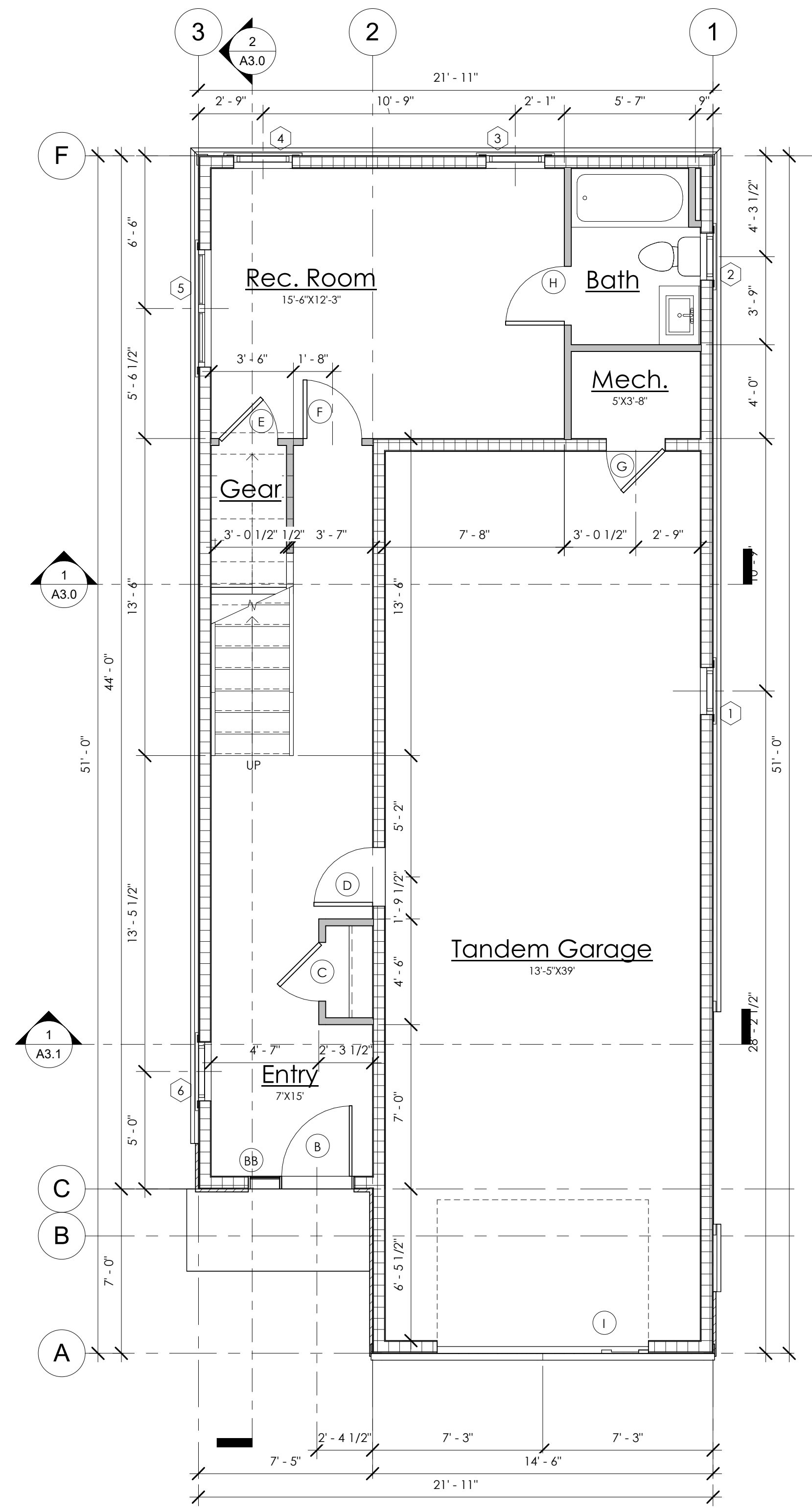
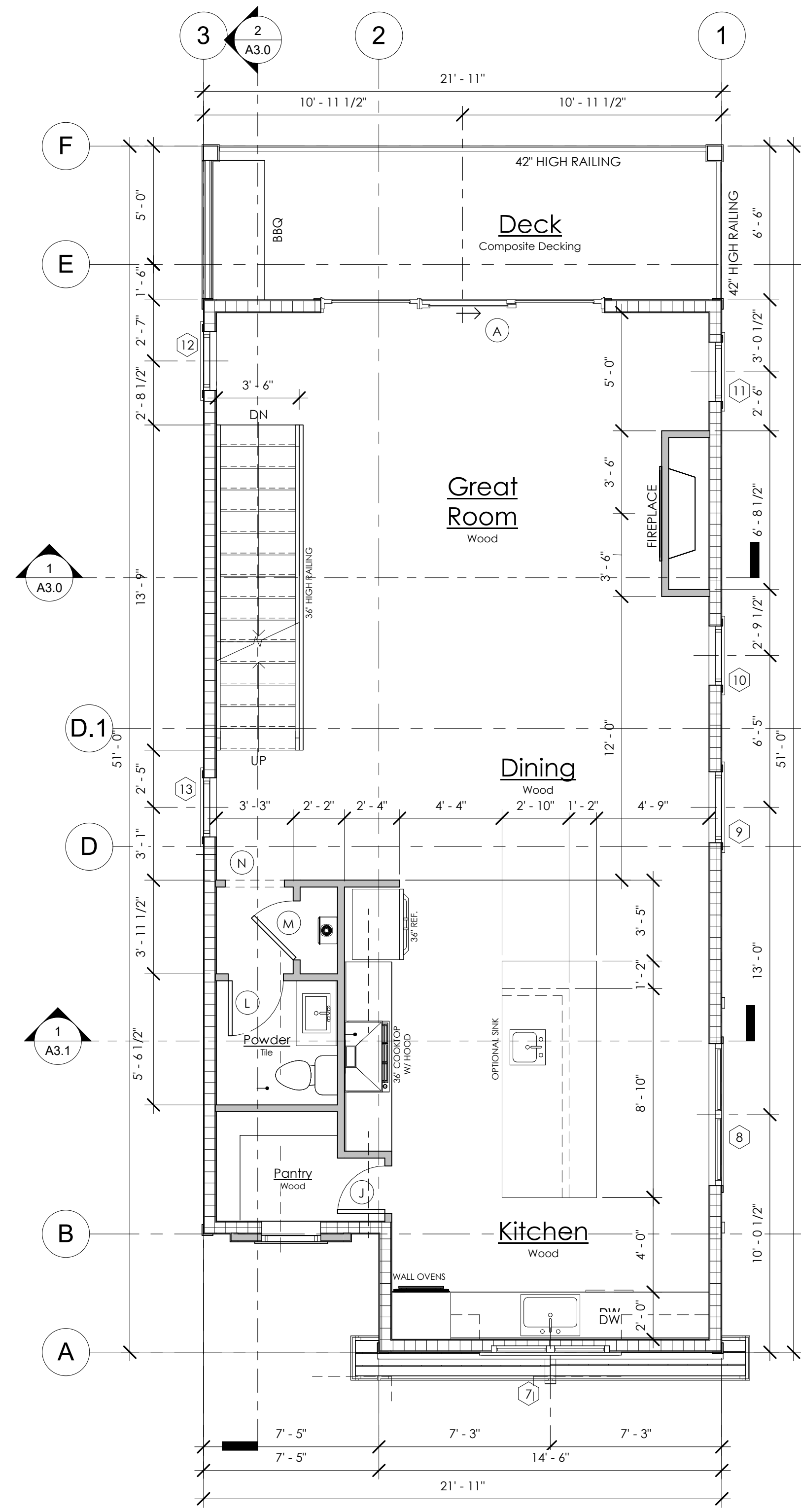
1 West Elevation II
SCALE: 3/16" = 1'-0"

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Mark	Width	Height	Comments	Notes
A	12'-0"	8'-0"	EXTERIOR: SGD OXO	
B	3'-0"	8'-0"	EXTERIOR: SINGLE LIGHT	ENTRY W/ 15' SIDELIGHT
C	2'-6"	7'-0"	INTERIOR	
D	2'-6"	7'-0"	INTERIOR	
E	2'-6"	7'-0"	INTERIOR	
F	2'-6"	7'-0"	INTERIOR	
G	2'-6"	7'-0"	INTERIOR	
H	2'-6"	7'-0"	INTERIOR	
J	2'-0"	8'-0"	INTERIOR	
K	6'-0"	6'-8"	INTERIOR: BI-PASS	
L	2'-4"	8'-0"	INTERIOR	
M	2'-6"	8'-0"	INTERIOR	
N	2'-6"	8'-0"	CASED OPENING	
P	2'-6"	6'-8"	INTERIOR	
Q	2'-8"	6'-8"	INTERIOR	
R	2'-4"	8'-0"	INTERIOR	
S	2'-6"	6'-8"	INTERIOR	
T	6'-0"	6'-8"	INTERIOR: BI-PASS	
U	2'-4"	8'-0"	CASED OPENING	
V	2'-0"	8'-0"		
W	2'-4"	8'-0"	INTERIOR	
X	2'-8"	6'-8"	INTERIOR: BARN DOOR	
Y	2'-8"	7'-0"	INTERIOR	
Z	2'-6"	6'-8"	INTERIOR	
ZZ	3'-0"	6'-8"	EXTERIOR: SINGLE LIGHT	

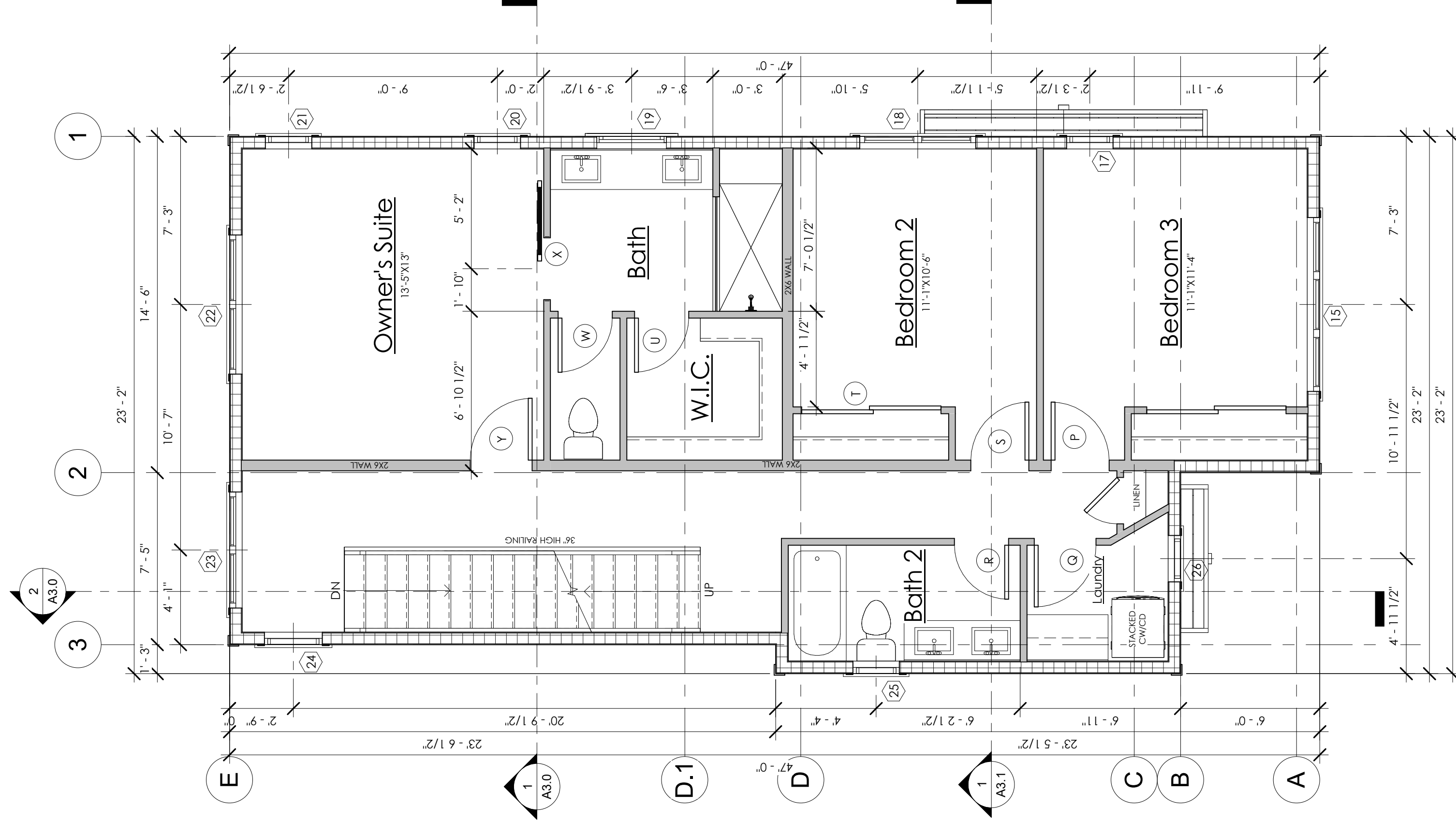
Mark	Width	Height	Type	Notes
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2	2'-0"	4'-0"	SINGLE: CASEMENT	
3	2'-6"	4'-6"	SINGLE: CASEMENT	
4	2'-6"	4'-6"	SINGLE: CASEMENT	
5	5'-0"	4'-6"	DOUBLE: CASEMENT	
6	2'-6"	4'-6"	SINGLE: CASEMENT	
7	5'-0"	3'-6"	DOUBLE: CASEMENT	
8	6'-0"	5'-0"	DOUBLE: CASEMENT	
9	3'-0"	5'-0"	SINGLE: CASEMENT	
10	2'-6"	4'-6"	SINGLE: CASEMENT	
11	2'-6"	4'-6"	SINGLE: CASEMENT	
12	2'-6"	4'-6"	SINGLE: CASEMENT	
13	2'-6"	4'-6"	SINGLE: CASEMENT	
15	7'-6"	5'-0"	TRIPLE: CASEMENT	EGRESS
17	2'-0"	4'-6"	SINGLE: CASEMENT	EGRESS
18	5'-0"	4'-6"	DOUBLE: CASEMENT	EGRESS
19	3'-0"	1'-6"	SINGLE: CASEMENT	
20	2'-0"	4'-0"	SINGLE: CASEMENT	
21	2'-0"	4'-0"	SINGLE: CASEMENT	
22	6'-0"	5'-0"	DOUBLE: CASEMENT	EGRESS
23	5'-0"	4'-6"	DOUBLE: CASEMENT	
24	2'-6"	4'-6"	SINGLE: CASEMENT	
25	2'-0"	4'-0"	SINGLE: CASEMENT	
26	2'-0"	4'-6"	SINGLE: CASEMENT	
27	2'-6"	4'-0"	SINGLE: CASEMENT	
28	2'-6"	4'-0"	SINGLE: CASEMENT	
29	2'-6"	4'-6"	SINGLE: CASEMENT	



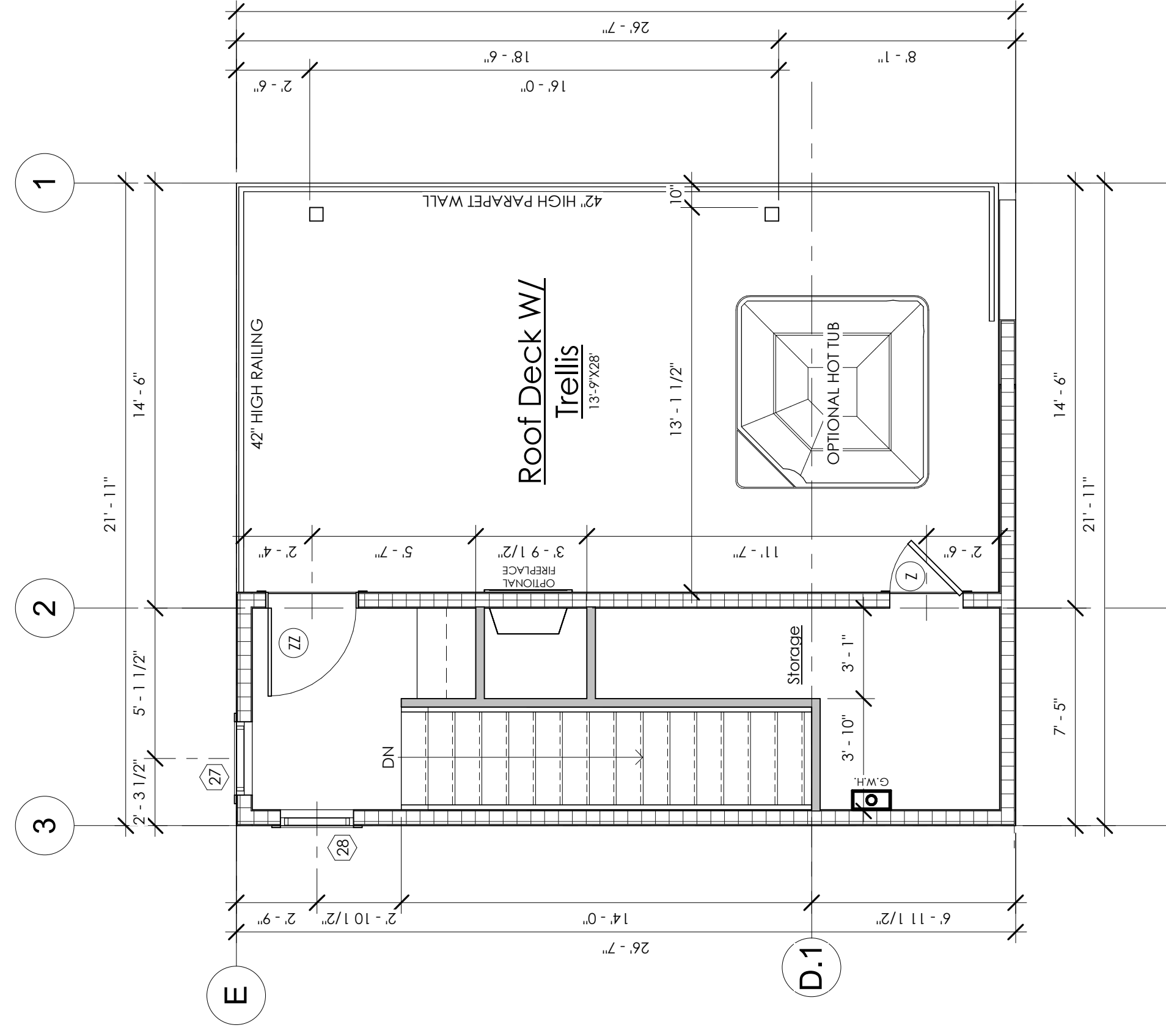
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3 3rd Floor Plan Elevation I
 SCALE: 1/4" = 1'-0"



4 Roof Deck Plan
 SCALE: 1/4" = 1'-0"

DOOR SCHEDULE			
Mark	Width	Height	Comments / Notes
A	12'-0"	8'-0"	EXTERIOR: SGG OXO
B	3'-0"	8'-0"	EXTERIOR: SINGLE LIGHT ENTRY W/ 15' SIDE LIGHT
C	2'-6"	7'-0"	INTERIOR
D	2'-6"	7'-0"	INTERIOR
E	2'-6"	7'-0"	INTERIOR
F	2'-6"	7'-0"	INTERIOR
G	2'-6"	7'-0"	INTERIOR
H	2'-6"	7'-0"	INTERIOR
J	2'-0"	8'-0"	INTERIOR
K	6'-0"	6'-8"	INTERIOR: BHPASS
L	2'-4"	8'-0"	INTERIOR
M	2'-6"	8'-0"	INTERIOR
N	2'-6"	8'-0"	CASED OPENING
P	2'-6"	6'-8"	INTERIOR
Q	2'-8"	6'-8"	INTERIOR
R	2'-4"	8'-0"	INTERIOR
S	2'-6"	6'-8"	INTERIOR
T	6'-0"	6'-8"	INTERIOR: BHPASS
U	2'-4"	8'-0"	CASED OPENING
V	2'-0"	8'-0"	INTERIOR
W	2'-4"	8'-0"	INTERIOR
X	2'-8"	6'-8"	INTERIOR: BARN DOOR
Y	2'-8"	7'-0"	INTERIOR
Z	2'-6"	6'-8"	INTERIOR
ZZ	3'-0"	6'-8"	EXTERIOR: SINGLE LIGHT

WINDOW SCHEDULE			
Mark	Width	Height	Type / Notes
1	2'-0"	4'-0"	SINGLE CASEMENT
2	2'-0"	4'-0"	SINGLE CASEMENT
3	2'-6"	4'-6"	SINGLE CASEMENT
4	2'-6"	4'-6"	SINGLE CASEMENT
5	5'-0"	4'-6"	DOUBLE CASEMENT
6	2'-6"	4'-6"	SINGLE CASEMENT
7	5'-0"	3'-6"	DOUBLE CASEMENT
8	6'-0"	5'-0"	DOUBLE CASEMENT
9	3'-0"	5'-0"	SINGLE CASEMENT
10	2'-6"	4'-6"	SINGLE CASEMENT
11	2'-6"	4'-6"	SINGLE CASEMENT
12	2'-6"	4'-6"	SINGLE CASEMENT
13	2'-6"	4'-6"	SINGLE CASEMENT
15	7'-6"	5'-0"	TRIPLE CASEMENT
17	2'-0"	4'-6"	SINGLE CASEMENT
18	5'-0"	4'-6"	DOUBLE CASEMENT
19	3'-0"	1'-6"	SINGLE CASEMENT
20	2'-0"	4'-0"	SINGLE CASEMENT
21	2'-0"	4'-0"	SINGLE CASEMENT
22	6'-0"	5'-0"	DOUBLE CASEMENT
23	5'-0"	4'-6"	DOUBLE CASEMENT
24	2'-6"	4'-6"	SINGLE CASEMENT
25	2'-0"	4'-0"	SINGLE CASEMENT
26	2'-0"	4'-6"	SINGLE CASEMENT
27	2'-6"	4'-0"	SINGLE CASEMENT
28	2'-6"	4'-0"	SINGLE CASEMENT
29	2'-6"	4'-6"	SINGLE CASEMENT

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Material Board

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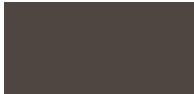
March 27, 2024



2 East Elevation I - CS3
 SCALE: 3/16" = 1'-0"



1 South Elevation I - CS3
 SCALE: 3/16" = 1'-0"

-  LAP SIDING:
SEMI-SOLID STAIN - CARIBOU
-  BOARD & BATTEN SIDING:
SEMI-SOLID STAIN - GRANITE
-  TRIM:
PAINT - BLACK FOX
-  DOORS & ALUMINUM CLAD
WOOD FRAMED WINDOWS: CHESTNUT BRONZE



Color Scheme 3
 SCALE: 1/4" = 1'-0"



4 North Elevation I - CS3
 SCALE: 3/16" = 1'-0"



3 West Elevation I - CS3
 SCALE: 3/16" = 1'-0"

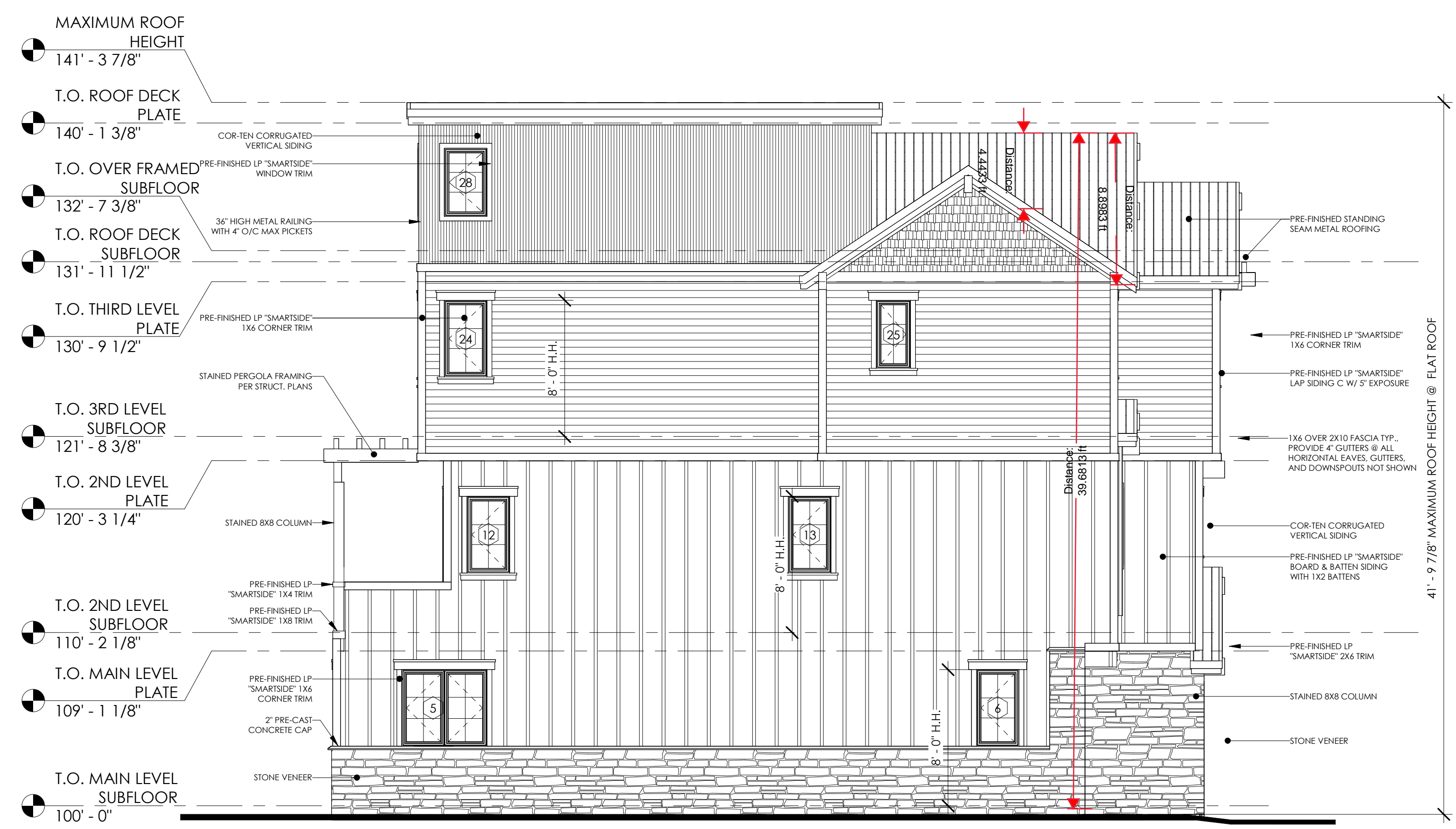
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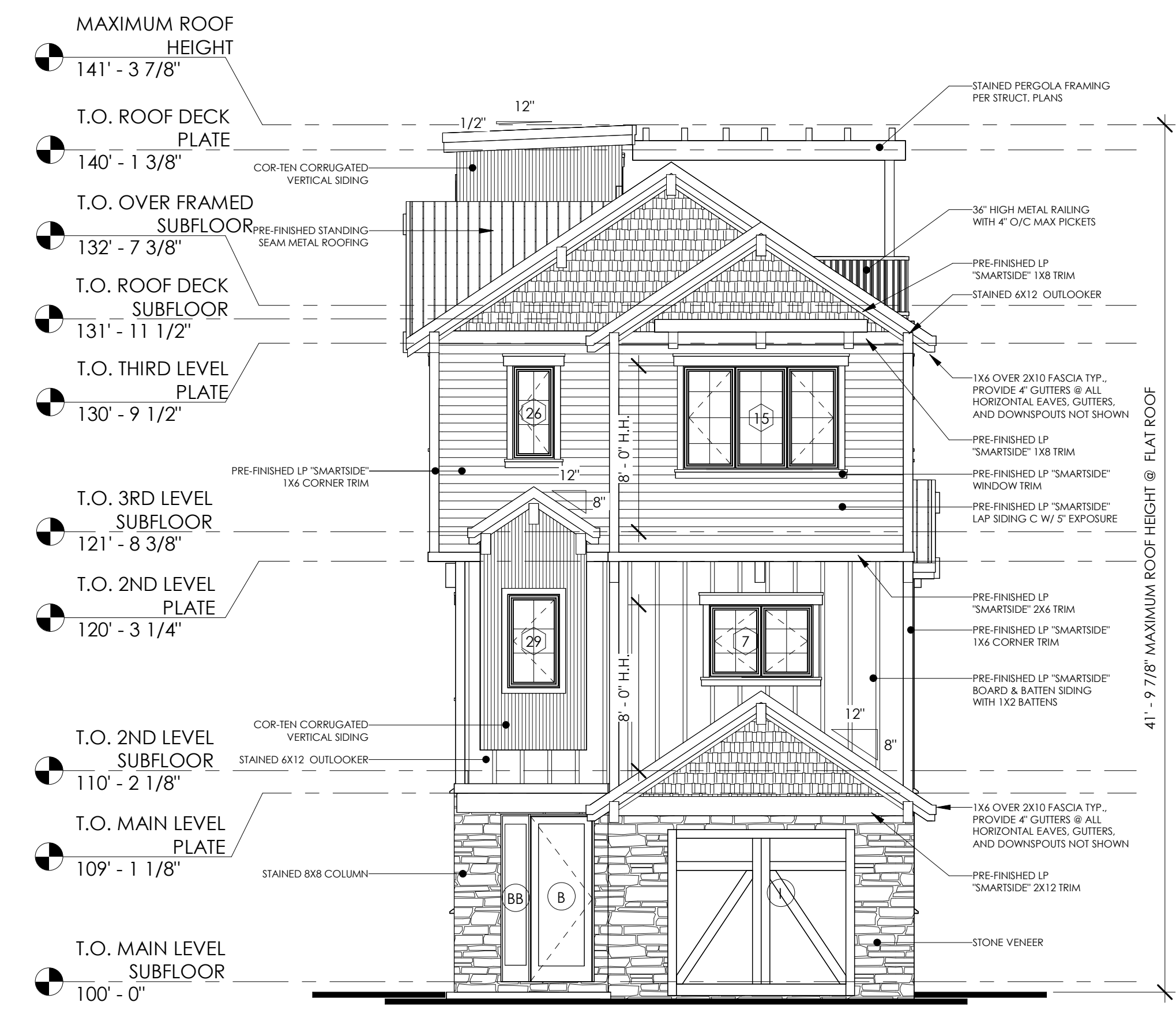
#	REVISION	DATE

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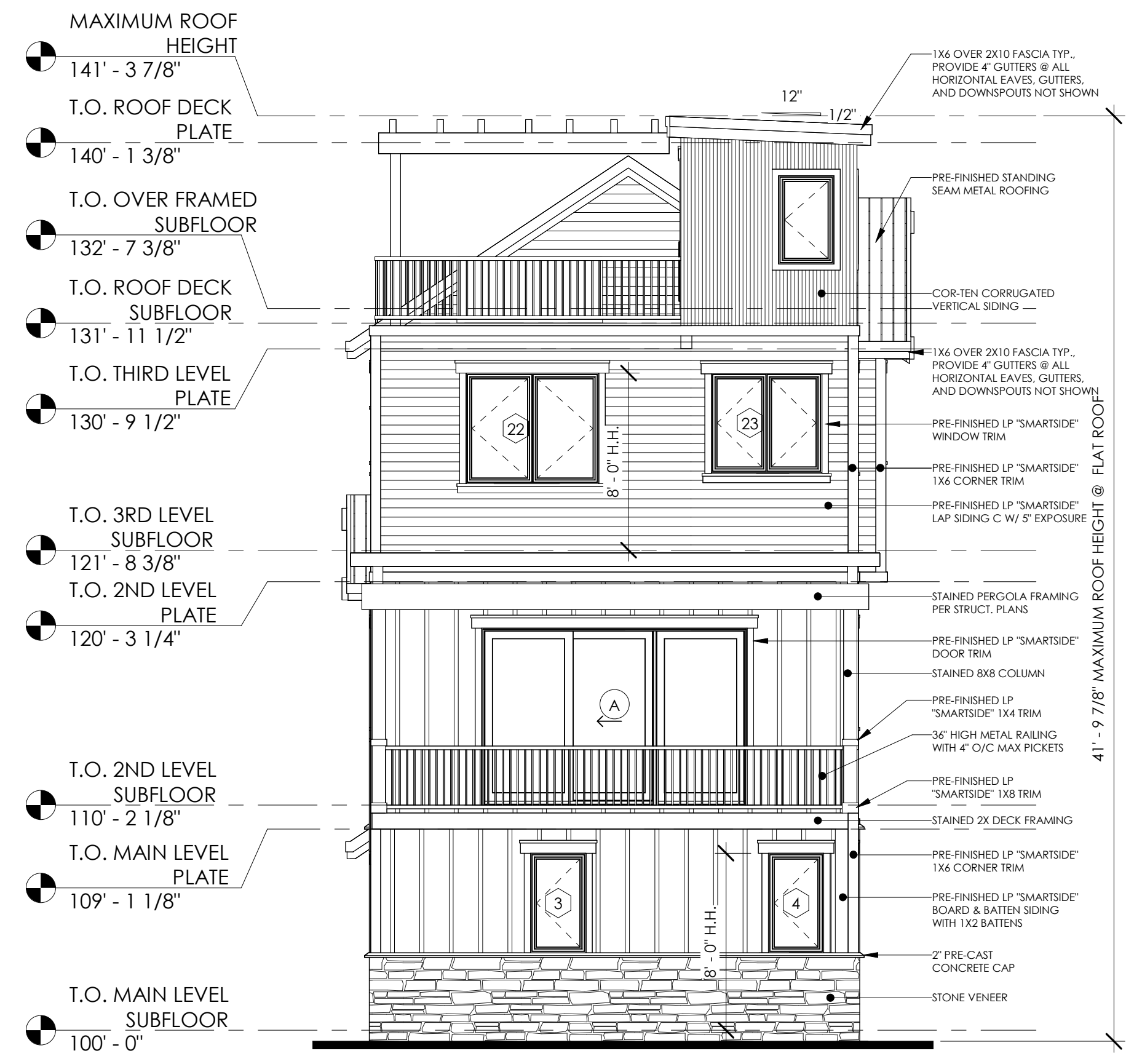
LODESTONE
DESIGN GROUP
Exterior Elevations
A2.0
March 27, 2024



3 East Elevation I
SCALE: 3/16" = 1'-0"



2 South Elevation I
SCALE: 3/16" = 1'-0"



4 North Elevation I
SCALE: 3/16" = 1'-0"



1 West Elevation I
SCALE: 3/16" = 1'-0"

NOT FOR CONSTRUCTION
PLANNING SUBMISSION

MEMO

TO Planning Commission
FROM James Shockey, Community Development Director
DATE June 11, 2024
RE Minor Site Plan – UPPR Moffat Tunnel West Portal Industrial Treatment Plant Improvements

Property Owner: Union Pacific Corporation

Applicant: Ethan Donahue with Arcadis

Location: W E EVANS SUB DIV EX FINAL AMD EAST PARCEL 10.57AC EAST PARCEL W.E. EVANS SUBDIVISION EX SEC 10 T2S R75 DESC REC 9600-8225 PLAT 9600-8223 (the "Property")

Zoning: D-C (Destination Center)

Authority:

Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Planning Commission considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park. Minor Site Plan approval is required before building permit issuance.

Variances:

No Board of Adjustment (BOA) variance requests are included with the application.

Architecture:

Installation of a surge tank to allow for additional storage of untreated water from the Moffat Tunnel for the Union Pacific Industrial Treatment Plant.



Material and Color:

Unsatisfactory. During the pre-application meeting, it was discussed that the tank should be painted to match the building adjacent to it. The construction plans do not indicate this.

- Construction plans shall be amended to indicate the tank will be painted to match the existing building.

Outdoor Lighting:

Satisfactory. No new lighting is proposed with this project.

Site Plan:

Satisfactory.

Building Elevations:

Satisfactory.

Setbacks:

Satisfactory.

Building Coverage:

Satisfactory.

Building Height:

Satisfactory. Maximum midpoint height is approximately 24'.

Parking:

Satisfactory. Parking areas have already been established for the site.

Landscaping:

Satisfactory. Existing landscaping will not be disturbed with this project.

Snow Storage:

Satisfactory. Snow storage areas have already been established for the site.

Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:

The Town Engineer is reviewing the plans for erosion control, drainage, and grading.

- If required by the Town Engineer, applicant shall revise erosion control, drainage, and grading plans to address the comments.

Driveway:

Satisfactory.

Utility Review:

N/A

Inspection:

Building Division staff have not performed a Pre-Disturbance inspection of the property.

- No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Staff Recommendation:

Staff recommends approval of the minor site plan for UPPR Moffat Tunnel West Portal Industrial Treatment Plant Improvements Project with the following conditions:

1. Construction plans shall be amended to indicate the tank will be painted to match the existing building.
2. If required by the Town Engineer, applicant shall revise erosion control, drainage, and grading plans to address the comments.
3. No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Required Permits:

- ✓ Building Permit
- ✓ Driveway Permit
- ✓ SFD/Duplex Deposit Agreement



Moffat Tunnel West Portal Industrial Treatment Plant Improvements

Project Narrative

- A. Project Name: UPRR Moffat Tunnel West Portal Industrial Treatment Plant Improvements
- B. Street Address: 100 Parsenn Rd, Winter Park, CO 80482
- C. Owner Representative: Ethan Donahue, Project Manager, Arcadis
630 PLAZA DRIVE, SUITE 200, Highlands Ranch, CO 80129
540-702-8715
ethan.donahue@arcadis.com
- D. Legal Description: Subd: W E EVANS SUB DIV EX FINAL AMD EAST PARCEL
10.57AC EAST PARCEL W.E. EVANS SUBDIVISION EX SEC 10 T2S
R75 DESC REC
9600-8225 PLAT 9600-8223
- E. Zoning District: D-C-Destination Center
- F. Site Size: 992 sq ft
- G. Proposed Uses: Storm Water Surge Storage Tank
- H. Number of Dwellings: N/A - Utility/Industrial Site – Not open to public
- I. Number of bedrooms per dwelling unit: N/A
- J. Size of Residential Space: N/A
- K. Number of Proposed off-street parking spaces: N/A
- L. Construction Schedule: Contract award 06/15/2024
NTP anticipated 07/01/2024
Completion 12/31/24

Application Comments

Item 3 – Driveway Permit – No driveway or tie-in to ROW is necessary for the project. Site has existing driveways.

Item 4 – N/A – Existing site not accessible by public or used for dwellings.

Item 5 – Existing can be sought by UP Real Estate is deemed necessary. Refer to item 4 comment.

Item 6- Not governed by HOA

Item 8 – Vicinity Map provided on cover sheet. Legal description, dates, etc. on C-3 Existing Site Plan. 0.50' contour intervals provided due to site being flat.

Item 8G – Buffer Yard Tabulation. – The existing parcel boundary or property line for the north extends southeast/northwest and terminates at the railroad right-of-way. There is an approximate 50' wide buffer yard that extends along this boundary line. The south boundary is the Amtrak Station/Platform with a approximate 500 LF buffer.



Item 8H - No tree removal will be required for the construction of the storage tank. Existing area or construction site surface characteristic is gravel.

Items 9/10 – N/A Existing lighting is provided throughout the site. Please inform of any other additional information required.

Item 12 – 3d rendering was not produced or request by client due to the nature of the project (i.e. Storage Tank and not building). Drawings have been provided to scale.

Bufferyard Tabulation

Tabulation of required bufferyard types per property line and list of proposed plantings proposed per property line. See Sec. 3-I-5, *Bufferyards*, for requirements.

	Evergreen Trees Required	Evergreen Trees Provided	Deciduous Trees Required	Deciduous Trees Provided	Shrubs Required	Shrubs Provided	Berm Height	Deficiency (if any)
N Boundary Length: ~ 1,200 linear feet Adjacent properties are zoned: <u>D-C</u> Bufferyard Type: (A) B C D (circle one)	24	>24	24	>24	—	—	—	
S Boundary Length: ~ 500 linear feet Adjacent properties are zoned: <u>D-C</u> Bufferyard Type: (A) B C D (circle one)	10	11	10	10	—	—	—	
E Boundary Length: _____ linear feet Adjacent properties are zoned: <u>D-C</u> Bufferyard Type: (A) B C D (circle one)								Please see Comments provided with Project Narrative document
W Boundary Length: _____ linear feet Adjacent properties are zoned: <u>D-C</u> Bufferyard Type: (A) B C D (circle one)								Please see Comments provided with Project Narrative document

Outdoor Lighting Tabulation

See Article 3.K, *Outdoor Lighting*, for requirements. Ensure each fixture’s cut sheet contains the International Dark Sky Association (IDA) Approval Symbol.

Fixture Name	Proposed # of Fixtures	Proposed Lumens per Fixture	Proposed Correlated Color Temperature (in degrees Kelvin)
N/A - Existing Lighting is provided throughout the site			

2 Process for Approval – See Sec. 5-E-1, *Site Plan*.

3 Fees – See Sec. 5-B-6, *Application Fees*. An invoice will be sent once the planning file has been created.

- A. \$100.00 Minor Site Plan Application Review Fee.
- B. \$3,000.00 Deposit for Building Exterior, Driveway, and Landscaping.
- C. \$50.00 Driveway Permit Application Fee.

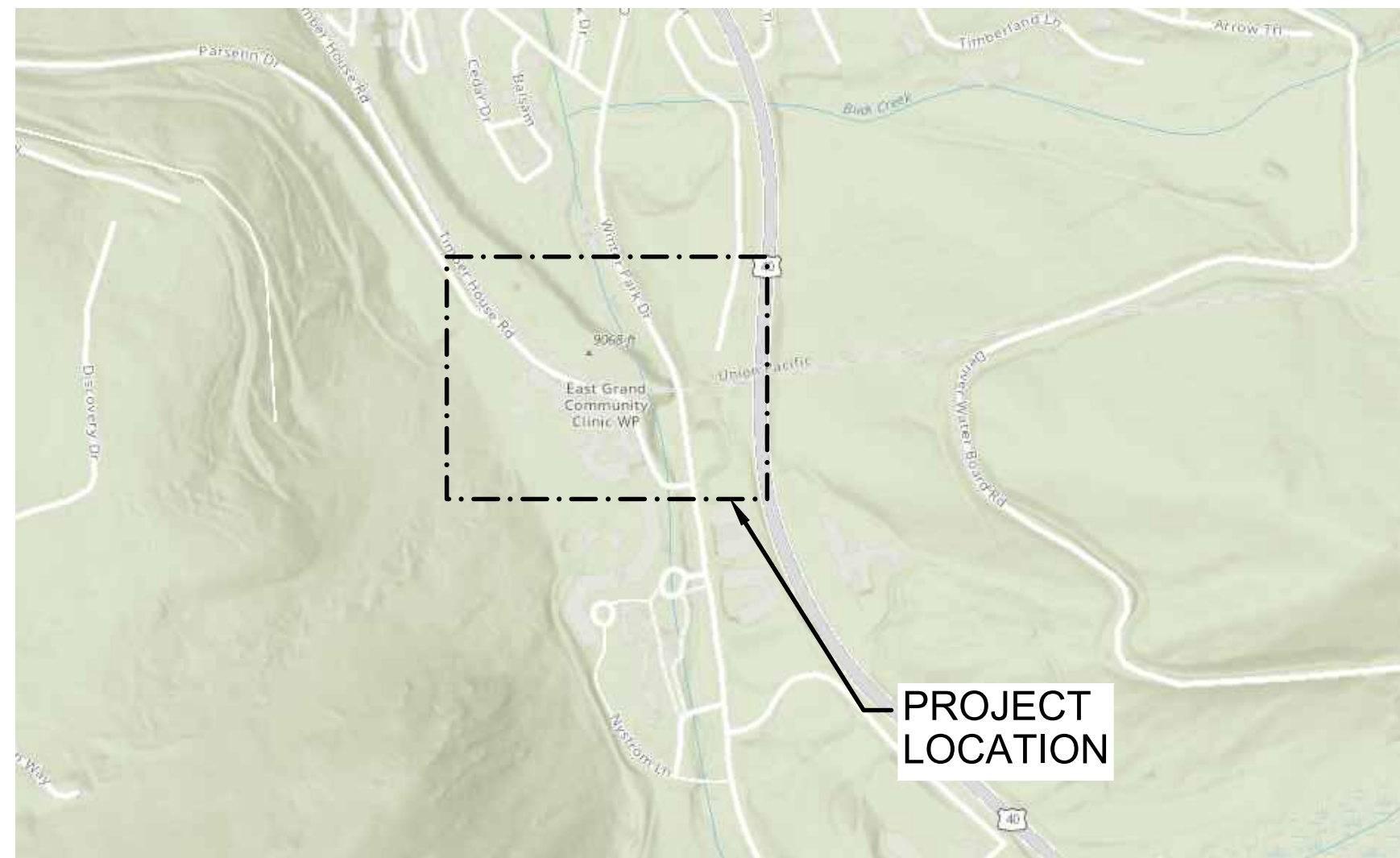
4 Applicant’s Certification Statement

I, Ethan Donahue, as Applicant and duly representative of the owner, hereby certify that the information included upon the attached submittal items are true and accurate; and that the development of the site will occur in accordance with the submittal items.

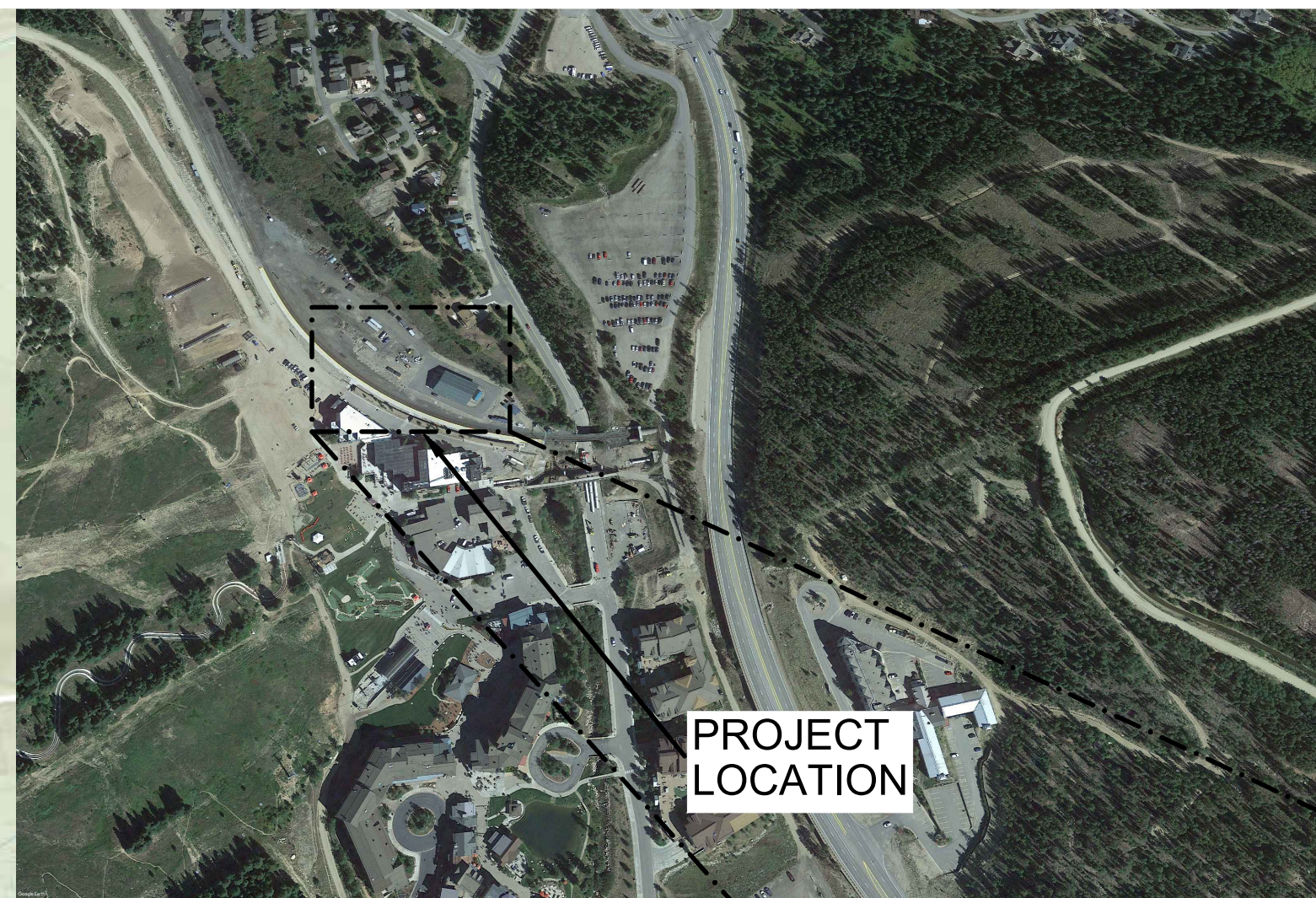
Ethan Donahue Digitally signed by Ethan Donahue
DN: C=US, E=Ethan.Donahue@Arcadis.com, O=Arcadis, CN=Ethan Donahue
Reason: I attest to the accuracy and integrity of this document
Date: 2024.05.21 11:33:03-04'00'



ENGINEERING FACILITY DESIGN



PROJECT
LOCATION



PROJECT
LOCATION



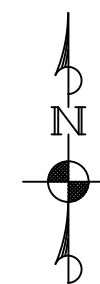
PRIOR TO AND UPON ARRIVAL AT UPRR PROPERTY CONTRACTORS REQUIRED TO NOTIFY DESIGNATED SITE REPRESENTATIVE (DSR'S) OR IW PLANT OPERATOR.

ERAILSAFE BADGE MUST BE VISIBLE, SAFETY BRIEFING COMPLETED, AND PERSONAL PROTECTIVE EQUIPMENT REQUIRED BEFORE ACCESSING WORK AREA.

CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR ANY/ALL DIGGING. BOTH LOCAL PERMITS AND UPRR RESPONSE MANAGEMENT COMMUNICATIONS CENTER (RMCC) PERMITS NUMBER :1-888-UPRR COP (887-7267) ARE REQUIRED BEFORE INITIATING ANY DIGGING ; RMCC WILL BE NOTIFIED TO REPORT CRIMINAL ACTIVITY, HAZARDOUS MATERIAL RELEASE , DERAILEMENTS, PERSONAL INJURIES, ENVIRONMENTAL INCIDENTS, CROSSING ACCIDENTS, WORKPLACE VIOLENCE OR ILLEGAL DUMPING.



LIMITS OF
CONSTRUCTION



PROJECT LOCATION

INDUSTRIAL WASTEWATER TREATMENT PLANT IMPROVEMENTS MOFFAT TUNNEL WEST PORTAL, 100 PARSENN RD, WINTER PARK, CO 80482

CALL BEFORE YOU DIG!



1-800-336-9193

GENERAL DIG NUMBER
FOR COLORADO

8-1-1

COLORADO811.ORG

LAST REVISED:
MAY 21, 2024

ISSUED FOR PERMITTING

W.O./ACCT/JOB: 37446/019/BS135-0123
YARD CODE: IADSL

GENERAL DESIGN

- G-1 TITLE SHEET
- G-2 DRAWING INDEX
- G-3 PERMITTING CHECKLIST, REVIEW AND CONTACT LIST
- G-4 PIPE & TANK LABELING

CIVIL DESIGN

- C-1 CIVIL LEGEND
- C-2 CIVIL NOTES
- C-3 EXISTING SITE PLAN
- C-5 PROPOSED SITE AND GRADING SECTIONS
- C-6 PROPOSED GRADING SECTIONS
- C-7 LIFT STATION MODIFICATIONS
- C-8 CIVIL DETAILS
- C-9 FENCE DETAILS
- C-10 STORMWATER AND EROSION CONTROL PLAN NOTES (NOT INCLUDED)
- C-11 STORMWATER AND EROSION CONTROL PLAN
- C-12 EROSION AND SEDIMENTATION CONTROL DETAILS

STRUCTURAL

- S-1 STRUCTURAL NOTES & ABBREVIATIONS
- S-2 STRUCTURAL NOTES AND SPECIAL INSPECTIONS
- S-3 SURGE TANK FOUNDATION PLAN AND SECTIONS
- S-4 SURGE TANK SHED FRAMING PLAN AND DETAILS
- S-5 SURGE TANK SHED ARCHITECTURAL DETAILS

P & ID

- P-1 PROCESS AND INSTRUMENTATION LEGEND
- P-2 PROCESS AND INSTRUMENTATION SYMBOLS
- P-3 PROCESS FLOW DIAGRAM (NOT INCLUDED)
- P-4 EXISTING/PROPOSED LIFT STATION LS-100 PROCESS AND INSTRUMENTATION DIAGRAM
- P-5 SURGE TANK T-800 PROCESS AND INSTRUMENTATION DESIGN
- P-6 SKID 1 DISC FILTER PROCESS AND INSTRUMENTATION DIAGRAM
- P-7 SKID 2 DISC FILTER PROCESS AND INSTRUMENTATION DIAGRAM

MECHANICAL

- M-1 IWTP DISC FILTER LAYOUT
- M-2 IWTP PIPING PLAN (NOT INCLUDED)
- M-3 GA - SURGE TANK
- M-4 GA - SURGE TANK SECTIONS
- M-5 GA - SURGE TANK DETAILS

ELECTRICAL

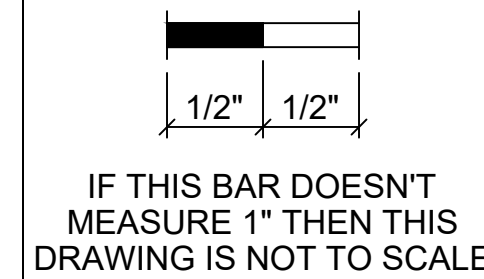
- E-001 GENERAL ELECTRICAL NOTES AND LEGENDS
- E-101 ELECTRICAL SITE PLAN
- E-201 IWTP ELECTRICAL PLAN
- E-202 SURGE TANK ELECTRICAL PLAN
- E-601 ELECTRICAL ONE LINE & SCHEDULES
- E-602 ELECTRICAL DETAILS

I&C

- IC-001 DRAWING INDEX
- IC-005 INSTRUMENT INSTALLATION DETAILS
- IC-010 INSTRUMENT SCHEDULE
- IC-020 HMI PANEL LAYOUT & BOM
- E-500 CP-1 PANEL LAYOUT
- E-520 CP-1 CONTROL SCHEMATICS I
- E-521 CP-1 CONTROL SCHEMATICS II
- E-522 CP-1 CONTROL SCHEMATICS III
- E-524 CP-1 CONTROL SCHEMATICS V
- E-526 CP-1 CONTROL SCHEMATICS VII
- E-528 CP-1 CONTROL SCHEMATICS IX
- E-550 SYSTEM NETWORK ARCHITECTURE DIAGRAM

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NO.	DATE	REVISIONS
B	05/21/24	ISSUED FOR PERMITTING
A	05/17/24	ADDENDUM 1
0	05/07/24	ISSUED FOR BID



DWN BY:	AKR	BUILDING AMERICA ® Office of Assistant Vice President - Fuel & Environmental Mgmt
CHK BY:	MBF	
DATE:	05/21/24	LOCATION & DESCRIPTION MOFFAT TUNNEL WEST PORTAL, 100 PARSENN RD, WINTER PARK, CO INDUSTRIAL WASTEWATER TREATMENT PLANT IMPROVEMENTS
SHT NO.:	G-2	SHT TITLE: DRAWING INDEX

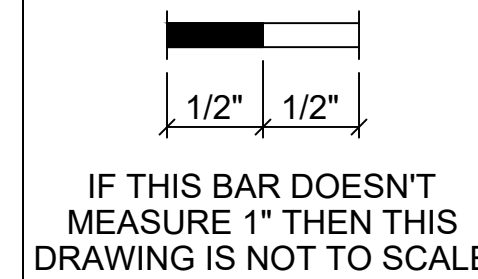
CHECKLIST ITEMS					Y/N	COMMENTS
UTILITIES						
Will the project include utility connections? If yes, mark the appropriate boxes below.					Y	
	UPRR	Municipal	Other	N/A	Who will make the connection(s)?	
Water	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> UPRR Forces <input type="checkbox"/> Contractor <input type="checkbox"/> Municipality <input type="checkbox"/> Other	N
Sewer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> UPRR Forces <input type="checkbox"/> Contractor <input type="checkbox"/> Municipality <input type="checkbox"/> Other	N
Electrical	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> UPRR Forces <input checked="" type="checkbox"/> Contractor <input type="checkbox"/> Municipality <input type="checkbox"/> Other	Y
Air	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> UPRR Forces <input checked="" type="checkbox"/> Contractor <input type="checkbox"/> Municipality <input type="checkbox"/> Other	N
Natural Gas	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> UPRR Forces <input type="checkbox"/> Contractor <input type="checkbox"/> Municipality <input type="checkbox"/> Other	N
Controls	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> UPRR Forces <input checked="" type="checkbox"/> Contractor <input type="checkbox"/> Municipality <input type="checkbox"/> Other	Y
Are there requirements for connections to non-UPRR utilities (permits, fees, etc.)?					NA	
ENVIRONMENTAL						
Will the project excavation or grading exceed one acre in total size? If yes, who will obtain storm water discharge & grading permits?					N	
Have contaminated soils or debris been identified in this project?					Y	The fill material is from the Moffat Tunnel. There is potential for soils to be impacted.
Does the project install petroleum tanks over 1000 gallons?					N	
Does the project change existing industrial waste discharge volumes or require a new industrial waste discharge system?					N	
Does the project impact wetlands, or is it near to, or in a stream, river, pond, or other wetlands?					Y	The Fraser River is adjacent to the site but should not be impacted.
Does the project impact any endangered species in the area?					N	
PERMITTING						
Have permit requirements been identified?					Y	
Are there environmental, building code, or fire marshal notification/permitting requirements?					Y	
Are there unique local permitting requirements for materials and/or equipment (e.g. light trespass constraints)?					Y	Town of Winter Park requested the tank be painted to match adjacent treatment plant.
Will there be buildings constructed that are subject to Handicap Accessibility Laws and/or local permitting codes?					Y	Per discussion with Town of Winter Park, Minor or Major Site Plan required. Following Development Permit, Building Permit application can be submitted for both tank and shed.
Are there any connection and/or permitting requirements for industrial waste discharge?					N	UPRR'S December 8, 2023 communication with CDPHE determined that a permit modification is not required, but should be reflected in permit renewal application.
Does any equipment installed require an air permit (stationary standby generator, sand tower, fuel tank, petroleum product transfer, etc.)?					N	
OTHER						
Does the project involve demolition?					N	
Has a survey for lead paint and/or asbestos been performed?					N	
Is the project in a sensitive or high visibility area that requires notification/coordination with the local community prior to starting construction?					Y	
Does the project impact any culture aspects (Archaeological, Zoological, Botanical studies, Historical buildings, etc.)?					N	

DESIGN REVIEW		
Revision	Date	
30% Design	09/01/2023	
60% Design	10/13/2023	
90% Design	02/23/2024	
Issued for Bid	05/07/2024	
CONTACTS		
Project Manager	Chris Koslosky	402-490-7663
Activity Owner	Thomas Anderson	541-564-3745
Communications Manager		
Site Remediation	Kevin Peterburs	414-267-4164
Environmental Manager	Will Talbot	817-353-7151
LOCATION		
Subdivision	Moffat Tunnel	
Milepost	57	

DISTRIBUTION LIST	
	Arash Shahabi
	Chris Koslosky
	Will Talbot
	Kevin Peterburs
	Thomas Anderson

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NO.	DATE	REVISIONS
B	05/21/24	ISSUED FOR PERMITTING
A	05/17/24	ADDENDUM 1
0	05/07/24	ISSUED FOR BID



DWN BY:	AKR
CHK BY:	MBF
DATE:	05/21/24
SHT NO.:	G-3

BUILDING AMERICA Assistant Vice President - Fuel & Environmental Mgmt

LOCATION & DESCRIPTION
 MOFFAT TUNNEL WEST PORTAL, 100 PARSENN RD, WINTER PARK, CO
 INDUSTRIAL WASTEWATER TREATMENT PLANT IMPROVEMENTS

SHT TITLE: PERMITTING CHECKLIST, REVIEW AND CONTACT LIST

TABLE 3: HAZARD IDENTIFICATION LIST FOR PIPED AND TANKED PRODUCTS

PRODUCT NAME SEE NOTE 3 BELOW	NFPA 704 HAZARD CLASSIFICATIONS FOR TANKED PRODUCTS				ANSI A13.1 LABELING REQUIREMENTS FOR PIPED PRODUCTS	
	HEALTH	FLAMMABILITY	REACTIVITY	SPECIAL HAZARD	LABEL COLOR	LETTER COLOR
ACETYLENE	0	4	3		YELLOW	BLACK
AIR, COMPRESSED	0	0	0		BLUE	WHITE
AIR, COMPRESSED, HOT	0	0	0		YELLOW	BLACK
AK-6215 ALKALINE CLEANER	2	0	0		ORANGE	BLACK
ALKALINE CLEANER SLUDGE	2	0	0		ORANGE	BLACK
ALUMINUM SULFATE SOLUTION	0	0	0		ORANGE	BLACK
ANIONIC POLYMER SOLUTION	0	0	0		PURPLE	WHITE
ARGON	0	0	0		BLUE	WHITE
ARSENAL (HERBICIDE)	1	0	0		N/A	N/A
BEARING GREASE	0	1	0		PURPLE	WHITE
BOUTET WELDING KITS	1	1	1		N/A	N/A
BRINE	1	1	0		GREEN	WHITE
CARBON DIOXIDE	0	0	0		BLUE	WHITE
CM-809X CLEANER	1	0	0		GREEN	WHITE
C&H 123 ALKALINE CLEANER	3	0	0		YELLOW	BLACK
C&H 147 ALKALINE CLEANER	1	0	0		GREEN	WHITE
DIESEL FUEL NO. 2	1	2	0		YELLOW	BLACK
DIESEL RADIATOR WATER TREATMENT	2	0	0		YELLOW	BLACK
DISSOLVED AIR FLOTATION SLUDGE	1	0	0		GREEN	WHITE
FERTI-LOME OVERTHETOP (HERBICIDE)	2	2	0		N/A	N/A
FUSEES	1	2	0		N/A	N/A
GASOLINE	1	3	0		YELLOW	BLACK
JOURNAL OIL	0	1	0		BROWN	WHITE
LIME - 10% SOLUTION	0	0	0		BROWN	BLACK
LIQUID OXYGEN	3	0	0	OX	YELLOW	BLACK
LUBE OIL	0	1	0		BROWN	WHITE
METHANOL	1	3	0		YELLOW	BLACK
MINERAL SPIRITS	0	2	0		YELLOW	BLACK
NATURAL GAS	1	4	0		YELLOW	BLACK
OXYGEN	0	0	0	OX	YELLOW	BLACK
PROPANE GAS	1	4	0		YELLOW	BLACK
RECOVERED DIESEL FUEL NO. 2	1	2	0		YELLOW	BLACK
RECOVERED OIL	0	1	0		BROWN	WHITE
ROUNDHOUSE ALKALINE CLEANER	1	0	0		GREEN	WHITE
SAND	0	0	0		GREEN	WHITE
SLUDGE	0	0	0		BROWN	WHITE
SODIUM BORATE SOLUTION	0	0	0		GREEN	WHITE
SODIUM HYDROXIDE - 40%	3	0	1		YELLOW	BLACK
SPRAYKIL SK-13 (HERBICIDE)	1	0	0		N/A	N/A
STEAM	3	0	0		YELLOW	BLACK
SULFURIC ACID - 98%	3	0	2		ORANGE	BLACK
WASTEWATER, INDUSTRIAL, EFFLUENT	1	0	0		GRAY	WHITE
WASTEWATER, INDUSTRIAL, INFLUENT	1	0	0		GRAY	WHITE
WATER, COLD, NON-POTABLE	0	0	0		GREEN	WHITE
WATER, COLD, POTABLE	0	0	0		GREEN	WHITE
WATER - FIRE QUENCHING	0	0	0		RED	WHITE
WATER, HOT, NON-POTABLE	0	0	0		GREEN	WHITE
WATER, HOT, POTABLE	0	0	0		GREEN	WHITE

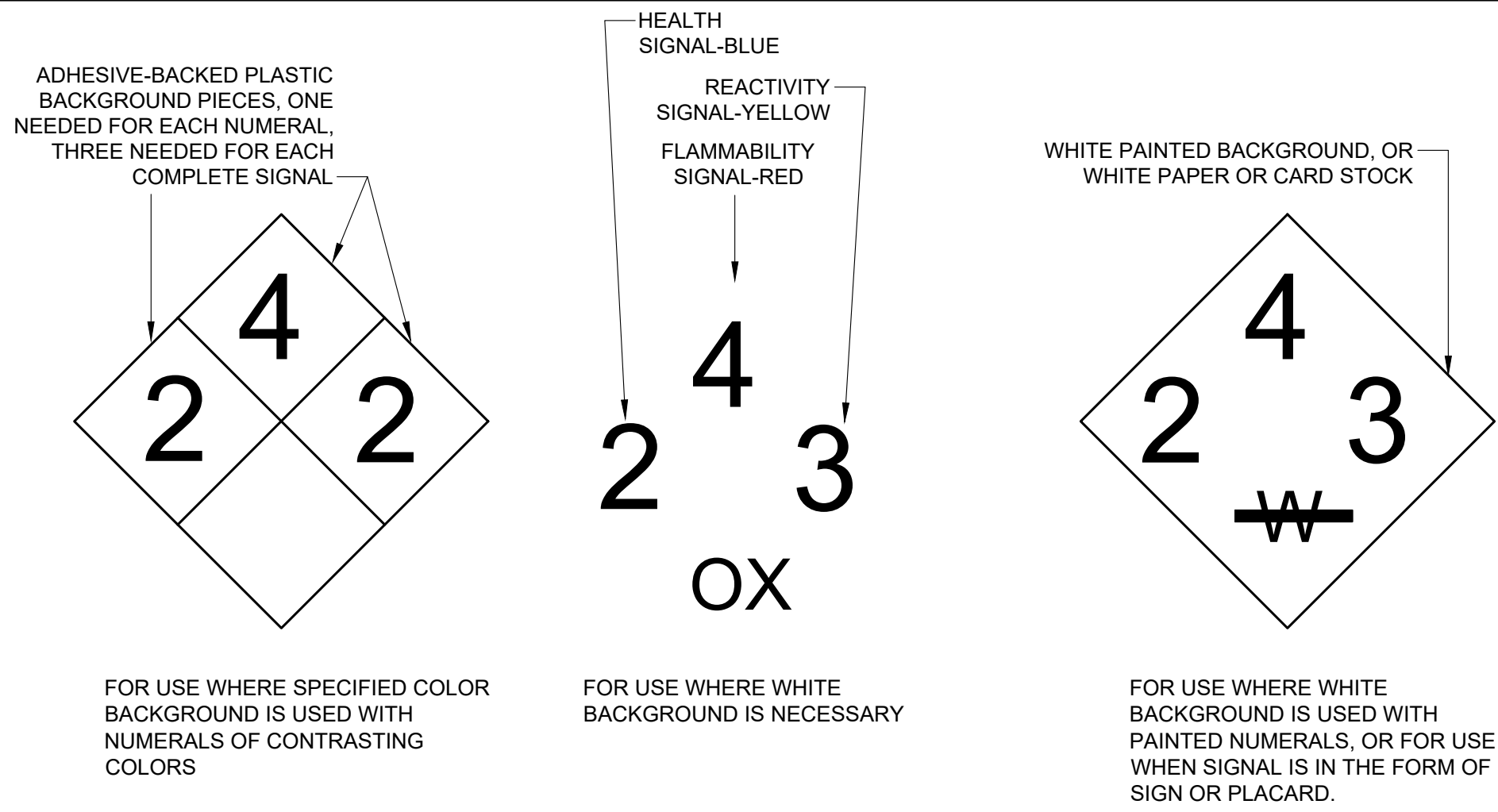


FIGURE 1: TYPICAL NFPA 704 HAZARD IDENTIFICATION SYSTEM

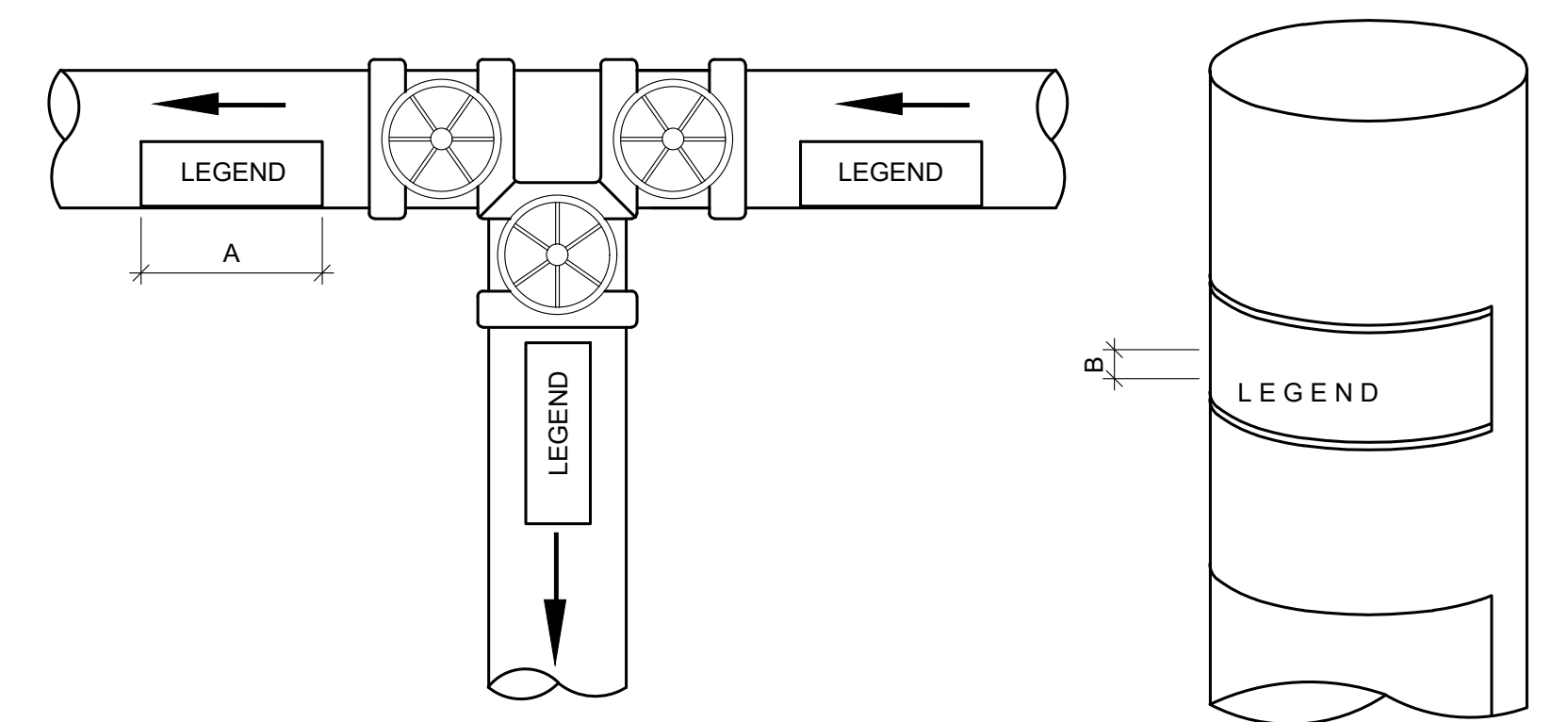


FIGURE 3: TYPICAL LEGEND LABELING DETAIL

NOTES:

- REFER TO TABLE 2 FOR SIZE OF LEGEND LETTERS.
- INSTALL PIPE LABELS CLOSE TO VALVES OR FLANGES.
- INSTALL PIPE LABELS BEFORE AND AFTER ALL WALL, FLOOR AND CEILING PENETRATIONS.
- INSTALL PIPE LABELS NEAR BRANCHES AND WHENEVER A PIPE CHANGES DIRECTION.
- INSTALL PIPE LABELS AT FREQUENT INTERVALS ON STRAIGHT PIPE RUNS NO MORE THAN 25 FEET.

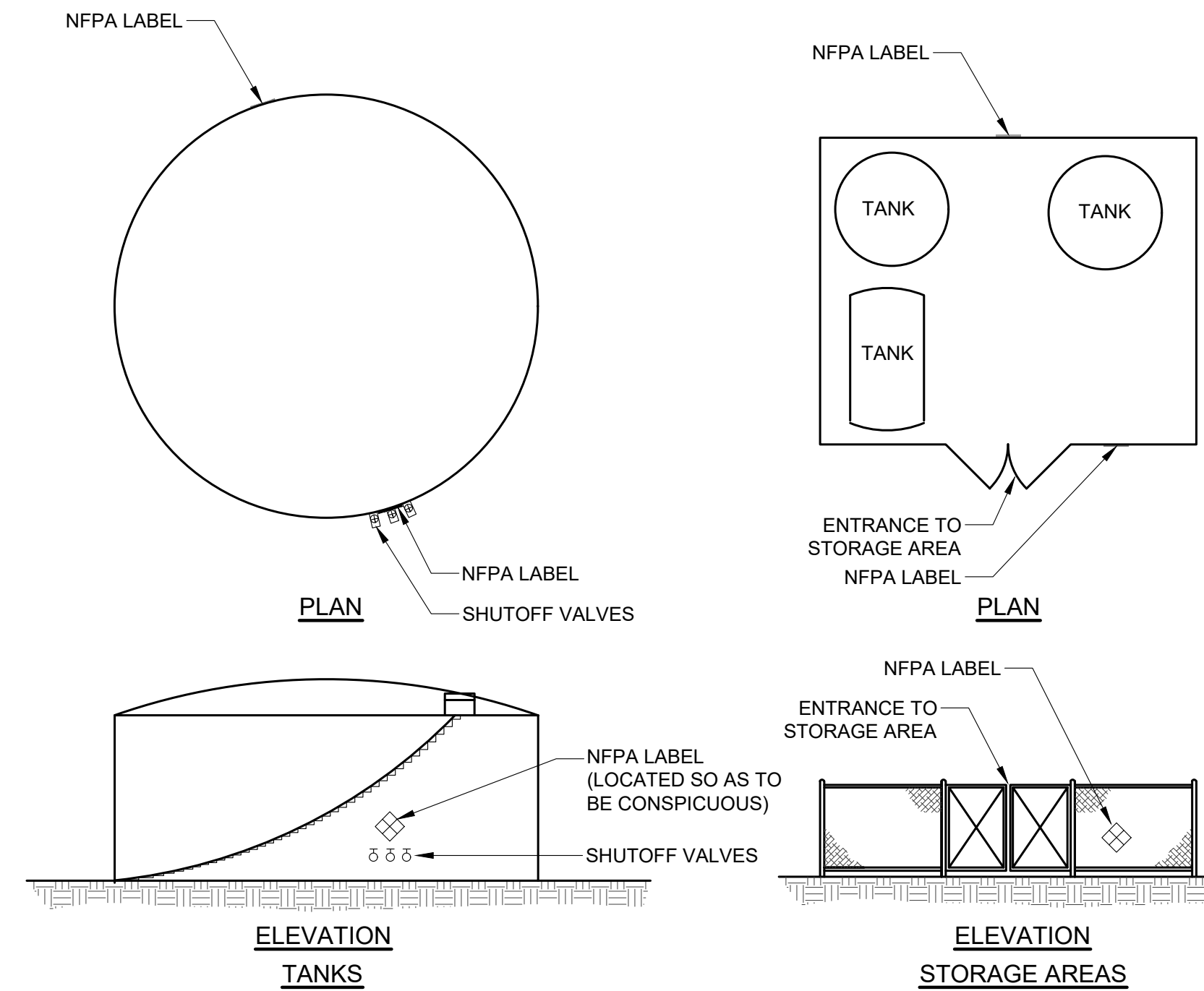


FIGURE 2: TYPICAL NFPA LABELING DETAIL

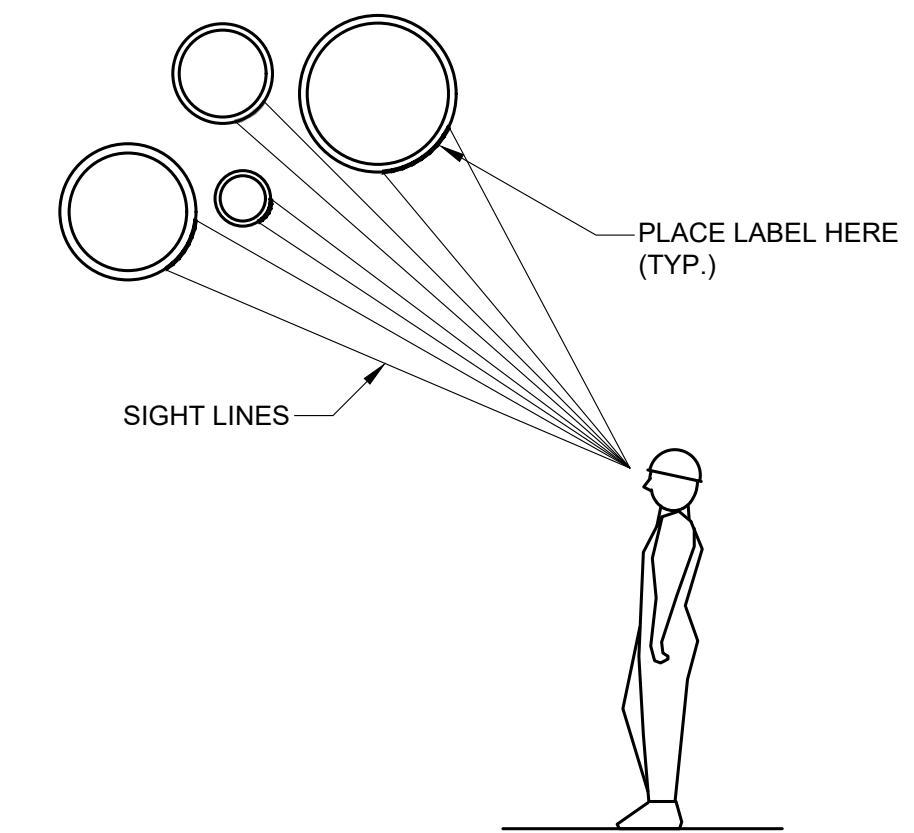


FIGURE 4: SITE LINE DETAIL

NOTES:

- FOR INFORMATION ON MATERIALS NOT LISTED ABOVE, CONTACT UPRR CORPORATE SAFETY.
- NFPA RATINGS MAY VARY SLIGHTLY FOR SOME MATERIALS FROM THE HAZARDOUS MATERIAL INFORMATION SYSTEM (HMIS) RATINGS. NFPA RATINGS APPLY TO EMERGENCY RELEASE SITUATIONS. HMIS RATINGS ADDRESS POSSIBLE EXPOSURE HAZARDS TO PEOPLE UNDER ROUTINE WORKING CONDITIONS.
- MIXED STORAGE AREAS SHOULD BE LABELED BY NFPA STANDARDS TO THE HIGHEST HAZARD MATERIAL AT THAT LOCATION. FOR EXAMPLE, IF ALKALINE CLEANER AND RECOVERED DIESEL FUEL #2 ARE PRESENT IN THE SAME AREA, THEN THE NFPA LABEL(S) ON THE BUILDING SHOULD READ FOR HEALTH-1, FLAMMABILITY-2 AND REACTIVITY-0.
- FUNCTIONAL MARKINGS, SIZED PER TABLE 2, AND HAVING LEGEND AND FIELD COLORS PER TABLE 3, SHOULD BE PLACED FOR MAXIMUM VISIBILITY. FUNCTIONAL MARKINGS MAY BE PREPARED IN THE FIELD OR MANUFACTURED STANDARD PIPE IDENTIFICATION PRODUCTS MAY BE USED. LEGENDS SUCH AS "SURGE TANK," "USED OIL TANK," "SLUDGE" ARE APPROPRIATE. ALL PIPING EXCEPT THAT WHICH IS BURIED UNDERGROUND SHALL BE IDENTIFIED WITH LEGENDS APPLIED TO PIPING AT EACH PASSAGE THROUGH A WALL, CEILING OR FLOOR, ADJACENT TO EACH VALVE, AT EACH CHANGE IN DIRECTION, AND AT NOT MORE THAN 40 FEET SPACING ON STRAIGHT PIPE RUNS (SEE FIGURE 3).
- ARROWS SHALL BE PLACED ADJACENT TO LEGENDS TO INDICATE THE DIRECTION OF FLOW UNDER NORMAL OPERATING CONDITIONS.
- WHERE PIPELINES ARE LOCATED ABOVE OR BELOW THE NORMAL LINE OF VISION, THE LEGEND SHALL BE PLACED BELOW OR ABOVE THE HORIZONTAL CENTERLINE OF THE PIPE (SEE FIGURE 4).

EQUIPMENT IDENTIFICATION:

- ALL ABOVEGROUND PIPING SHALL BE PAINTED. PIPING PAINTED OTHER THAN 1. WHITE SHALL BE PAINTED A COLOR THAT MATCHES THE COLOR FIELD DESIGNATION FOR THE PIPE CONTENTS PER TABLE 3.
- LOCAL CONDITIONS MAY AFFECT IMPLEMENTATION AND APPROVAL OF FIRE MARSHALL HAVING JURISDICTION MAY BE REQUIRED.
- TANKS: TANKS SHALL BE MARKED TO SHOW CONTENTS & CAPACITY USING HIGH BLACK LETTERING. MARKINGS SHALL BE PLACED FOR MAXIMUM VISIBILITY. IN ADDITION, TANKS SHALL BE MARKED FOR HEALTH, FLAMMABILITY AND REACTIVITY HAZARD PER THE NFPA 704 STANDARD SYSTEM (SEE FIGURE 1), AND HAVE COLORS PER TABLE. MARKINGS SHALL BE SIZED AND LOCATED SO AS TO BE CONSPICUOUS (SEE FIGURE 2) AND SHALL BE LABELED PER TABLE.
- PIPING: EACH PIPING SYSTEM SHALL BE LABELED IN ACCORDANCE WITH APPLICABLE OSHA STANDARDS AND ANSI A13.1 GUIDELINES.

HAZARD CATEGORY	COLOR DESIGNATION
HEALTH	BLUE
FLAMMABILITY	RED
REACTIVITY	YELLOW
SPECIAL HAZARD	WHITE

OUTSIDE DIAMETER OF PIPE OR PIPE COVERING	MINIMUM LENGTH OF COLOR FIELD (A)	SIZE OF LEGEND LETTERS AND NUMERALS (B)
3/4" TO 1-1/4"	8"	1/2"
1-1/2" TO 2"	8"	3/4"
2-1/2" TO 6"	12"	1-1/4"
8" TO 10"	24"	2-1/2"
OVER 10"	32"	3-1/2"

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IF THIS BAR DOESN'T MEASURE 1" THEN THIS DRAWING IS NOT TO SCALE

CALL BEFORE YOU DIG!
 1-800-336-9193
 GENERAL DIG NUMBER FOR COLORADO
 8-1-1
 COLORADO811.ORG



DWN BY: AKR
 CHK BY: MBB
 DATE: 05/21/24
 SHT NO.: G-4

BUILDING AMERICA Assistant Vice President - Fuel & Environmental Mgmt

LOCATION & DESCRIPTION
 MOFFAT TUNNEL WEST PORTAL, 100 PARSENN RD, WINTER PARK, CO
 INDUSTRIAL WASTEWATER TREATMENT PLANT IMPROVEMENTS

SHT TITLE: PIPE AND TANK LABELING

NO.	DATE	REVISIONS
B	05/21/24	ISSUED FOR PERMITTING
A	05/17/24	ADDENDUM 1
0	05/07/24	ISSUED FOR BID

CIVIL/GENERAL SYMBOLS

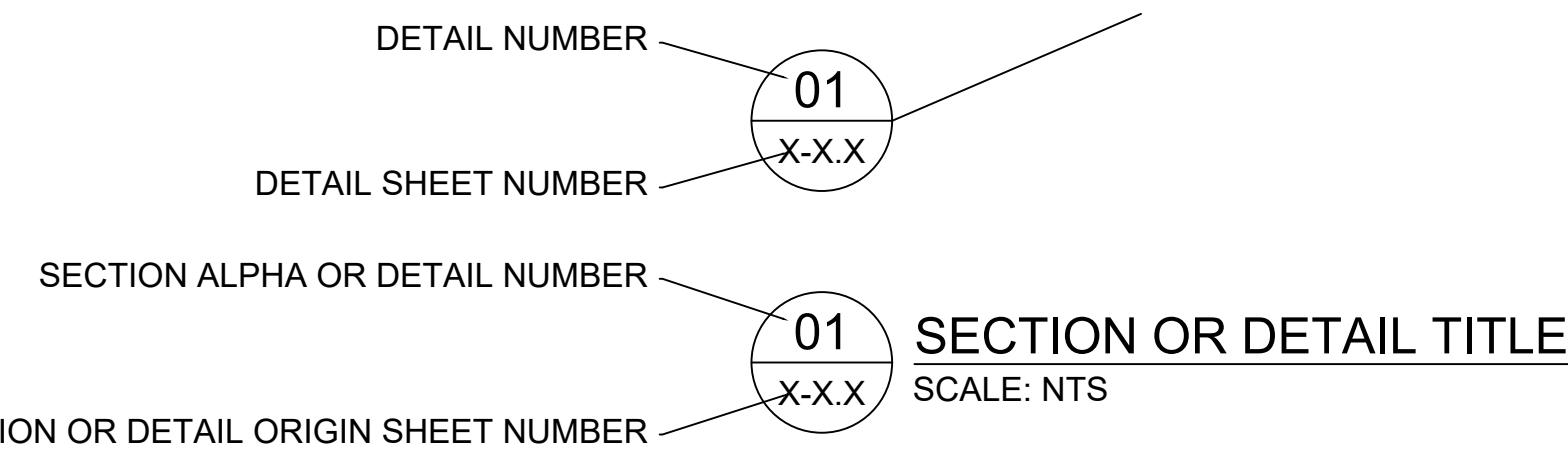
NATURAL GAS (EXIST)		GAS
NATURAL GAS		GAS
OVERHEAD UTILITY (EXIST)		OVH
OVERHEAD UTILITY		OVH
UNDER GROUND POWER (EXIST)		P
UNDER GROUND POWER		P
USED OIL (EXIST)		UO
USED OIL		UO
DIESEL FUEL OIL (EXIST)		DFO
DIESEL FUEL OIL		DFO
LUBE OIL (EXIST)		LO
LUBE OIL		LO
JOURNAL OIL (EXIST)		JO
JOURNAL OIL		JO
COMPRESSOR OIL (EXIST)		CO
COMPRESSOR OIL		CO
WASTE SLUDGE (EXIST)		WS
WASTE SLUDGE		WS
SANITARY (EXIST)		SAN
SANITARY		SAN
STORM WATER (EXIST)		SW
STORM WATER		SW
VEGETATION (EXIST)		W
WATER LINE (EXIST)		W
WATER LINE		W
RAW WATER (EXIST)		RW
RAW WATER		RW
PRESSURIZED RAW WATER (EXIST)		PRW
PRESSURIZED RAW WATER		PRW
GAS LINE (EXIST)		G
GAS LINE		G
TELEPHONE LINE (EXIST)		T
TELEPHONE LINE		T
ELECTRICAL LINE (EXIST)		E
ELECTRICAL LINE		E
CROSSING UTILITIES (EXIST)		
CROSSING UTILITIES		
UNKNOWN UTILITY		UNK
FENCE		
UNDERGROUND ELECTRICAL		E
PROPERTY LINE/RIGHT-OF-WAY		
CONTRACTORS WORK AREA LIMITS		WA
CENTERLINE		
CULVERT WITH END SECTIONS		
HANDRAIL OR GUARDRAIL		
WATER SURFACE		
GRADE CHANGE LINE		
RIDGE LINE		R
FLOW LINE/SLOPE ARROW		
PIPING CLASS CHANGE		CS ← HDPE
UG = UNDER GROUND/BURRIED		UG/AB
AB = ABOVE GROUND/EXPOSED		
DITCH OR SWALE		

CONTOUR MAJOR (NEW)		110
CONTOUR MINOR (NEW)		110
CONTOUR MAJOR (EXIST)		110
CONTOUR MINOR (EXIST)		110
MISCELLANEOUS OBJECT		
COMPRESSED AIR (EXIST)		A
DIESEL FUEL (EXIST)		DF
DOMESTIC COLD WATER (EXIST)		CW
DRAIN OIL VACUUM (EXIST)		DOV
DRAIN OIL (EXIST)		DO
FIRE WATER (EXIST)		FW
MEDIUM PRESSURE GAS (EXIST)		MPG
LUBE OIL RETURN (EXIST)		LOR
PARCEL BOUNDARY		
SPOT ELEVATION		10.35
CATCH BASIN		
FLOOR DRAIN		
CLEAN OUT		
INDUSTRIAL WASTEWATER MANHOLE		
STORMWATER MANHOLE		
SANITARY SEWER MANHOLE		
MONITORING WELL		
OVERHEAD LIGHTING POLE		
POWER POLE		
BOLLARD		
MONUMENT OR SURVEY POINT		
ELEVATION MARK (REFERENCE)		
ELEVATION MARK (DESIGN)		
FLAG NOTE		1
STATIONING ALIGNMENT		1+00 2+00
NORTHING AND EASTING COORDINATES CALL OUT		N XXXX E XXXX
SURVEY BENCHMARK		
GUY WIRE		
POST INDICATOR VALVE		
VALVE		
HYDRANT		
TREE		
RAIL ROAD SIGNAL		
SIGN		
TELEPHONE PEDESTAL		
ANTENNA		
UNKNOWN MANHOLE		
MANHOLE (EXIST)		
RAIL ROAD SIGNAL		
GAS METER		
ELECTRICAL PANEL		
WATER PUMP		

GENERAL SYMBOLS AND FILLS

STRUCTURE OR PIPE (NEW)	
STRUCTURE OR PIPE (EXIST)	
DEMOLITION	
CONCRETE IN SECTION, OR SOIL-BENTONITE	
SAND	
CRUSHED AGGREGATE BASE	
RIP RAP	
SURFACING AGGREGATE	
BEDDING MATERIAL	
GRAVEL SURFACING, IN SECTION	
GRADE, OR UNDISTURBED EARTH BACKFILL	
ASPHALT PAVEMENT (IN PLAN OR SECTION)	
TYPICAL VEGETATION, IN SECTION	
AGGREGATE SURFACING SUPPORTED BY GEOGRID PANELS	
AGGREGATE SURFACING OVER GEOTEXTILE FABRIC	
EXTENT OF SLOPE VEGETATION IMPROVEMENTS (SPECIFIC AREAS AS DIRECTED BY ENGINEER)	
LINED DRAINAGE DITCH WITH AGGREGATED GEOGRID	
ASPHALT PAVING	
CONCRETE PAVING	
EXISTING BUILDING	
LINER: WALKWAY (EXIST)	
HDPE LINER (EXIST)	
PROPOSED LINER (OUTLINE/EDGE)	
LINER: WALKWAY (PROPOSED)	

SECTION OR DETAIL REFERENCE



SECTION OR DETAIL TITLE
SCALE: NTS

NOTES:
1. ALL DIMENSIONS ARE APPROXIMATE.

ABBREVIATIONS

"	INCHES
'	FEET
&	AND
@	AT
∅	CENTERLINE DIAMETER
AB	ABANDONED
AC	ASPHALT CONCRETE
AGG	AGGREGATE
APPROX	APPROXIMATE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
BE	BOTTOM ELEVATION
BGS	BELOW GROUND SURFACE
BMP	BEST MANAGEMENT PRACTICES
BOC	BOTTOM OF CONCRETE
BOP	BOTTOM OF PIPE
BOT	BOTTOM
BW	BOTTOM OF WALL
CA	COMPRESSED AIR
CB	CATCH BASIN
CIPC	CAST IN PLACE CONCRETE
CONC	CONCRETE
CONN	CONNECTION
CPP	CORRUGATED PLASTIC PIPE
CSTC	CRUSHED SURFACING TOP COURSE
CVR	COVER
DAF	DISSOLVED AIR FLOTATION
DEMO	DEMOLISH
DIA	DIAMETER
DWG	DRAWING
E	EAST
(E), EXIST	EXISTING
EL, ELEV	ELEVATION
EWEF	EACH WAY EACH FACE
FD	FLOOR DRAIN
FT	FEET
FM	FORCE MAIN
FL	FLOWLINE
GAL	GALLON
GC	GRIT CHAMBER
GPM	GALLON PER MINUTE
HDPE	HIGH DENSITY POLYETHYLENE
HP	HIGH POINT
IE, IN EL	INVERT ELEVATION
IWCS	INDUSTRIAL WATER COLLECTION SYSTEM
IWTF	INDUSTRIAL WASTEWATER TREATMENT FACILITY
IWW	INDUSTRIAL WASTEWATER
ICRI	INTERNATIONAL CONCRETE REPAIR INSTITUTE
SSPC	THE SOCIETY FOR PROTECTIVE COATINGS
PIWW	PRESSURIZED INDUSTRIAL WASTEWATER
IWTP	INDUSTRIAL WASTEWATER TREATMENT PLANT
LNAPL	LIGHT NON-AQUEOUS PHASE LIQUID
NACE	NATIONAL ASSOCIATION OF CORROSION ENGINEERS
LP	LOW POINT
LS	LIFT STATION
MANUF	MANUFACTURER
MAT'L	MATERIAL
MAX	MAXIMUM
MCC	MOTOR CONTROL CENTER
MISC	MISCELLANEOUS
MIN	MINIMUM
MH	MANHOLE
MW	MONITORING WELL
N	NORTH
NPW	NON POTABLE WATER
NPWH	NON POTABLE WATER HOT
OC	ON CENTER
OD	OUTSIDE DIAMETER
OSHA	OCCUPATION SAFETY AND HEALTH ACT
OWS	OIL/WATER SEPARATOR
PIV	POST INDICATOR VALVE
PIWW	PRESSURIZED INDUSTRIAL WASTEWATER
PK	PK NAIL (SURVEY CONTROL POINT MARKER)
PVC	POLYVINYL CHLORIDE
PW	POTABLE WATER
RE	RIM ELEVATION
RR	RAIL ROAD
RW	RAW WATER
S	SOUTH, SLOPE
SAN	SANITARY LINE
SW	STORM WATER
SWCB	STORM WATER CATCH BASIN
TD	TRENCH DRAIN
TESC	TEMPORARY EROSION AND SEDIMENT CONTROL
TF	TRACK FEET
TOC	TOP OF CONCRETE
TOS	TOP OF SLAB
TW	TOP OF WALL
TYP	TYPICAL
UO	USED OIL
VES	VACUUM ENHANCED SKIMMING
VFD	VARIABLE FREQUENCY DRIVE
W	WEST
WS	WASTE SLUDGE
WV	WATER VALVE

NOTES:

- THIS IS A GENERALIZED LEGEND SHEET. THIS CONTRACT MAY NOT USE ALL INFORMATION SHOWN.
- INFORMATION SHOWN MAY NOT BE ALL INCLUSIVE.

File C:\USERS\ARODRIGUEZ\ONE DRIVE - ARCADIS\UPEE22 - WINTER PARK IWTP\10-ENGDESIGN\10-08-PROJECT\DWG\CAD\CIVIL\SHSHEETS\C-1.DWG
Plot Date: 5/21/2024, 15:26, User: ARODRIGUEZ

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ARCADIS US, INC.
630 PLAZA DRIVE, SUITE 200
HIGHLANDS RANCH, CO 80129

IF THIS BAR DOESN'T MEASURE 1" THEN THIS DRAWING IS NOT TO SCALE

CALL BEFORE YOU DIG!

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COLORADO811.ORG

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CHK BY:	MBF
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BUILDING AMERICA Assistant Vice President - Fuel & Environmental Mgmt

LOCATION & DESCRIPTION
MOFFAT TUNNEL WEST PORTAL, 100 PARSENN RD, WINTER PARK, CO
INDUSTRIAL WASTEWATER TREATMENT PLANT IMPROVEMENTS

SHT TITLE: **CIVIL LEGEND**

GENERAL NOTES

- THE DRAWINGS CONTAINED HEREIN SHALL BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS AND SHALL ILLUSTRATE AND BE SUPPLEMENTED BY THE SPECIFICATIONS AND SPECIAL CONDITIONS. THE CONTRACTOR SHALL BE THOROUGHLY FAMILIAR WITH ALL CONTRACT DOCUMENTS AS DEFINED BY THE PROJECT BID INDEX IN ORDER TO FULLY UNDERSTAND ALL RESPONSIBILITIES AND DUTIES.
- PRIOR TO AND UPON ARRIVAL AT PROPERTY ALL CONTRACTORS ARE REQUIRED TO NOTIFY DESIGNATED SITE REPRESENTATIVE (DSR) OR IWWW PLANT OPERATOR.
- ALL PERSONNEL ACCESSING THE SITE MUST HAVE ERAIL SAFE BADGES VISIBLE, SAFETY BRIEFING COMPLETED, AND HAVE PERSONAL PROTECTIVE EQUIPMENT (PPE) REQUIRED BEFORE ACCESSING WORK AREA.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING WORK LICENSES AND PERMITS FOR ANY/ALL DIGGING. BOTH LOCAL PERMIT AND UPRR RESPONSE MANAGEMENT COMMUNICATIONS CENTER (RMCC) PERMITS (PHONE: 1-888-UPRR COP(877-7267)) ARE REQUIRED BEFORE INITIATING ANY DIGGING. RMCC SHALL BE NOTIFIED TO REPORT CRIMINAL ACTIVITY, HAZARDOUS MATERIAL RELEASES, DERAILMENTS, PERSONAL INJURIES, ENVIRONMENTAL INCIDENTS, CROSSING ACCIDENTS, WORK PLACE VIOLENCE OR ILLEGAL DUMPING.
- ALL WASTE MATERIALS CREATED OR GENERATED BY THE CONTRACTOR WHILE PERFORMING SERVICES, INCLUDING BUT NOT LIMITED TO ANY EXCAVATED SOILS, IMPACTED SOILS, PIPING, ASPHALT, CONCRETE AND SLUDGE, SHALL BE PROPERLY CHARACTERIZED, STAGED, HANDLED, MANAGED, STORED, TRANSPORTED AND DISPOSED OF IN COMPLIANCE WITH ALL ENVIRONMENTAL STANDARDS AND SHALL NOT BE BURIED OR OTHERWISE LEFT IN PLACE. ALL SUCH WASTE MATERIALS SHALL ALSO BE APPROPRIATELY STAGED AND MANAGED USING BEST MANAGEMENT PRACTICES SO AS NOT TO AFFECT THE SURROUNDING AREAS, NEARBY WATERWAYS, WETLANDS OR DITCHES, AND SHALL NOT BE PLACED IN AREAS SUSCEPTIBLE TO FLOODING OR STANDING WATER. ALL WASTE MATERIALS DISPOSED OF OFFSITE SHALL BE HAULED TO AND DISPOSED OF AT A UPRR APPROVED DISPOSAL FACILITY.
- THE LOCATIONS OF BURIED AND UNDERGROUND UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND ARE SHOWN FOR CONTRACTOR INFORMATION USE ONLY AND ARE NOT TO BE REFERENCED FOR CONSTRUCTION PURPOSES. THE IMPLIED PRESENCE OR ABSENCE OF UTILITIES IS NOT TO BE CONSTRUED BY THE OWNER, ENGINEER, CONTRACTOR, OR SUBCONTRACTORS TO BE AN ACCURATE AND COMPLETE REPRESENTATION OF THE UTILITIES THAT MAY OR MAY NOT EXIST ON THE CONSTRUCTION SITE. THE LOCATIONS, IDENTIFICATION AND MARKING OF UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- PERFORM ALL WORK IN ACCORDANCE WITH THE PROJECT MANUAL AND LOCAL AUTHORITY REQUIREMENTS. UNDERGROUND UTILITIES THAT ARE INDICATED ON THE PLANS ARE BASED ON SURFACE SURVEYS. THE CONTRACTOR IS CAUTIONED THAT ADDITIONAL UNDERGROUND UTILITIES BOTH ABANDONED AND IN USE MAY BE PRESENT AND UTILITIES INDICATED MAY NOT BE AT THE EXACT LOCATION SHOWN. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING FOR NEW UTILITY LINES. THE FINAL GRADES MAY REQUIRE ADJUSTMENT IF EXISTING UTILITIES CONFLICT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL FEDERAL, STATE AND LOCAL PERMITTING REQUIREMENTS.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR MANAGING STORMWATER IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REQUIREMENTS.
- CONTRACTOR SHALL COORDINATE ALL ACTIVITIES THAT MAY IMPACT FACILITY OPERATIONS WITH LOCAL UPRR MANAGER.
- CONTRACTOR SHALL FOLLOW UPRR GUIDELINES FOR TEMPORARY SHORING WHILE EXCAVATING NEAR RAIL. E80 SHORING MAY BE REQUIRED FOR INSTALLING THE NEW COLLECTION SYSTEM FEATURES. SHORING DESIGN SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. SUBMITTAL SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF COLORADO.
- CONTRACTOR SHALL PROVIDE STORM WATER POLLUTION PREVENTION PLANS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF COLORADO. PLANS SHALL INCLUDE DEWATERING, DISCHARGE, AND/OR HAUL-OFF PLANS FOR CONSTRUCTION DEWATERING PROCESSES. CONTRACTOR SHALL PREVENT DISCHARGE OF SEDIMENTS AND SLUDGE THAT COULD CAUSE ADVERSE IMPACTS TO THE ENVIRONMENT.
- ALL DIMENSIONS AND ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSION, ELEVATIONS, LOCATIONS AND ORIENTATION OF ALL EXISTING AND PROPOSED EQUIPMENT AND STRUCTURES PRIOR TO DEMOLITION AND CONSTRUCTION.

DEMOLITION NOTES

- THE CONTRACTOR MAY ELECT TO DEMOLISH AND DISPOSE OF PIPE AND STRUCTURES CALLED TO BE ABANDONED AT NO ADDITIONAL COST TO THE OWNER. IN MANY LOCATIONS THE CONTRACTOR WILL BE REQUIRED TO DIG UP AND DISPOSE OF PIPE AND STRUCTURES DESIGNATED TO BE ABANDONED IN ORDER TO INSTALL NEW PIPE AND STRUCTURES AT THE SAME LOCATIONS. THESE COSTS FOR DEMOLITION AND DISPOSAL SHALL BE INCLUDED IN THE COST TO INSTALL THE PROPOSED PIPES AND STRUCTURES.
- WHERE DEMOLITION AND REPLACEMENT OF CONCRETE AND ASPHALT SURFACES ARE REQUIRED THE CONTRACTOR SHALL LIMIT THE DEMOLITION WHERE POSSIBLE. ALL FINISHED GRADE SURFACE DEMOLISHED BY THE CONTRACTOR SHALL BE RESTORED TO NEW CONDITION THAT MATCHES PREEXISTING SURFACE FINISH.
- WHERE DEMOLITION ACTIVITIES IMPACT LOCAL ACCESS ROADS WITHIN THE FACILITY, TEMPORARY ACCESS SHALL BE PROVIDED. IF IMPACTS TO LOCAL TRAFFIC ARE UNAVOIDABLE, ACCESS ROAD OUTAGES SHALL BE COORDINATED WITH THE LOCAL UPRR MANAGER AND CONSTRUCTION PROJECT MANAGER.
- WHERE STRUCTURES ARE SPECIFIED TO BE DEMOLISHED AND REPLACED WITH NEW, THE DEMOLITION SHALL NOT BEGIN UNTIL ALL REPLACEMENT COMPONENTS ARE ON THE SITE. INSTALLATION OF REPLACEMENT STRUCTURES AND EQUIPMENT SHALL BE PERFORMED IMMEDIATELY FOLLOWING SYSTEM REMOVAL TO THE GREATEST EXTENT PRACTICAL.

CIVIL DESIGN NOTES

- WHERE PLANS CALL FOR CONNECTING NEW PIPES TO EXISTING CONCRETE STRUCTURES THE CONCRETE STRUCTURES SHALL BE CORE DRILLED. PIPE PENETRATIONS SHALL BE SEALED USING A MECHANICAL, FUEL AND OIL RESISTANT, "LINK SEAL" OR ENGINEER APPROVED ALTERNATIVE.
- UNLESS SPECIFIED OTHERWISE; ALL NEW HDPE PIPES SHALL BE PE 4710 DIPS, NEW GRAVITY PIPE SHALL BE DR 17 RATED, AND NEW PRESSURIZED PIPE SHALL BE DR 11 RATED.
- HDPE PIPE MAY BE DEFLECTED Laterally TO AVOID EXISTING OBSTACLES. DO NOT BEND TIGHTER THAN MANUFACTURER'S SPECIFICATIONS. MAINTAIN UNIFORM SLOPE. CONTRACTOR SHALL ENSURE TRACER WIRE IS ATTACHED TO PIPE.
- PIPES SHALL BE LOCATED IN SAME TRENCH WHERE APPLICABLE.
- MINIMUM DEPTH OF COVER SHALL BE 5'-0" BGS UNLESS SHOWN OTHERWISE.
- UNLESS SPECIFIED OTHERWISE ALL STRUCTURES LABELED AS MANHOLES SHALL HAVE SOLID LIDS AND STRUCTURES LABELED AS CATCH BASINS SHALL HAVE GRATED LIDS.
- CONTRACTOR SHALL ASSUME A MINIMUM 1-FOOT THICKNESS ON ALL EXISTING CONCRETE SLABS. ANY SLABS EXCEEDING THE 1-FOOT THICKNESS SHALL BE REPLACED TO EXISTING SLAB THICKNESS AT NO ADDITIONAL COST.
- SEE P&ID DRAWINGS FOR RELATIVE PIPING CONFIGURATION, SIZES, MATERIALS, AND ACCESSORIES.

WORK ACCEPTANCE TESTING

- GRAVITY PIPES: PER ASTM F1417, 3.5PSI AIR PRESSURE FOR 30 MINUTES, ACCEPTABLE LOSS: ZERO (0) PSI.
- PRESSURIZED PIPE PER AWWA C605, 1.5 TIMES OPERATING PRESSURE, 1 HOUR, ACCEPTABLE LOSS <5% CHANGE.
- MANHOLES AND CATCH BASINS: HYDROSTATIC TESTING, 1 HOUR, ACCEPTABLE LOSS: ZERO (0) CF.
- REHABILITATED MANHOLES AND CATCH BASINS: SPARK TESTING PER ASTM D5162 OF COATING SYSTEM IN ADDITION TO HYDROSTATIC TESTING, 1 HOUR, ACCEPTABLE LOSS: ZERO (0) CF.
- REQUIRED SPECIAL INSPECTION AND MATERIAL TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

SEQUENCING

- CONTRACTOR SHALL FURNISH AND OPERATE TEMPORARY BYPASS PUMPING SYSTEM AS REQUIRED TO MAINTAIN OPERATION OF THE EXISTING INDUSTRIAL WASTEWATER COLLECTION SYSTEM (IWCS) AND INDUSTRIAL WASTEWATER TREATMENT PLANT (IWTP) DURING CONSTRUCTION OF UPGRADES. CONTRACTOR SHALL SUBMIT TEMPORARY BYPASS PUMPING PLAN FOR APPROVAL PRIOR TO CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION, TESTING AND COMMISSIONING OF UPGRADES, THE SYSTEMS SHALL BE ABANDONED OR REMOVED AS INDICATED ON THE PLANS AND SPECIFICATIONS.
- CONTRACTOR MUST COORDINATE TRACK OUTAGES WITH LOCAL UPRR MANAGER. ONLY ONE SERVICE, FUELING OR SHOP TRACK MAY BE TAKEN OUT OF SERVICE AT A TIME UNLESS OTHERWISE APPROVED BY UPRR MANAGER AND CONSTRUCTION PROJECT MANAGER. WORK ON SERVICE, FUELING OR SHOP TRACKS WILL BE CONDUCTED 24-HOURS PER DAY UNTIL WORK IS COMPLETE TO MINIMIZED TRACK DOWNTIME.
- CONTRACTOR SHALL PERFORM DAILY VISUAL INSPECTIONS OF TANK PIPING AND CONNECTIONS FOR LEAKS TO CONFIRM CONSTRUCTION HAS NOT COMPROMISED EXISTING SYSTEMS. ADDITIONAL INSPECTIONS AND FREQUENCY OF INSPECTIONS WILL BE REQUIRED WHEN THE SECONDARY CONTAINMENT LINER IS OUT OF SERVICE AND WILL BE DIRECTED BY UPRR PERSONNEL.

PHASING

- THE INTENTION OF THE PHASING PLAN IS TO ALLOW THE USE OF THE EXISTING PLANT TO PROCESS RAW WATER DURING CONSTRUCTION OF THE SURGE TANK AND FILTERS. DURING ALL CONSTRUCTION ACTIVITIES IT IS CRITICAL THAT THE RAW WATER IS NOT RELEASED TO THE ENVIRONMENT. CONTRACTOR SHALL PROVIDE A STEP-BY-STEP PLAN FOR THE EXECUTION OF THE PHASING AS DESCRIBED BELOW OR AN ALTERNATIVE PLAN THAT MAINTAINS THE EXISTING PLANT OPERATING AND TREATING RAW WATER WITH THEIR BID.
- THE INSTALLATION AND COMMISSIONING OF THE DISC FILTERS SHALL BE TREATED AS FIRST PRIORITY AND A CRITICAL PATH. PRIOR TO THE CONSTRUCTION OF THE SURGE TANK AND ASSOCIATED PIPING, CONTRACTOR MAY ELECT TO CONSTRUCT BOTH SIMULTANEOUSLY BUT SHALL NOT PRIORITIZE OR ALLOW THE CONSTRUCTION OF THE TANK AND ASSOCIATED PIPING TO DELAY OR INTERVENE WITH THE DISC FILTER INSTALLATION AND COMMISSIONING SCHEDULE. CONTRACTOR SHALL COORDINATE AND SUBMIT SCHEDULE TO THE OWNER AND ENGINEER FOR APPROVAL.
- CONTRACTOR SHALL FURNISH AND OPERATE TEMPORARY BYPASS PUMPING SYSTEM AS REQUIRED TO MAINTAIN OPERATION OF THE EXISTING WATER COLLECTION SYSTEM AND TREATMENT PLANT DURING CONSTRUCTION OF UPGRADES. CONTRACTOR SHALL SUBMIT TEMPORARY BYPASS PUMPING PLAN FOR APPROVAL PRIOR TO CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION, TESTING AND COMMISSIONING OF UPGRADES, THE SYSTEMS SHALL BE ABANDONED OR REMOVED PER SPECIFICATIONS.
- THE FINAL PHASE OCCURS AFTER THE PROPOSED TANK, ASSOCIATED PIPING, AND OTHER NECESSARY SYSTEMS HAVE BEEN COMPLETED, TESTED, AND COMMISSIONED.

GENERAL NOTES FOR STORMWATER POLLUTION PREVENTION PLAN


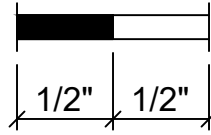
- ALL OPERATIONS AND/OR CONSTRUCTION SHALL CONFORM TO THE TERMS AND CONDITIONS OF THE COLORADO DISCHARGE PERMIT SYSTEM (CDPS) GENERAL PERMIT COR400000 FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY AS PUBLISHED BY THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE).
- THE NOTICE OF INTENT (NOI), AS REQUIRED BY THE GENERAL PERMIT. SHALL BE PROPERLY DISPLAYED ON SITE AT ALL TIMES BY EACH OPERATOR.
- ALL RELEASES OF REPORTABLE QUANTITIES OF HAZARDOUS SUBSTANCES SHALL BE REPORTED IMMEDIATELY TO UPRR RMCC.
- QUALIFIED OPERATOR OR PERSONNEL SHALL INSPECT CONTROL MEASURES FOR THE SITE AT LEAST ONCE EVERY FOURTEEN DAYS AND WITHIN 24 HOURS OF A 1/2-IN OR GREATER RAINFALL EVENT. THE INSPECTOR SHALL DOCUMENT THE RESULTS.
- ANY NECESSARY MODIFICATIONS SHALL BE IMPLEMENTED AND BE IN-PLACE WITHIN A 24-HOUR PERIOD. UPRR ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD AND/OR MODIFY EROSION/SEDIMENTATION CONTROLS ON SITE TO KEEP PROJECT IN COMPLIANCE AT NO ADDITIONAL COSTS TO OWNER.
- EROSION CONTROL MEASURES SHALL BE IN-PLACE PRIOR TO ANY CONSTRUCTION ACTIVITIES AND REMAIN IN-PLACE UNTIL SITE HAS BEEN FULLY RESTORED TO ORIGINAL CONDITION OR ESTABLISHED AND STABILIZED TO PROPOSED GRADES.
- ACCUMULATED SILT DEPOSITS SHALL BE REMOVED FROM SILT FENCING AND STRAW WATTLES WHEN DEPTH OF SILT REACHES 6 INCHES.
- CONTRACTOR SHALL COORDINATE DEWATERING, STAGING, AND STOCKPILE AREAS WITH OWNER AND ENGINEER.
- CONSTRUCTION DEWATERING IS NOT ANTICIPATED FOR GENERAL SITE GRADING AND THE INSTALLATION OF YARD PIPING. GROUNDWATER MAY BE ENCOUNTERED DURING INSTALLATION OF GROUND IMPROVEMENT ELEMENTS AND SHOULD BE CONSIDERED BY THE GROUND IMPROVEMENT CONTRACTOR IN THE SELECTION OF GROUND IMPROVEMENT TECHNIQUES AND INSTALLATION EQUIPMENT FOR THE SITE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR CONTROL OF SURFACE WATER DURING CONSTRUCTION, INCLUDING THE DESIGN OF DEWATERING AND DIVERSION FEATURES. SLOPE PROTECTION, DITCHING, SUMPS, BASINS, DIVERSIONS, TANKS AND/OR OTHER MEASURES SHALL BE EMPLOYED AS NECESSARY, TO DIRECT WATER AWAY FROM THE FRASER RIVER, THE ITWP, ADJACENT PROPERTY, TRACKS, OPEN EXCAVATIONS, TO PREVENT PONDING OF WATER, AND TO PERMIT COMPLETION OF THE WORK.

File C:\USERS\RODRIGUEZ\ONE DRIVE - ARCADIS\UPEE22 - WINTER PARK IWTP\10-ENGDESIGN\10-08-PROJECT\DWG\CAD\CIVIL\SHSHEETS\C-2.DWG
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ARCADIS US, INC.
 630 PLAZA DRIVE, SUITE 200
 HIGHLANDS RANCH, CO 80129

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 COLORADO811.ORG



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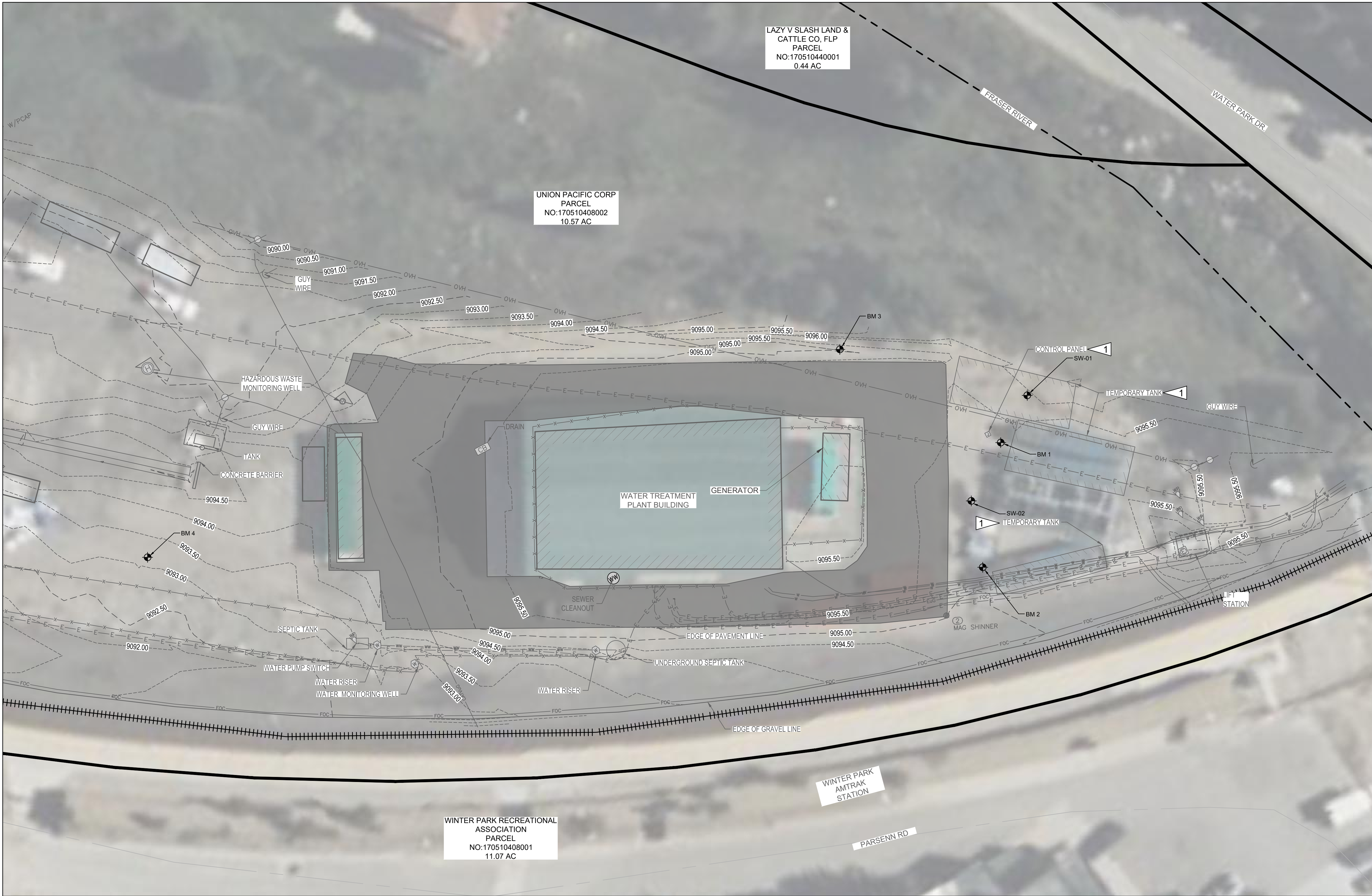


Office of Assistant Vice President - Fuel & Environmental Mgmt

LOCATION & DESCRIPTION
 MOFFAT TUNNEL WEST PORTAL, 100 PARSENN RD, WINTER PARK, CO
 INDUSTRIAL WASTEWATER TREATMENT PLANT IMPROVEMENTS

SHT TITLE: **CIVIL NOTES**

File C:\USERS\AJRODRIGUEZ\ONE DRIVE - ARCADIS\SUPEEZ2 - WINTER PARK\WTP10-ENGDESIGN\10-08-PROJECT\DWG\CAD\CIVIL\SHETS\C-3.DWG
 Pict Date: 5/21/2024, 20:59, User: AJRODRIGUEZ



LAZY V SLASH LAND & CATTLE CO. FLP
PARCEL
NO:170510440001
0.44 AC

UNION PACIFIC CORP
PARCEL
NO:170510408002
10.57 AC

WINTER PARK RECREATIONAL ASSOCIATION
PARCEL
NO:170510408001
11.07 AC

LEGAL DESCRIPTION

UNION PACIFIC CORP

W E EVANS SUB DIV EX FINAL AMD EAST PARCEL
10.57AC EAST PARCEL W.E. EVANS SUBDIVISION EX SEC 10 T2S
R7S DESC REC
9600-8225 PLAT 9600-8223

PARCEL NUMBER 1705-104-40-002

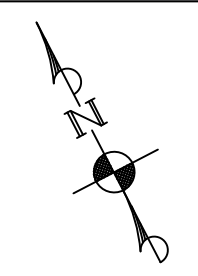
GENERAL NOTES

1. SURVEY HORIZONTAL DATUM: NAD83 COLORADO STATE PLANES, NORTH ZONE (CO83-NF), US SURVEY FOOT.
2. SURVEY VERTICAL DATUM: NAVD88.
3. ALL DIMENSIONS AND ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS, LOCATIONS AND ORIENTATIONS OF ALL EXISTING AND PROPOSED EQUIPMENT AND STRUCTURES PRIOR TO DEMOLITION AND CONSTRUCTION.
4. THE LOCATIONS OF BURIED AND UNDERGROUND UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND ARE SHOWN FOR CONTRACTOR INFORMATION USE ONLY AND ARE PURPOSES. THE IMPLIED PRESENCE OR ABSENCE OF UTILITIES IS NOT TO BE CONSTRUCTED BY THE OWNER, ENGINEER, CONTRACTOR, OR SUBCONTRACTORS TO BE AN ACCURATE AND COMPLETE REPRESENTATION OF THE UTILITIES THAT MAY OR MAY NOT EXIST ON THE CONSTRUCTION SITE. THE LOCATIONS, IDENTIFICATION AND MARKING OF UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
5. PRIOR TO EXCAVATION, POTHOLING SHALL BE UTILIZED TO PREVENT DAMAGE TO ALL KNOWN UNDERGROUND UTILITIES.
6. SOME ELECTRICAL ITEMS ARE NOT SHOWN FOR CLARITY. REFERENCE EXISTING ELECTRICAL SITE PLAN FOR FURTHER DETAILS.

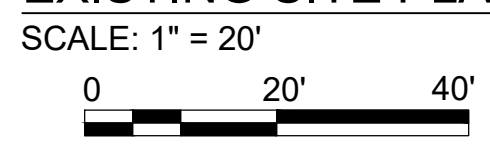
SURVEY POINT				
NAME	NORTHING	EASTING	ELEVATION	DESCRIPTION
BM 1	1202036.88	2926344.67	9095.43	COTTON SPINDLE SET
BM 2	1201998.68	2926317.45	9095.15	IRS 5/8" WPCAP
BM 3	1202095.23	2926307.35	9095.11	IRS 5/8" WPCAP
BM 4	1202144.73	2926042.63	9093.09	IRS 5/8" WPCAP
SW-01	1202048.02	2926366.75	-	APPROX. GEOTECH BORE LOCATION
SW-02	1202022.63	2926330.19	-	APPROX. GEOTECH BORE LOCATION

CONSTRUCTION NOTES

1. COORDINATE RELOCATION AND/OR REMOVAL OF TEMPORARY TANKS, PUMPING EQUIPMENT, CONTROL PANELS, ELECTRICAL EQUIPMENT, AND ASSOCIATED PIPING WITH OWNER AND ENGINEER FOR THE INSTALLATION OF THE SURGE TANK AND ASSOCIATED PIPING. BYPASS PUMPING/PUMPING SHALL BE PROVIDED AS NECESSARY TO MAINTAIN CURRENT OPERATIONS WITH THE LIFT STATION UNTIL THE SURGE TANK IS COMPLETED.

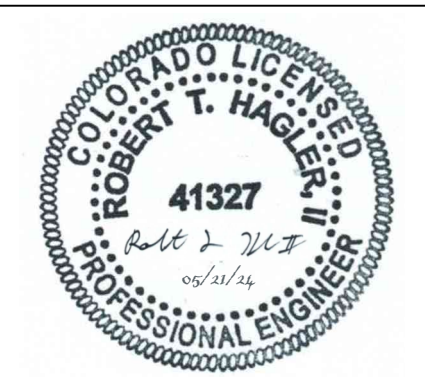


EXISTING SITE PLAN



NO.	DATE	REVISIONS
B	05/21/24	ISSUED FOR PERMITTING
A	05/17/24	ADDENDUM 1
0	05/07/24	ISSUED FOR BID

ARCADIS US, INC.
630 PLAZA DRIVE, SUITE 200
HIGHLANDS RANCH, CO 80129



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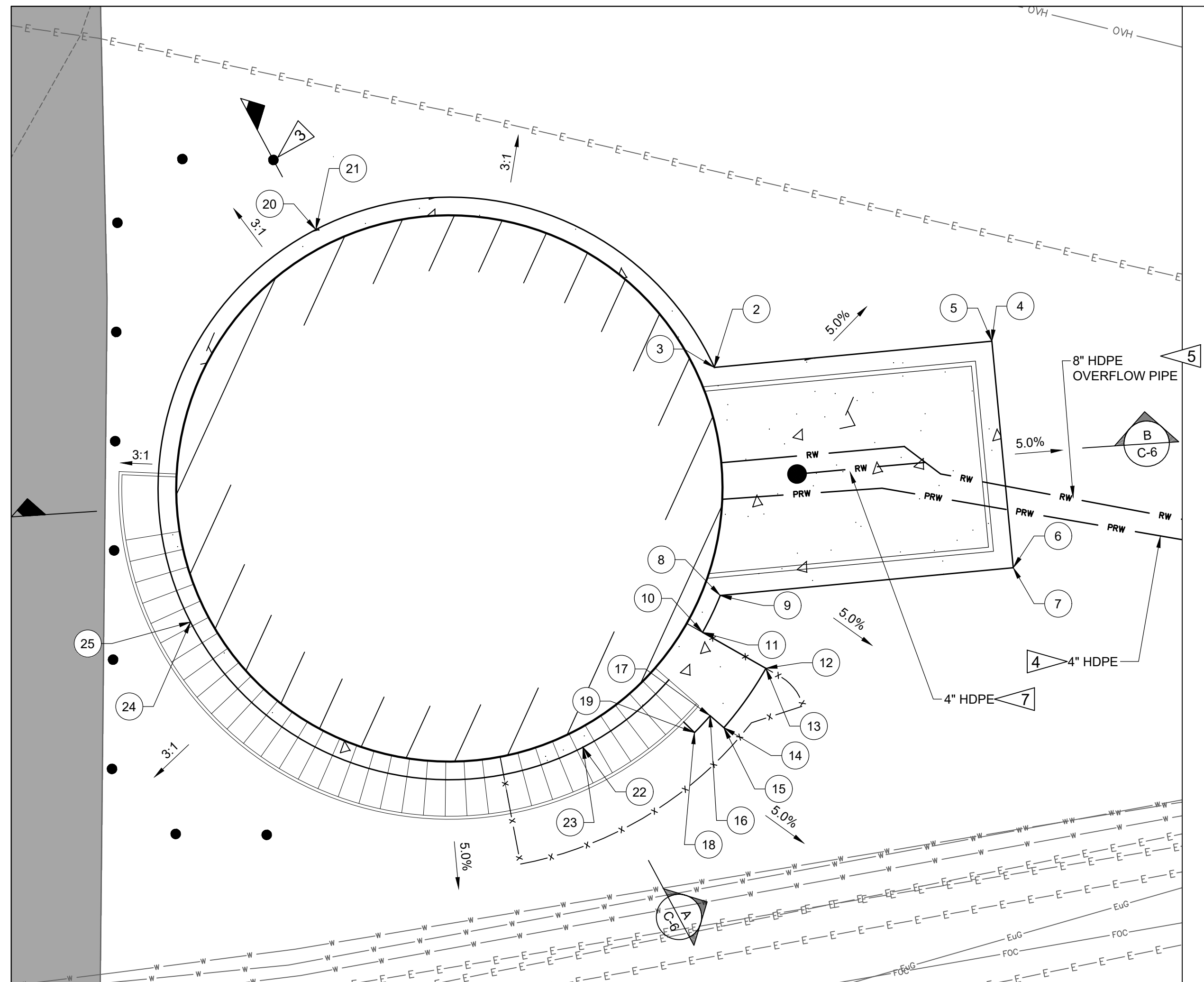
DWN BY:	AKR
CHK BY:	MBB
DATE:	05/21/24
SHT NO.:	C-3

BUILDING AMERICA Assistant Vice President - Fuel & Environmental Mgmt

LOCATION & DESCRIPTION
MOFFAT TUNNEL WEST PORTAL, 100 PARSENN RD, WINTER PARK, CO
INDUSTRIAL WASTEWATER TREATMENT PLANT IMPROVEMENTS

SHT TITLE: **EXISTING SITE PLAN**

File: C:\USERS\AJRODRIGUEZ\ONE DRIVE - ARCADIS\IUPUEEZ2 - WINTER PARK IWTP\10-ENGDESIGN\10-08-PROJECT\DWG\CAD\CIVIL\SHSHEETS\C-5.DWG
 Pld Date: 5/21/2024; 2:10:11 PM; User: AJRODRIGUEZ



INSET PLAN
 SCALE: 1" = 5'
 0 5' 10'



PROPOSED SITE PLAN
 SCALE: 1" = 20'
 0 20' 40'

GENERAL NOTES

- ALL DIMENSIONS AND ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS, LOCATIONS AND ORIENTATIONS OF ALL EXISTING AND PROPOSED EQUIPMENT AND STRUCTURES PRIOR TO DEMOLITION AND CONSTRUCTION.
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- PRIOR TO EXCAVATION, POTHOLING SHALL BE UTILIZED TO PREVENT DAMAGE TO ANY UNKNOWN UNDERGROUND UTILITIES.
- CONTRACTOR SHALL REPAIR/REPLACE DAMAGED ASPHALT AND CONCRETE PAVEMENT BY CAUSE OF CONSTRUCTION ACTIVITIES TO AT LEAST EXISTING CONDITION. CONDITIONS OF REPAIRS SHALL BE DETERMINED BY OWNER AND ENGINEER.

CONSTRUCTION NOTES

- SURGE TANK. SEE P&ID/MECHANICAL DRAWINGS FOR MORE DETAILS.
- INSTALL NEW CONCRETE PAD FOR SURGE TANK PER DETAILS ON SHEET S-3.
- INSTALL BOLLARDS PER DETAIL 4 ON SHEET C-7. SPACE 5' BETWEEN BOLLARDS.
- INSTALL 4" HDPE PIPING PER DETAIL 2 ON SHEET C-7. PIPES SHALL BE LOCATED IN SAME TRENCH WHERE APPLICABLE.
- INSTALL 8" HDPE PIPING PER DETAIL 2 ON SHEET C-7. PIPES SHALL BE LOCATED IN SAME TRENCH WHERE APPLICABLE.
- CORE INTO EXISTING LIFT STATION PER DETAIL 3 ON SHEET C-7.
- INSTALL 4" HDPE PIPING AND FLOOR DRAIN PER DETAIL 7 ON SHEET C-8.

POINT TABLE

NO.	EASTING	NORTHING	ELEVATION	DESCRIPTION
1	2927673.02	1202565.35	9096.75	TOP OF SLAB/CENTER OF TANK FOUNDATION
2	2927689.00	1202564.58	9096.75	TOP OF SLAB
3	2927689.00	1202564.58	9095.75	FINISHED GRADE
4	2927703.21	1202558.86	9095.75	TOP OF SLAB
5	2927703.21	1202558.86	9095.50	FINISHED GRADE
6	2927698.55	1202547.26	9095.75	TOP OF SLAB
7	2927698.55	1202547.26	9095.50	FINISHED GRADE
8	2927683.55	1202553.30	9096.75	TOP OF SLAB
9	2927683.55	1202553.30	9095.75	FINISHED GRADE
10	2927681.75	1202551.94	9096.75	TOP OF SLAB
11	2927681.75	1202551.94	9095.75	FINISHED GRADE
12	2927683.94	1202548.59	9096.25	TOP OF SLAB
13	2927683.94	1202548.59	9095.75	FINISHED GRADE
14	2927680.39	1202546.76	9096.25	TOP OF SLAB
15	2927680.39	1202546.76	9095.75	FINISHED GRADE
16	2927680.02	1202547.68	9096.75	TOP OF SLAB
17	2927680.02	1202547.68	9095.75	FINISHED GRADE
18	2927678.83	1202547.26	9096.75	TOP OF SLAB
19	2927678.83	1202547.26	9095.75	FINISHED GRADE
20	2927673.02	1202581.35	9096.75	TOP OF SLAB
21	2927673.02	1202581.35	9095.75	FINISHED GRADE
22	2927673.02	1202549.35	9096.75	TOP OF SLAB
23	2927673.02	1202549.35	9095.75	FINISHED GRADE
24	2927657.02	1202565.35	9096.75	TOP OF SLAB
25	2927657.02	1202565.35	9095.75	FINISHED GRADE

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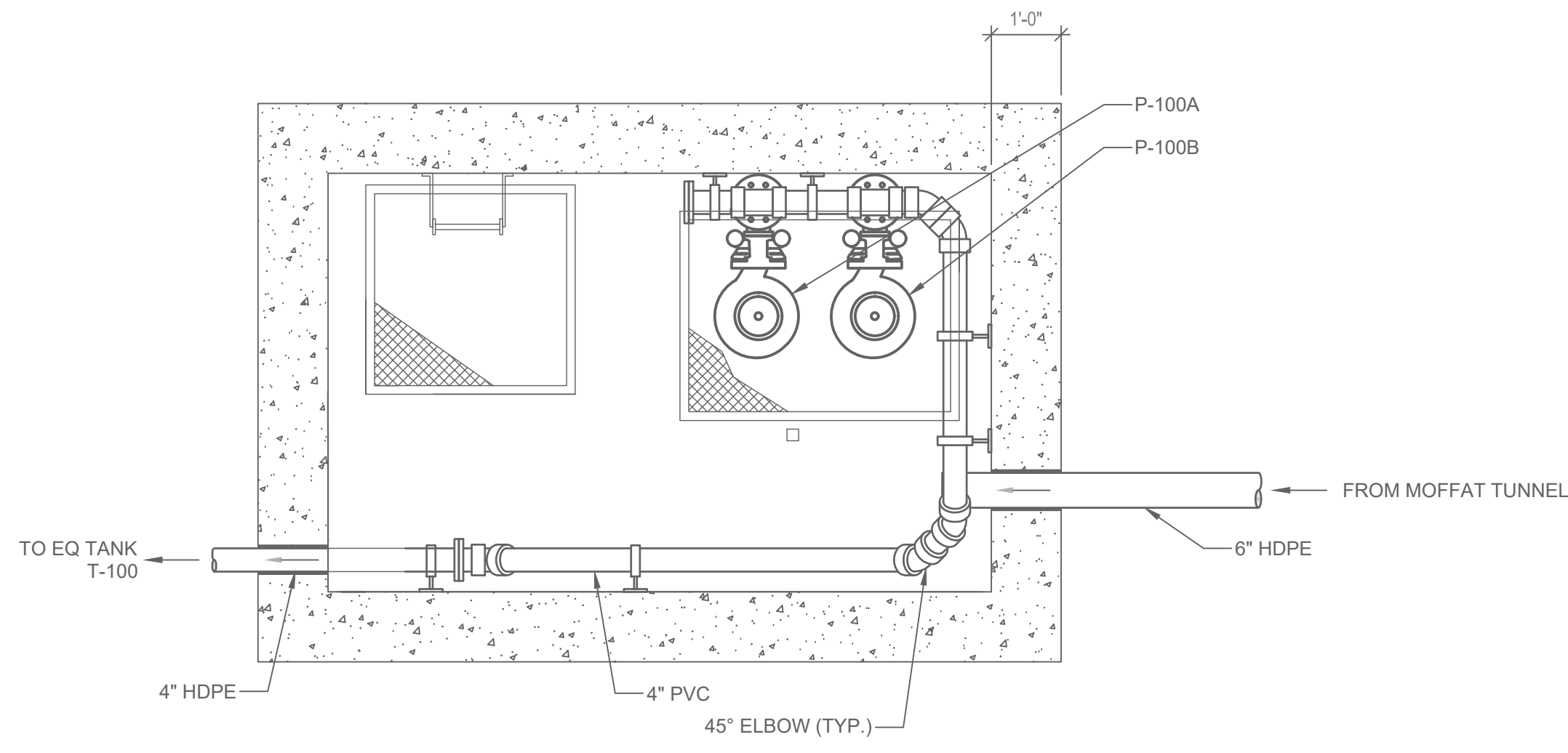
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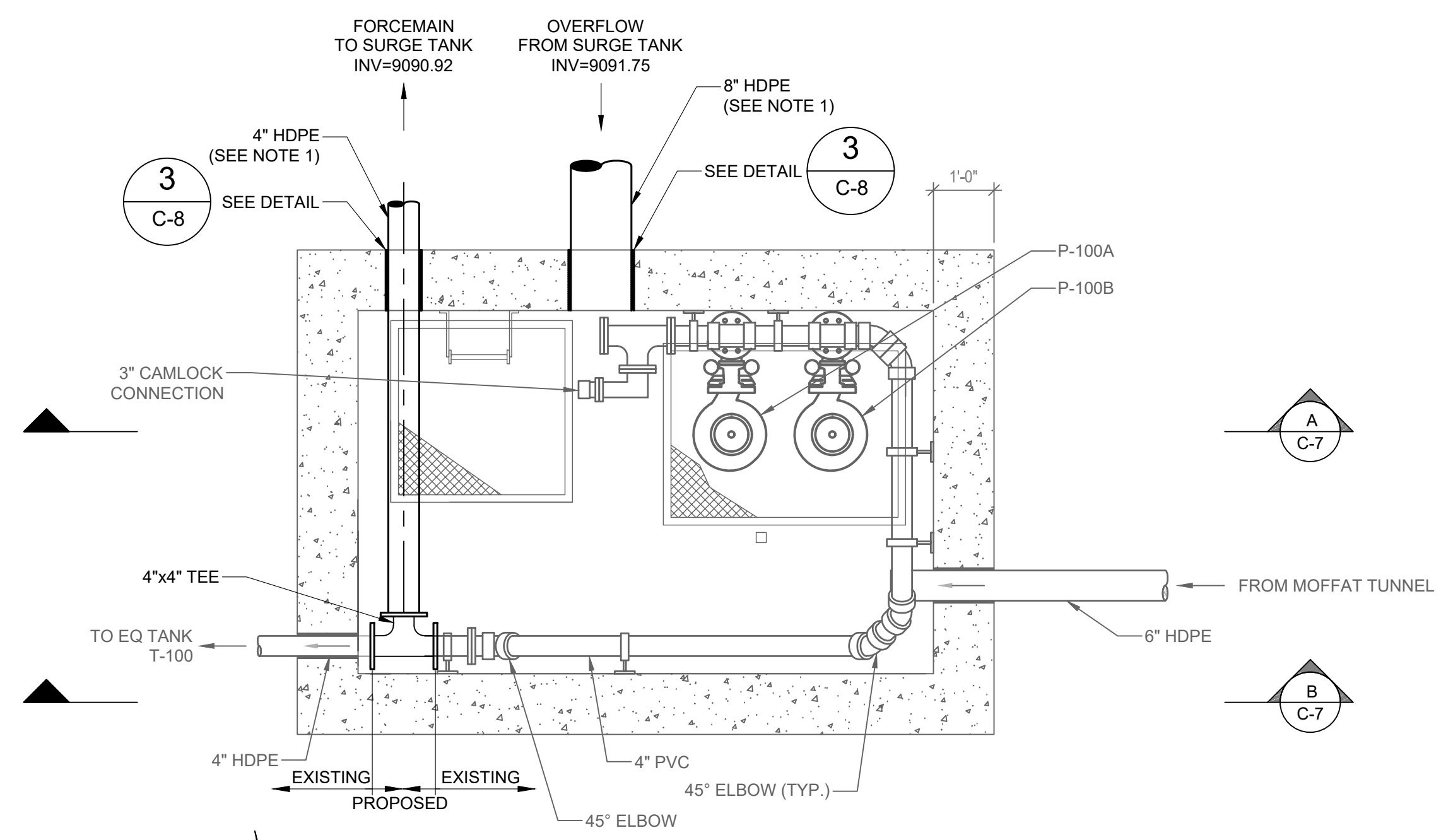
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DWN BY:	AKR
CHK BY:	MBB
DATE:	05/21/24
SHT NO.:	C-5

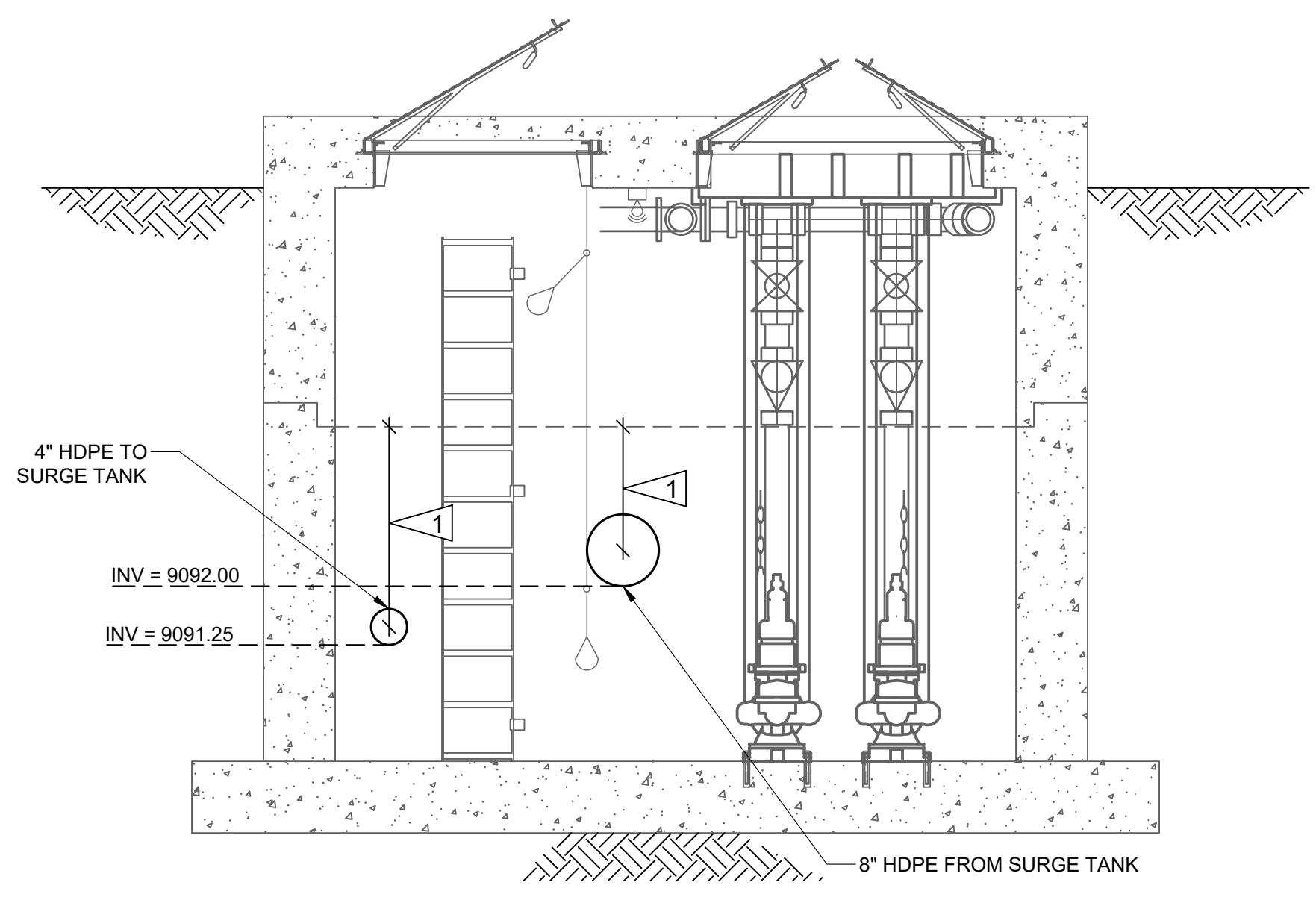
Office of Assistant Vice President - Fuel & Environmental Mgmt
 LOCATION & DESCRIPTION
 MOFFAT TUNNEL WEST PORTAL, 100 PARSENN RD, WINTER PARK, CO
 INDUSTRIAL WASTEWATER TREATMENT PLANT IMPROVEMENTS
 SHT TITLE:
PROPOSED SITE AND GRADING SECTIONS



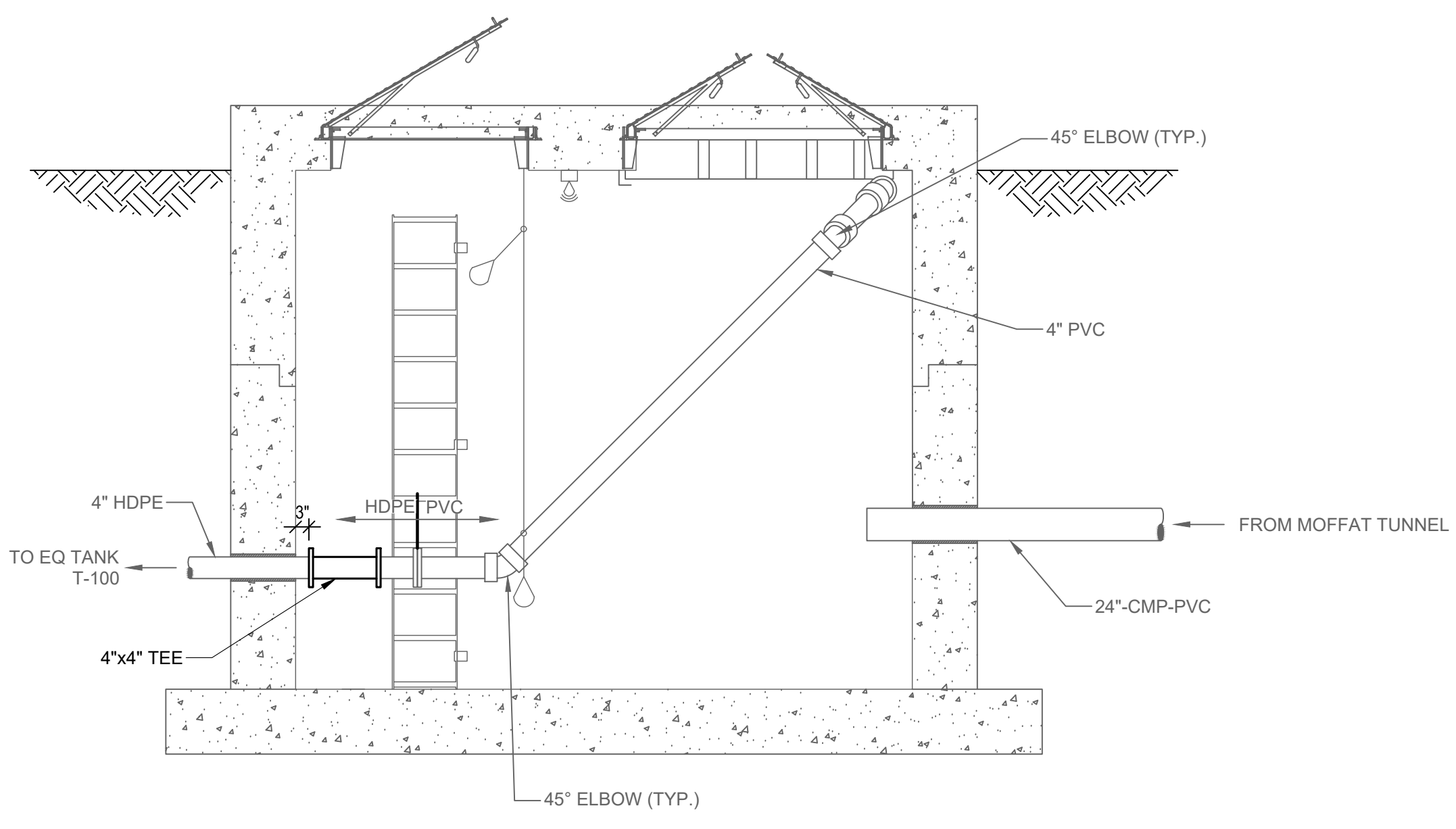
EXISTING LIFT STATION
SCALE: 1/2" = 1'-0"



PROSED LIFT STATION MODIFICATION PLAN
SCALE: 1/2" = 1'-0"



A SECTION
C-7 SCALE: 1/2" = 1'-0"



B SECTION
C-7 SCALE: 1/2" = 1'-0"

1 CONTRACTOR MEASURE DISTANCE FROM EXISTING STRUCTURE JOINTS TO PROPOSED PIPE CENTER AND NOTIFY ENGINEER FOR APPROVAL PRIOR TO CORING FOR PIPE PENETRATION.

File C:\USERS\ARODRIGUEZ\ONE DRIVE - ARCADIS\UPEE22 - WINTER PARK\WTP10-ENGDESIGN\10-08-PROJECT\DWG\CAD\CIVIL\SHSHEETS\C-7.DWG
Plot Date: 5/21/2024, 15:27, User: GOR7338

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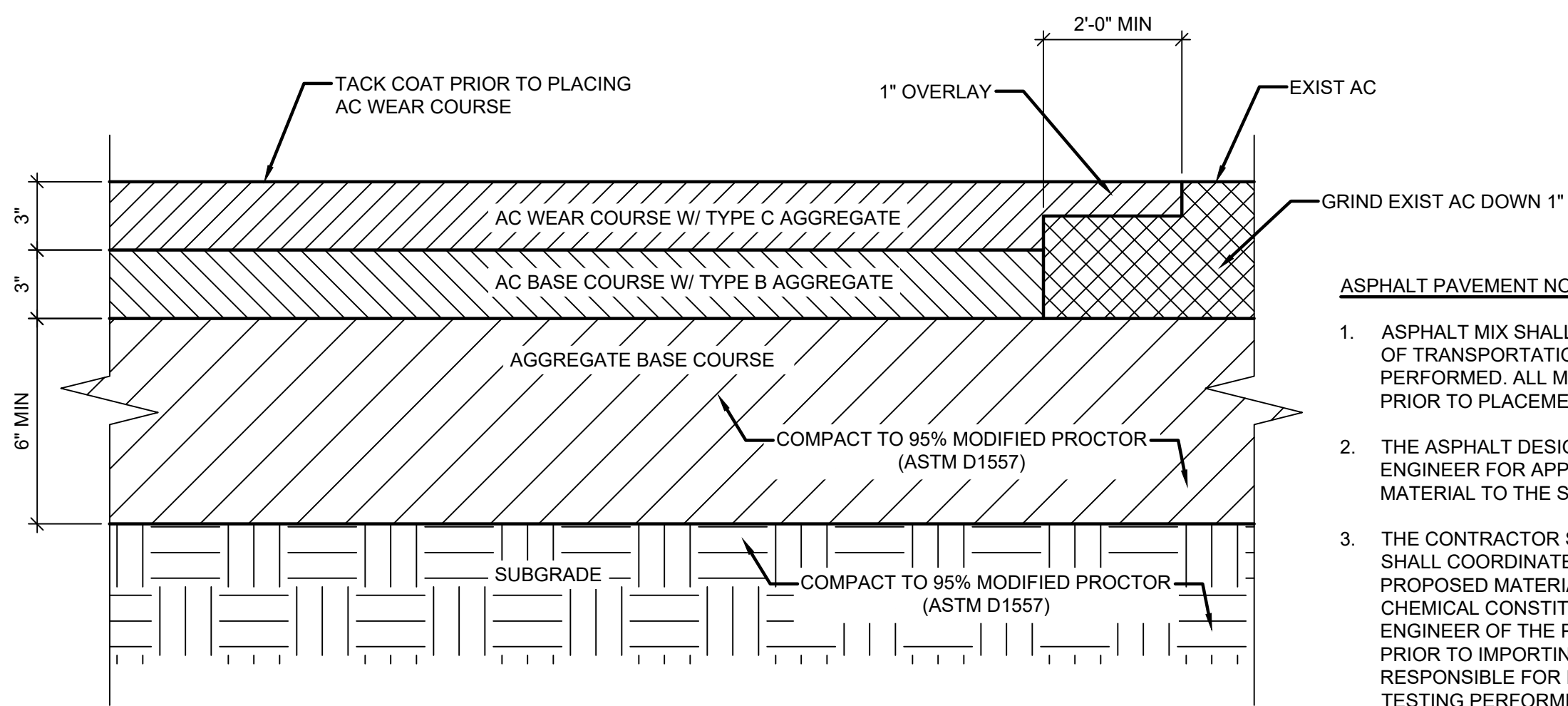
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BUILDING AMERICA Office of Assistant Vice President - Fuel & Environmental Mgmt

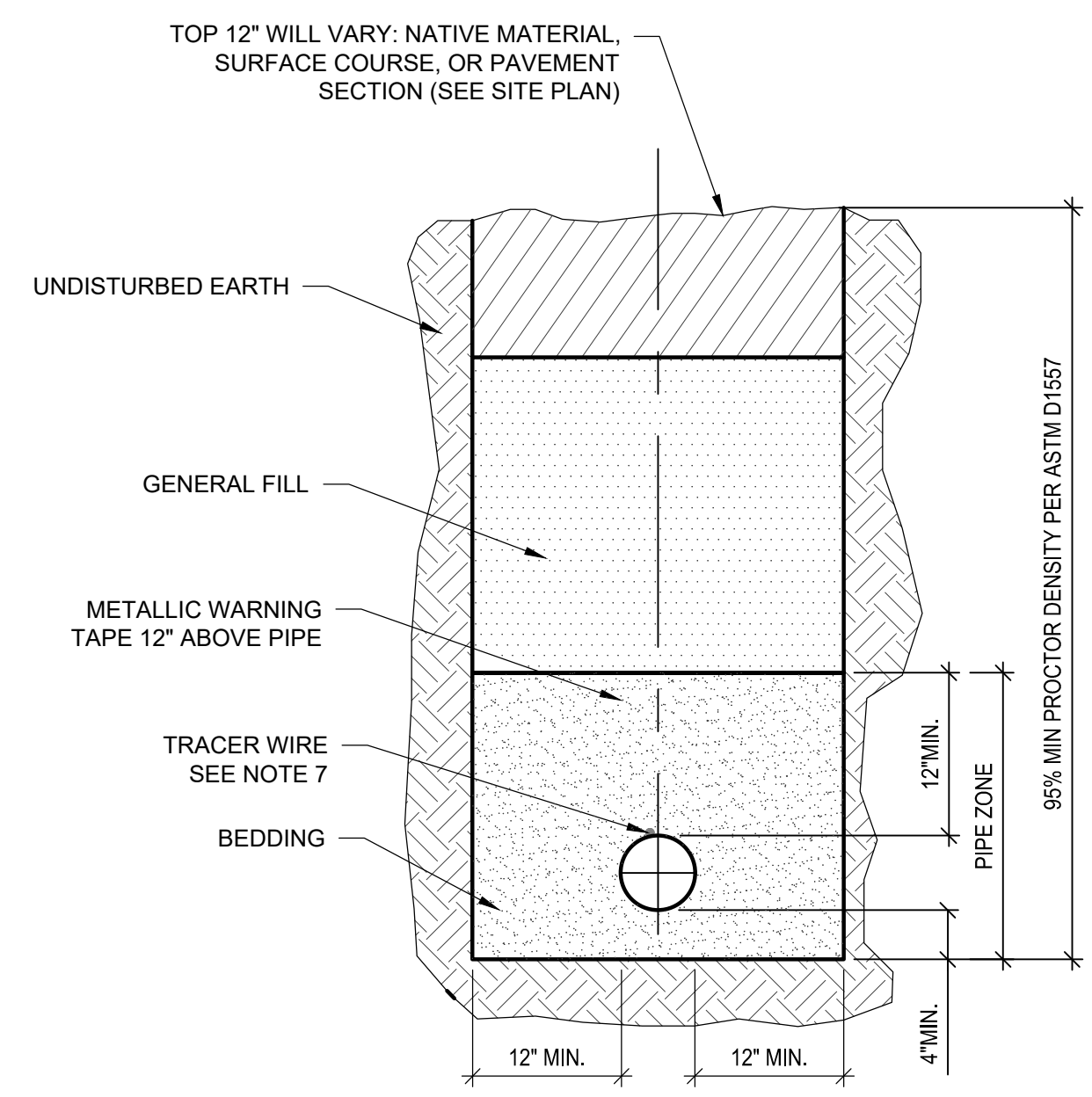
LOCATION & DESCRIPTION
MOFFAT TUNNEL WEST PORTAL, 100 PARSENN RD, WINTER PARK, CO
INDUSTRIAL WASTEWATER TREATMENT PLANT IMPROVEMENTS

SHT TITLE: **LIFT STATION MODIFICATIONS**



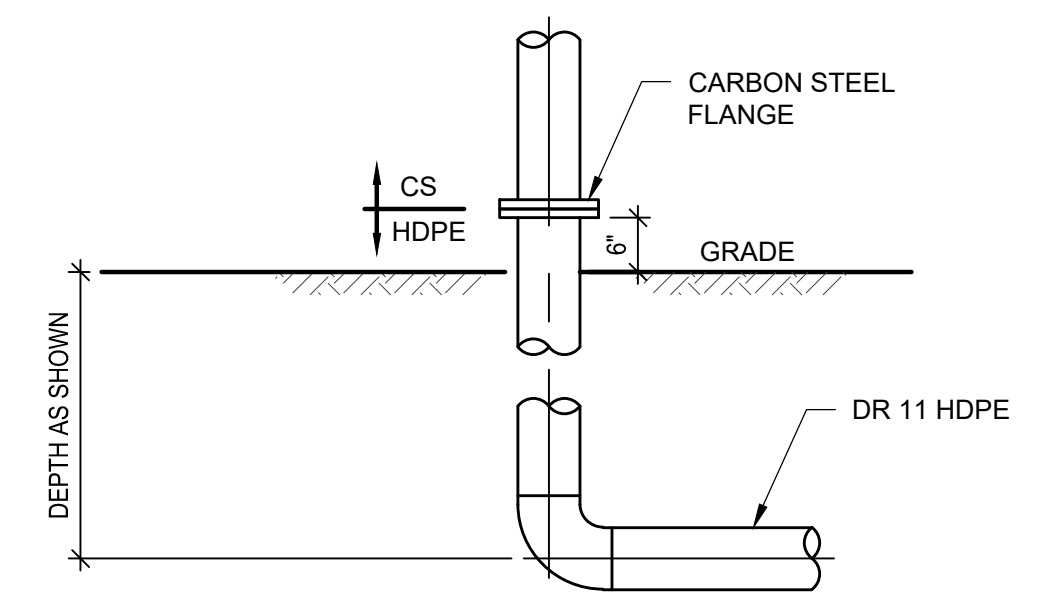
1 FULL DEPTH ASPHALT PAVEMENT DETAIL
C-8 SCALE: NOT TO SCALE

- ASPHALT PAVEMENT NOTES:**
1. ASPHALT MIX SHALL CONFORM TO THE MOST CURRENT STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS IN WHICH THE WORK IS BEING PERFORMED. ALL MIX DESIGNS SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. REFERENCE THE SPECIFICATIONS.
 2. THE ASPHALT DESIGN SPECIFICATION SHEET SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL AT LEAST 2 WEEKS PRIOR TO DELIVERY OF THE MATERIAL TO THE SITE.
 3. THE CONTRACTOR SHALL PROPOSE AN AGGREGATE BASE SOURCE AND SHALL COORDINATE WITH THE ENGINEER TO FACILITATE SAMPLING OF THE PROPOSED MATERIAL FOR GENERAL GEOTECHNICAL PROPERTIES AND CHEMICAL CONSTITUENT SCREENING. CONTRACTOR SHALL NOTIFY ENGINEER OF THE PROPOSED AGGREGATE SOURCE AT LEAST 1 MONTH PRIOR TO IMPORTING MATERIAL TO THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AN ALTERNATE AGGREGATE SOURCE IF TESTING PERFORMED BY THE ENGINEER DO NOT MEET SPECIFICATIONS OR REGULATORY STANDARDS.



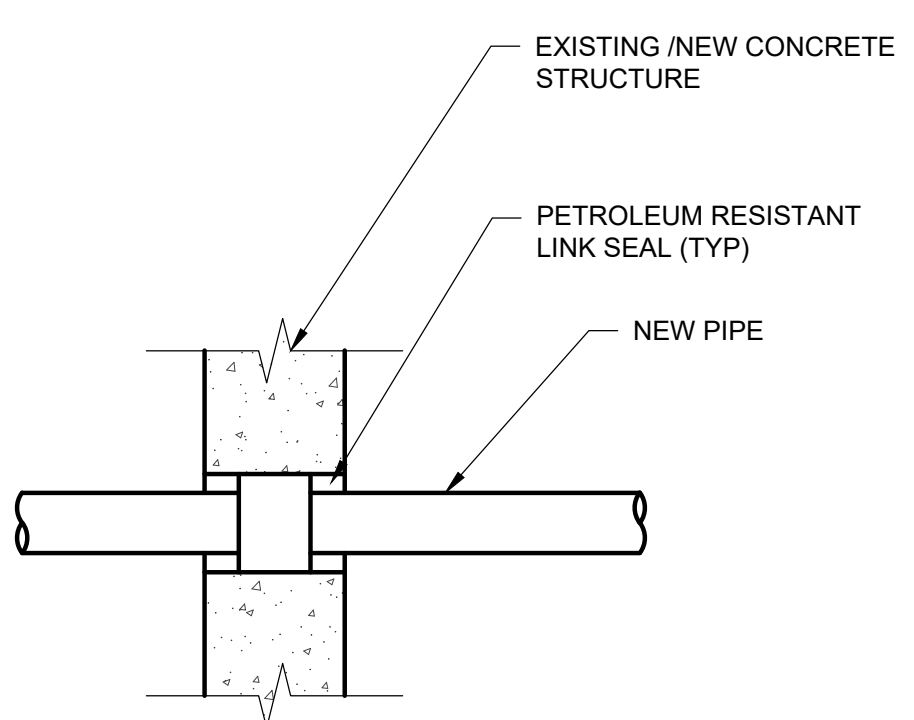
2 PIPE TRENCH DETAIL
C-8 SCALE: NOT TO SCALE

- PIPE TRENCH NOTES:**
1. UNSTABLE TRENCH MATERIALS AND/OR OVER EXCAVATION OF TRENCH WILL REQUIRE BEDDING AS SHOWN ON TRENCH SECTION OF THIS SHEET. EXCAVATE UNSUITABLE MATERIALS AS DIRECTED BY THE PROJECT ENGINEER.
 2. TRENCH WIDTH SHALL BE KEPT TO A MINIMUM NECESSARY TO INSTALL THE PIPE IN A SAFE MANNER. IN ALL CASES TRENCHES MUST BE OF SUFFICIENT WIDTH TO ALLOW FOR PROPER JOINING OF PIPE AND COMPACTION OF THE BACKFILL MATERIAL ALONG SIDES OF PIPE AND UNDER PIPE HAUNCHES. MINIMUM TRENCH WIDTH IN THE PIPE ZONE, MUST PROVIDE A CLEAN WORKING SPACE.
 3. PLACE ALL PIPE BEDDING MATERIALS IN A UNIFORM MANNER WITH THOROUGHLY COMPACTED LIFTS NOT TO EXCEED 6\"/>



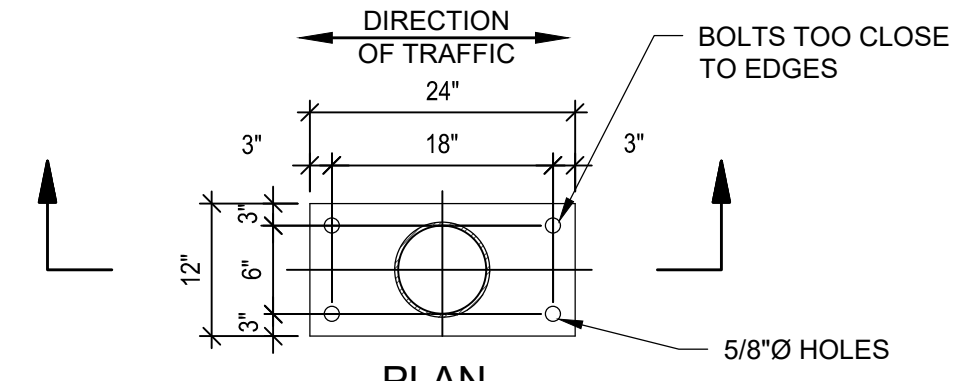
6 TRANSITION TO BURIED PIPE DETAIL
C-8 SCALE: NOT TO SCALE

- TRANSITION PIPE DETAIL NOTES:**
1. TRANSITION FROM BURIED PIPE TO ABOVE-GRADE PIPE WITH CLASS 150 RAISED FLANGE.
 2. WHEN CONNECTING TO FACE HDPE BURIED PIPE USE AN HDPE FLANGE FUSED ON THE PIPE WITH A304 SS FLANGE AND BOLTS.
 3. LOCATE FLANGE 6\"/>



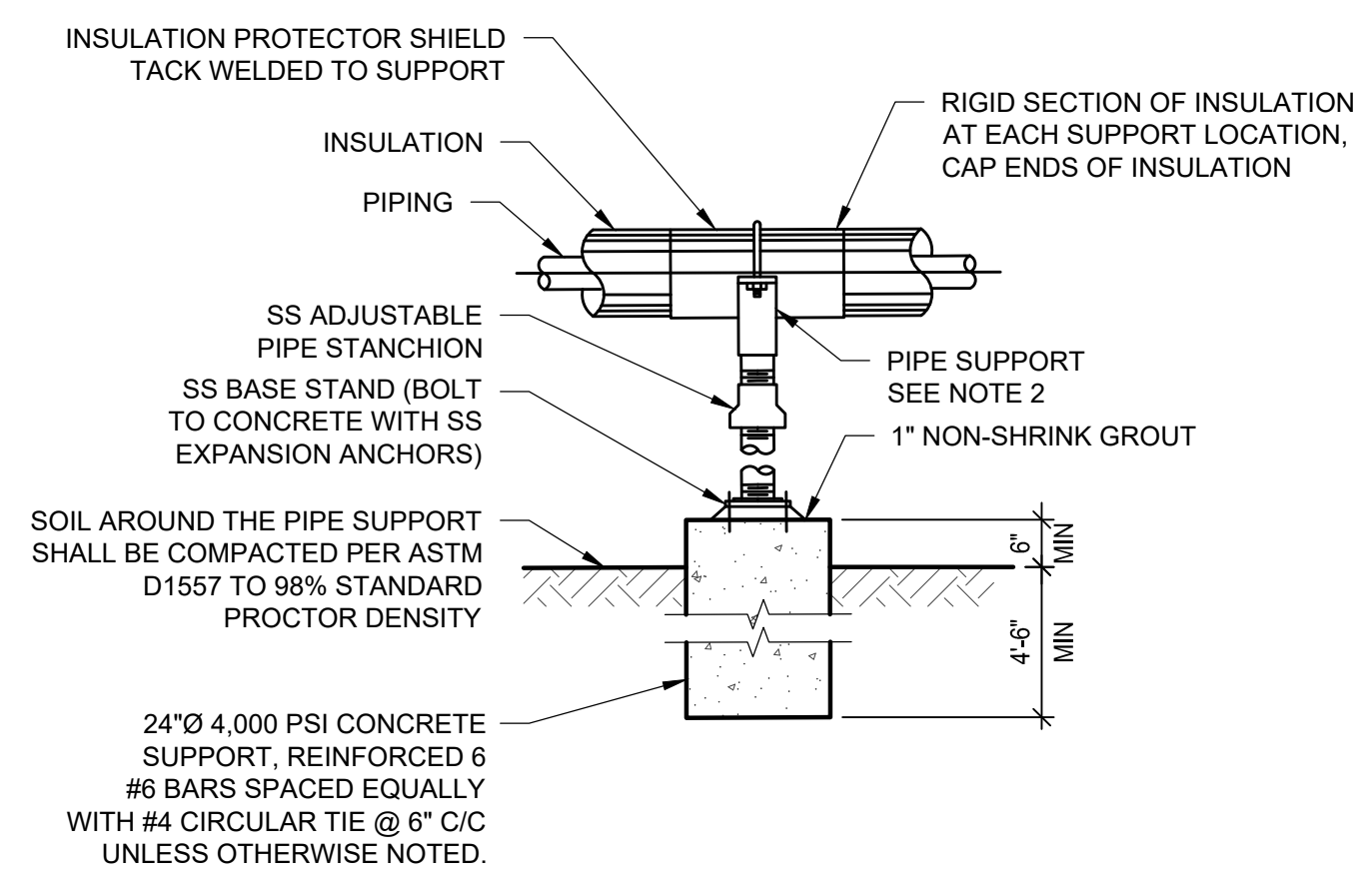
3 CONCRETE STRUCTURE PIPE PENETRATION DETAIL
C-8 SCALE: NOT TO SCALE

- PIPE PENETRATION NOTES:**
1. SIZE CORE HOLE IN CONCRETE STRUCTURE PER LINK SEAL MANUFACTURER'S RECOMMENDATIONS.
 2. LINK SEAL MATERIAL SHALL BE VITON.



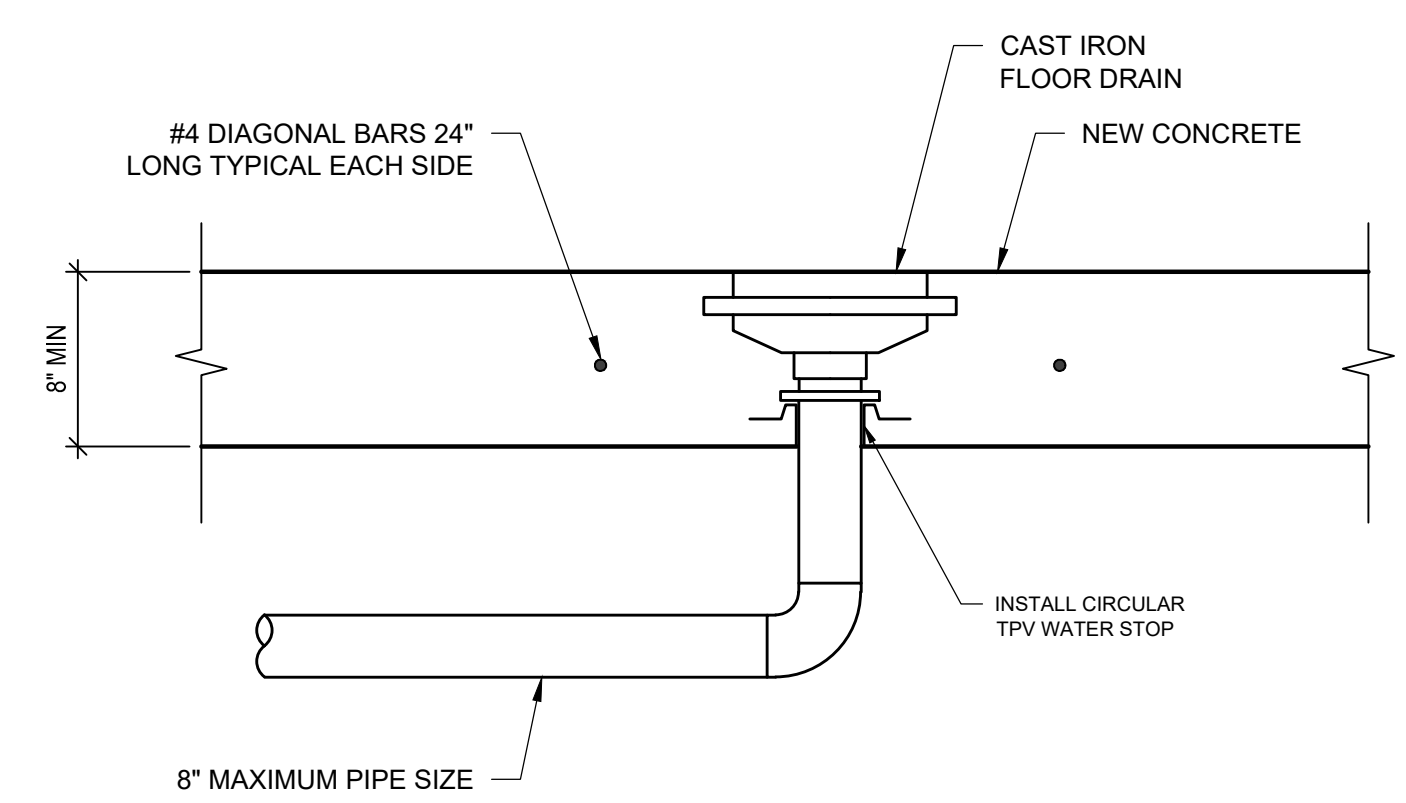
4 SURFACE MOUNT 6\"/>

- BOLLARD NOTES:**
1. PIPE BOLLARDS SHALL BE PAINTED SAFETY YELLOW PER THE SPECIFICATIONS.
 2. TOP FILL MATERIAL WILL VARY; NATIVE MATERIAL, SURFACE COURSE, PAVEMENT, ETC. REFERENCE PLAN SHEETS.



5 PIPE SUPPORT DETAIL
C-8 SCALE: NOT TO SCALE

- PIPE SUPPORT DETAIL NOTES:**
1. INSULATION IS DEPICTED BUT MAY NOT PERTAIN TO ALL APPLICATIONS.
 2. INSTALL UP STANDARD PIPE SUPPORT NU-BOLT AND I-ROD SYSTEM.
 3. ANCHOR SUPPORT TO FLOOR SLAB WHERE PRESENT



7 FLOOR DRAIN DETAIL
C-8 SCALE: NOT TO SCALE

- FLOOR DRAIN NOTES:**
1. FOR PIPE SIZES LARGER THAN 8\", SEE STRUCTURAL SHEET FOR FURTHER DETAILS.

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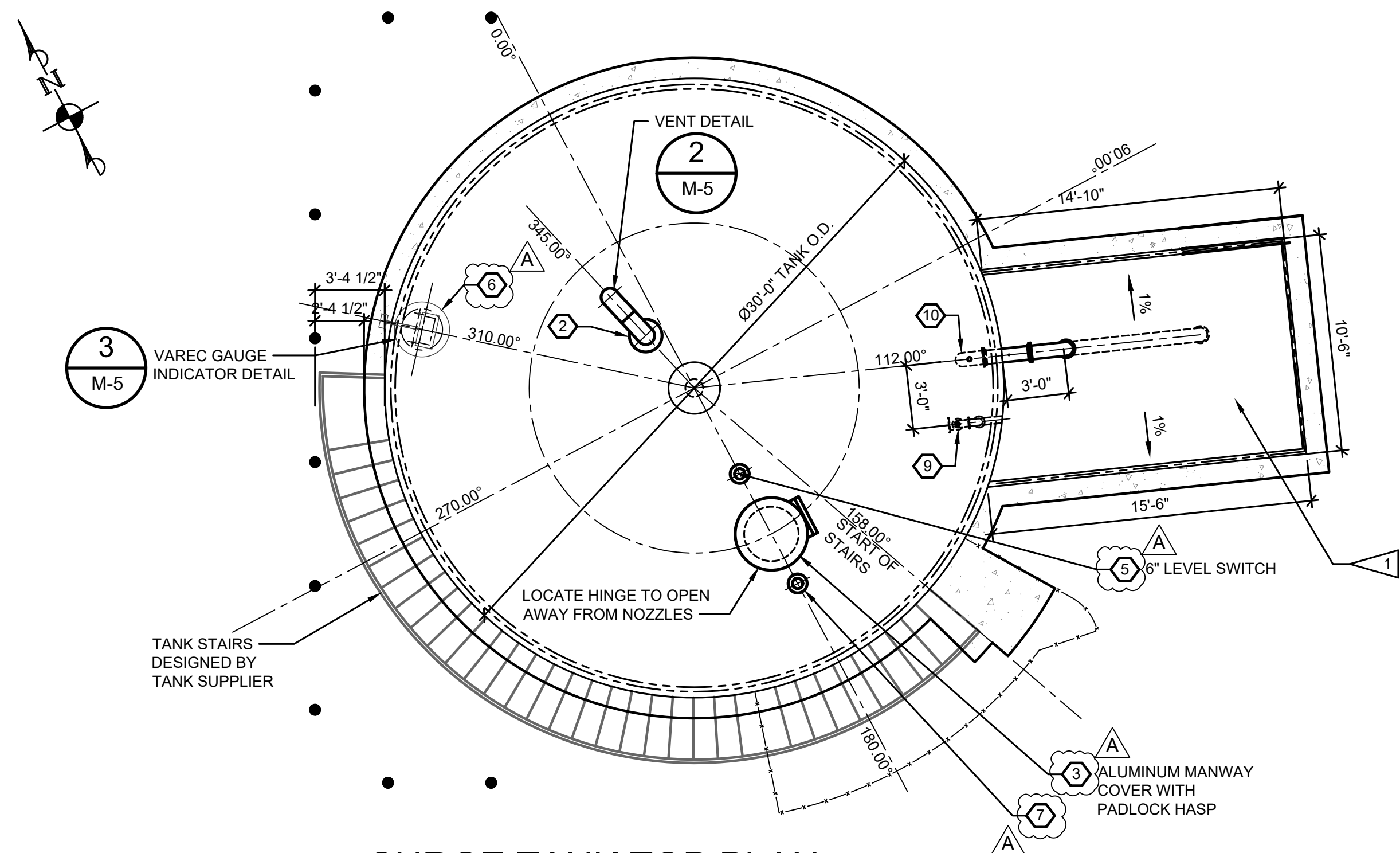
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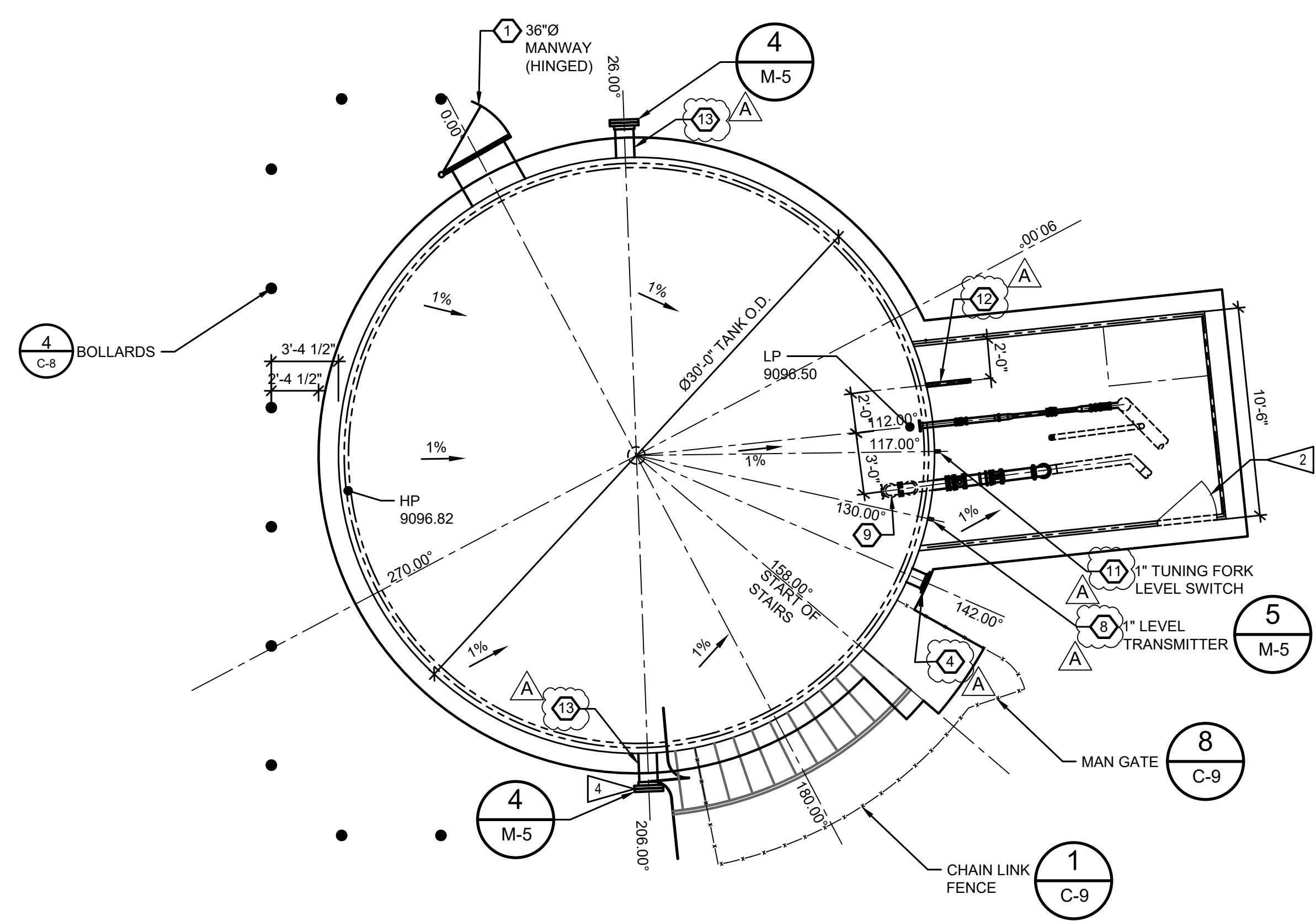


DWN BY: AKR	BUILDING AMERICA Assistant Vice President - Fuel & Environmental Mgmt
CHK BY: AJR	
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SHT NO.: C-8	SHT TITLE: CIVIL DETAILS

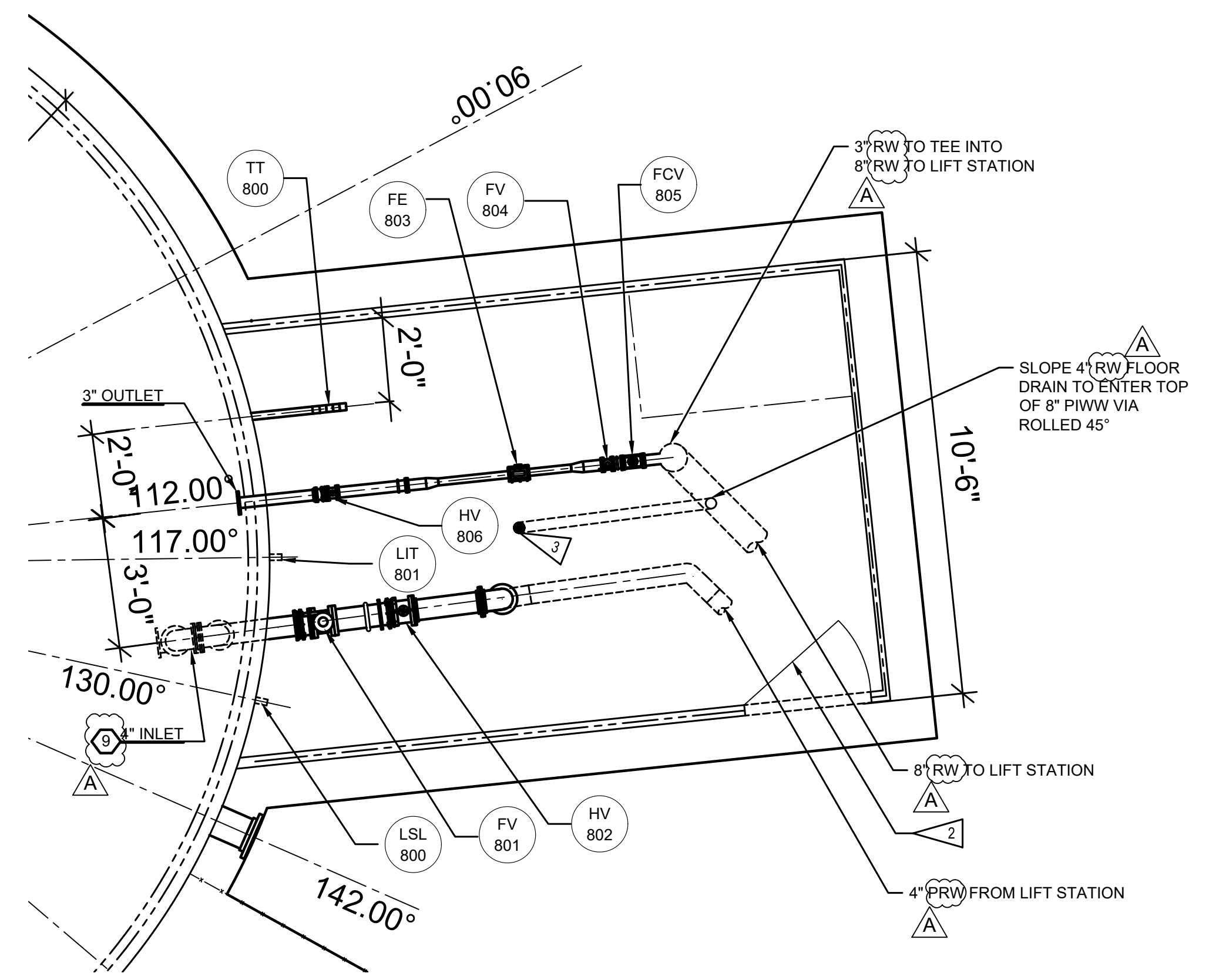
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 PLOT Date: 5/21/2024, 15:32, User: PAMINTJUD2076



SURGE TANK TOP PLAN
 SCALE: 3/16" = 1'-0"
 0 4' 12'



SURGE TANK BOTTOM PLAN
 SCALE: 3/16" = 1'-0"
 0 4' 12'



SURGE TANK SHED PLAN
 SCALE: 3/8" = 1'-0"
 0 2' 4'

SURGE TANK NOTES:

- SEE STRUCTURAL SHEETS FOR GENERAL NOTES, LOADING INFORMATION AND FURTHER DETAILS.
- CONTRACTOR SHALL SUBMIT TANK DESIGN DRAWINGS, CALCULATIONS AND SHOP DRAWINGS SIGNED AND SEALED BY LICENSED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF COLORADO.
- TANK MANUFACTURER SHALL BE RESPONSIBLE FOR THE PROPER ANCHORAGE OF TANKS TO THE FOUNDATION. THE TANK ANCHORAGE DESIGN CALCULATIONS AND SHOP DRAWINGS SHALL BE SUBMITTED BY THE TANK MANUFACTURER FOR APPROVAL.
- PLATFORM AND STAIR TO BE DESIGNED BY THE TANK MANUFACTURER. DESIGN CRITERIA: 40 PSF LIVE LOAD AND SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE. DESIGN SHALL ENCOMPASS ALL ASPECTS OF THE STAIR, PLATFORM, RAILINGS AND KNEE BRACE ATTACHMENT TO THE TANK WALL.
- SURGE TANK FOUNDATION DESIGN BASED ON PRELIMINARY TANK LOADS. CONTRACTOR SHALL PROVIDE COLORADO PE SIGNED AND SEALED TANK LOADS WITH CALCULATIONS FOR CONFIRMATION OF SURGE TANK FOUNDATION DESIGN PRIOR TO PROCEEDING WITH FOUNDATION WORK.
- USE A SPRAY-ON POLYUREA TO OVERLAP THE JOINTS.
- HEAT TRACE AND INSULATE ALL ABOVE GRADE PIPING AND DOWN TO 5'-0" B.G.S.
- NOT ALL PIPING AND VALVES SHOWN. REFER TO THE P&ID'S FOR PIPE SIZES AND VALVE TYPES OR OTHER ANCILLARY EQUIPMENT.
- PROVIDE AND INSTALL TANK INSULATION AND FLANGE HEATERS FOR FREEZE PROTECTION PER SPECIFICATIONS.

NOZZLE SCHEDULE			
NO.	SIZE	TYPE	SERVICE
1	36"	-	MANWAY
2	10"	150# RAISED FACE	VENT
3	36"	ALUMINUM COVER	MANWAY
4	8"	150# RAISED FACE	SPARE
5	6"	150# RAISED FACE	LEVEL SWITCH
6	24"	150# RAISED FACE	VAREC GAUGE
7	6"	150# RAISED FACE	SPARE
8	1"	150# RAISED FACE	LEVEL TRANSMITTER
9	4"	150# RAISED FACE	FILL FROM LIFT STATION
10	8"	150# RAISED FACE	OVERFLOW
11	1"	THREADED HALF CPLG	TUNING FORK LEVEL SWITCH
12	2"	150# RF	THERMOWEL
13	6"	150# RF	HEATER

GENERAL NOTES:

- TANK TO BE CONSTRUCTED PER SPECIFICATIONS. ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS SHOWN ARE NOMINAL. COORDINATE WITH TANK SUPPLIER FOR CONSTRUCTION.
- PROVIDE ALL APPURTENANCES, PIPING, INTERNALS, AND SURGE EQUIPMENT AS SHOWN.
- PROVIDE STANDARD AND EMERGENCY VENTING AS REQUIRED BY THE SPECIFICATIONS.
- PROVIDE PROTECTIVE COATING PER SPECIFICATIONS. FINAL COLOR TO BE DETERMINED BY OWNER, SUBMIT COLOR SAMPLE.
- SURGE TANK CAPACITY OF 100,000 GALLONS AT MAXIMUM FILL LEVEL OF 19'-0" (19'-0" A).
- NON-SLIP SURFACE SHALL BE PROVIDED ON TOP OF TANK.

CONSTRUCTION NOTES:

- PROVIDE WELDED SHED ATTACHMENT. SLOPE FLOOR AWAY FROM THE DOOR. SEE STRUCTURAL SHEET S-4 FOR MORE DETAILS.
- PROVIDE SWING DOOR. SEE STRUCTURAL SHEET S-4 FOR MORE DETAILS.
- INSTALL FLOOR DRAIN PER DETAIL 7 ON SHEET C-8. SLOPE FLOOR TO DRAIN TOWARDS THE 4" FLOOR DRAIN AT A MIN. 1%.
- PROVIDE WELDED SHIELD FOR HEATER TO PREVENT ICE/SNOW FALL FROM THE STAIRS.

NO.	DATE	REVISIONS
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0	05/07/24	ISSUED FOR BID

ARCADIS
 ARCADIS US, INC.
 630 PLAZA DRIVE, SUITE 200
 HIGHLANDS RANCH, CO 80129

PROFESSIONAL ENGINEER
 ROBERT T. HAGLER
 41327
 COLORADO LICENSED

IF THIS BAR DOESN'T MEASURE 1" THEN THIS DRAWING IS NOT TO SCALE

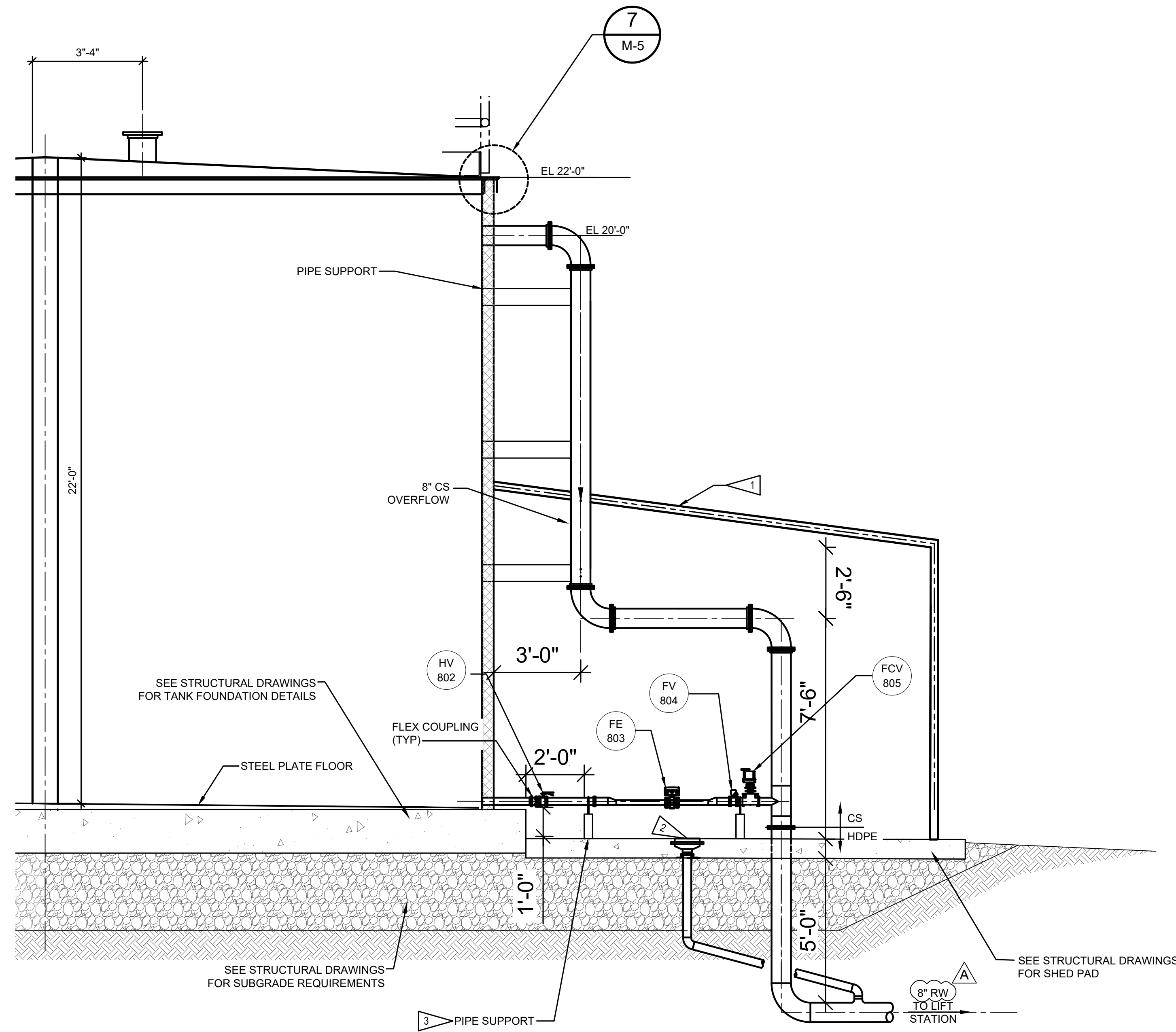
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DWN BY: AKR
 CHK BY: MBB
 DATE: 05/21/24
 SHT NO.: M-3

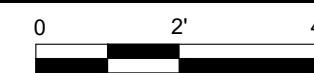
BUILDING AMERICA Assistant Vice President - Fuel & Environmental Mgmt
 LOCATION & DESCRIPTION
 MOFFAT TUNNEL WEST PORTAL, 100 PARSENN RD, WINTER PARK, CO
 INDUSTRIAL WASTEWATER TREATMENT PLANT IMPROVEMENTS
 SHT TITLE: GA - SURGE TANK

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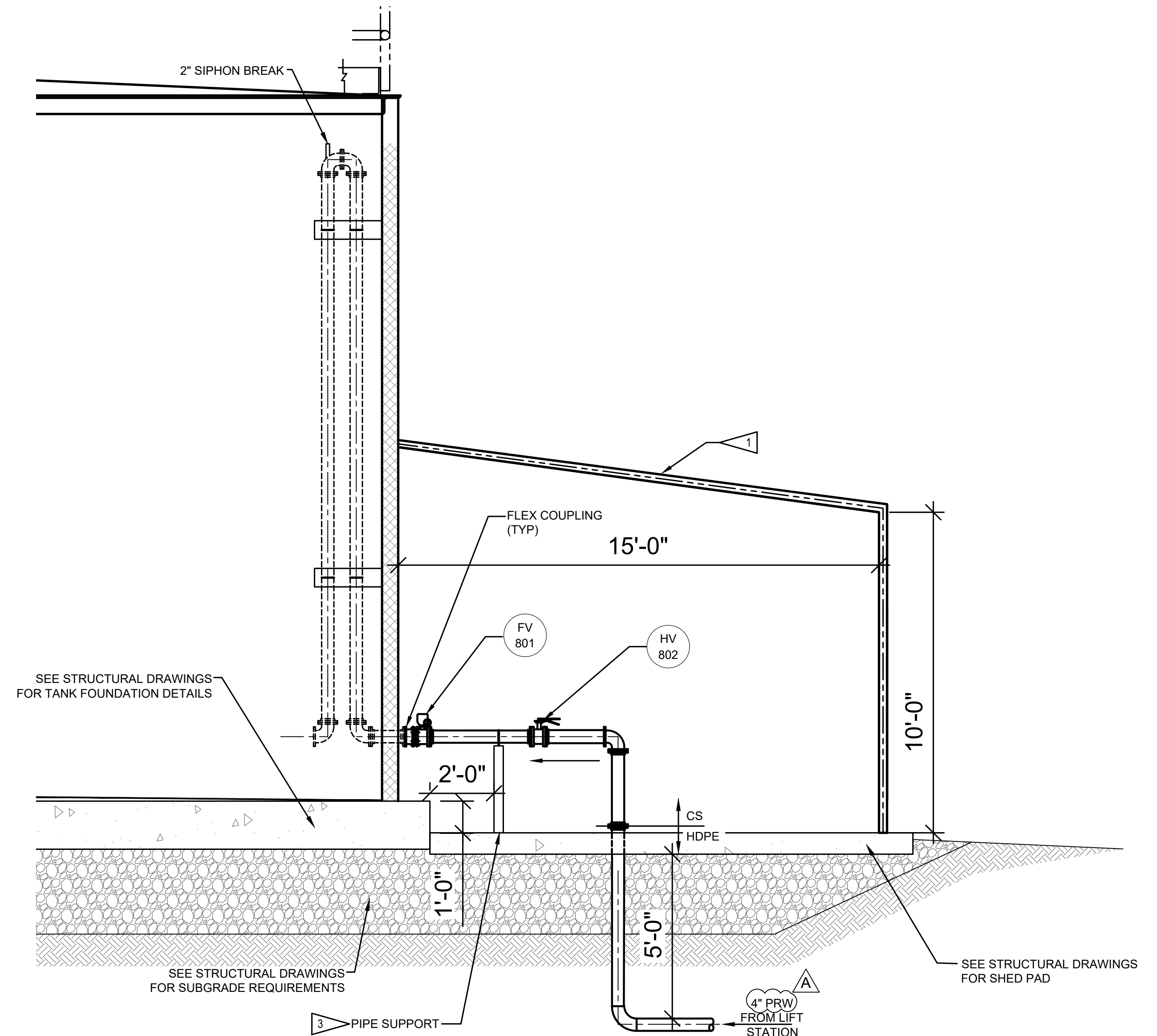
ELEVATION - OUTLET SECTION

SCALE: 3/8" = 1'-0"



NOTES:

1. SOME ITEMS ARE ROTATED AND SHOWN FOR CLARITY. SEE PLAN FOR PROPER NOZZLE ORIENTATION.
2. REFER TO CIVIL DRAWINGS FOR PIPE CONTINUATIONS.



ELEVATION - INLET SECTION

SCALE: 3/8" = 1'-0"



NOTES:

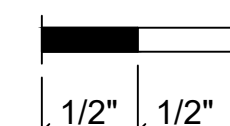
1. SOME ITEMS ARE ROTATED AND SHOWN FOR CLARITY. SEE PLAN FOR PROPER NOZZLE ORIENTATION.
2. REFER TO CIVIL DRAWINGS FOR PIPE CONTINUATIONS.

CONSTRUCTION NOTES:

1. PROVIDE WELDED SHED ATTACHMENT WITH EQUIVALENT INSULATION AS TANK. SLOPE ROOF AWAY FROM THE DOOR. SEE STRUCTURAL SHEET S-4 FOR MORE DETAILS.
2. INSTALL FLOOR DRAIN PER DETAIL 7 ON SHEET C-8. SLOPE SHED FLOOR A MINIMUM OF 1.0% TO DRAIN TOWARD THE FLOOR DRAIN.
3. INSTALL PIPE SUPPORT PER DETAIL 5 ON SHEET C-8.

NO.	DATE	REVISIONS
B	05/21/24	ISSUED FOR PERMITTING
A	05/17/24	ADDENDUM 1
0	05/07/24	ISSUED FOR BID




 IF THIS BAR DOESN'T MEASURE 1" THEN THIS DRAWING IS NOT TO SCALE

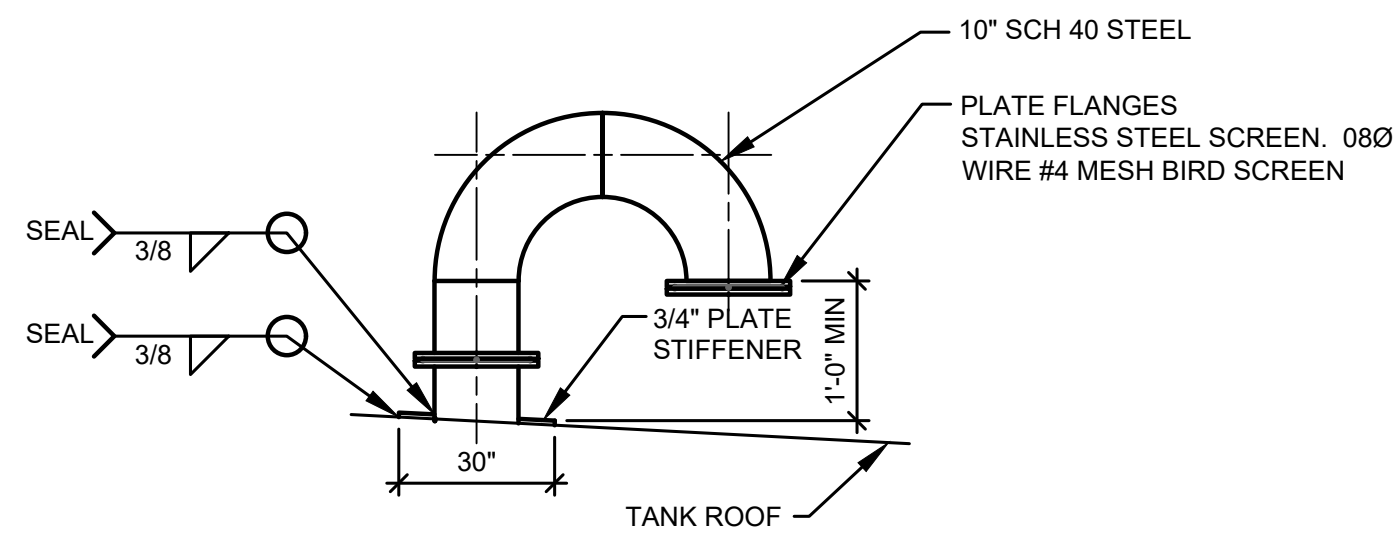
CALL BEFORE YOU DIG!

1-800-336-9193
 GENERAL DIG NUMBER FOR COLORADO
8-1-1
 COLORADO811.ORG

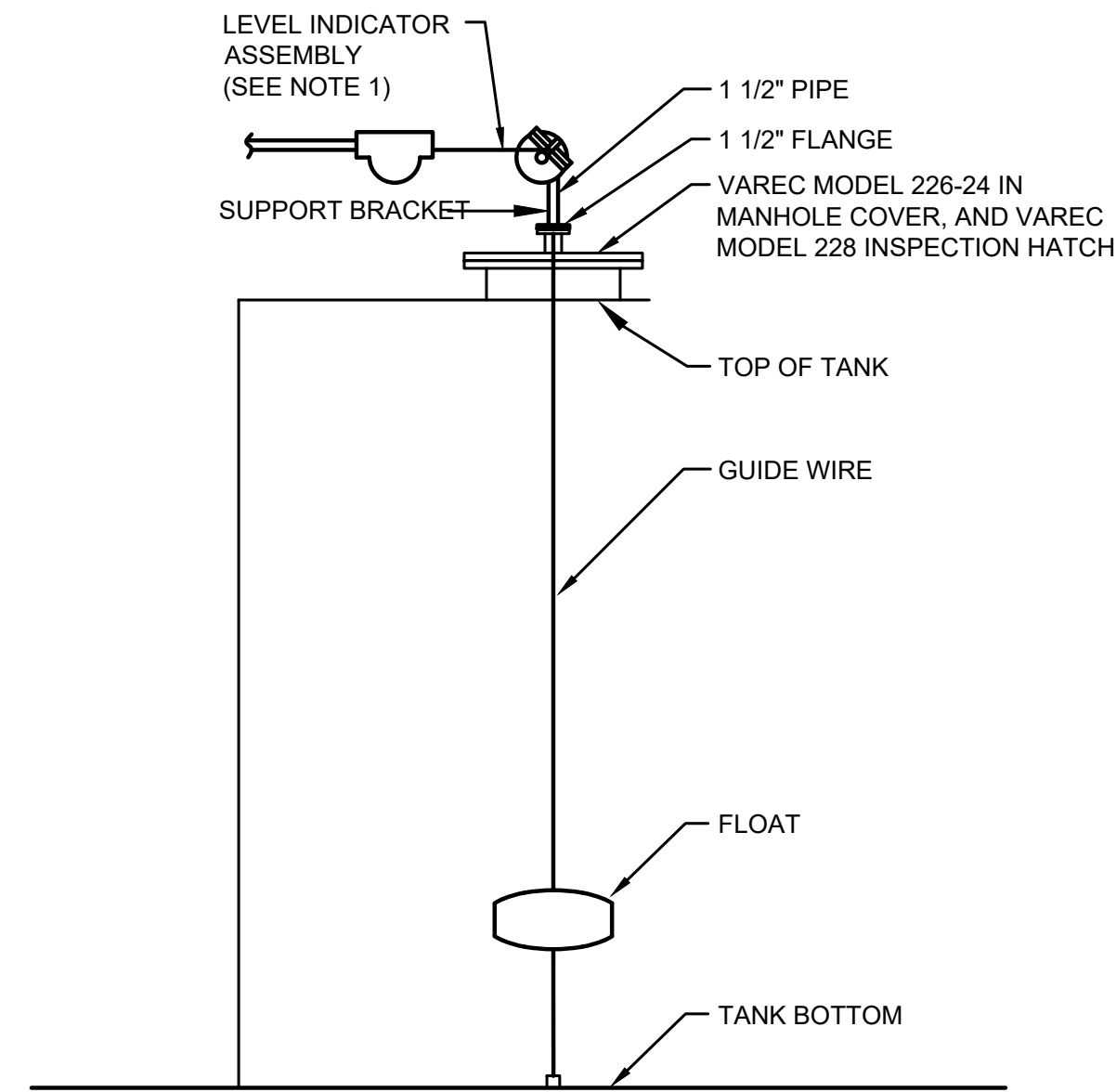


DWN BY:	AKR
CHK BY:	MBB
DATE:	05/21/24
SHT NO.:	M-4

BUILDING AMERICA <small>Office of Assistant Vice President - Fuel & Environmental Mgmt</small>	LOCATION & DESCRIPTION MOFFAT TUNNEL WEST PORTAL, 100 PARSENN RD, WINTER PARK, CO INDUSTRIAL WASTEWATER TREATMENT PLANT IMPROVEMENTS
	SHIT TITLE: GA - SURGE TANK SECTION

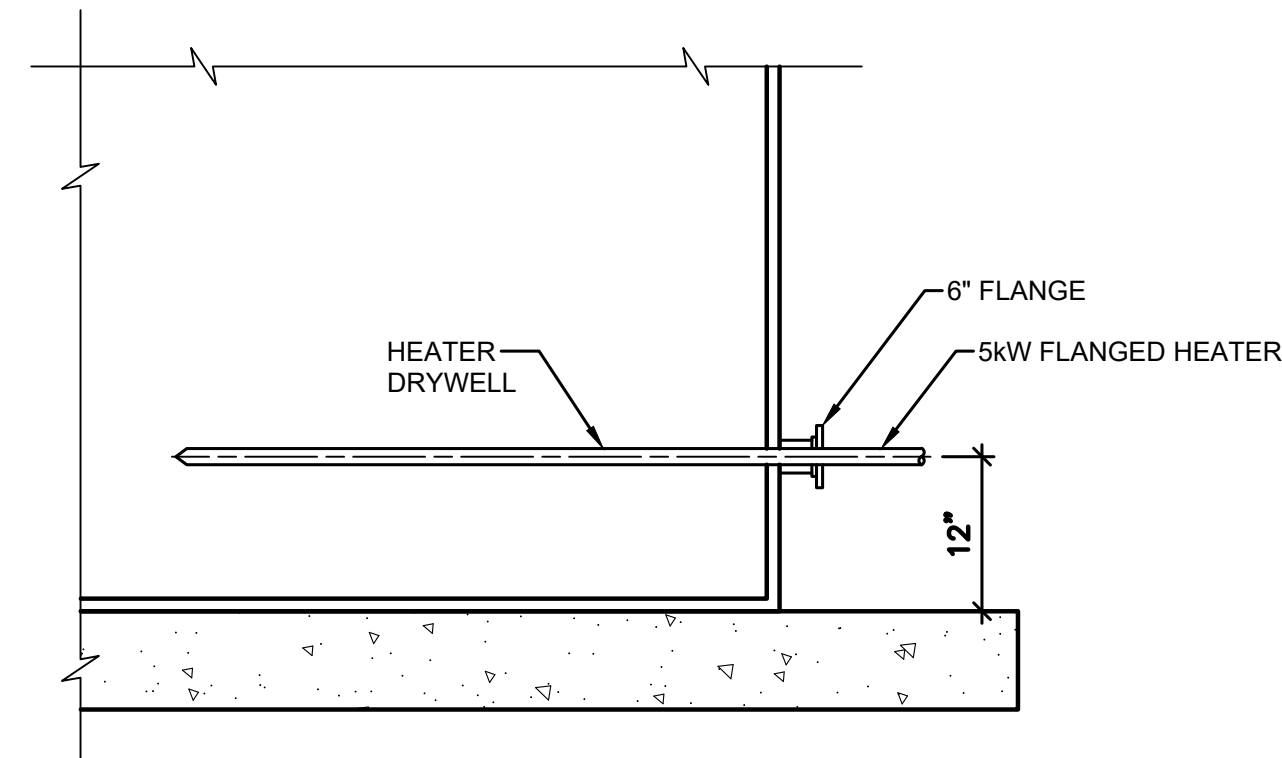


2 VENT DETAIL
M-5 NTS

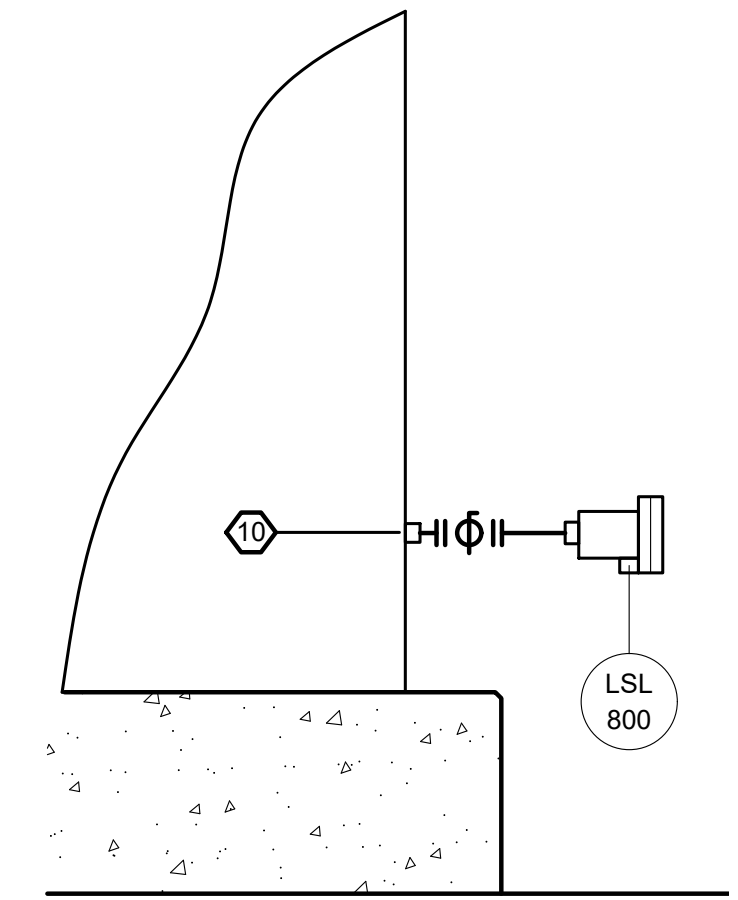


3 SIGHT LEVEL INDICATOR
M-5 NTS

NOTE:
1. CONTRACTOR SHALL PROVIDE VAREC MODEL 6700 STORYBOARD LEVEL GAUGE, SEE SPECIFICATION 33-56-13.
2. CONTRACTOR SHALL MOUNT STORYBOARD SUPPORTS @ 4 FT-0 IN OC USING LOCKNUTS, SEE SPECIFICATION 33-56-13.

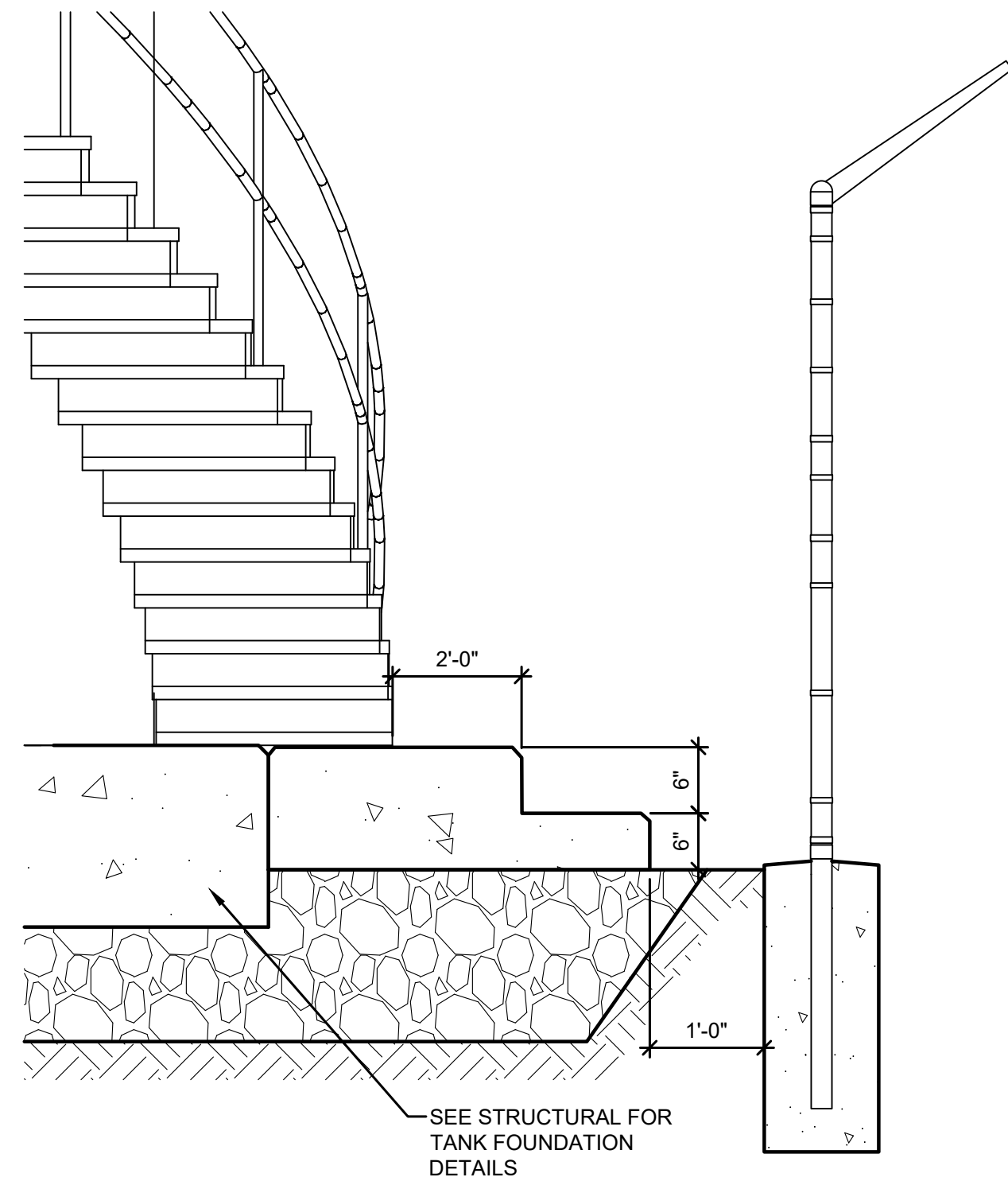


4 FLANGE HEATER DETAIL
M-5 NTS



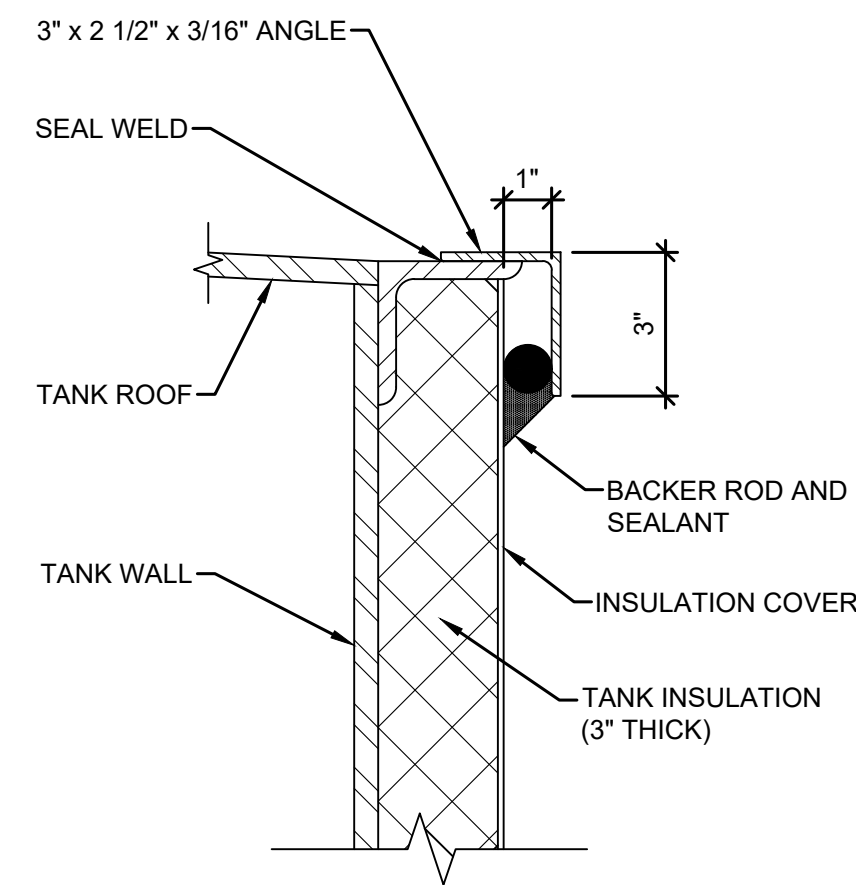
5 TANK LEVEL TRANSMITTER DETAIL
M-5 NTS

NOTE:
1. DO NOT INSTALL FORK LEVEL SWITCH NEAR SUBSTANCE INLET. CONDUIT FACES DOWNWARD AT INSTALLATION.
2. INSTALL SWITCH PORT TO PROVIDE LOWEST POSSIBLE CLEARANCE FOR VALVE AND SWITCH.



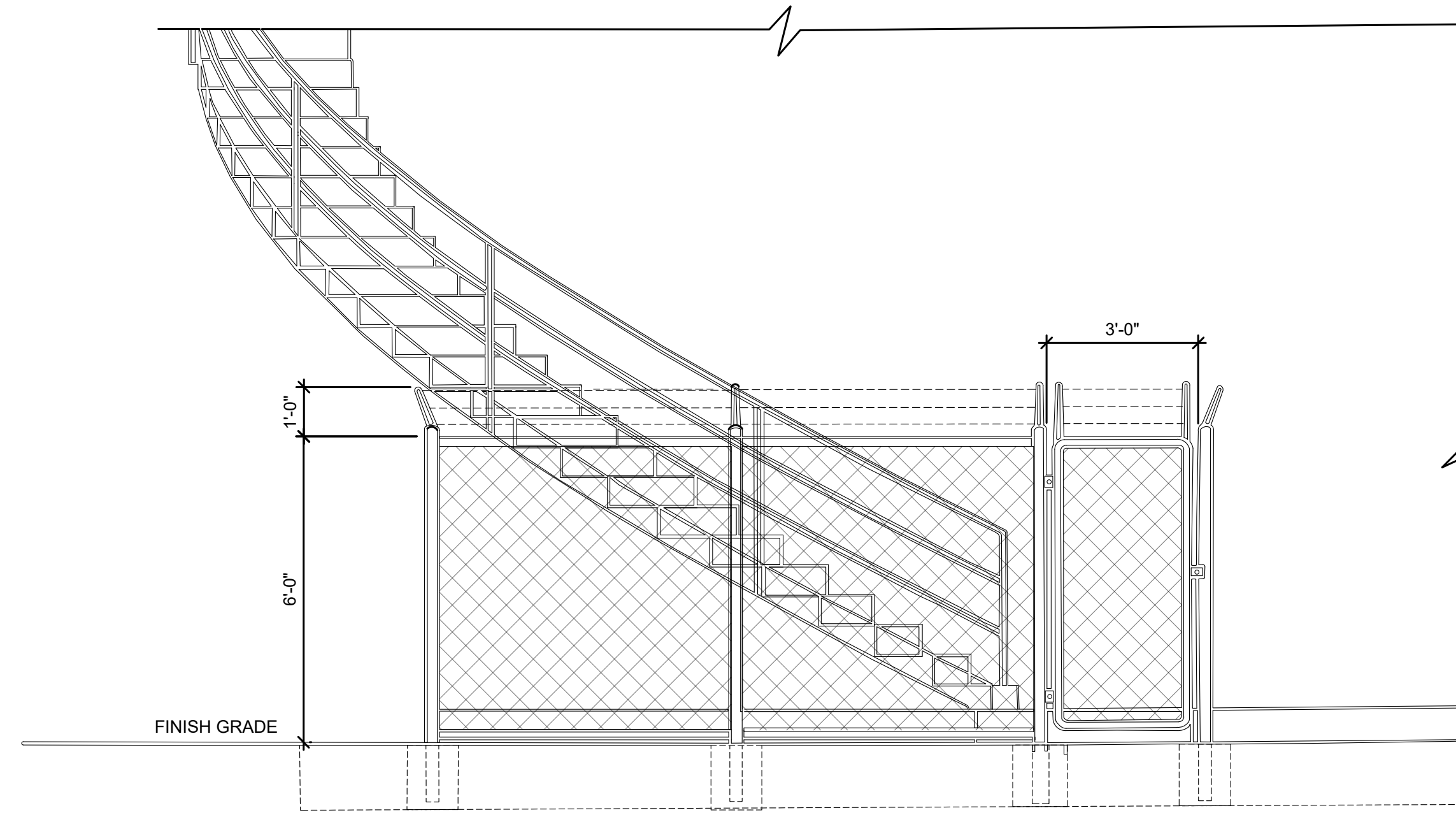
A SECTION - WALKWAY
M-5 NTS

NOTE:
1. PLATFORM AND STAIR TO BE DESIGNED BY THE TANK MANUFACTURER, DESIGN CRITERIA: 40 PSF LIVE LOAD AND SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE. DESIGN SHALL ENCOMPASS ALL ASPECTS OF THE STAIR, PLATFORM, RAILINGS AND KNEE BRACE ATTACHMENT TO THE WALL.



7 TANK RIM DETAILS
M-5 NTS

NOTE:
SUGGESTED CONFIGURATION SHOWN. TANK SUPPLIER TO DESIGN FOR A WATERPROOF COVER TO PREVENT WATER FROM THE TANK ROOF FROM WETTING THE INSULATION. A CONTINUOUS WELD MUST BE UTILIZED AT THE TOP EDGE.



8 PARTIAL ELEVATION - FENCE AND STAIR SECTION
M-5 NTS

File: C:\USERS\ARODRIGUEZ\ONE DRIVE - ARCADIS\SUPEEZ2 - WINTER PARK WTP\10-ENG\DESIGN\10-08-PROJECT\DWG\CAD\MECHANICAL\M-5.DWG
Plot Date: 5/21/2024, 15:32, User: GOR7338

NO.	DATE	REVISIONS
B	05/21/24	ISSUED FOR PERMITTING
A	05/17/24	ADDENDUM 1
0	05/07/24	ISSUED FOR BID



1/2" 1/2"
IF THIS BAR DOESN'T MEASURE 1" THEN THIS DRAWING IS NOT TO SCALE

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DWN BY: AKR
CHK BY: MBB
DATE: 05/21/24
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BUILDING AMERICA Assistant Vice President - Fuel & Environmental Mgmt
LOCATION & DESCRIPTION
MOFFAT TUNNEL WEST PORTAL, 100 PARSENN RD, WINTER PARK, CO INDUSTRIAL WASTEWATER TREATMENT PLANT IMPROVEMENTS
SHT TITLE: GA - SURGE TANK