



**TOWN OF WINTER PARK
PLANNING COMMISSION
Tuesday, June 25, 2024 8:00 AM**

A G E N D A

I. Call to Order

II. Roll Call of Commission Members

III. Public Comment

This time is reserved for anyone from the public to speak about items not on the agenda. The Planning Commission is not prepared to decide on matters brought up during this time, but if warranted, will place them on a future agenda.

IV. Conflict of Interest

V. Consent Agenda:

- a. Minutes – June 11, 2024
- b. Minor Site Plan – Lot 68, Leland Creek Subdivision – 319 Leland Creek Circle (PLN24-054)

VI. General Business:

VII. Director's Report:

This time is reserved for specific items from staff requiring Commission direction and for relaying important information to the Commission.

VIII. Planning Commission Items of Discussion

This time is reserved for Commission discussion items that are not listed on the agenda.

Online Meeting Login Instructions – See next page

Computer Login Instructions

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/81725744995?pwd=RnVOb2hpVmN1SXBydzFBZEc3NGhGZz09>

Passcode: 113389

Phone Login Instructions

Dial In Numbers (for higher quality, dial a number based on your current location):

- +1 719 359 4580 US
- +1 253 205 0468 US
- +1 253 215 8782 US (Tacoma)
- +1 346 248 7799 US (Houston)
- +1 669 444 9171 US
- +1 669 900 6833 US (San Jose)
- +1 564 217 2000 US
- +1 646 931 3860 US
- +1 689 278 1000 US
- +1 929 436 2866 US (New York)
- +1 301 715 8592 US (Washington DC)
- +1 305 224 1968 US
- +1 309 205 3325 US
- +1 312 626 6799 US (Chicago)
- +1 360 209 5623 US
- +1 386 347 5053 US
- +1 507 473 4847 US

Webinar ID: 817 2574 4995

Passcode: 113389

International numbers available: <https://us02web.zoom.us/j/kdr9la1HH0>

You can log into the Zoom meeting through the link above to view what is projected on the screen. You can use either your computer audio or the number above. Everyone will be muted upon entry into the meeting to ensure that we have manageable background noise and limited interruptions.

Public Hearing Process

If you would like to participate in the public hearing, please follow these instructions so we can make sure everyone that wants to speak has the opportunity. When you log into Zoom you will be automatically muted to limit background noise. When the public hearing is opened for public comment, please use the “raise your hand” feature and staff will unmute citizens in the order they were received. To enable “raise your hand” feature, click on the “Participants” button the bottom of the screen.



**TOWN OF WINTER PARK
PLANNING COMMISSION
Tuesday, June 11, 2024 8:00 AM**

MINUTES

DATE: Tuesday, June 11, 2024

MEETING: Winter Park Planning Commission

PLACE: Town Hall Council Chambers and Zoom Meeting Call

PRESENT: Chair Dave Barker, Vice Chair Brad Holzwarth, Commissioners Doug Robbins, Chris Tagseth, Thomas McDonald, Angela McDonough and Roger Kish are present. Also present is Community Development Director James Shockey.

OTHERS

PRESENT: None.

I. Call to Order

Chair Barker calls the meeting to order at 8:02 a.m.

II. Roll Call of Commission Members

All Commissioners are present today.

III. Public Comment

No comments received.

IV. Conflict of Interest

No one comes forward.

V. Consent Agenda:

- a. Minutes – May 28, 2024

Vice Chair Holzwarth moves and Commissioner McDonough seconds the motion. Motion carries 7,0.

VI. General Business:

- a. Minor Site Plan – Lots 1-5, Block 9, Roam Filing 1 – 4, 12, 30, 36, 42 Ramble Lane (PLN24-040)

Director Shockey presents the Staff Report to the Commission. Staff recommends approval of this Minor Site Plan with 16 conditions.

The Commissioners and Director Shockey discuss condition number 8 regarding the setback line and overhangs. The Minor Site Plan needs to be reviewed cautiously to avoid possible encroachments. Later, there is a brief conversation about the IDA-approved lighting fixtures and their compliance in terms of lumens, location and dark-sky compliance.

The applicant, Mr. Fred Cook, comes forward. Mr. Cooke is the developer of this project. He provides the Commission with a description of the lighting fixtures and their locations. He will provide more details about these items to staff.

Vice Chair Holzwarth moves and Commissioner Robbins seconds the motion approving the Minor Site Plan – Lots 1-5, Block 9, Roam Filing 1 – 4, 12, 30, 36, 42 Ramble Lane (PLN24-040) with Staff recommendations (16). Motion carries 7,0.

- b. Minor Site Plan - UPPR Moffat Tunnel West Portal Industrial Treatment Plant Improvements Project (PLN24-042)

Director Shockey presents the Staff Report to the Commission. Staff recommends approval of this Minor Site Plan with three (3) conditions.

The applicant is not present.

Commissioner Tagseth moves and Commissioner McDonald seconds the motion Minor Site Plan - UPPR Moffat Tunnel West Portal Industrial Treatment Plant Improvements Project (PLN24-042) with Staff recommendations (3). Motion carries 7,0.

VII. Director's Report:

Director Shockey gives an update to the Commissioners about the hiring process for the Senior Planner position. Mr. Brian Kelly will start working in his position on July 1st, 2024. The position for Town Planner I is still open.

The Commissioners and Director Shockey discuss ILC requirements and the process that the Planning Division takes to ensure compliance.

Chair Barker asks about the progress for the Downtown Streetscape. Director Shockey informs them that the discussion has been put on hold by Council for the foreseeable future.

Chair Barker mentions that the Town Facebook page had a typo regarding the upcoming Planning Commission meetings.

Director Shockey states there are no updates about the door color for one of the dispensaries in the Town.

There is a brief conversation about Commissioners terms and those that are up for reappointment.

Commissioners discuss abandoned structures and their safety. Director Shockey will do some research and provide the Commission with his findings. The Commissioners state that some criteria needs to be established in order to be as fair as possible when dealing with these type of properties that are considered abandoned.

VIII. Planning Commission Items of Discussion

There are no items to discuss.

There being no further business to discuss, upon a motion regularly adopted, the meeting was adjourned at 9:01 a.m.

The next scheduled meeting of the Planning Commission will be Tuesday, June 25, 2024, at 8:00 a.m.

Irene Kilburn, Planning and Building Technician II



MEMO

TO Planning Commission
FROM James Shockey, Community Development Director
DATE June 25, 2024
RE Minor Site Plan – 319 Leland Creek Circle, Lot 68 Leland Creek Subdivision

Property Owner: Andrew Shwarz

Applicant: Conrad Line on behalf of Never Summer Construction

Location: Lots 68, Leland Creek Subdivision (the “Property”)

Architects: Single-Track Design

Zoning:
R-1 - Single-Family Residential Zone District

Authority:
Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Planning Commission considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park Minor Site Plan approval is required before building permit issuance.

Variances:
No Board of Adjustment (BOA) variance requests are included with the application.

Architecture:
Adding a second story above the existing garage for additional living space. Decks are proposed on the rear of the garage and on the second story addition.

Title Commitment:
Satisfactory.

Homeowner’s Association Review:
Satisfactory. The Leland Creek Design Review Committee has provided a letter stating its approval of the plans.

Material and Color:
Satisfactory. The addition will match the existing exterior finishes.

Outdoor Lighting:
Unsatisfactory. The outdoor lighting tabulation was not completed nor were lighting specifications submitted in conformance with UDC, § 3-K. This is considered a Major Renvotation per the UDC and therefore all lighting fixtures on the structure shall be brought into conformance with the UDC. The lot

shall not exceed 5,100 lumens, each fixture shall not exceed 850 lumens, the CCT shall be less than 3,000K and each fixture shall be IDA approved. Photometric plans are not required for single-family homes.

- The Applicant shall complete the Outdoor Lighting Tabulation sheet for every proposed and existing fixture on the structure. Applicant shall also provide a lighting specification sheet showing an approved fixture with an IDA stamp.

	Fixture Name	Proposed # of Fixtures	Proposed Lumens per Fixture	Proposed CCT

Accessory Dwelling Unit (ADU):

N/A, not proposed.

Site Plan:

Satisfactory.

Floorplans:

Satisfactory.

Building Elevations:

Satisfactory.

Setbacks:

Satisfactory.

Building Coverage:

Satisfactory.

Building Height:

Satisfactory. Maximum height is approximately 29'9" and the maximum permitted midpoint building height is 35'.

Parking:

Satisfactory.

Landscaping:

Satisfactory. The property is already landscaped.

Snow Storage:

NA

Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:

NA

Driveway:

NA

Utility Review:

N/A

Staging Area:

Satisfactory.

Inspection:

Building Division staff have not performed a Pre-Disturbance inspection of the property.

- No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Staff Recommendation:

Staff approves the Minor Site Plan with the following conditions:

1. The Applicant shall complete the Outdoor Lighting Tabulation sheet for every proposed and existing fixture on the structure. Applicant shall also provide a lighting specification sheet showing an approved fixture with an IDA stamp.
2. No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Required Permits:

- ✓ Building Permit
- ✓ SFD/Duplex Deposit Agreement



DESIGN REVIEW COMMITTEE

PERMIT TO PROCEED

DATE: 05/29/2024

Lot: 68 - 319 Leland Creek Circle

Owner: Schwarz, Andrew

Builder: NeverSummer Construction - Conrad Line

Comments:

The final plan submitted on May 14, 2024 is approved as submitted with the notation

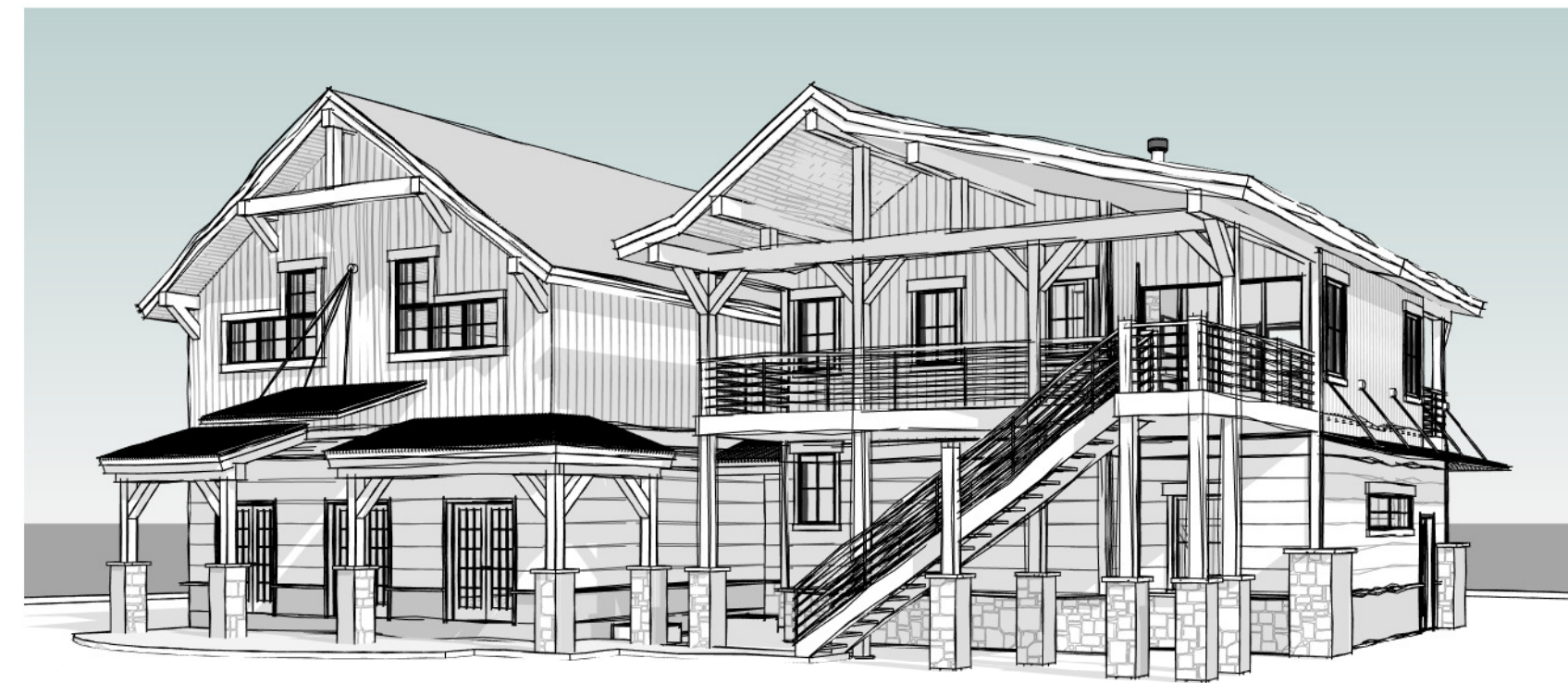
that all exterior finishes match the existing exterior finishes so the addition is seamless,
including the wood aluminum clad windows exterior color, style and SDL patterns.

Plan set dated: 05/02/2024

Approved by Clark Lipscomb



SINGLE-TRACK DESIGN
 LLC
 JOHN BRAMMER
 GNRIDIN@GMAIL.COM
 (970) 531-1480



3 REAR VIEW

ADDITION MATERIALS:
 ALL MATERIALS, COLORS, FINISHES, TRIMS, AND ACCENTS TO MATCH EXISTING HOME.
 ALL WINDOWS, DOORS, SOFFIT, FASCIA, AND LIGHTING TO MATCH EXISTING HOME.
 NO CHANGES TO EXISTING GRADING.



2 FRONT VIEW

EXISTING HOME AT 319 LELAND CREEK CIR. WINTER PARK, CO



BUILDING NOTES

SCOPE OF PROJECT:

A NEW SECOND FLOOR ADDITION, DECKS AND IMPROVEMENTS, OVER AN EXISTING ATTACHED GARAGE AT:
 319 Leland Creek Circle, Leland Creek Sub. Lot 68
 Winter Park Co 80482, Grand County

1. SINGLE FAMILY RESIDENTIAL R-3
2. CLIMATE ZONE 7
3. APPLICABLE BUILDING CODES:
 2021 INTERNATIONAL RESIDENTIAL CODE, IRC
 2021 INTERNATIONAL BUILDING CODE, IBC
 2021 INTERNATIONAL PLUMBING CODE, IPC
 2021 INTERNATIONAL MECHANICAL CODE, IMC
 2021 INTERNATIONAL FUEL GAS CODE, IFGC
 2021 INTERNATIONAL FIRE CODE, INCLUDING ALL APPENDICES, IFC
 2021 INTERNATIONAL ENERGY CONSERVATION CODE, IEC
 2020 NATIONAL ELECTRIC CODE, NEC
 ~AND ALL LOCAL COUNTY AMENDMENTS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL CODES ARE MET OR EXCEEDED AND THAT ALL BEST INSTALLATION PRACTICES ARE FOLLOWED.

4. SQUARE FOOTAGE:
 617 SF LIVING SPACE
 105 SF STAIR WELL
 BALCONY 85 SF
 BACK DECK 299 SF
5. SNOW LOAD:
 DESIGN GROUND SNOW LOAD (CO SEAC)
 100 PSF, WITH NO REDUCTION FOR SLOPE OR DURATION.
6. WIND LOAD:
 90 MPH, 3 SECOND GUST, EXP. B, RISK CAT. II
7. LIVE LOADS:
 FLOOR, 40 PSF
 COVERED DECKS, 60 PSF
8. FROST DEPTH, 30"
9. BUILDING SET BACKS:
 FRONT 25'
 BACK 20'
 SIDES 10'
10. BUILDING HEIGHT AT ADDITION ROOF: 31'-11"
 AVG. BUILDING HEIGHT TOTAL: 25'-11 9/16"

11. HEATING:
 RADIANT IN FLOOR HEAT, HIGH EFFICIENCY NATURAL GAS BOILER TO MEET OR EXCEED ESTIMATED HEATING REQUIREMENTS, PER HEATING AND PLUMBING CONTRACTOR.
 ADEQUATE VENTING OF COMBUSTION GASSES PER HEATING AND PLUMBING CONTRACTOR.
 HVAC CONTRACTOR TO EVALUATE EXISTING BOILER'S CAPACITY AND SUITABILITY TO NEW ADDITION LOADS.

12. VERIFY ALL MEASUREMENTS IN FIELD, INCL. UTILITY LOCATIONS AND SITE CONDITIONS.

13. PROVIDE 6MIL. VAPOR BARRIER BELOW FOUND. SLAB

14. BEST INSULATION PRACTICES TO BE FOLLOWED PER CONTRACTOR.
 PRESCRIPTIVE ENERGY TABLE IS FOR THE MINIMUM R-VALUE REQUIRED TO MEET CODE. IF A HIGHER R VALUE AND TIGHTER THERMAL ENVELOPE CAN BE ACHIEVED, IT IS RECOMMENDED TO DO SO.

15. "TYVEK" OR SIMILAR MOISTURE BARRIER AT EXT. SHEATHING.

16. FINISHED GRADE: POSITIVE DRAINAGE AWAY FROM STRUCTURE. MIN. 6":10' SLOPE, MIN. 10' OUT FROM FOUND.

17. CONCRETE CLEAN OUT LOCATION PER CONTRACTOR PRIOR TO CONSTRUCTION START.

18. ALL UTILITIES, ELECTRICAL, AND TELEPHONE TO BE UNDERGROUND.

19. ALL GUARD RAILINGS TO BE MIN. 36" TO TOP OF RAILING. WITH NO OPENING LARGER THAN 4"

20. SMOKE ALARMS REQUIRED IN EACH BEDROOM, OUTSIDE IN THE IMMEDIATE VICINITY, AND ON EACH LEVEL OF THE HOUSE.

21. CO DETECTORS ARE REQUIRED OUTSIDE EACH BEDROOM WITHIN 15' OF THE ENTRY.

22. GARAGE WALL AND CEILING SEPARATING LIVING AREAS TO BE MIN. 1/2" GWB, TYPE "X".

23. EXTERIOR LIGHTING TO BE "DARK SKY" COMPLIANT AND ONLY AS NECESSARY AT ENTRYWAYS AND WALKWAYS.

24. WATER MITIGATION PER CONTRACTOR. INCLUDING ALL FLASHING, GUTTERS, DOWNSPOUTS AND DRAINAGE.

25. REVEGETATION OF DISTURBED AREAS UPON CONSTRUCTION COMPLETION, IN NATIVE VEGETATION.

26. BEAR PROOF TRASH RECEPTACLES RECOMMENDED.

27. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL CODES AND BEST QUALITY CONSTRUCTION PRACTICES ARE FOLLOWED.

28. CONTACTS:

HOME OWNER:
 ANDREW SCHWARZ
 aschwarz1122@gmail.com
 (214) 542-4515

CONTRACTOR:
 NEVER SUMMER CONSTRUCTION
 CONRAD LINE
 (419) 209-4803
 cline@nfc-construction.com
 www.neversummerconstruct.com

ENGINEERING:
 JASON M. NEAL, M. ENG., P.E.
 (719) 764-7352
 INFO@MICHAELENGINEERINGPLLC.COM
 J MICHAEL ENGINEERING, LLC
 CO. LIC. NO. 58988

DESIGN/ DRAFTING:
 JOHN BRAMMER, SINGLE-TRACK DESIGN LLC.
 (970) 531-1480
 GNRIDIN@GMAIL.COM
 PO BOX 659, TABERNASH, CO 80478
 WP BUSINESS LICENCE # 4534
 GRAND COUNTY REG. # CR18-0069

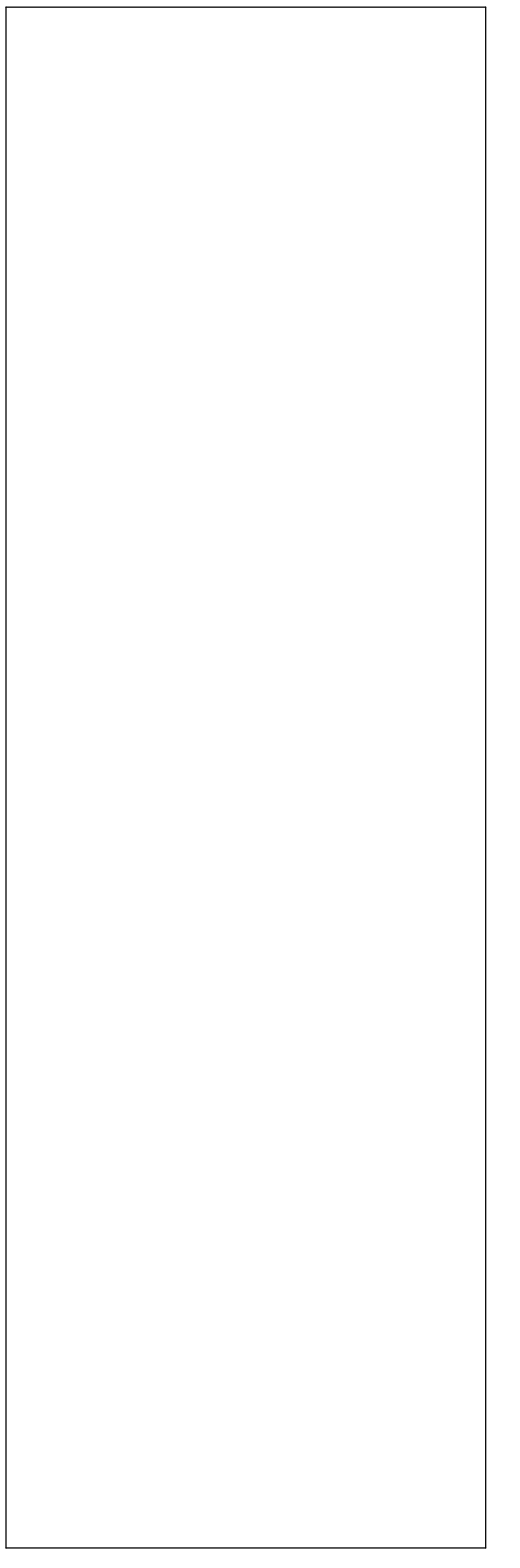
PRESCRIPTIVE ENERGY COMPLIANCE PATH WITH MINIMUM INSULATION VALUES PROVIDED THROUGHOUT FOR ZONE 7, 2021 BUILDING CODES

TYPICAL MINIMUM INSULATION:

EXT. FRAMED WALLS	R-25
BASEMENT WALLS CONTINUOUS	R-20
FRAMED BASEMENT	R-20
CEILINGS/ROOF	R-60
SLAB ON GRADE	R-15
MAX. U-VALUE WINDOWS	.30
FLOORS	R-38

SCHWARZ ADDITION

319 Leland Creek Circle, Leland Creek Sub. Lot 68
 Winter Park Co 80482, Grand County



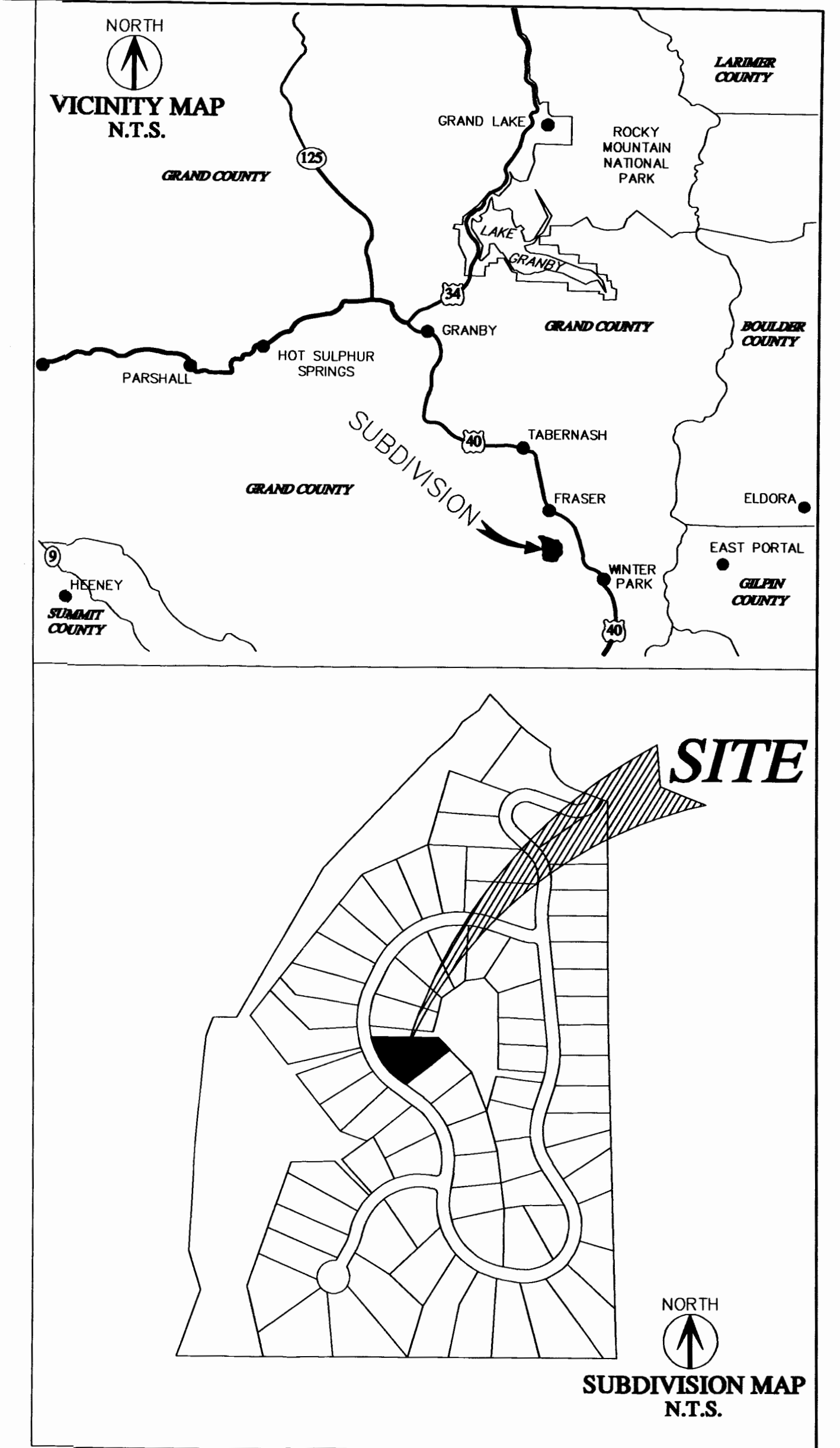
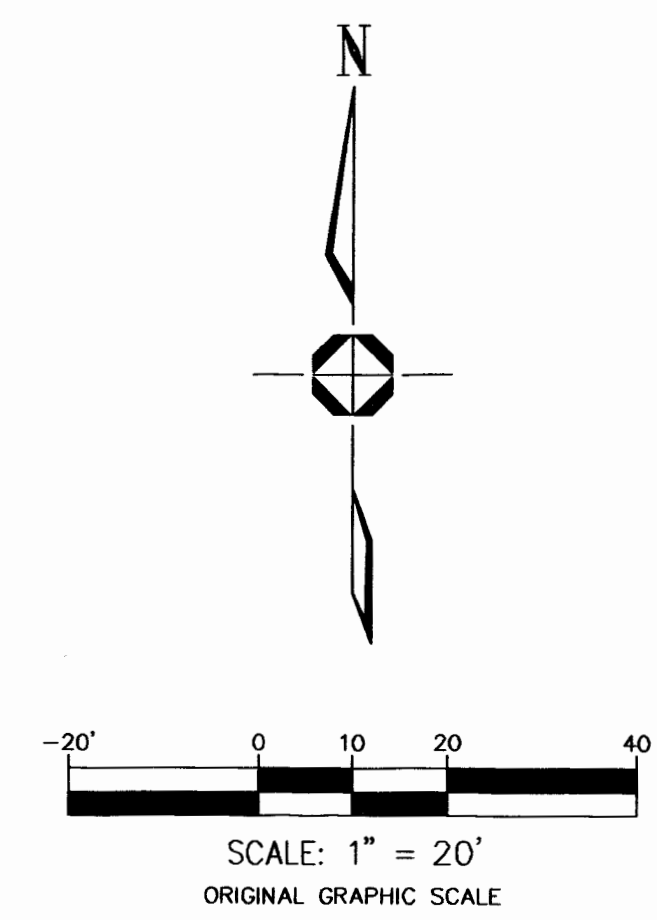
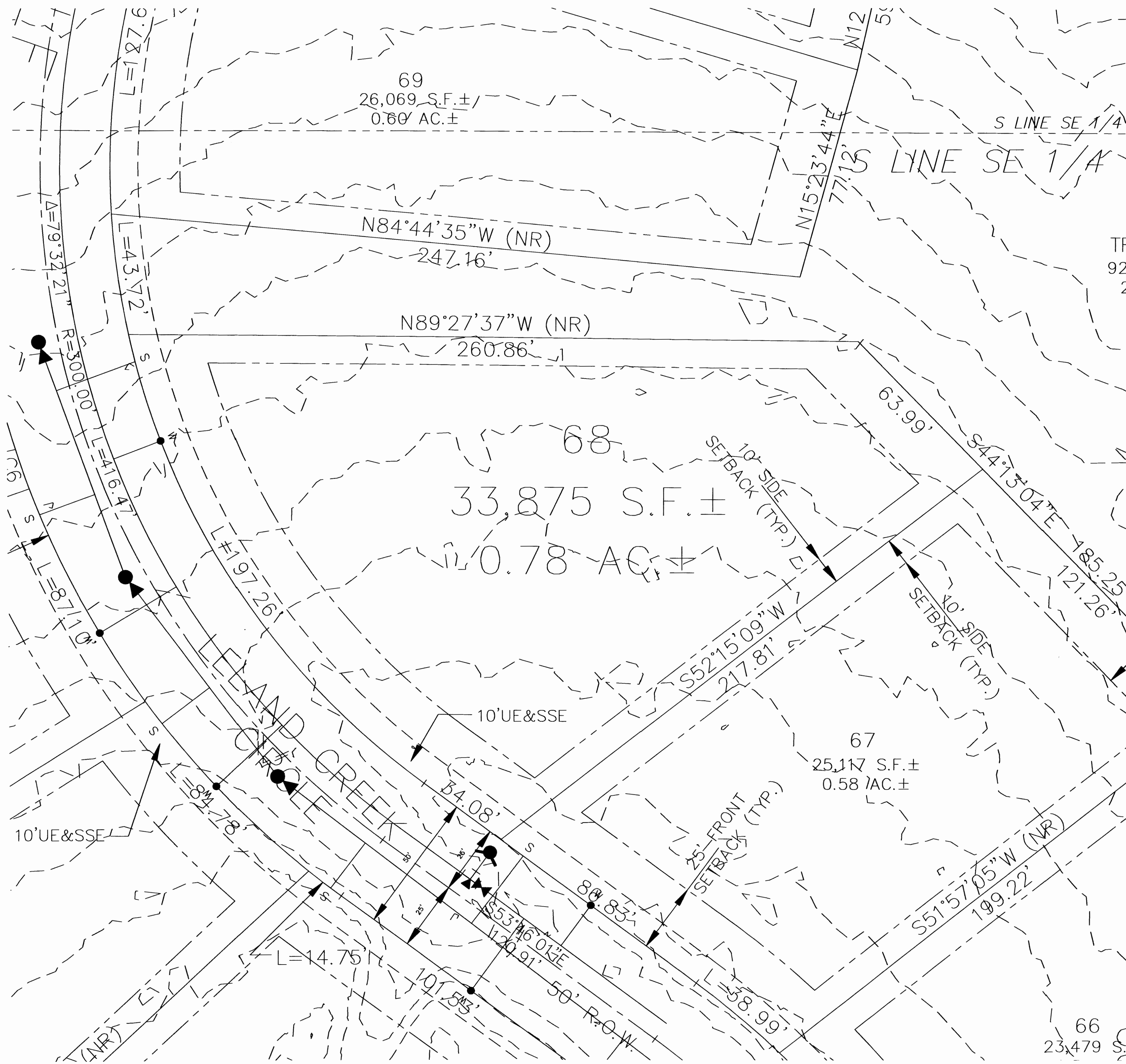
NOTES

Scale	
Project number	1190-75
Date	5/2/2024 9:17:21 AM
Drawn by	JB

A0

TOPOGRAPHIC MAP

LOT 68, LELAND CREEK SUBDIVISION,
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 29 AND IN THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 1 SOUTH,
 RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO.
 SHEET 1 OF 1



LEGAL DESCRIPTION

LOT 68, LELAND CREEK SUBDIVISION,
 TOWN OF WINTER PARK,
 COUNTY OF GRAND,
 STATE OF COLORADO.

CONTAINING AN AREA OF 33,875 SQUARE FEET, OR 0.78 ACRES, MORE OR LESS.

NOTES:

- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
- THE LINEAL UNIT USED IN THE PREPARATION OF THIS PLAT IS THE U.S. SURVEY FOOT AS DEFINED BY THE UNITED STATES DEPARTMENT OF COMMERCE, NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY.
- BASIS OF BEARINGS IS THE NORTH LINE OF LOT 38, OF THE RECORDED PLAT OF LELAND CREEK, BEARING NORTH 74°58'36" EAST, WITH MONUMENTS AS SHOWN HEREON.
- ALL LOT DIMENSIONS, SETBACKS AND EASEMENTS SHOWN ARE FROM THE RECORDED PLAT OF LELAND CREEK SUBDIVISION.
- THE PRIMARY BENCHMARK USED TO DETERMINE THE BASIS OF ELEVATION FOR THIS MAP IS NGS N-139, A STANDARD BRASS DISK SET IN CONCRETE, HAVING A PUBLISHED ELEVATION OF 8433.78 FEET (NGVD29). THE TOPOGRAPHY SHOWN HEREON IS FROM A LIDAR SURVEY PERFORMED ON 6/15/07 WHICH MEETS OR EXCEEDS THE REQUIREMENTS OF AN ACSM THIRD ORDER VERTICAL CONTROL SURVEY.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. A TITLE COMMITMENT MAY REVEAL OTHER ENCUMBRANCES NOT REVEALED BY THIS SURVEY. FOR EASEMENTS OF RECORD CARROLL & LANGE, INC. RELIED SOLELY ON THE RECORDED PLAT OF LELAND CREEK SUBDIVISION.
- THIS TOPOGRAPHY SURVEY IS NOT A "LAND SURVEY PLAT" OR "IMPROVEMENT SURVEY PLAT." ANY SURVEY MONUMENTS AS SHOWN HEREON ARE FOR REFERENCE ONLY. A BOUNDARY SURVEY IS ALWAYS RECOMMENDED TO DETERMINE THE RECORDED POSITION OF EASEMENTS, SETBACKS, RIGHTS-OF-WAYS, BOUNDARY LINES AND SURVEY MONUMENTS.

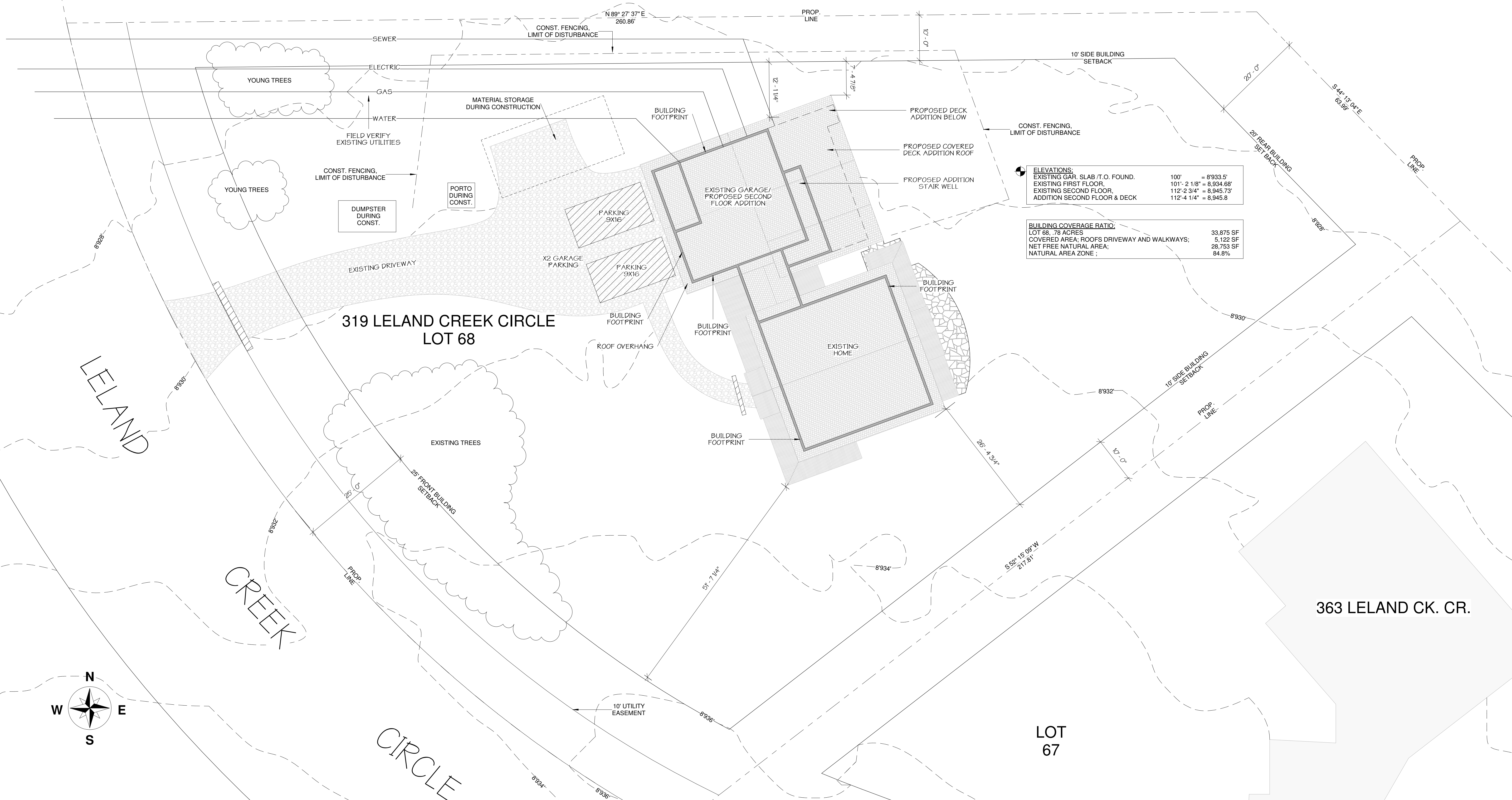
10						Carroll & Lange Professional Engineers & Land Surveyors 1505 South Union Blvd., Suite 150 Lakewood, Colorado 80228 (303) 980-9200
9						
8						
7						
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5						
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3						
2						
1						
NO.	REVISIONS	DATE	BY	CHK	CHECKED BY:	PROJECT: LOT 68, LELAND CREEK SUBDIVISION TITLE: TOPOGRAPHIC MAP DESIGNED BY: DRAWN BY: CHECKED BY: SCALE: 1" = 20' SHEET 1 OF 1 JOB NO. 3093 DATE: 11-5-08 FILE NO. LOT 68

LOT 69

LELAND CREEK SUB.
OPEN SPACE

LELAND CREEK SUB.
OPEN SPACE

PROTECTION NOTES:
 1. NO DISTURBANCE, GRADING, OR REMOVAL OF SIGNIFICANT NATURAL FEATURES AND VEGETATION WILL OCCUR BEYOND THE "LIMIT OF DISTURBANCE" LINE AS SHOWN ON THIS PLAN.
 2. THE "LIMIT OF DISTURBANCE" LINE SHALL BE DELINEATED PRIOR TO CONSTRUCTION WITH FLAGS, ROPING, 4' TALL ORANGE CONST. FENCING, OR OTHER ACCEPTABLE MEANS.



ELEVATIONS:

EXISTING GAR. SLAB / T.O. FOUND.	100'	= 8'933.5'
EXISTING FIRST FLOOR,	101'- 2 1/8"	= 8,934.68'
EXISTING SECOND FLOOR,	112'- 2 3/4"	= 8,945.73'
ADDITION SECOND FLOOR & DECK	112'- 4 1/4"	= 8,945.8'

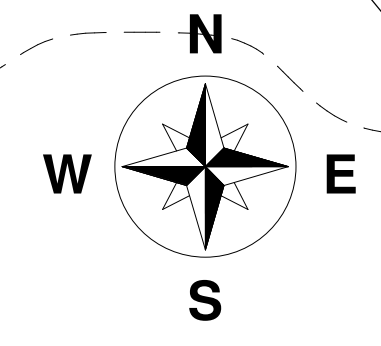
BUILDING COVERAGE RATIO:

LOT 68, .78 ACRES	33,875 SF
COVERED AREA; ROOFS DRIVEWAY AND WALKWAYS;	5,122 SF
NET FREE NATURAL AREA;	28,753 SF
NATURAL AREA ZONE :	84.8%

319 LELAND CREEK CIRCLE
LOT 68

363 LELAND CK. CR.

LOT 67

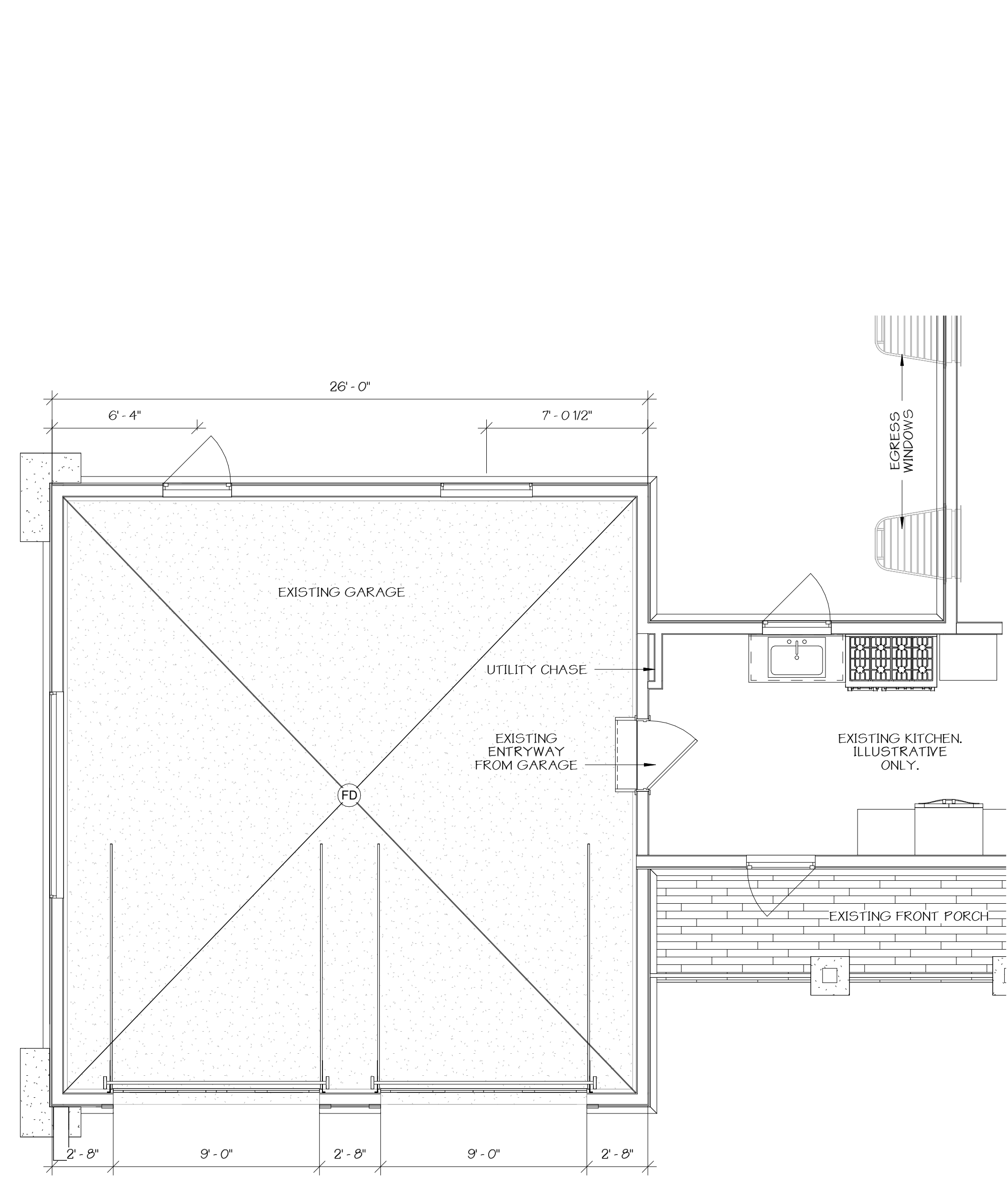


EXISTING GRADING TO REMAIN AS IS, NO CHANGES TO GRADING OR HARDSCAPING TO TAKE PLACE.

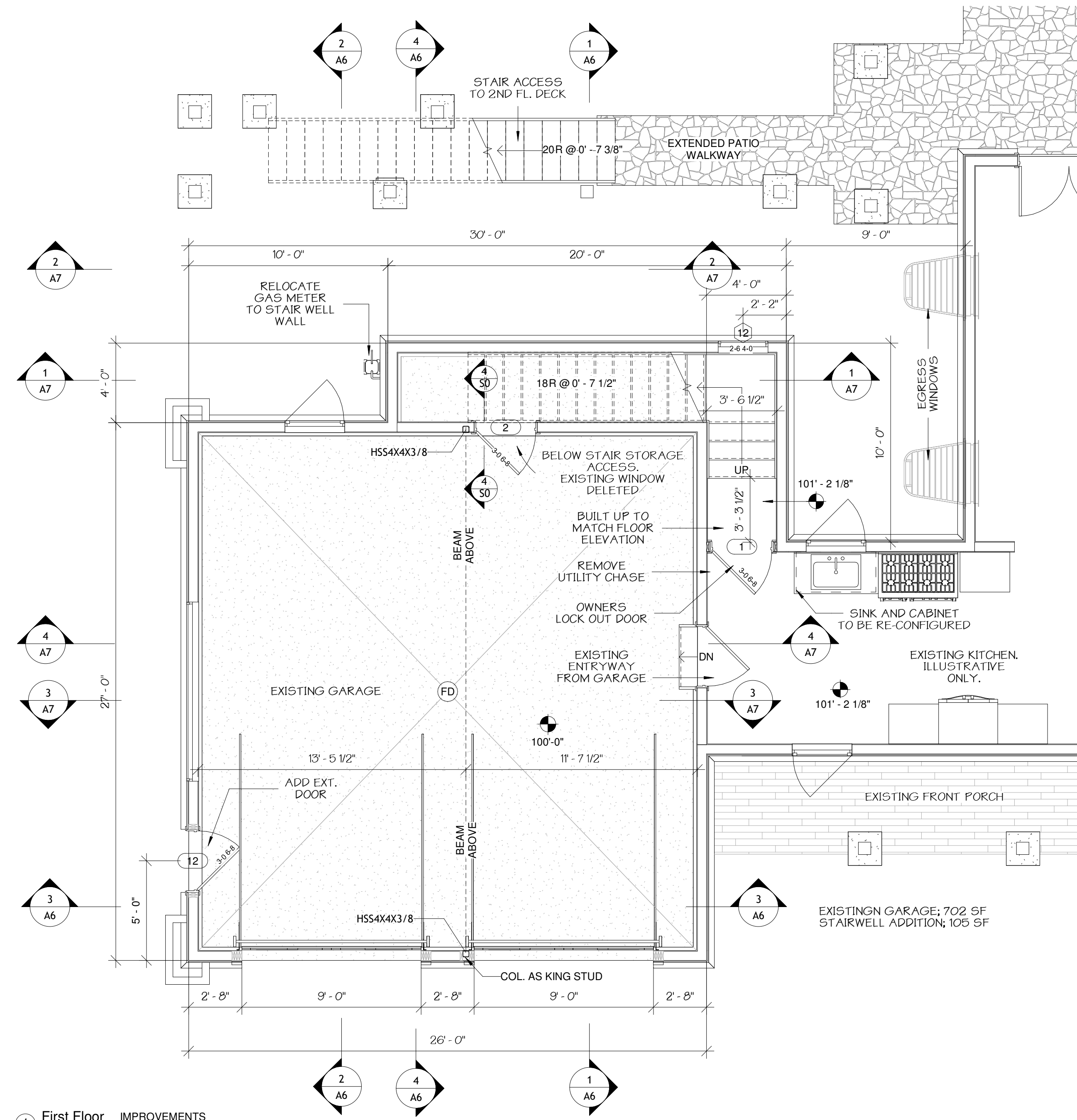
NOT A CERTIFIED PLAT.
 SURVEY, GRADING, AND SITE PLAN
 ON RECORD WITH ORIGINAL PLANS
 NO GRADING, OR HARDSCAPING CHANGES TO BE MADE

1 Site Plan
 1" = 10'-0"

SCHWARZ ADDITION
 319 Leland Creek Circle, Leland Creek Sub. Lot 68
 Winter Park Co 80482, Grand County



2 First Floor EXISTING
 1/4" = 1'-0"



1 First Floor IMPROVEMENTS
 1/4" = 1'-0"

Door Schedule				
Door Number	Type	Head Height	Level	Finish Comments
1	3-0 6-B	6' - 8"	First Floor	RH STAIRWAY
2	3-0 6-B	6' - 8"	T.O. Found.	RH UNDER STAIR STORAGE
3	3-0 7-0	0' - 0"	Second Floor	OPENING
4	3-0 7-0	7' - 0"	Second Floor	MASTER SLIDER
5	2-8 6-B	6' - 8"	Second Floor	LH MASTER CLOSET
6	2-8 6-B	0' - 0"	Second Floor	MASTER CLOSET OPENING
7	2-8 6-B	0' - 0"	Second Floor	LAUNDRY OPENING
8	3-0 6-B	6' - 8"	Second Floor	WATER CLOSET POCKET
9	3-0 6-B	6' - 8"	Second Floor	MASTER BATH POCKET
10	2-4 6-B	6' - 8"	Second Floor	SHOWER GLASS
11	3-0 6-B	7' - 0"	Second Floor	RH EXT. IN. BALCONY
12	3-0 7-0	7' - 0"	T.O. Found.	RH EXT. IN GARAGE

WINDOW AND DOOR SCHEDULES ARE FOR REFERENCE ONLY.
 USE WINDOW AND DOOR R.O.'S FROM ACTUAL ORDER.
 WINDOWS AND DOORS MAY HAVE CHANGED FROM TIME OF PRINT.
 CONTRACTOR TO CONFIRM ACTUAL WINDOW AND DOOR SIZES, R.O.'S,
 QUANTITIES, FINISHES, OPERATIONS, TEMPERING AND LOCATIONS, TO BE
 VERIFIED WITH THE HOMEOWNER.

Window Schedule						
WINDOW #	Width	Height	Type	Level	Head Height	Comments
10						
10	2' - 0"	2' - 0"	Window-Casement-Single	Second Floor	7' - 0"	RH WC
12						
12	2' - 6"	4' - 0"	Window-Fixed	First Floor	9' - 5 3/4"	STAIRWELL
12	2' - 6"	4' - 0"	Window-Fixed	Second Floor	7' - 0"	STAIRWELL
12	2' - 6"	4' - 0"	Window-Fixed	Second Floor	7' - 0"	STAIRWELL
14						
14	2' - 6"	4' - 0"	Window-Casement-Single	Second Floor	7' - 0"	RH STAIRWELL
16						
16	3' - 0"	5' - 0"	Window-Casement-Single	Second Floor	7' - 0"	LH MASTER
16	3' - 0"	5' - 0"	Window-Casement-Single	Second Floor	7' - 0"	LH MASTER
18						
18	3' - 0"	4' - 0"	Window-Casement-Single	Second Floor	7' - 0"	LH MASTER BATH
18	3' - 0"	4' - 0"	Window-Casement-Single	Second Floor	7' - 0"	RH MASTER BALCONY
20						
20	6' - 0"	3' - 0"	Window-Fixed	Second Floor	7' - 0"	MASTER BR. BALCONY
Grand total: 10						



PRESCRIPTIVE ENERGY COMPLIANCE PATH WITH MINIMUM INSULATION VALUES PROVIDED THROUGHOUT FOR ZONE 7, 2021 BUILDING CODES

TYPICAL MINIMUM INSULATION:

EXT. FRAMED WALLS	R-25
BASEMENT WALLS CONTINUOUS	R-20
FRAMED BASEMENT	R-20
CEILING/ROOF	R-60
SLAB ON GRADE	R-15
MAX. U-VALUE WINDOWS	.30
FLOORS	R-38

First Floor Plan

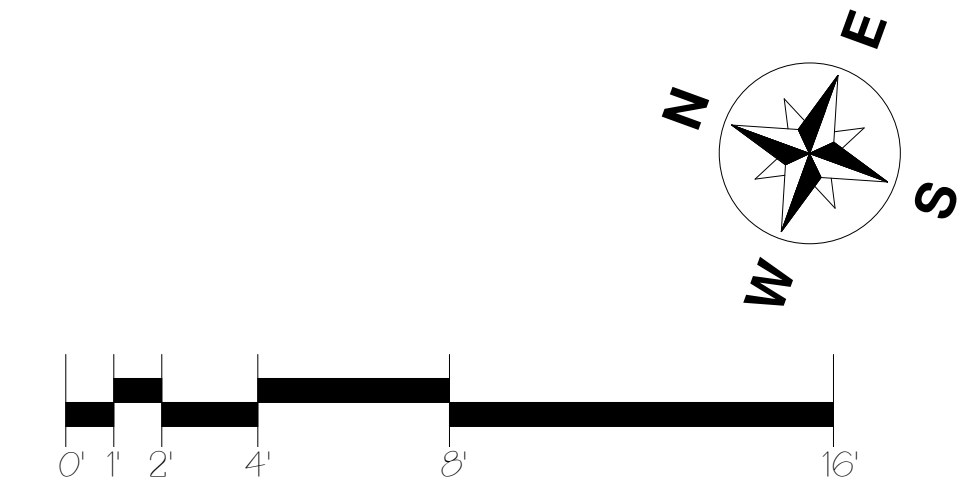
Scale 1/4" = 1'-0"

Project number 1190-75

Date 5/2/2024 9:17:26 AM

Drawn by JB

A1



FRAMING NOTES:
 2X6 EXT. WALL FRAMING AT 16" O.C. TYP. UNLESS OTHERWISE NOTED.
 2X4 INT. WALL FRAMING AT 16" O.C. TYP. UNLESS OTHERWISE NOTED.
 INT. 2X4 HEADER, (2) 2X4 W/ (1) 1/2" FILLER UNLESS OTHERWISE NOTED.
 INT. 2X6 HEADER, (3) 2X6 W/ (2) 1/2" FILLER, UNLESS OTHERWISE NOTED.
 EXT. 2X6 WALL HEADER; (2) 9 1/2" LVL, UNLESS OTHERWISE NOTED.
 2X6 LSL AT 16" O.C. BALLOON FRAMING AT STAIR WELL
 FIRE BLOCKING AT STAIR WELL WALLS PER CODE.
 1/2" OSB OR ZIP PANEL SHEATHING TYP.
 "TYVEK" OR SIMILAR VAPOR BARRIER AT EXTERIOR SHEATHING.
 IF "ZIP" PANEL SHEATHING IS USED, REFER TO MFG. INSTALLATION INSTRUCTIONS FOR MOISTURE PROOFING.
 MIN. R-25 INSL. @ EXT. WALLS.
 USE WINDOW AND DOOR R.O.'S FROM ACTUAL ORDER. WINDOWS AND DOORS MAY HAVE CHANGED FROM TIME OF PRINT.
 CONTRACTOR TO CONFIRM ACTUAL WINDOW AND DOOR SIZES, R.O.'S, QUANTITIES, FINISHES, OPERATIONS AND LOCATIONS.



SINGLE-TRACK DESIGN
 LLC
 JOHN BRAMMER
 GNRIDIN@GMAIL.COM
 (970) 531-1480

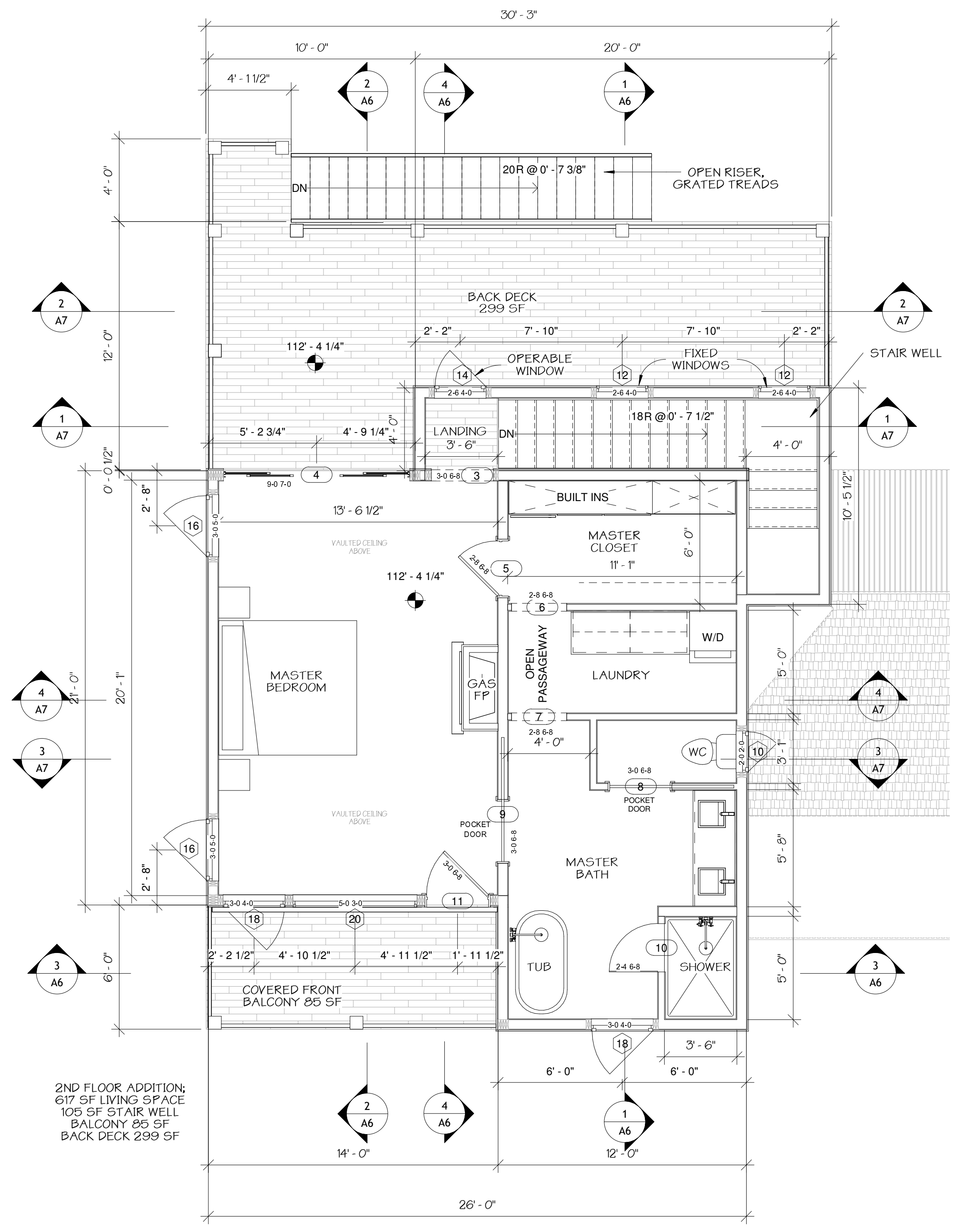
SCHWARZ ADDITION
 319 Leland Creek Circle, Leland Creek Sub. Lot 68
 Winter Park Co 80482, Grand County

Door Schedule				
Door Number	Type	Head Height	Level	Finish Comments
1	3-0 6-8	6' - 8"	First Floor	RH STAIRWAY
2	3-0 6-8	6' - 8"	T.O. Found.	RH UNDER STAIR STORAGE
3	3-0 7-0	7' - 0"	Second Floor	OPENING
4	9-0 7-0	7' - 0"	Second Floor	MASTER SLIDER
5	2-8 6-8	6' - 8"	Second Floor	LH MASTER CLOSET
6	2-8 6-8	6' - 8"	Second Floor	MASTER CLOSET OPENING
7	2-8 6-8	6' - 8"	Second Floor	LAUNDRY OPENING
8	3-0 6-8	6' - 8"	Second Floor	WATER CLOSET POCKET
9	3-0 6-8	6' - 8"	Second Floor	MASTER BATH POCKET
10	2-4 6-8	6' - 8"	Second Floor	SHOWER GLASS
11	3-0 6-8	7' - 0"	Second Floor	RH EXT. IN. BALCONY
12	3-0 7-0	7' - 0"	T.O. Found.	RH EXT. IN GARAGE

WINDOW AND DOOR SCHEDULES ARE FOR REFERENCE ONLY.
 USE WINDOW AND DOOR R.O.'S FROM ACTUAL ORDER.
 WINDOWS AND DOORS MAY HAVE CHANGED FROM TIME OF PRINT.
 CONTRACTOR TO CONFIRM ACTUAL WINDOW AND DOOR SIZES, R.O.'S,
 QUANTITIES, FINISHES, OPERATIONS, TEMPERING AND LOCATIONS, TO BE
 VERIFIED WITH THE HOMEOWNER.

Window Schedule						
WINDOW #	Width	Height	Type	Level	Head Height	Comments
10	2' - 0"	2' - 0"	Window-Casement-Single	Second Floor	7' - 0"	RH WC
12	2' - 6"	4' - 0"	Window-Fixed	First Floor	9' - 5 3/4"	STAIRWELL
12	2' - 6"	4' - 0"	Window-Fixed	Second Floor	7' - 0"	STAIRWELL
12	2' - 6"	4' - 0"	Window-Fixed	Second Floor	7' - 0"	STAIRWELL
14	2' - 6"	4' - 0"	Window-Casement-Single	Second Floor	7' - 0"	RH STAIRWELL
16	3' - 0"	5' - 0"	Window-Casement-Single	Second Floor	7' - 0"	LH MASTER
16	3' - 0"	5' - 0"	Window-Casement-Single	Second Floor	7' - 0"	LH MASTER
18	3' - 0"	4' - 0"	Window-Casement-Single	Second Floor	7' - 0"	LH MASTER BATH
18	3' - 0"	4' - 0"	Window-Casement-Single	Second Floor	7' - 0"	RH MASTER BALCONY
20	6' - 0"	3' - 0"	Window-Fixed	Second Floor	7' - 0"	MASTER BR. BALCONY

Grand total: 10



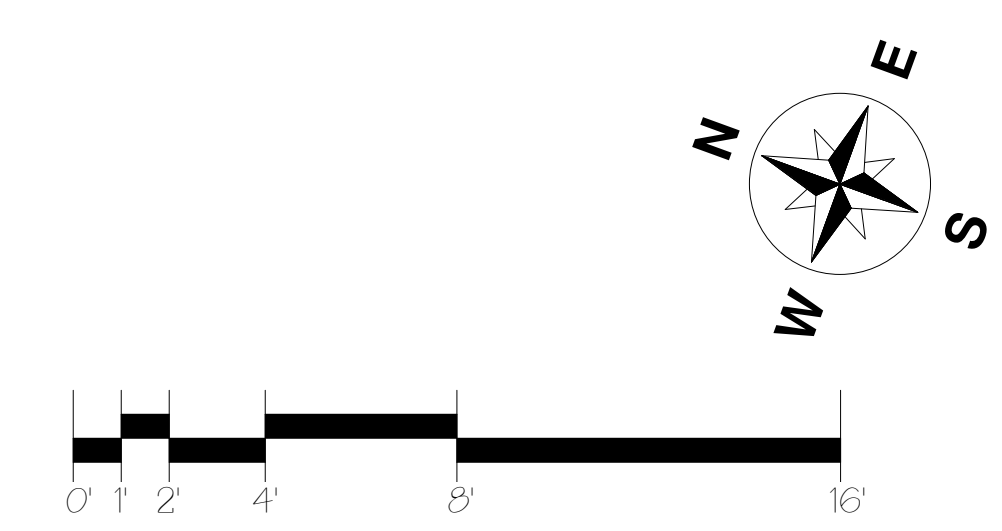
1 Second Floor
 1/4" = 1'-0"

FRAMING NOTES:
 2X6 EXT. WALL FRAMING AT 16" O.C. TYP. UNLESS OTHERWISE NOTED.
 2X4 INT. WALL FRAMING AT 16" O.C. TYP. UNLESS OTHERWISE NOTED.
 INT. 2X4 HEADER, (2) 2X4 W/ (1) 1/2" FILLER UNLESS OTHERWISE NOTED.
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 "TYVEK" OR SIMILAR VAPOR BARRIER AT EXTERIOR SHEATHING.
 IF "ZIP" PANEL SHEATHING IS USED, REFER TO MFG INSTALLATION INSTRUCTIONS FOR MOISTURE PROOFING.
 MIN. R-24 INSL. @ EXT. WALLS.
 USE WINDOW AND DOOR R.O.'S FROM ACTUAL ORDER.
 WINDOWS AND DOORS MAY HAVE CHANGED FROM TIME OF PRINT.
 CONTRACTOR TO CONFIRM ACTUAL WINDOW AND DOOR SIZES, R.O.'S, QUANTITIES, FINISHES, OPERATIONS AND LOCATIONS.

PRESCRIPTIVE ENERGY COMPLIANCE PATH WITH MINIMUM INSULATION VALUES PROVIDED THROUGHOUT FOR ZONE 7, 2021 BUILDING CODES

TYPICAL MINIMUM INSULATION:

EXT. FRAMED WALLS	R-25
BASEMENT WALLS CONTINUOUS	R-20
FRAMED BASEMENT	R-20
CEILINGS/ROOF	R-60
SLAB ON GRADE	R-15
MAX. U-VALUE WINDOWS	.30
FLOORS	R-38



Second Floor Plan

Scale 1/4" = 1'-0"

Project number 1190-75
 Date 5/2/2024 9:17:27 AM
 Drawn by JB

A2



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WEST, EXISTING

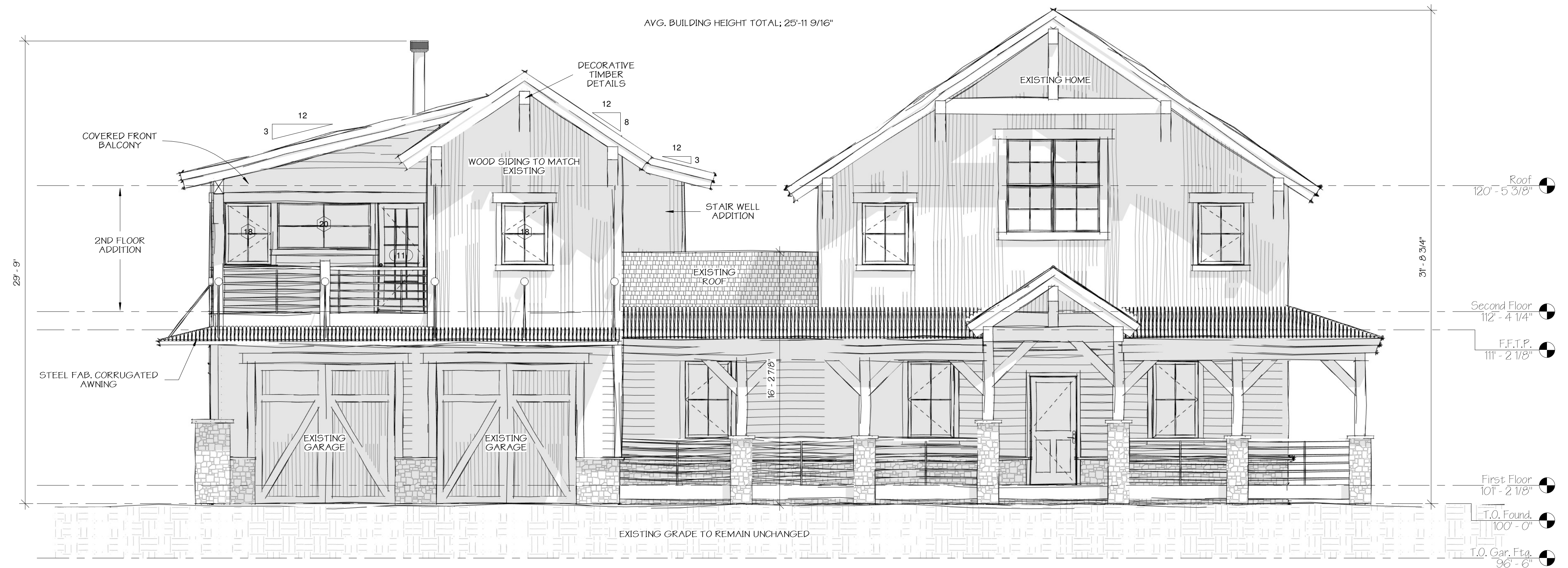


② W1
 1/4" = 1'-0"

SCHWARZ ADDITION
 319 Leland Creek Circle, Leland Creek Sub. Lot 68
 Winter Park Co 80482, Grand County

ALL EXTERIOR FINISHES, ACCENTS, MATERIALS, AND COLORS TO MATCH EXISTING HOME.

WEST WITH ADDITION



① W
 1/4" = 1'-0"

Elevations

Scale	1/4" = 1'-0"
Project number	1190-75
Date	5/2/2024 9:17:30 AM
Drawn by	JB

A3



SINGLE-TRACK
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EAST, EXISTING



SCHWARZ ADDITION
319 Leland Creek Circle, Leland Creek Sub. Lot 68
Winter Park Co 80482, Grand County

ALL EXTERIOR FINISHES, ACCENTS, MATERIALS, AND COLORS TO MATCH EXISTING HOME.

EAST, WITH ADDITION



Elevations

Scale 1/4" = 1'-0"
Project number 1190-75
Date 5/2/2024 9:17:34 AM
Drawn by JB

A4

NORTH, EXISTING



② N1
1/4" = 1'-0"

NORTH, WITH ADDITION



① N
1/4" = 1'-0"



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SCHWARZ ADDITION
319 Leland Creek Circle, Leland Creek Sub. Lot 68
Winter Park Co 80482, Grand County

ALL EXTERIOR FINISHES, ACCENTS, MATERIALS, AND COLORS TO MATCH EXISTING HOME.

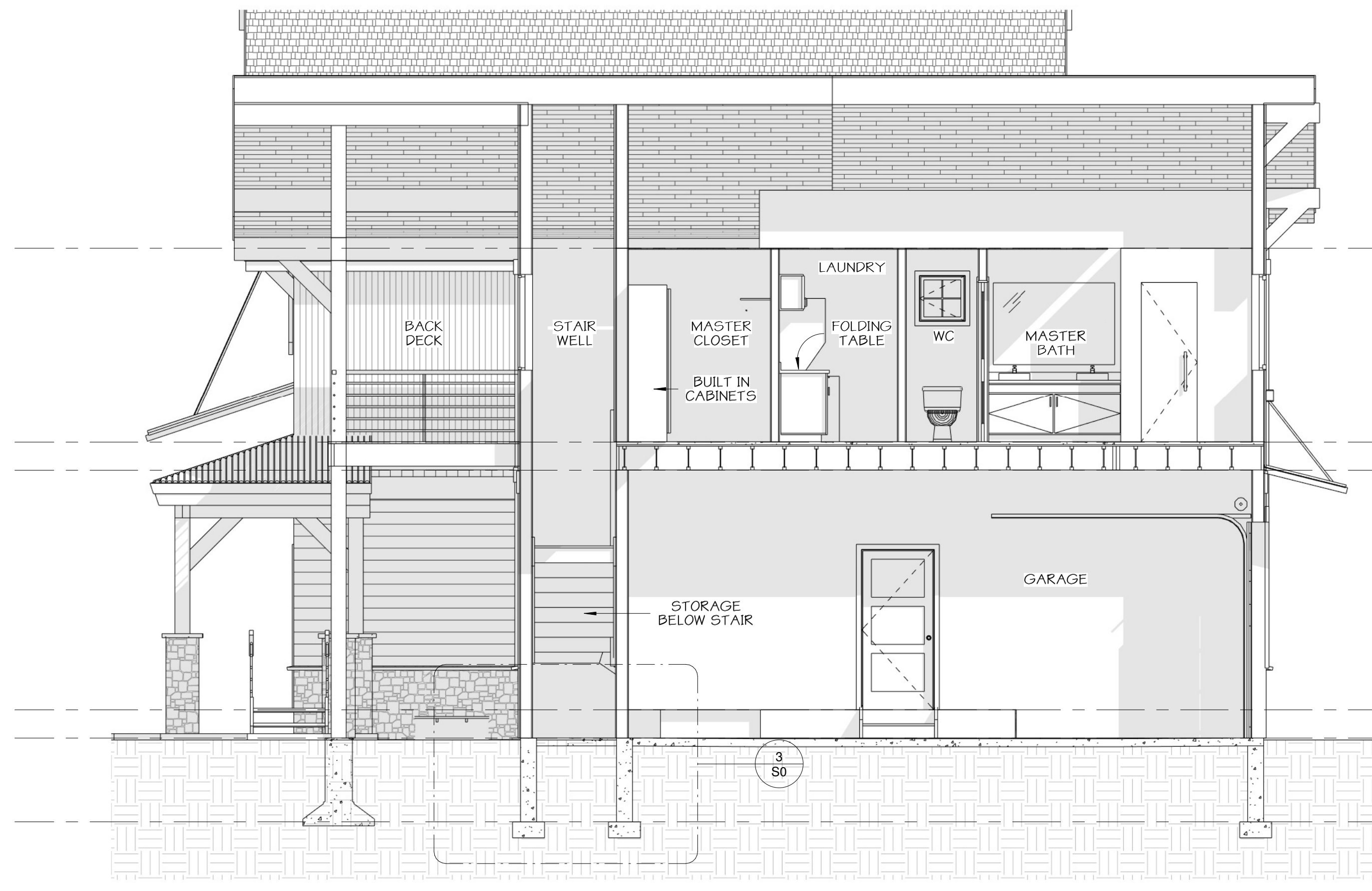
Elevations

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Project number 1190-75
Date 5/2/2024 9:17:37 AM
Drawn by JB

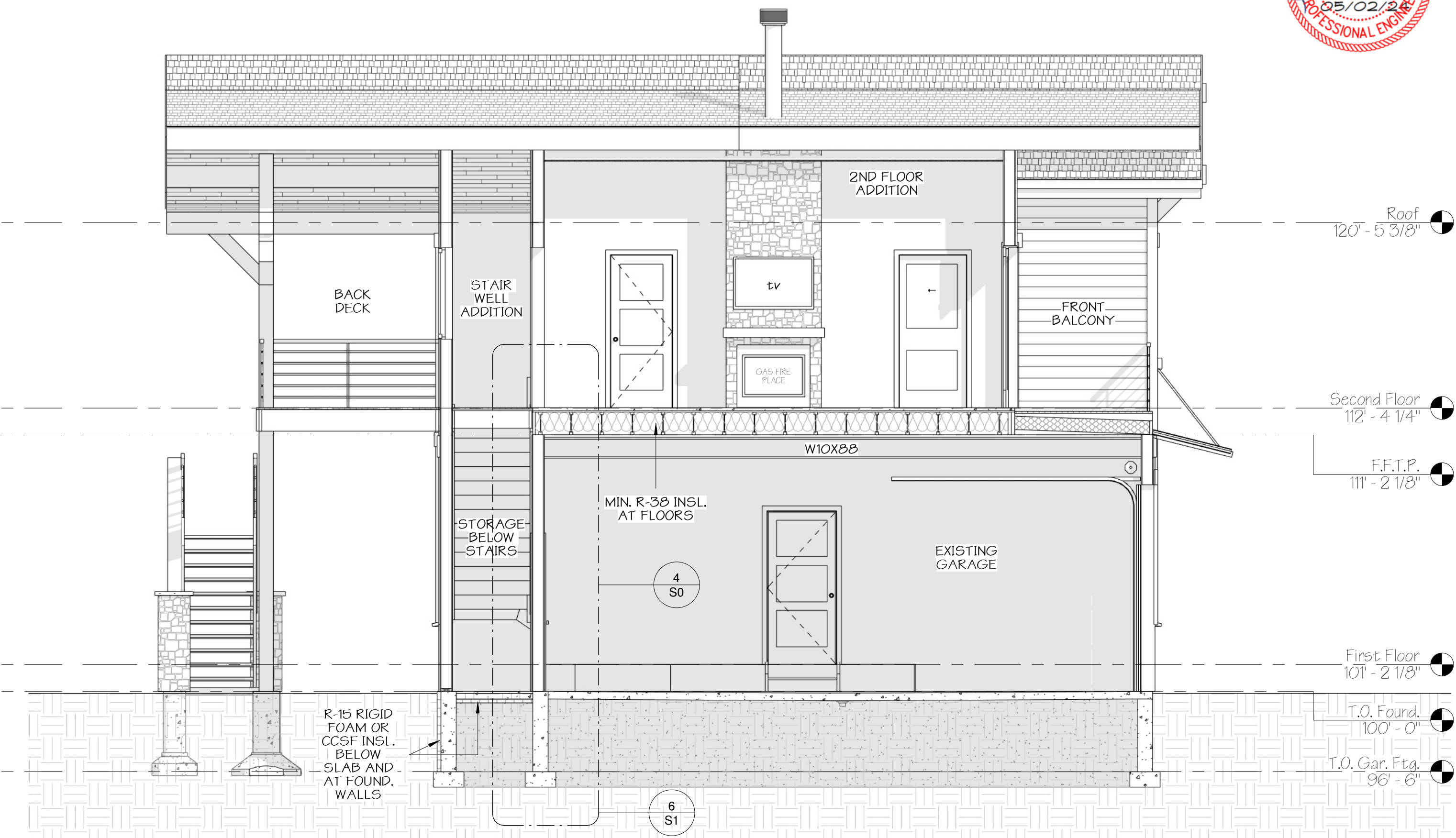
A5



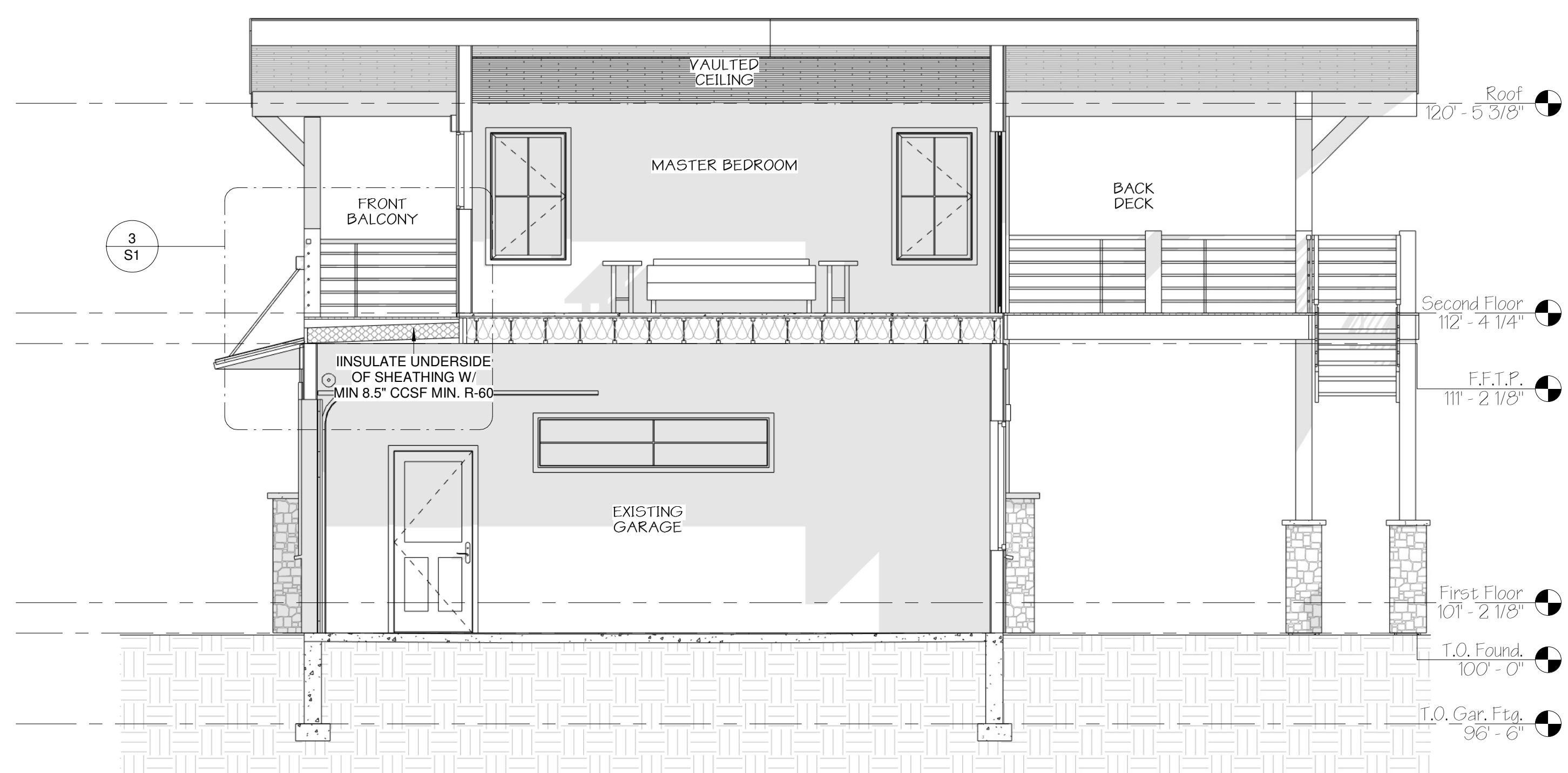
SINGLE-TRACK DESIGN
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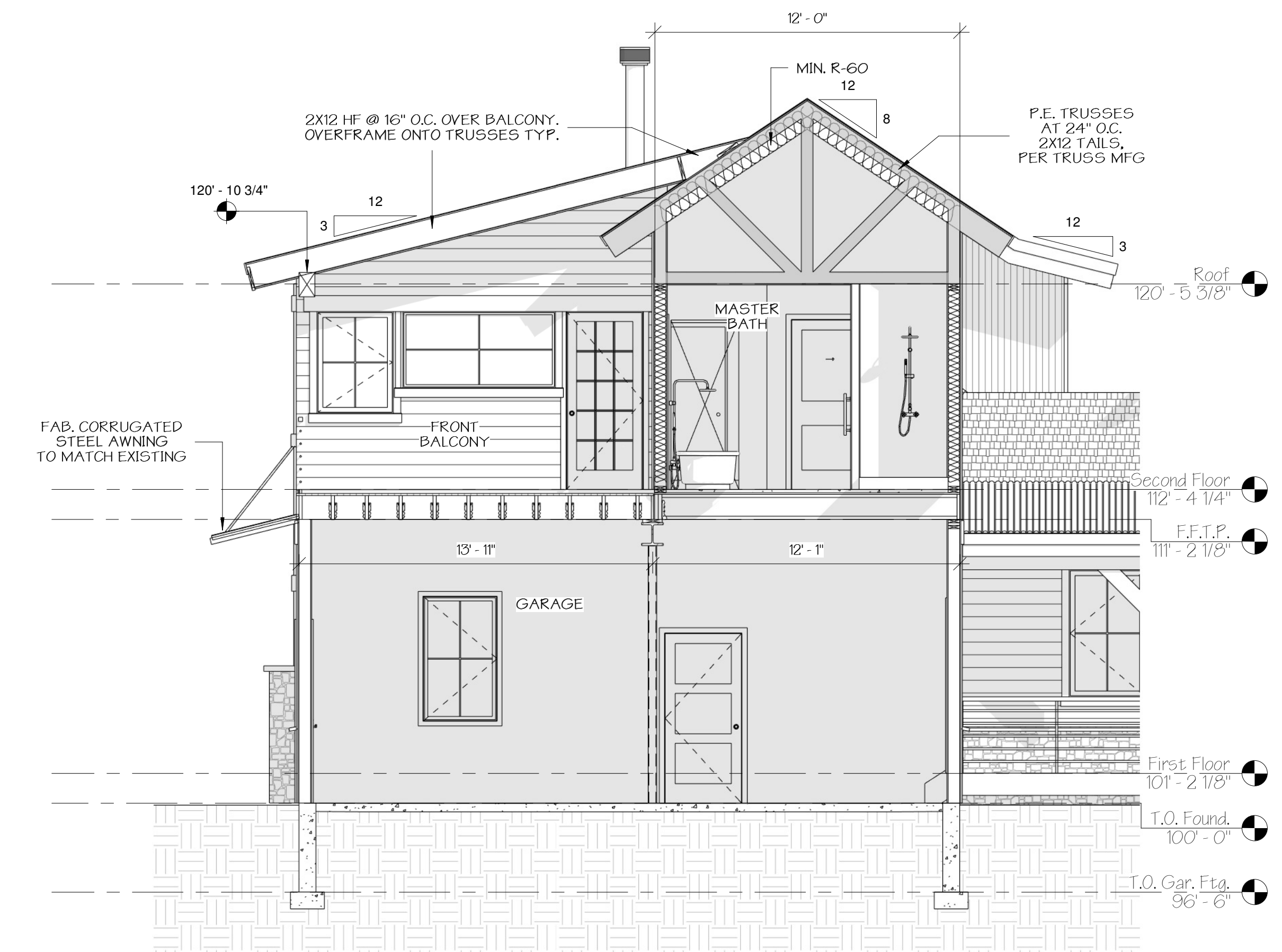
1 Section 5
 1/4" = 1'-0"



4 Section 2
 1/4" = 1'-0"



2 Section 6
 1/4" = 1'-0"



3 Section 10
 1/4" = 1'-0"

SCHWARZ ADDITION
 319 Leland Creek Circle, Leland Creek Sub. Lot 68
 Winter Park Co 80482, Grand County

Building Sections

Scale	1/4" = 1'-0"
Project number	1190-75
Date	5/2/2024 9:17:40 AM
Drawn by	JB

A6