



**TOWN OF WINTER PARK
PLANNING COMMISSION
Tuesday, August 13, 2024 8:00 AM**

A G E N D A

I. Call to Order

II. Roll Call of Commission Members

III. Public Comment

This time is reserved for anyone from the public to speak about items not on the agenda. The Planning Commission is not prepared to decide on matters brought up during this time, but if warranted, will place them on a future agenda.

IV. Conflict of Interest

V. Consent Agenda:

- a. Minutes – July 23, 2024
- b. Minor Site Plan – Lot 1, Block 3, Roam Filing 1 – 146 Exploration Trail (PLN24-059)
- c. Minor Site Plan – Lot 8, Bridger’s Cache – 285 Bridger Trail (PLN24-062)
- d. Minor Site Plan – Lot 57, Alpine Timbers – 353 Kings Crossing Road
- e. Modification to Minor Site Plan – Lot 3, Mountain Creek – 692 Vasquez Road (PLN22-005)
- f. Approval of Encroaching Retaining Walls – Lots 32-36, Rendezvous Filing No. 1, Subdivision Exemption No. 3 – 5-57 Scenic Trail (PLN24-063)

VI. General Business:

- a) PUBLIC HEARING: Beavers Lodge Community Amenity – Replat of Tract, Tract B and Outlot A, Roam Filing No. 3 (PLN23-108)
- b) PUBLIC HEARING: Beavers Lodge Community Amenity – Lot 1, Beavers Lodge Community Amenity (PLN23-107)
- c) Exemption Plat – Amended Lot 54 Alpine Timbers – 2 Alpine Way (PLN24-065)
- d) PUBLIC HEARING: UDC Text Amendment No. 9, Amending Sec. 7-7-C-F – Definition of “Family” (PLN24-064)
- e) PUBLIC HEARING: UDC Text Amendment No. 7, Amending Sec. 3-C-3-4, Wetlands (PLN23-075)

VII. Director’s Report:

This time is reserved for specific items from staff requiring Commission direction and for relaying important information to the Commission.

VIII. Planning Commission Items of Discussion

This time is reserved for Commission discussion items that are not listed on the agenda.

Online Meeting Login Instructions – See next page

Computer Login Instructions

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/81725744995?pwd=RnVOb2hpVmN1SXBydzFBZEc3NGhGZz09>

Passcode: 113389

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Dial In Numbers (for higher quality, dial a number based on your current location):

- +1 719 359 4580 US
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- +1 253 215 8782 US (Tacoma)
- +1 346 248 7799 US (Houston)
- +1 669 444 9171 US
- +1 669 900 6833 US (San Jose)
- +1 564 217 2000 US
- +1 646 931 3860 US
- +1 689 278 1000 US
- +1 929 436 2866 US (New York)
- +1 301 715 8592 US (Washington DC)
- +1 305 224 1968 US
- +1 309 205 3325 US
- +1 312 626 6799 US (Chicago)
- +1 360 209 5623 US
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- +1 507 473 4847 US

Webinar ID: 817 2574 4995

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International numbers available: <https://us02web.zoom.us/j/kdr9la1HH0>

You can log into the Zoom meeting through the link above to view what is projected on the screen. You can use either your computer audio or the number above. Everyone will be muted upon entry into the meeting to ensure that we have manageable background noise and limited interruptions.

Public Hearing Process

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**TOWN OF WINTER PARK
PLANNING COMMISSION
Tuesday, July 23, 2024 8:00 AM**

MINUTES

DATE: Tuesday, July 23, 2024

MEETING: Winter Park Planning Commission

PLACE: Town Hall Council Chambers and Zoom Meeting Call

PRESENT: Chair Dave Barker, Vice Chair Brad Holzwarth, Commissioners Doug Robbins, Chris Tagseth, Thomas McDonald, Angela McDonough and Roger Kish are present. Also present are Community Development Director James Shockey and Senior Planner Brian Kelly.

OTHERS

PRESENT: None.

I. Call to Order

Chair Barker calls the meeting to order at 8:01 a.m.

II. Roll Call of Commission Members

All Commissioners are present today.

III. Public Comment

No one comes forward.

IV. Conflict of Interest

No one comes forward.

Consent Agenda:

a. Minutes – July 9, 2024

b. Minor Site Plan – Lot 1, Block 4, Roam Filing 1 – 160 Exploration Trail (PLN24-055)

Commissioner Robbins would like to further discuss the minor site plan as the material board on the railings does not specify if the black color would be matte or shiny.

Commissioner Robbins moves and Chair McDonough seconds a motion approving consent agenda item a. and moving item b. to general business. Motion carries 7,0.

V. General Business:

a. Minor Site Plan – Lot 1, Block 4, Roam Filing 1 – 160 Exploration Trail (PLN24-055)

Commissioner Robbins stated the finish on the black metal needs to be clarified so it says specifically whether is matte or shiny. Director Shockey states that this specification can be added to the conditions for approval.

Commissioner Robbins moves and Commissioner Tagseth seconds the motion approving the Minor Site Plan – Lot 1, Block 4, Roam Filing 1 – 160 Exploration Trail (PLN24-055) with Staff recommendations adding the finish of the black metal needs to be clarified it is to be matte. Motion carries 7,0.

VI. Director's Report:

Director Shockey informs the Commission that on August 6, 2024, the Town Council will be reviewing the Planning Commission applications. Also, on August 20, 2024, the Town Council will discuss the sign code. The Commissioners are welcome to attend the meeting on Zoom.

The Commissioners have a brief conversation about the Sign Code.

The Commission then move to the pedestrian traffic during events the Town holds every year. There is also a conversation about tourist parking in the Post Office parking lot and some other areas where parking is not allowed during events.

VII. Planning Commission Items of Discussion

Commissioner Tagseth informs the Commission that he and his family will be moving to Grand Junction and will resign effective August 13. Commissioner McDonough states she will fill out her term with the Commission but will not seek to be reappointed in January. Therefore, the Town will be advertising the open positions for potential candidates. The typical period for a Planning Commission member is four (4) years.

There being no further business to discuss, upon a motion regularly adopted, the meeting was adjourned at 8:26 a.m.

The next scheduled meeting of the Planning Commission will be Tuesday, August 13, 2024, at 8:00 a.m.

Irene Kilburn, Planning and Building Technician II



MEMO

TO Planning Commission
FROM James Shockey, Community Development Director
DATE August 13, 2024
RE Minor Site Plan – Lot 1, Block 3, Roam Filing No. 1, 146 Exploration Trail (PLN24-059)

Property Owner: BD Property Holdings 146, LLC

Applicant: Adam Dowling

Location: 146 Exploration Trail (the "Property")

Architect: DRW Architecture.

Zoning:

P-D (Planned Development) with D-C (Destination Center) underlay; Planning Area 1. Governed by Roam FDP, Reception No. 2018004495; 1st Amendment at Reception No. 2019007767 and 2nd Amendment at Reception No. 2019010345.

Authority:

Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Planning Commission considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park. Minor Site Plan approval is required before building permit issuance.

Variances:

No administrative or Board of Adjustment (BOA) variance requests are included with the application.

Architecture:

New single-family detached dwelling unit (DU) on vacant land with two garage spaces and a building footprint of 3,190 sq. ft.

Title Commitment:

Satisfactory.

Homeowner's Association Review:

Satisfactory.

Material and Color:

Partially satisfactory. The material board shall be updated to indicate if the items painted black – aluminum clad windows, exterior door, garage doors, railing, and flashing are matte finish.

- The material board shall be updated to indicate if the items painted black – aluminum clad

windows, exterior door, garage doors, railing, and flashing are matte finish.

Outdoor Lighting:

Satisfactory. One fixture is proposed in two different sizes that contain the International Dark Sky Association (IDA) approval stamp (UDC, § 3-K-3(A)(1)). Single-family DUs are limited to 5,100 lumens and each fixture shall not exceed 850 lumens. Photometric plans are not required for single-family homes.

Given there are large decks with ceilings, staff wants the Applicant to clarify if any lighting within the soffit and ceiling is proposed.

Fixture Name	Proposed # of Fixtures	Proposed Lumens per Fixture	Proposed CCT
Ripley - Medium	5	450	2700k
Ripley - Large	2	450	2700k

- Applicant shall clarify in writing if any outdoor lighting within the soffits and ceilings is proposed.

Accessory Dwelling Unit (ADU):

N/A, not proposed.

Site Plan:

Partially satisfactory.

- Location of parking areas for construction workers' vehicles shall be indicated on a Site Plan exhibit.

Floorplans:

Satisfactory.

Building Elevations:

Satisfactory.

Setbacks:

Satisfactory.

Building Coverage:

N/A, there is no building coverage limit in PA-1.

Building Height:

Partially satisfactory. Maximum building height in PA-1 is limited to 40' at pitched or hipped roof midpoint and the building measures at 40'. The proposed and existing grades are not labeled so staff can't verify where the height is being measured from.

- Applicant shall label existing and proposed grades on the elevations.

Parking:

Satisfactory. As seen in § 3-H-3, Required Parking, two (2) off-street parking spaces are required and two spaces are provided in the garage.

Bufferyards and Revegetation:

Satisfactory. The Property is subject to the 1997 Landscape Design Regulations and Guidelines.

- Applicant shall provide a tree protection plan for the trees located just east of the property line.
- No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.
- Any disturbed areas on the site shall be revegetated with the seed mix recommended by the Grand County Natural Resource Conservation Service, which mix composition is described in Section 7.4 of the Standards and Specifications for Design and Construction.

Snow Storage:

Satisfactory. 57 sf. are required, and 57 sf. are provided. The driveway and walkways comprise 228 sf. UDC, § 3-H-5, *Parking Design Standards* requires that a minimum of 25% of all driving surfaces, including gravel shoulders, parking areas, and pedestrian walkways is designated for snow storage.

- Applicant shall update the site plan exhibit to correct the error in snow storage site total adjacent to driveway.

Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:

The Town Engineer is reviewing the grading plan to check its conformance with the Standards.

- Upon receiving the Town Engineer's comments, the Applicant shall revise the grading plan if required.
- Approved drainage and erosion control shall be in place prior to and throughout site preparation and construction and through successful revegetation.

Driveway:

Unsatisfactory. The Second Amendment to the Roam FDP states driveways are required to be a maximum of 5' or a minimum of 20' from the property line. The proposed driveway is currently 10' from the property line. Section 4.4, Alignment, in the Standards limits the first 24' of driveways to a 5% slope and the maximum slope is 2.26%.

- The site plan shall be adjusted to come into conformance with Exhibit D, Note 3 of the Second Amendment to the Roam FDP.
- A stabilized construction entrance shall be installed prior to ground disturbance.

Utility Review: N/A

Wetlands:

N/A, no wetlands exist on the Property.

Inspection:

Building Division staff have not performed a Pre-Disturbance inspection of the property.

- No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Staff Recommendation:

Staff recommends the Planning Commission approve the Minor Site Plan – Lot 1, Block 3, Roam Filing No. 1, 146 Exploration Trail with the following conditions:

1. The material board shall be updated to indicate if the items painted black – aluminum clad windows, exterior door, garage doors, railing, and flashing are matte finish.
2. Applicant shall clarify in writing if any outdoor lighting within the soffits and ceilings is proposed.
3. Location of parking areas for construction workers' vehicles shall be indicated on a Site Plan exhibit.
4. Applicant shall label existing and proposed grades on the elevations.
5. Applicant shall update the site plan exhibit to correct the error in snow storage site total adjacent to driveway.
6. Applicant shall provide a tree protection plan for the trees located just east of the property line.
7. The site plan shall be adjusted to come into conformance with Exhibit D, Note 3 of the Second Amendment to the Roam FDP.
8. Upon receiving the Town Engineer's comments, the Applicant shall revise the grading plan if required.

Standard Conditions

9. *No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.*
10. *Any disturbed areas on the site shall be revegetated with the seed mix recommended by the Grand County Natural Resource Conservation Service, which mix composition is described in Section 7.4 of the Standards and Specifications for Design and Construction.*
11. *Approved drainage and erosion control shall be in place prior to and throughout site preparation and construction and through successful revegetation.*
12. *A stabilized construction entrance shall be installed prior to ground disturbance.*

Required Permits:

- ✓ Building Permit
- ✓ Driveway Permit
- ✓ SFD/Duplex Deposit Agreement

Engineer: Name: DL Engineering, Inc (% Ryan Arp)
Address: 9100 W Jewell Ave Ste. 200, Lakewood, CO 80232
email: rarp@dlengineer.com
phone: (720) 440-9450 ext. 109

Surveyor: Name: Tony Peall, PLS
Address: 300 East Mineral Avenue, Suite 1, Littleton, CO 80122
email: tpeall@aztecconsultants.com
phone: (303) 327-7483

Land Planner: Name: N/A
Address: -
email: -
phone: -

D. Legal description.

LOT 1, BLOCK 3, ROAM SUBDIVISION, CITY OF WINTER PARK, GRAND COUNTY,
STATE OF COLORADO.

E. Zoning district.

P-D (D-C): Planned Development (Destination Center), Roam Planning Area PA-1

F. Lot size (acreage and sq. ft.).

0.065 Acres / 2,844 sq. ft.

G. All proposed uses.

Single Family Residence

H. Number of dwelling units.

1 Single Family Home

I. Number of bedrooms per dwelling unit.

4 bedrooms

J. Size of residential space (sq. ft.).

3,190 sf Habitable Space

K. Number of proposed off-street parking spaces.

2 Garage Parking Spaces

L. Construction schedule indicating major milestones for project.

Excavation and Foundation 9/16/2024 – 11/21/2024

Framing and Dry-in 11/22/2024 – 1/24/2025

MEP rough-in 11/25/2024 – 3/31/2025

Insulation and Drywall 4/1/2025 – 5/26/2025

Trim and finish 5/27/2025 – 10/27/2025

Landscape and punch 10/28/2025 – 11/28/2025

Please reach out with any questions.

Sincerely,



David Wrensen, Architect
Principal
DRW Architecture

NOT FOR
CONSTRUCTION

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- SITE PLAN LEGEND**
- PROPERTY LINE
 - REQUIRED ZONE LOT SETBACK
 - BULK PLANE & HEIGHT LIMIT
 - SPOT ELEVATIONS AT ORIGINAL GRADE
 - BUILDING FOOTPRINT (NEW)
 - DRIVEWAY/PATHS COVERAGE
 - SNOW STORAGE AREA
 - ROOF LINE
 - SEWER LINE
 - WATER LINE
 - POWER
E (OH) = OVERHEAD LINES

ADDRESS: 146 EXPLORATION TRAIL, WINTERPARK, CO 80482

LEGAL DESCRIPTION: LOT 1, BLOCK 3, ROAM SUBDIVISION, CITY OF WINTER PARK, GRAND COUNTY, STATE OF COLORADO.

ZONE DISTRICT: P-D (D-C): Planned Development (Destination Center), Roam Planning Area PA-1

ZONE LOT AREA: 2,844 SF (0.065 ACRE)

BUILDING FORM: SINGLE FAMILY DWELLING

SETBACKS: (RE: ROAM FINAL DEVELOPMENT PLAN)
FRONT: 5'-0" ALLOWED. (SEE PLAN FOR PROPOSED SETBACK)
REAR: 5'-0" ALLOWED. (SEE PLAN FOR PROPOSED SETBACK)
SIDE: 5'-0" ALLOWED. (SEE PLAN FOR PROPOSED SETBACK)

LEVEL 100 FLOOR ELEVATION (PROPOSED) = ARCH ELEV 100'-0" = 8786.56 (CIVIL)

HEIGHT ALLOWANCES:

FEET (MAX):	ALLOWED:	PROPOSED:
	42'-0"	40' - 0" MAX. (RE: A002)

BUILDING COVERAGE

LOT AREA:	2,844 SF
BUILDING COVERAGE:	1,404 SF
PORCH / AWNING COVERAGE:	150 SF
DRIVEWAY/PATHS COVERAGE:	228 SF
SNOW STORAGE REQ'D:	57 SF
TOTAL COVERAGE:	1,818 SF
LOT COVERAGE % =	63.9% (MAX. ALLOWABLE = N/A)

ZONING LAND USE INFORMATION:

LAND USE	ZONING LAND USE(S)	ACREAGE OF LAND USE	PERCENTAGE OF LAND USE	TOTAL ACREAGE
SINGLE FAMILY RESIDENCE	ONE-UNIT DWELLING	0.042 ACRES	63.9%	0.065 ACRES

*NOTE: PLEASE REFER TO GRADING PLAN FOR SPOT ELEVATIONS @ EACH CORNER OF THE BUILDING
LEVEL 1 & TOP OF FOUNDATION = 8786.56'

FINISHED GRADE ELEVATIONS @ CORNERS
RE: CIVIL FOR PROPOSED GRADES AND TOP OF CONCRETE

NOTE: PER COMMUNICATION WITH JEAN JOHNSON, MPEI ON 8/23/2023, MPEI NOTED THAT IT IS ACCEPTABLE THAT THE BUILDING AND EAVE ARE NOT SETBACK 5' FROM THE RISER AND SECONDARY LINE FEEDING IT.

WATER LINE TO WATER METER WITHIN GARAGE

DRIVEWAY/PATHS COVERAGE (SITE TOTAL 228 SF)

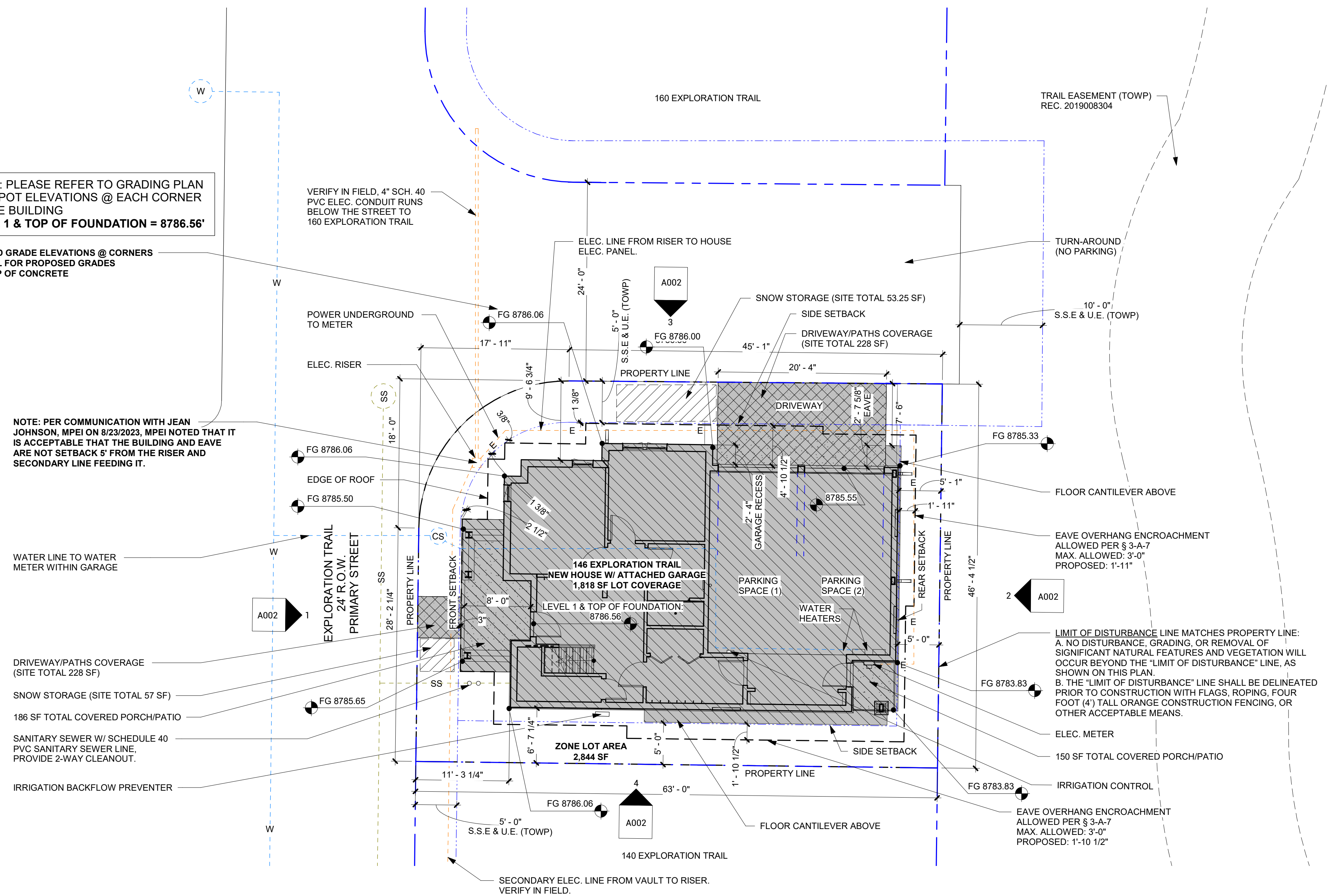
SNOW STORAGE (SITE TOTAL 57 SF)

186 SF TOTAL COVERED PORCH/PATIO

SANITARY SEWER W/ SCHEDULE 40 PVC SANITARY SEWER LINE, PROVIDE 2-WAY CLEANOUT.

IRRIGATION BACKFLOW PREVENTER

1 ZONING - SITE PLAN
1/8" = 1'-0"



BD PROPERTY HOLDINGS 146, LLC
146 EXPLORATION TRAIL
146 EXPLORATION TRAIL, WINTERPARK, CO 80482

Revisions:	No.	Date	Description

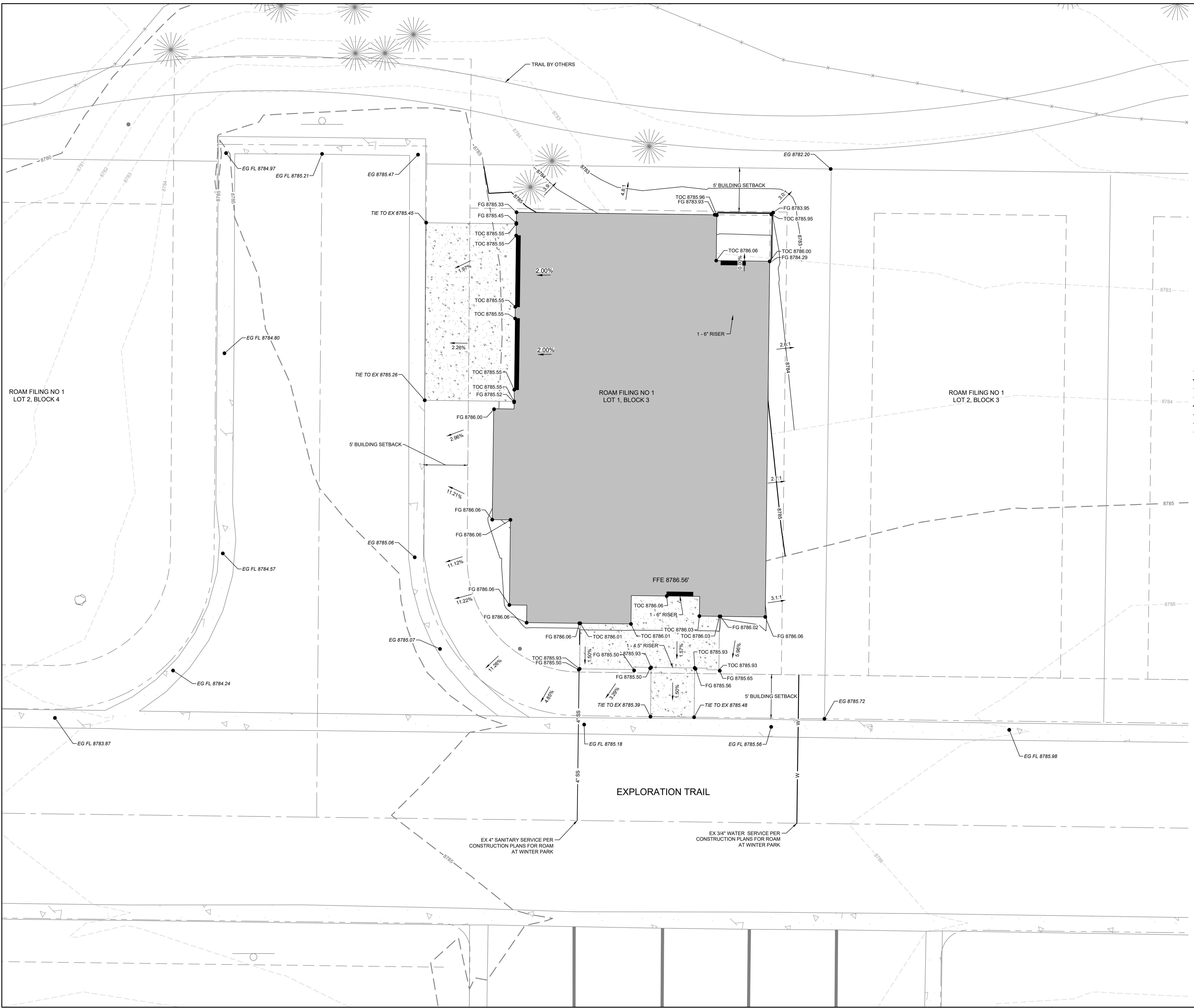
Project Number:
002.2

Date:
JUN 27, 2024

Issued For:
MINOR SITE PLAN

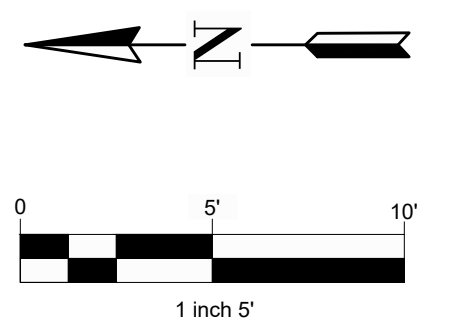
ZONING INFORMATION & SITE PLAN

A001



LEGEND

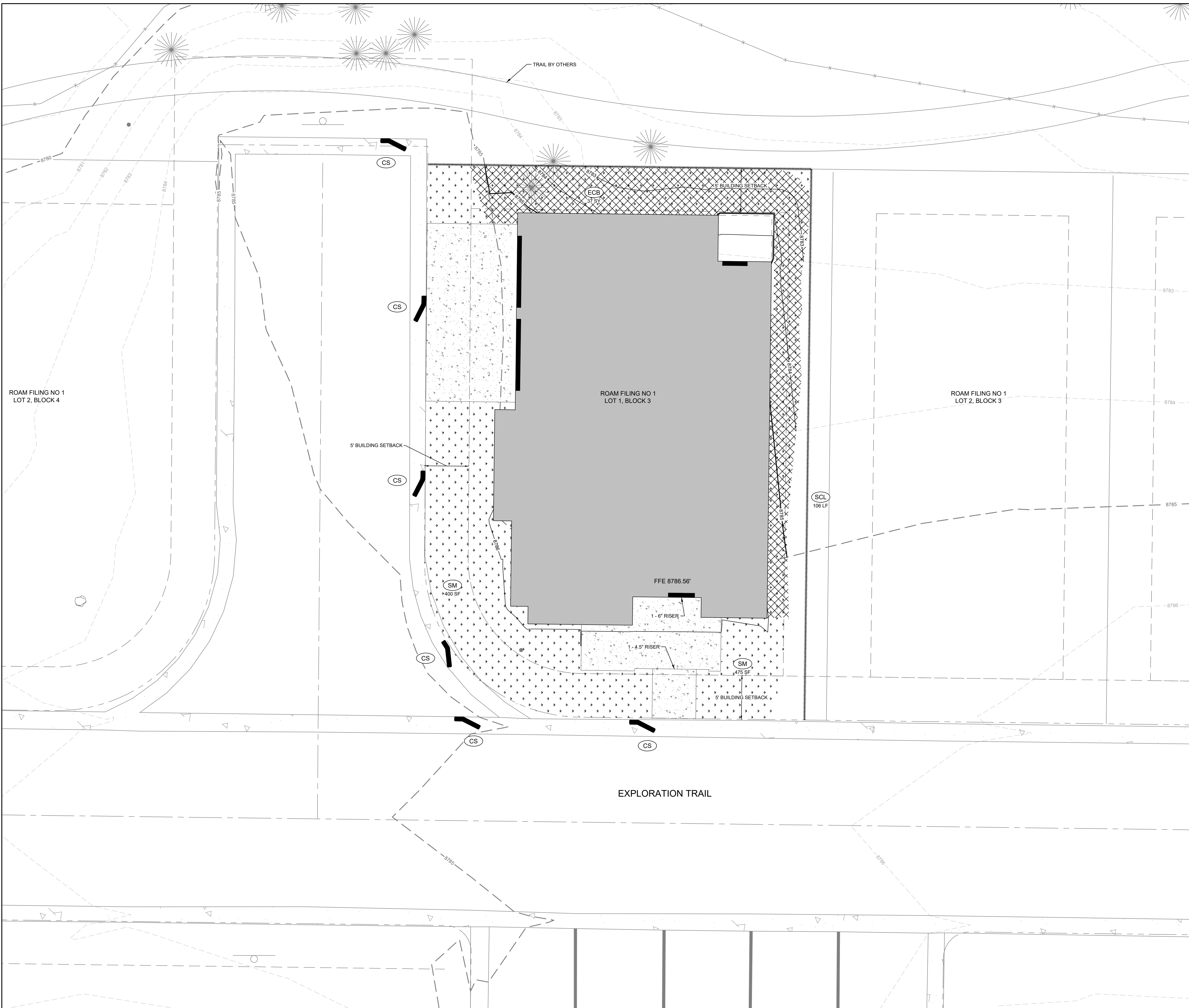
- LOT BOUNDARY
- RIGHT OF WAY (ROW)
- SETBACK
- CENTERLINE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR (1 FT)
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR (1 FT)
- FG FINISHED GRADE
- TOC TOP OF CONCRETE
- EX EXISTING GRADE
- EX FL EXISTING FLOW LINE



ADAM DOWLING
146 EXPLORATION TRAIL
146 EXPLORATION TRAIL, WINTER PARK, CO 80482

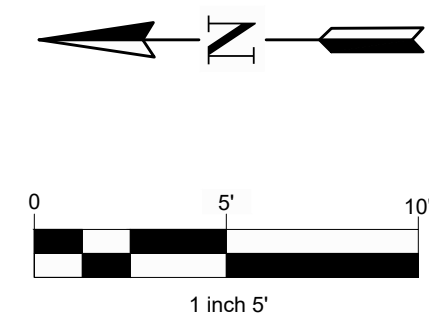
No.	Date	Description

Project Number:
D0050
Date:
MAY 12, 2023
Issued For:
MINOR SITE PLAN



LEGEND

- LOT BOUNDARY
- RIGHT OF WAY (ROW)
- SETBACK
- CENTERLINE
- PROPOSED MAJOR CONTOUR (4880)
- PROPOSED MINOR CONTOUR (1 FT) (4879)
- PROPOSED MAJOR CONTOUR (4880)
- PROPOSED MINOR CONTOUR (1 FT) (4879)
- ECB EROSION CONTROL BLANKET
- SCL SEDIMENT CONTROL LOG
- ST SEDIMENT TRAP
- SM SEEDING AND MULCHING
- CS CURB SOCK / ROCK SOCK



ADAM DOWLING
146 EXPLORATION TRAIL
146 EXPLORATION TRAIL, WINTER PARK, CO 80482

REVISIONS:	No.	Date	Description

Project Number:
D0050

Date:
MAY 12, 2023

Issued For:
MINOR SITE PLAN

FINAL LANDSCAPE PLAN

146 EXPLORATION TRAIL

WINTER PARK, COLORADO

GENERAL NOTES:

- CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO BEFORE DIGGING, INCLUDING BUT NOT LIMITED TO, TRENCHING AND SHRUB AND TREE PLANTING PITS. IF UTILITIES OCCUR AT LOCATIONS OF PROPOSED SHRUBS, OR WITHIN EIGHT (8) FEET OF PROPOSED TREES, THE CONTRACTOR SHALL REPORT SUCH CONDITIONS TO THE OWNER'S REPRESENTATIVE. DAMAGE TO EXISTING UTILITIES BY THE LANDSCAPE CONTRACTOR IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT ENTRY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL CONSTRUCTION BARRICADES, SIGNS, AND WARNING DEVICES NECESSARY FOR LANDSCAPE CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON SITE AT ALL TIMES DURING CONSTRUCTION.
- LANDSCAPE CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT OF ANY EXISTING MATERIALS AND/OR CONDITIONS DAMAGED DURING LANDSCAPE CONSTRUCTION OPERATIONS. EXISTING CONDITIONS INCLUDE, BUT ARE NOT LIMITED TO: UTILITIES, CURB AND GUTTER, WALLS, WALKWAYS AND OTHER SUCH EXISTING STRUCTURES. THE REPAIR OF SUCH DAMAGE WILL BE AT NO ADDITIONAL CHARGE TO THE OWNER, BUT SHALL BE AT THE CONTRACTOR'S OWN EXPENSE.
- IF CONFLICT BETWEEN SITE AND PLANS ARISE, OR FIELD CONDITIONS VARY EXCESSIVELY FROM THE PLANS, CONTRACTOR SHALL CONTACT THE OWNER'S AUTHORIZED REPRESENTATIVE FOR IMMEDIATE RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE OWNER'S REPRESENTATIVE WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE THE MATERIALS.
- A MINIMUM OF THREE-FOOT SIX INCH CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
- ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONSTRUCTION HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTOR'S ASSOCIATION.
- FINAL LOCATIONS OF LANDSCAPE LIGHT FIXTURES MAY VARY WITH FIELD CONDITIONS. CONTRACTOR SHALL VERIFY FINAL LOCATIONS ARE ACCEPTABLE TO THE OWNER.

LANDSCAPE NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO COMPLETE PLANTING OPERATIONS.
- CONTRACTOR SHALL ACQUIRE A NUTRIENT SOILS TEST. CONTRACTOR SHALL SUBMIT THE RESULTS OF THE NUTRIENT SOILS TEST TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND CONCURRENCE WITH FERTILIZER RECOMMENDATIONS. FERTILIZER SHALL BE APPLIED TO THE SITE ACCORDING TO THE RECOMMENDATIONS OF THE SOILS TEST, UNLESS DIRECTED OTHERWISE BY THE OWNER'S REPRESENTATIVE.
- QUANTITIES ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL FINAL QUANTITIES.
- CONTRACTOR MAY UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATIONS AS AVAILABLE. TILL INTO TOP 8" OF SOIL.
- CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, LUMPS, CONSTRUCTION DEBRIS AND OTHER MATERIAL HARMFUL TO PLANT GROWTH, AND THE APPEARANCE OF A SMOOTH FINISH GRADE.
- ORGANIC AMENDMENTS SHALL CONSIST OF CLASS I, PLANT BASED COMPOST AND SHALL BE APPLIED AT THE FOLLOWING MINIMUM RATES:
 - 4 CY/1000 SF FOR SOD AND SHRUB BEDS
 - FOR SOD AREAS, TILL COMPOST A MINIMUM OF 6 INCH DEPTH.
 - 2 CY/1000 SF FOR NATIVE SEED AREAS
 - TILL COMPOST A MINIMUM OF 6 INCH DEPTH.
 - PLANT PIT BACK FILL SHALL CONSIST OF ONE (1) PART ORGANIC AMENDMENT AND TWO (2) PARTS NATIVE SOIL.
- ALL SHRUB BEDS SHALL CONTAIN WEED BARRIER FABRIC. WEED BARRIER FABRIC SHALL BE TYPAR 3401 4 OZ/SQ. YARD GEO-TEXTILE POLYPROPYLENE FABRIC OR APPROVED EQUAL.
- ALL SHRUB BEDS SHALL BE MULCHED AS SHOWN ON THE PLANS, AT A MAXIMUM DEPTH OF FOUR (4) INCHES AND A MINIMUM DEPTH OF THREE (3) INCHES.
- ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER INSTALLATION OF WEED BARRIER FABRIC, MULCH, SOD, AND SEED IS COMPLETE.
- ABSOLUTELY NO EXPOSED WEED BARRIER FABRIC SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER INSTALLATION OF ROCK MULCH.
- WEED BARRIER FABRIC IS NOT REQUIRED WHERE CEDAR MULCH IS SPECIFIED.
- SHRUB BEDS SHALL BE CONTAINED BY STEEL EDGER, AS SHOWN ON THE DRAWINGS AND SPECIFIED IN THE STEEL EDGER DETAIL. STEEL EDGER IS NOT REQUIRED WHEN BED IS ADJACENT TO CURBS, WALLS, OR WALKS.
- STEEL EDGER MAY BE NECESSARY OUTSIDE OF PATIO FENCE IN ORDER TO SEPARATE ROCK MULCH AND CRUSHER FINES. USE MINIMUM 16 GA., 6" DEPTH W/ 14" STAKES.
- REMOVE ALL WIRE ON SIDES, TOP AND BOTTOM OF ROOT BALLS. (WIRE BASKETS, CHICKEN WIRE, ETC. INCLUDING WIRE UNDER OLD BURLAP) PRIOR TO INSTALLATION.
- WHERE BURLAP IS PRESENT, CUT TWIN AND BURLAP FROM AROUND TREE COLLAR AND TRUNK, PULL BACK AND DOWN 1/3 TO 1/2 OF ROOTBALL. REMOVE EXCESS BURLAP.
- REMOVE POTS AND/OR PLASTIC CONTAINERS FROM ROOT BALLS PRIOR TO INSTALLATION.
- ANY BROKEN OR CRUMBLING ROOTBALL WILL BE REJECTED. REMOVING THE WIRE OR OTHER CONTAINER WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.
- REJECTED PLANT MATERIAL SHALL BE REMOVED FROM THE PROJECT SITE AND REPLACED PROMPTLY.
- PLANTS SHALL BE INSTALLED IN SPRING (MID-APRIL THROUGH MID-JUNE) OR FALL (EARLY SEPTEMBER THROUGH LATE OCTOBER OR FIRST HARD FREEZE, WHICH EVER OCCURS FIRST), UNLESS ALTERNATE TIMING IS APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE.

VICINITY MAP



NOT TO SCALE

LANDSCAPE NOTES (CONTINUED):

- ALL TREES IN SOD AND SEED AREAS SHALL HAVE A FOUR (4) FOOT DIAMETER, THREE (3) INCH DEPTH MINIMUM, SHREDDED WESTERN CEDAR (I.E. GORILLA HAIR) MULCH RING.
- ALL PLANT MATERIALS SHALL MEET OR EXCEED AMERICAN STANDARDS FOR NURSERY STOCK ANSI Z60.1 AND THE COLORADO NURSERY ACT AND ACCOMPANYING RULES AND REGULATIONS.
- THE OWNER OR HIS AUTHORIZED REPRESENTATIVE RESERVE THE RIGHT TO REJECT ANY AND ALL PLANT MATERIAL BEFORE OR AFTER INSTALLATION.
- PRIOR TO PLANTING, THE CONTRACTOR SHALL APPLY PREEMERGENT HERBICIDE TO ELIMINATE ALL WEED GROWTH WITHIN THE AREA. HERBICIDE SHALL BE ACCEPTABLE UNDER THE LOCAL JURISDICTION ENVIRONMENTAL RULES AND REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN/BUILD OF RESIDENTIAL IRRIGATION SYSTEM.
- ALL TREES, SHRUBS, ORNAMENTAL GRASSES, AND PERENNIALS SHALL BE IRRIGATED BY AN AUTOMATIC DRIP IRRIGATION SYSTEM.
- RESTORATION AND REPAIR: PROPERLY REPAIR SPRINKLER HEAD OR OTHER IRRIGATION SYSTEM COMPONENTS, OR OTHER UNDERGROUND PIPE OR ELECTRIC WIRING DAMAGED BY THIS WORK.
- EXCESS MATERIALS AND DEBRIS: REMOVE PALLETS, UNUSED SOD, AND OTHER DEBRIS FROM THE PROJECT SITE.
- CLEAN ALL PAVED AREAS OVER WHICH OPERATIONS HAVE OCCURRED.

SITE DRAINAGE

- THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE INTO ALL EXISTING DRAINWAYS. THE PROJECT AREA SHALL BE FINE GRADED TO SMOOTH ALL UNEVEN AREAS.
- THE SITE SHALL BE ROUGH GRADED TO ONE TENTH (0.1) OF ONE FOOT BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FINISHED GRADES IN ACCORDANCE WITH THE PLANS. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY POORLY DRAINED AREAS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL FINE GRADE ALL AREAS TO BE LANDSCAPED. THE CONTRACTOR SHALL REMOVE REQUIRED DEPTH OF SOIL ALONG EXISTING HARDSCAPE, SUCH AS SIDEWALK AND CURB AND GUTTERS, TO ACCOMMODATE LANDSCAPE INSTALLATION WHILE MAINTAINING FINAL GRADES AND POSITIVE DRAINAGE THROUGHOUT THE PROJECT. THIS WORK SHALL INCLUDE BUT IS NOT LIMITED TO: SEED AND SOD AREAS, SHRUB BEDS, PATHS AND OTHER HARDSCAPE AREAS OTHERWISE NOT INCLUDED WITHIN THE CIVIL PLANS.
- INSTALLATION OF ALL LANDSCAPE ELEMENTS LOCATED WITHIN A TREE LAWN SHALL NOT CONFLICT WITH THE DRAINAGE DESIGN OF THE CIVIL ENGINEER OR THE STANDARD ROADWAY SECTION OF LOCAL JURISDICTION.
- ALL FINAL GRADES SHALL SLOPE AWAY FROM ALL PERMANENT STRUCTURES.
- PROJECT LIMITS SHALL BE IN CONFORMANCE WITH THE CITY OF AURORA'S EROSION AND SEDIMENT CONTROL REQUIREMENTS.

DRW
ARCH, LLC.

DRW ARCHITECTURE
3286 S MARION STREET
ENGLEWOOD, CO 80113
541.554.5641
www.DRWARCHITECTURE.com

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ADAM DOWLING
146 EXPLORATION TRAIL
146 EXPLORATION TRAIL, WINTER PARK, CO 80482

REVISIONS:	No.	Date	Description

Project Number:
D0050

Date:
MAY 12, 2023

Issued For:
MINOR SITE PLAN

COVER

L001

SHEET INDEX

- L001 - COVER
- L002 - LANDSCAPE PLAN
- L003 - IRRIGATION PLAN
- L004 - DETAILS



WINTER PARK LANDSCAPE REQUIREMENTS

WINTER PARK LANDSCAPE REQUIREMENTS								
AREA OUTSIDE OF LTZ (SF)	TOTAL TREES REQUIRED (1 PER 1,500 SF)	TOTAL SHRUBS REQUIRED (5 PER 1,500 SF)	PROPOSED TREES			PROPOSED SHRUBS		
			DECIDUOUS TREES	EVERGREEN TREES	PERCENT OF EVERGREEN TREES	DECIDUOUS SHRUBS	EVERGREEN SHRUBS	PERCENT OF EVERGREEN SHRUBS
1,074	1	4	7	4	36%	33	11	25%

WINTER PARK BUFFERYARD REQUIREMENTS

WINTER PARK BUFFER YARD REQUIREMENTS									
	EVERGREEN TREES REQUIRED	EVERGREEN TREES PROVIDED	DECIDUOUS TREES REQUIRED	DECIDUOUS TREES PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED	BERM HEIGHT	DEFICIENCY	
E BOUNDARY LENGTH: 47 LINEAR FEET ADJACENT PROPERTIES ARE ZONED: P-D(D-C) BUFFER YARD TYPE: A	2	2	2	2	N/A	N/A	N/A	N/A	
S BOUNDARY LENGTH: 63 LINEAR FEET ADJACENT PROPERTIES ARE ZONED: P-D(D-C) BUFFER YARD TYPE: A	2	2	2	2	N/A	N/A	N/A	N/A	

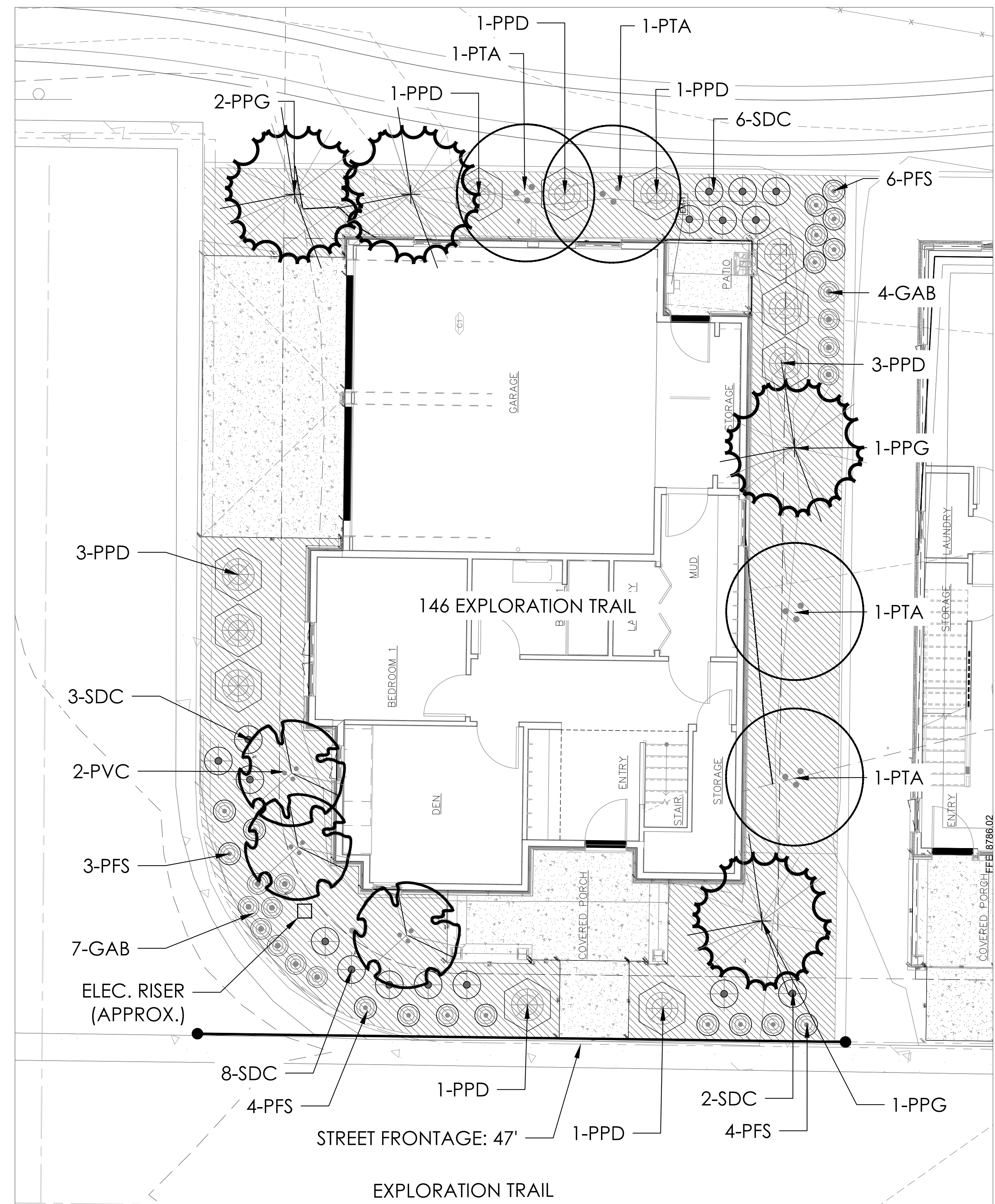
NOTE: NORTH AND WEST BOUNDARIES DO NOT REQUIRE BUFFER BECAUSE THEY ARE ALONG THE ROAD.

ROAM LANDSCAPE REQUIREMENTS

FRONT YARD LANDSCAPE REQUIREMENTS								
LOT FRONTAGE	TREES REQUIRED	SHRUBS REQUIRED (6 SHRUBS/20 FT.)	PROPOSED TREES			PROPOSED SHRUBS		
			DECIDUOUS TREES	EVERGREEN TREES	PERCENT OF EVERGREEN TREES	DECIDUOUS SHRUBS	EVERGREEN SHRUBS	PERCENT OF EVERGREEN SHRUBS
47'	2	14	1	1	50%	11	3	21%
SIDE YARD LANDSCAPE REQUIREMENTS (NORTH)								
TREES REQUIRED	SHRUBS REQUIRED	PROPOSED TREES			PROPOSED SHRUBS			
		DECIDUOUS TREES	EVERGREEN TREES	PERCENT OF EVERGREEN TREES	DECIDUOUS SHRUBS	EVERGREEN SHRUBS	PERCENT OF EVERGREEN SHRUBS	
3	9	2	1	33%	6	3	33%	
SIDE YARD LANDSCAPE REQUIREMENTS (SOUTH)								
TREES REQUIRED	SHRUBS REQUIRED	PROPOSED TREES			PROPOSED SHRUBS			
		DECIDUOUS TREES	EVERGREEN TREES	PERCENT OF EVERGREEN TREES	DECIDUOUS SHRUBS	EVERGREEN SHRUBS	PERCENT OF EVERGREEN SHRUBS	
3	9	2	1	33%	6	3	33%	
REAR YARD LANDSCAPE REQUIREMENTS								
TREES REQUIRED	SHRUBS REQUIRED	PROPOSED TREES			PROPOSED SHRUBS			
		DECIDUOUS TREES	EVERGREEN TREES	PERCENT OF EVERGREEN TREES	DECIDUOUS SHRUBS	EVERGREEN SHRUBS	PERCENT OF EVERGREEN SHRUBS	
3	9	2	1	33%	6	3	33%	

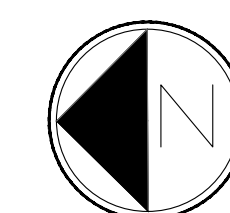
PLANT LIST

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
DECIDUOUS TREES					
4	PTA	POPULUS TREMULOIDES	ASPEN	6-8' MULTI-STEM (MIN. COMBINED CAL. OF 2.5")	B&B
ORNAMENTAL TREES					
3	PVC	PRUNUS VIRGINIA 'SHUBERT'	CANADA RED CHERRY	2" CAL.	B&B
EVERGREEN TREES					
4	PPG	PICEA PUNGENS	COLORADO BLUE SPRUCE	6' HT.	B&B
EVERGREEN SHRUBS					
11	PPD	PICEA PUNGENS 'GLOBE'	DWARF GLOBE GREEN SPRUCE	#5	CONT.
DECIDUOUS SHRUBS					
17	PFS	POTENTILLA FRUTICOSA	SHRUBBY CINQUEFOIL	#5	CONT.
16	SDC	SYMPHORICARPOS ALBUS	SNOWBERRY	#5	CONT.
PERENNIALS					
12	GAB	GALLARDIA ARISTATA	BLANKET FLOWER	#1	CONT.



LEGEND

- 1 1/2" RIVER ROCK MULCH
- GRAY CONCRETE (RE:CIVIL)
- SHRUBS
- ORNAMENTAL GRASSES
- PERENNIALS
- ORNAMENTAL TREE
- EVERGREEN TREE



Scale: 1"= 5'-0"
0 2.5 5 10



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146 EXPLORATION TRAIL
146 EXPLORATION TRAIL, WINTER PARK, CO 80482

Revisions:	No.	Date	Description

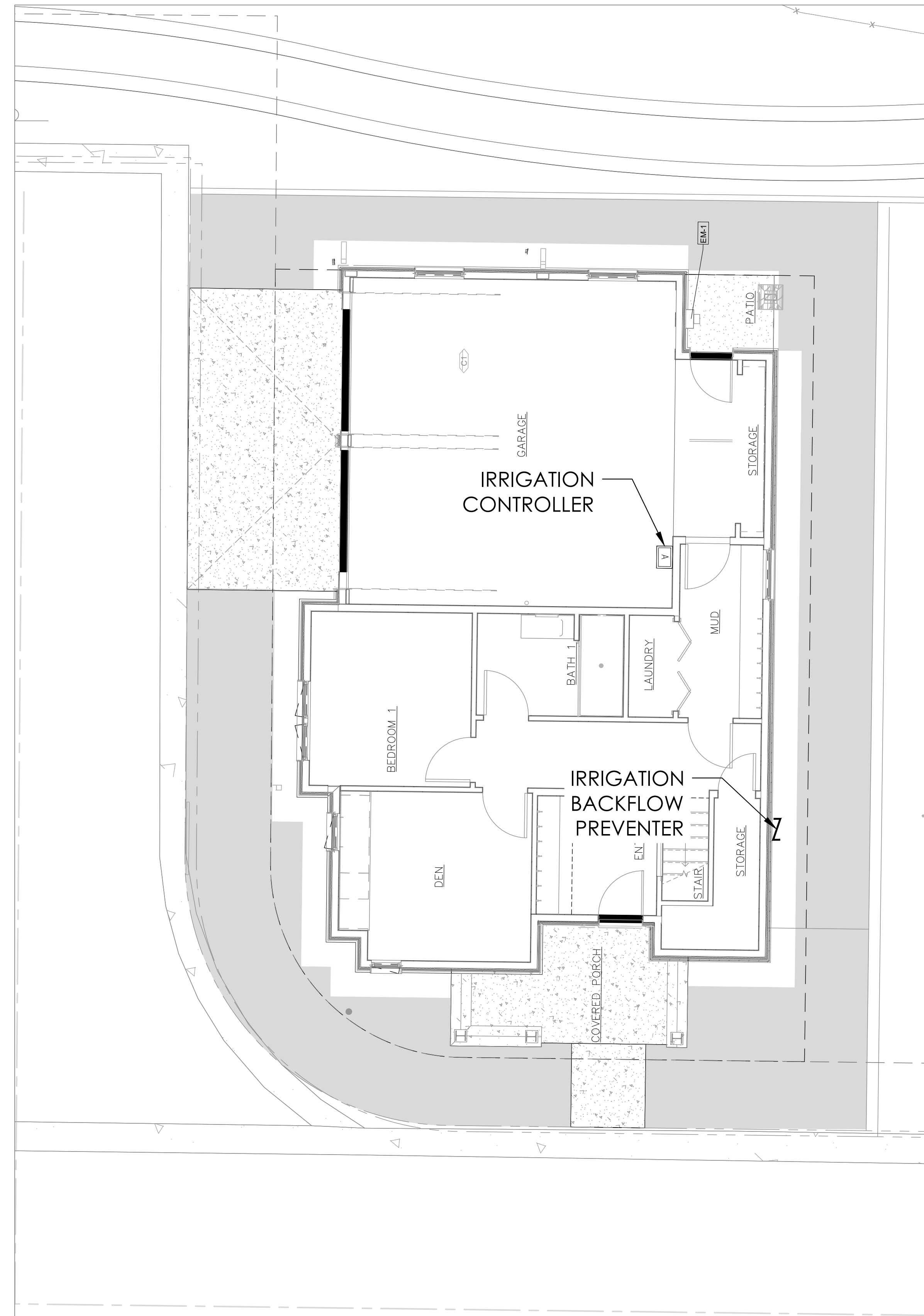
Project Number: D0050

Date: MAY 12, 2023

Issued For: MINOR SITE PLAN

LANDSCAPE PLAN

L002

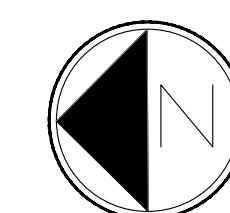


IRRIGATION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN/BUILD OF RESIDENTIAL IRRIGATION SYSTEM.
- ALL TREES, SHRUBS, ORNAMENTAL GRASSES, AND PERENNIALS SHALL BE IRRIGATED BY AN AUTOMATIC DRIP IRRIGATION SYSTEM.
- RESTORATION AND REPAIR: PROPERLY REPAIR SPRINKLER HEAD OR OTHER IRRIGATION SYSTEM COMPONENTS, OR OTHER UNDERGROUND PIPE OR ELECTRIC WIRING DAMAGED BY THIS WORK.

LEGEND

- DRIP IRRIGATION ZONE
- A IRRIGATION CONTROLLER
- ∩ BACKFLOW PREVENTER



Scale: 1"= 5'-0"
0 2.5 5 10



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146 EXPLORATION TRAIL
146 EXPLORATION TRAIL, WINTER PARK, CO 80482

REVISIONS:	No.	Date	Description

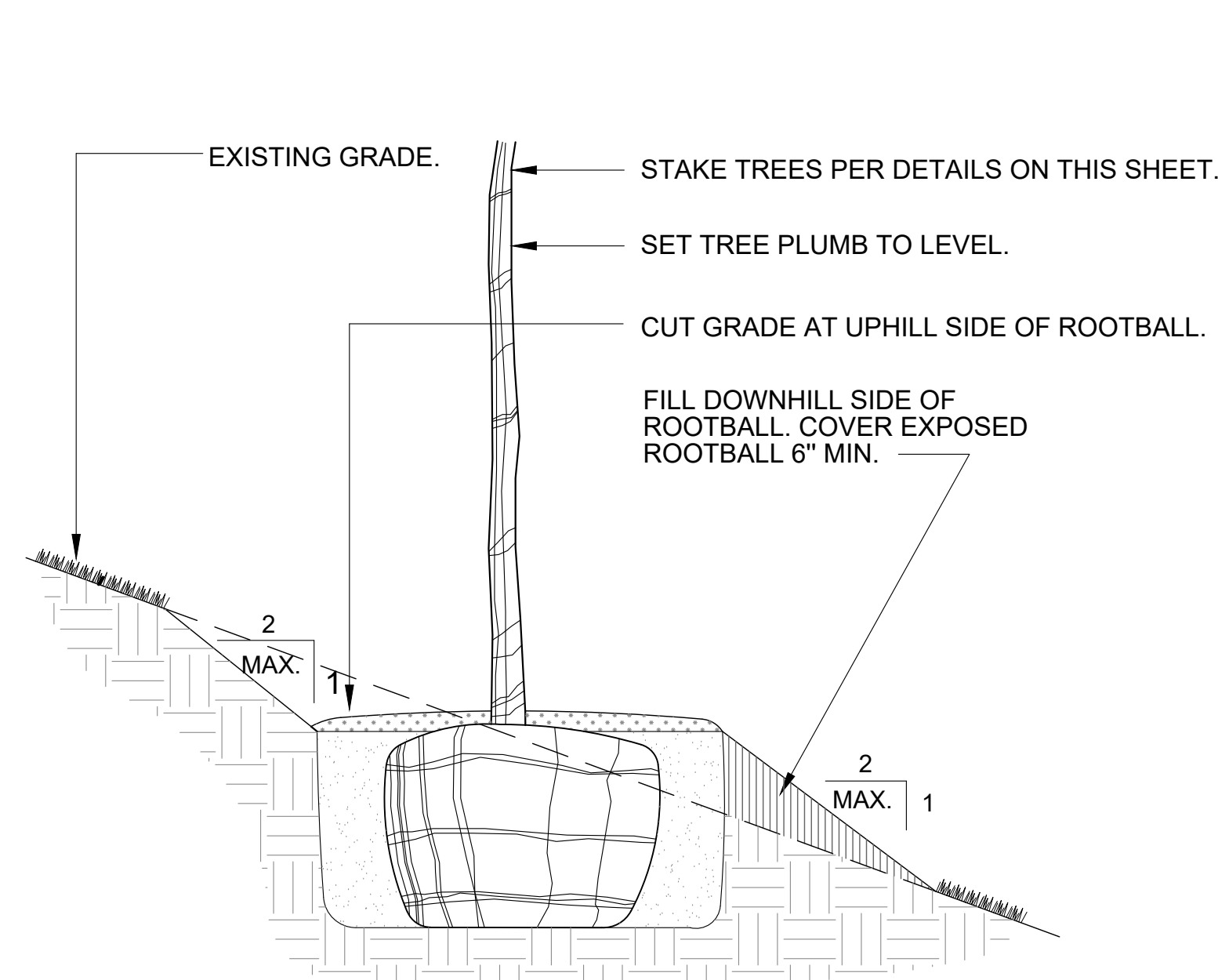
Project Number:
D0050

Date:
MAY 12, 2023

Issued For:
MINOR SITE PLAN

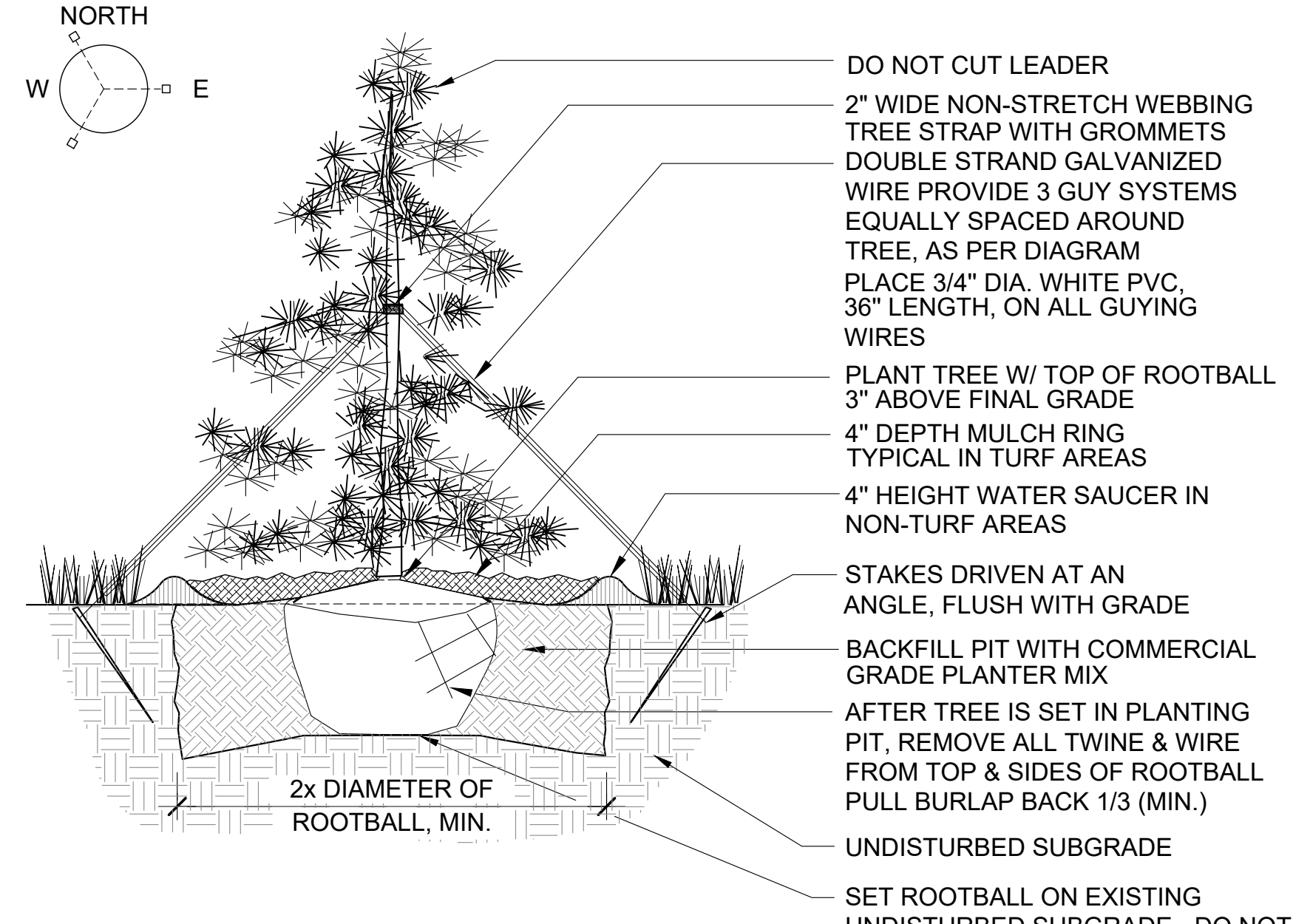
IRRIGATION
PLAN

L003



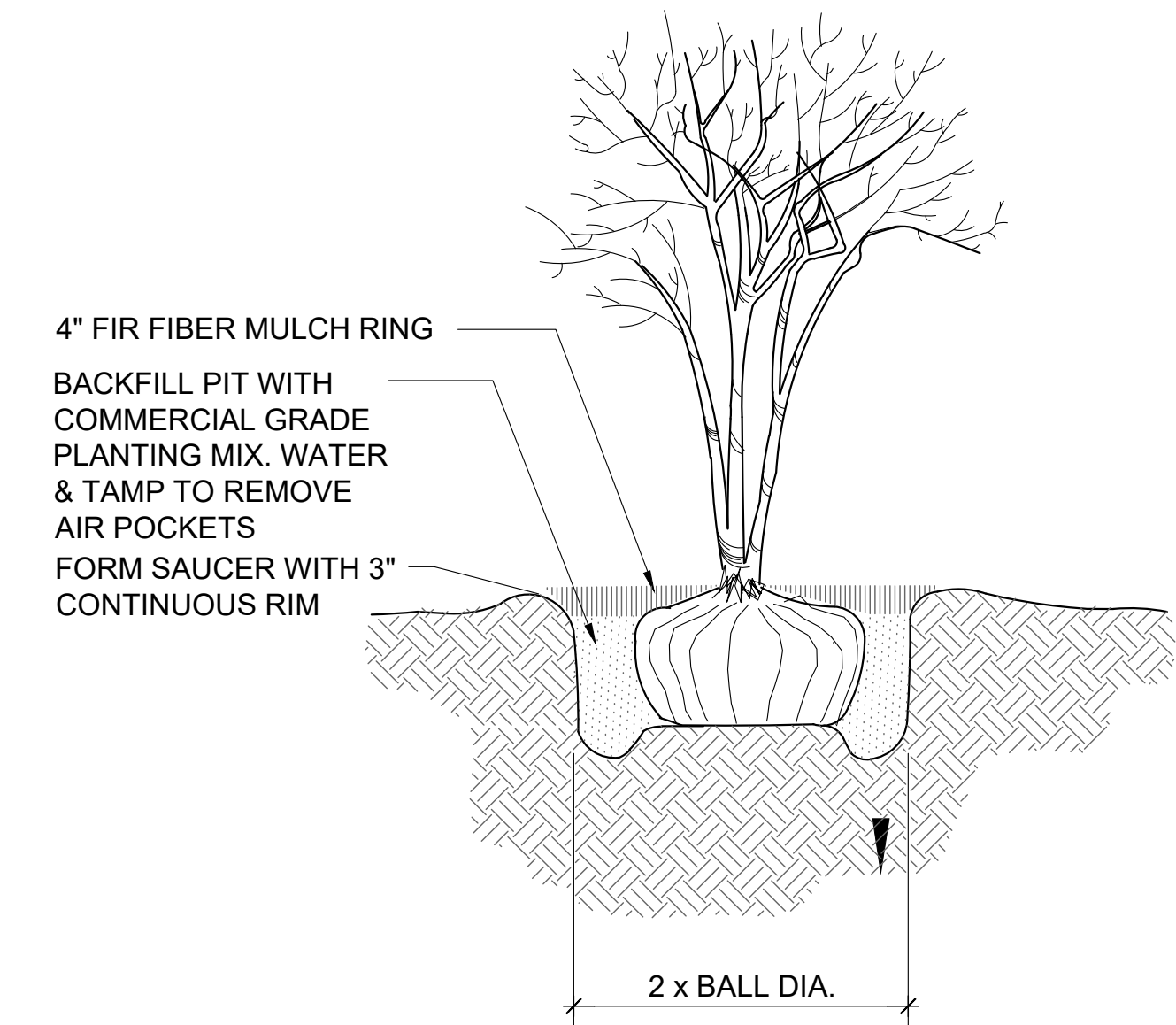
- NOTES:
1. REFER TO SPECIFIC TREE INSTALLATION DETAILS FOR STAKING, GUYING, MULCHING, ETC.
 2. THIS INSTALLATION SHALL APPLY TO ALL TREE TYPES AND SIZES PLANTED ON SLOPES LESS THAN 2:1.

1 TREE PLANTING ON SLOPE DETAIL
NOT TO SCALE

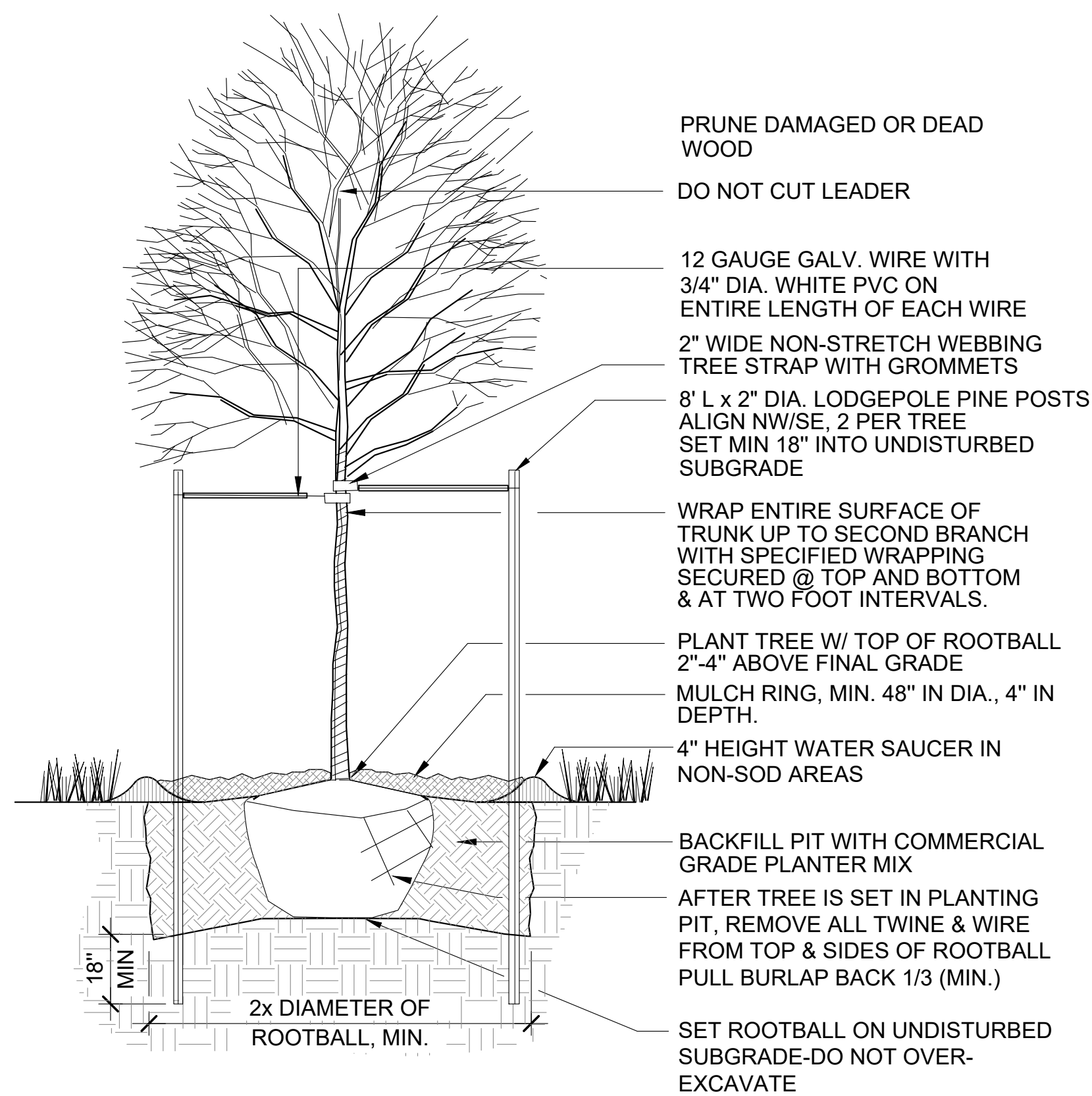


1. INSTALL SPECIFIED MULCH TO DRIPLINE OF TREE WHERE PLANTED IN LAWN AREAS.
2. DO NOT PROVIDE WATER BASIN IN IRRIGATED LAWN AREAS.

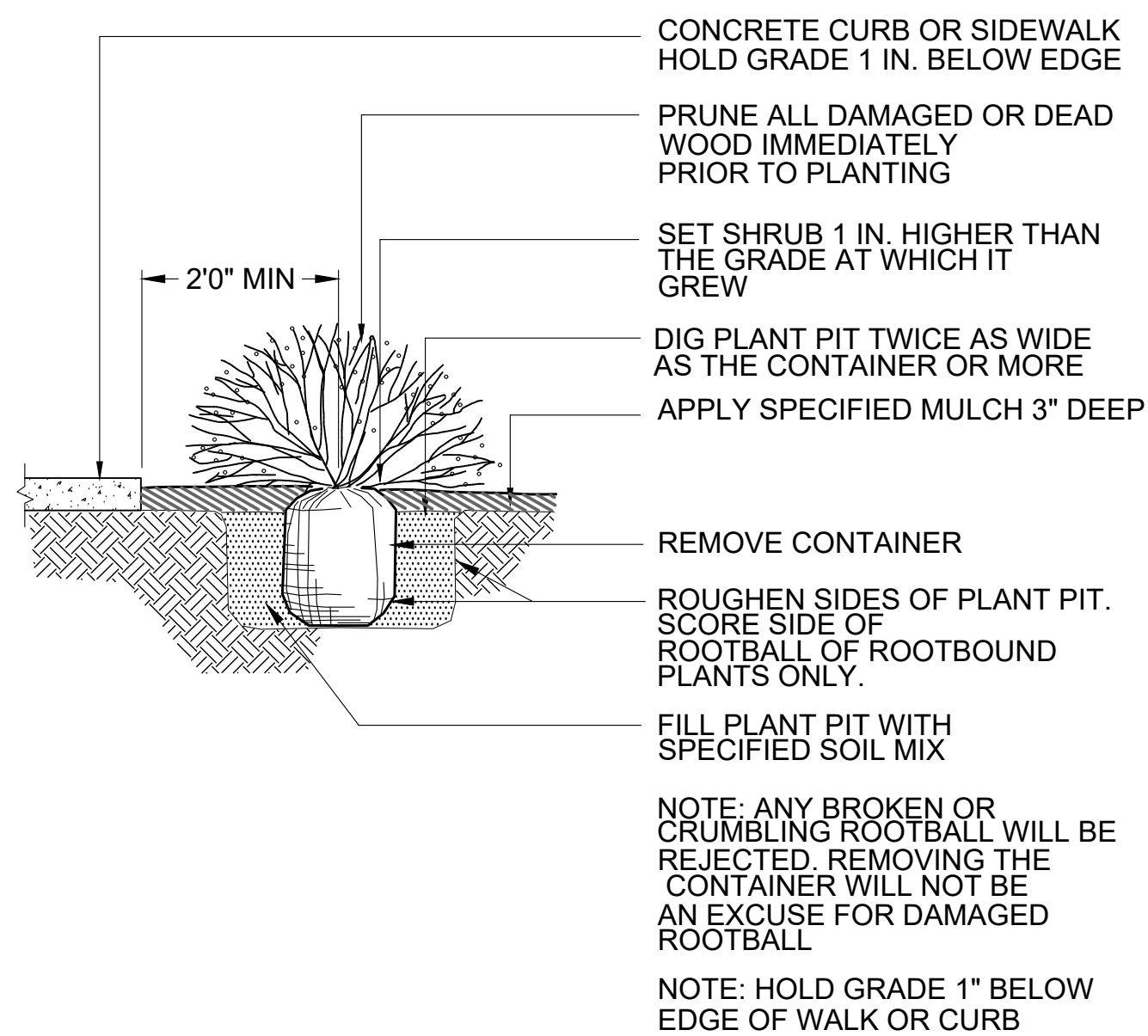
2 EVERGREEN TREE PLANTING
NOT TO SCALE



3 MULTI-TRUNK TREE PLANTING
NOT TO SCALE



4 DECIDUOUS TREE PLANTING
NOT TO SCALE



5 SHRUB PLANTING
NOT TO SCALE

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REVISIONS:	No.	Date	Description

Project Number:
D0050

Date:
MAY 12, 2023

Issued For:
MINOR SITE PLAN

DETAILS

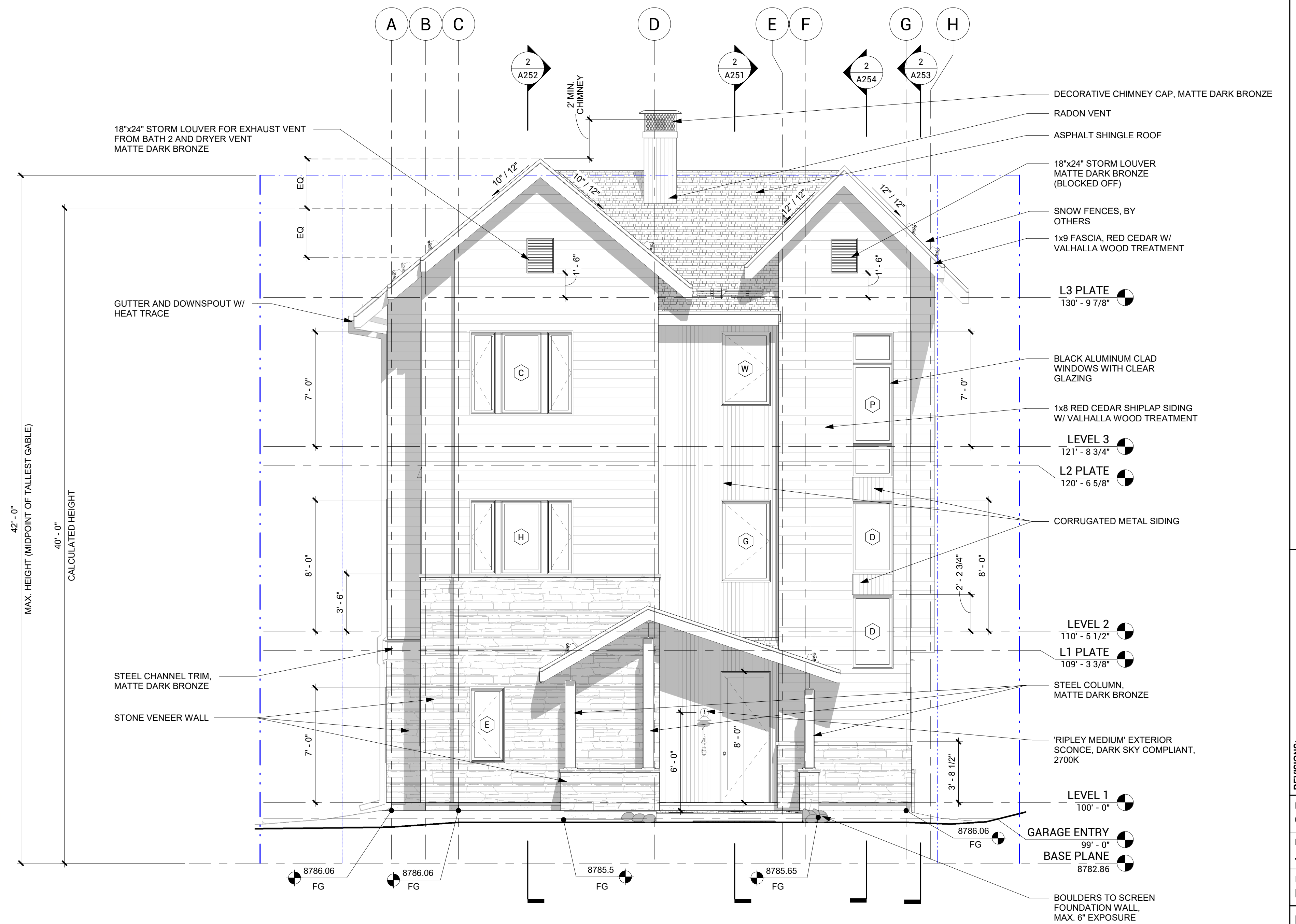
L004

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PERSPECTIVE TO DEMONSTRATE SCALE OF PORCH ROOF BEAMS WHICH ARE NOT AS APPARENT IN THE ORTHOGONAL ELEVATION



1 WEST ELEVATION
1/4" = 1'-0"

BD PROPERTY HOLDINGS 146, LLC
146 EXPLORATION TRAIL
146 EXPLORATION TRAIL, WINTERPARK, CO 80482

Revisions:	No.	Date	Description

Project Number:
002.2

Date:
JUN 27, 2024

Issued For:
MINOR SITE PLAN

BUILDING ELEVATIONS

A200

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1 NORTH ELEVATION
1/4" = 1'-0"

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No.	Date	Description

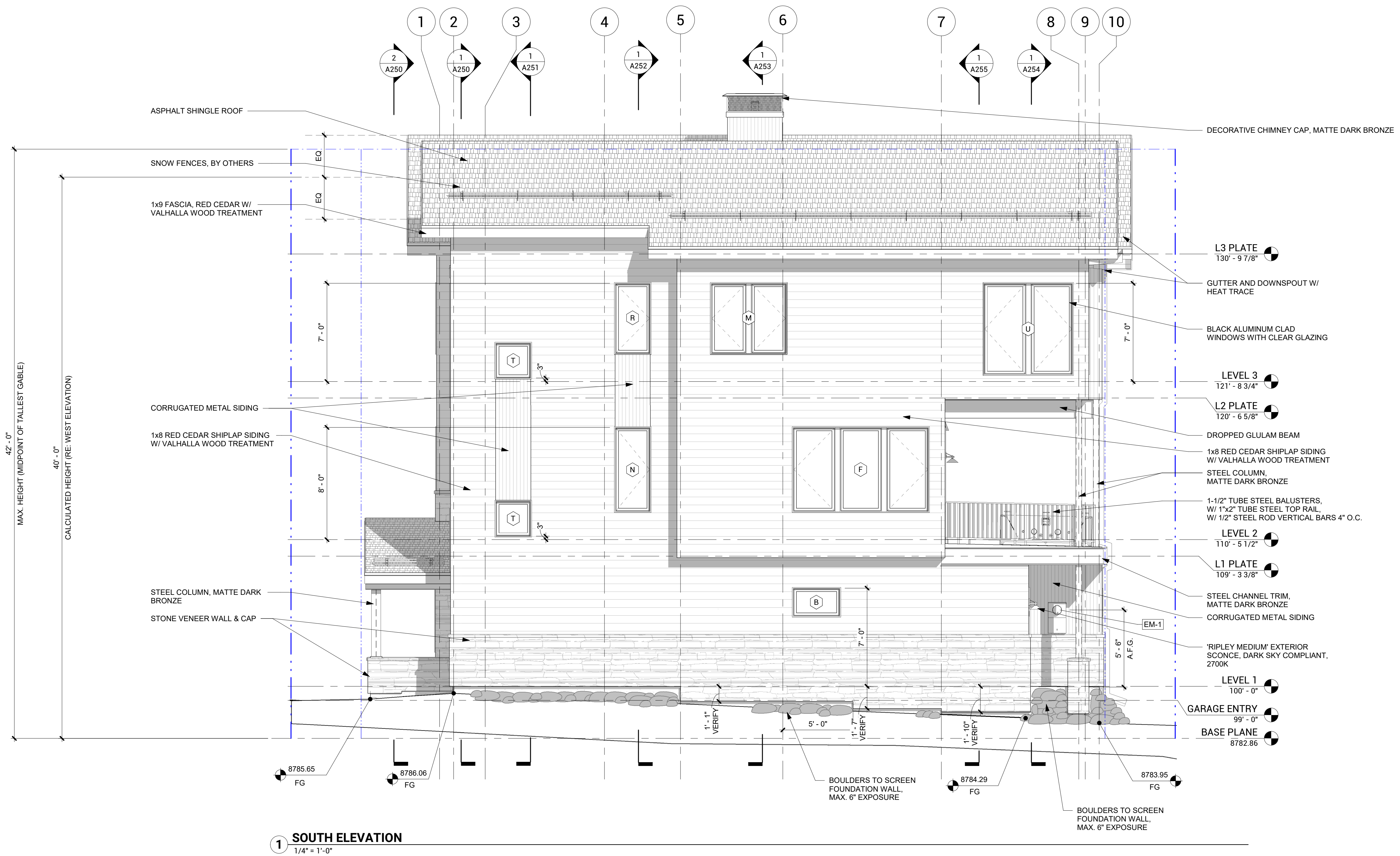
Project Number:
002.2

Date:
JUN 27, 2024

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MINOR SITE PLAN

BUILDING ELEVATIONS

A201



1 SOUTH ELEVATION
1/4" = 1'-0"

BD PROPERTY HOLDINGS 146, LLC
146 EXPLORATION TRAIL
146 EXPLORATION TRAIL, WINTERPARK, CO 80482

No.	Date	Description

Project Number:
002.2

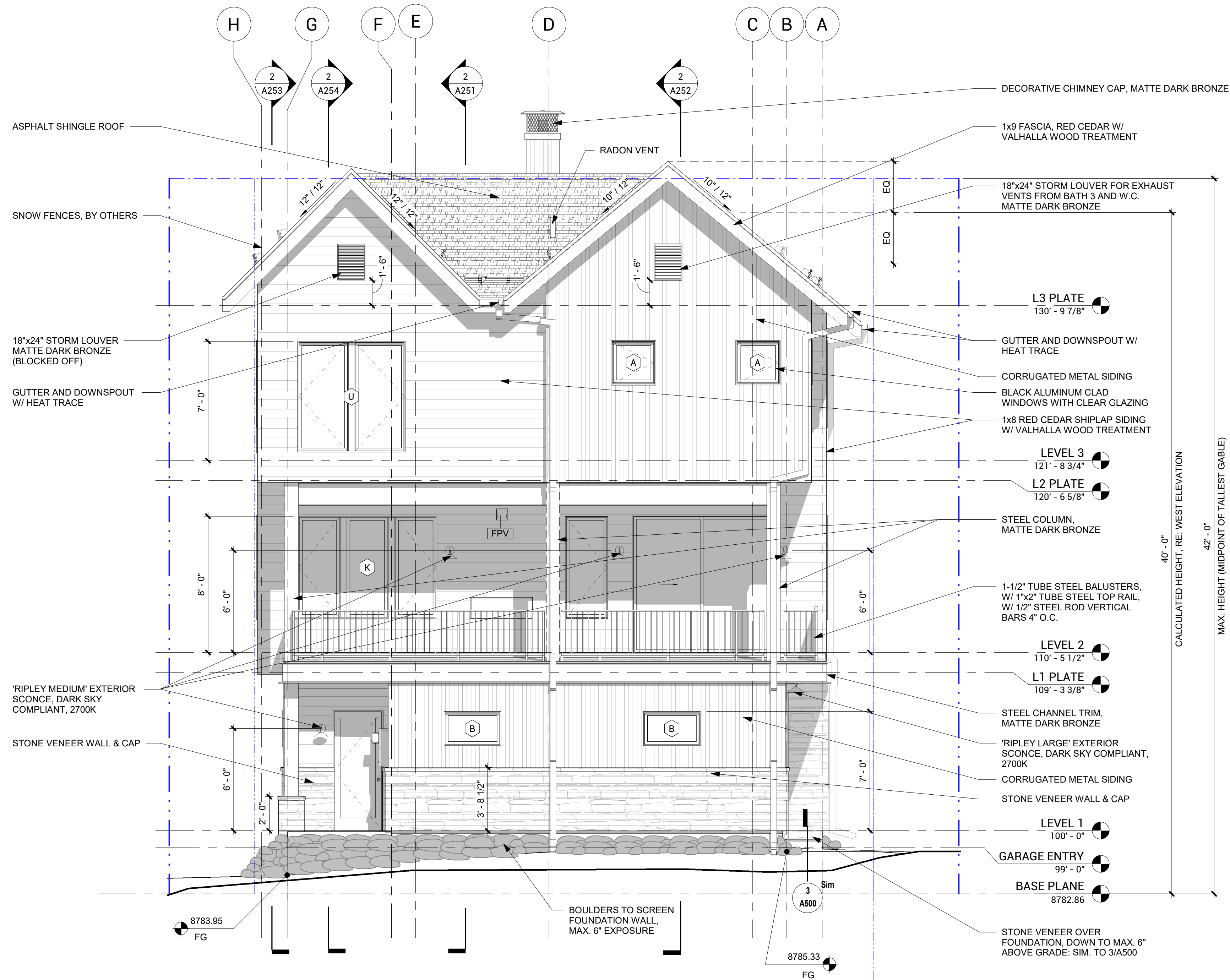
Date:
JUN 27, 2024

Issued For:
MINOR SITE PLAN

BUILDING ELEVATIONS

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1 EAST ELEVATION
1/4" = 1'-0"

6/26/2024 5:13:18 PM

BD PROPERTY HOLDINGS 146, LLC
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REVISIONS:	No.	Date	Description

Project Number:
002.2

Date:
JUN 27, 2024

Issued For:
MINOR SITE PLAN

BUILDING ELEVATIONS

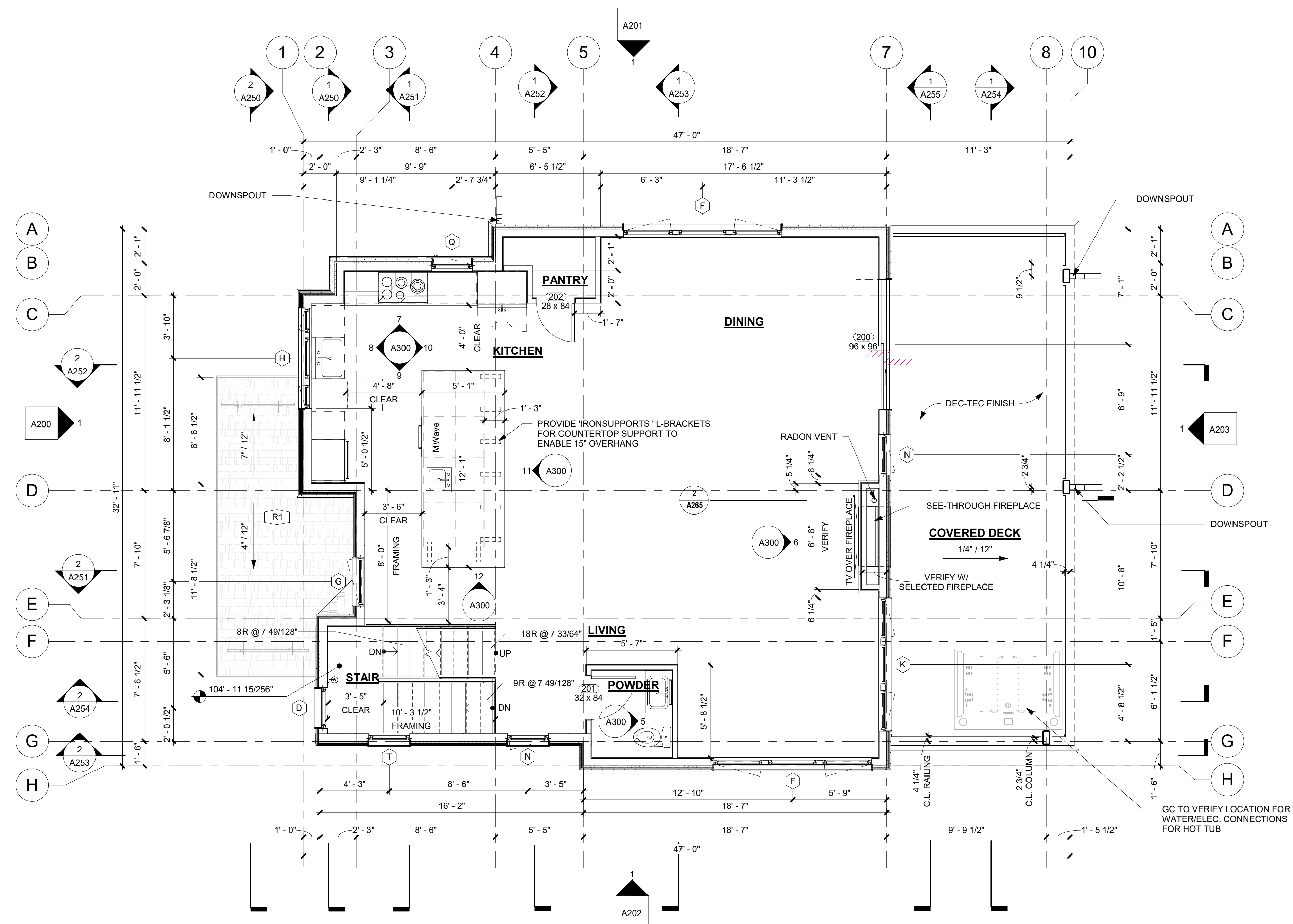
A203

SHEET NOTES:

- INTERIOR DIMENSIONS ARE MEASURED TO FACE OF STUD AND/OR STRUCTURAL GRID LINE, U.N.O.
- UNDIMENSIONED DOORS ADJACENT TO A PERPENDICULAR WALL SHALL BE LOCATED 4" FROM FACE OF FINISH TO JAMB, U.N.O.
- ELEMENTS THAT APPEAR TO BE ALIGNED ARE ALIGNED, U.N.O.
- ELEMENTS THAT APPEAR TO BE CENTERED ARE CENTERED, U.N.O.
- SEE A104 FOR ROOF PLANS
- SEE A150'S FOR REFLECTED CEILING PLANS
- SEE A004-A005 FOR WALL TYPES, DOOR, WINDOW, AND MECHANICAL EQUIPMENT SCHEDULES.
- SEE A001 - A003 FOR ZONING AND IECC INFORMATION.
- ALL WORK SHOWN AS EXISTING IS TO REMAIN UNLESS NOTED OTHERWISE.
- INTERRUPTION OF HEATING, POWER, FIRE PROTECTION, AND ANCILLARY SYSTEMS SHALL BE COORDINATED WITH THE OWNER AND LOCAL AUTHORITIES IN ADVANCE.

PHASING LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- NEW CONSTRUCTION



1 LEVEL 2 FLOOR PLAN
1/4" = 1'-0"

BD PROPERTY HOLDINGS 146, LLC
146 EXPLORATION TRAIL
146 EXPLORATION TRAIL, WINTERPARK, CO 80482

REVISIONS:	No.	Date	Description

Project Number:
002.2

Date:
JUN 27, 2024

Issued For:
MINOR SITE PLAN

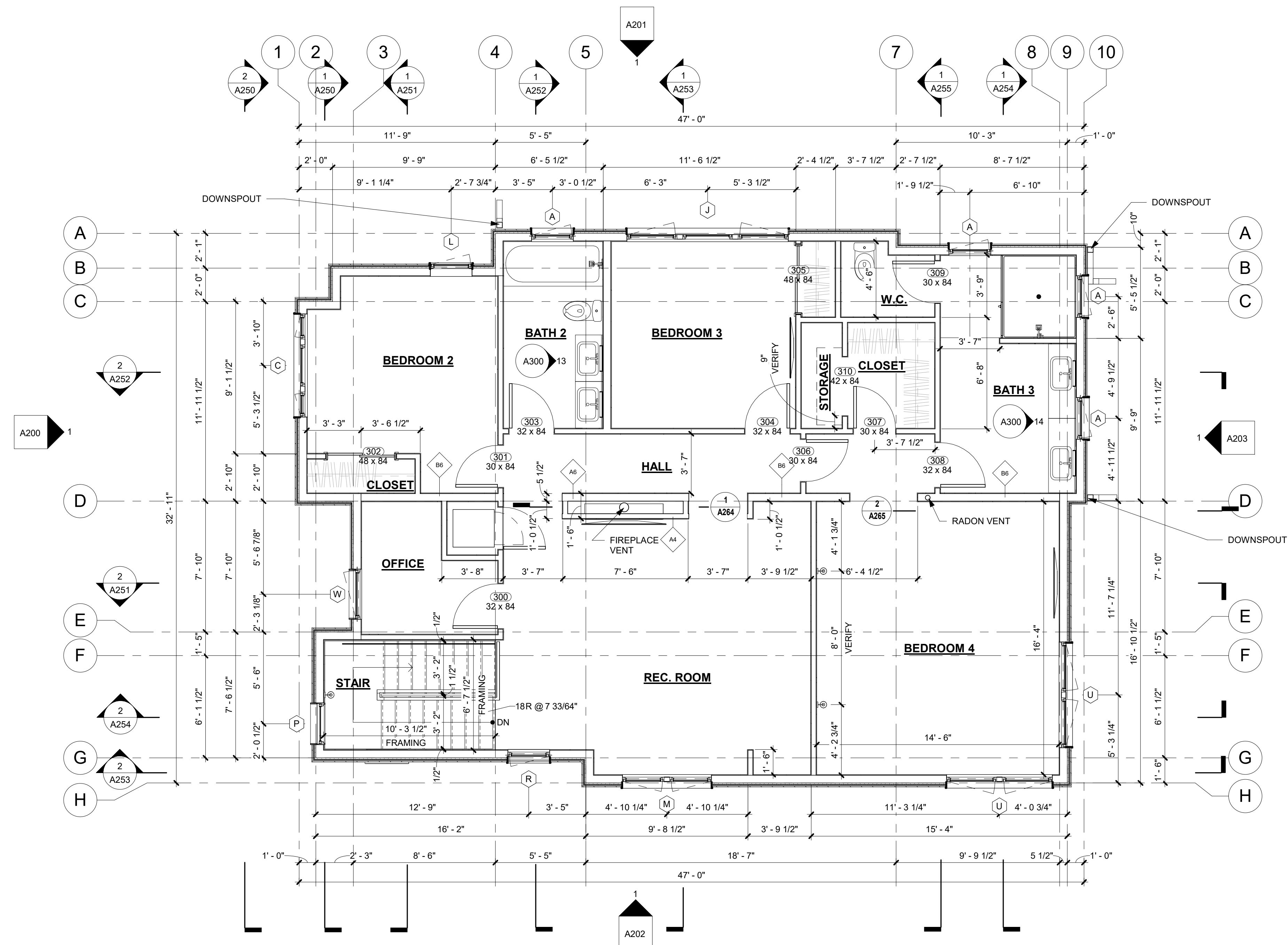
FLOOR PLAN

SHEET NOTES:

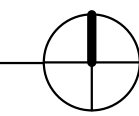
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- UNDIMENSIONED DOORS ADJACENT TO A PERPENDICULAR WALL SHALL BE LOCATED 4" FROM FACE OF FINISH TO JAMB, U.N.O.
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PHASING LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- NEW CONSTRUCTION



1 LEVEL 3
1/4" = 1'-0"



REVISIONS:	No.	Date	Description

Project Number:
002.2

Date:
JUN 27, 2024

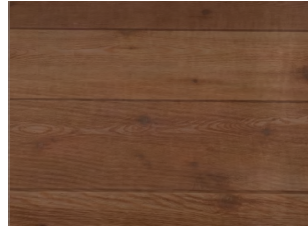
Issued For:
MINOR SITE PLAN

FLOOR PLAN

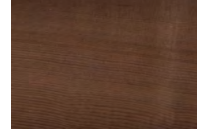
BASIS OF DESIGN: GAF 'BARKWOOD'
ASPHALT SHINGLE ROOFING



SOFFIT: VALHALLA WOOD
TREATMENT ON RED CEDAR



FASCIA: VALHALLA WOOD
TREATMENT ON RED CEDAR



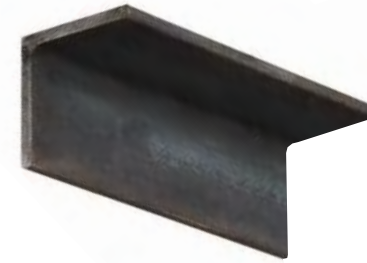
BLACK METAL FLASHING
@ WINDOWS/DOORS



DARK BRONZE METAL
GUTTERS, DOWNSPOUTS,
VENTS & FLASHING @ ROOF
AND CORRUGATED SIDING



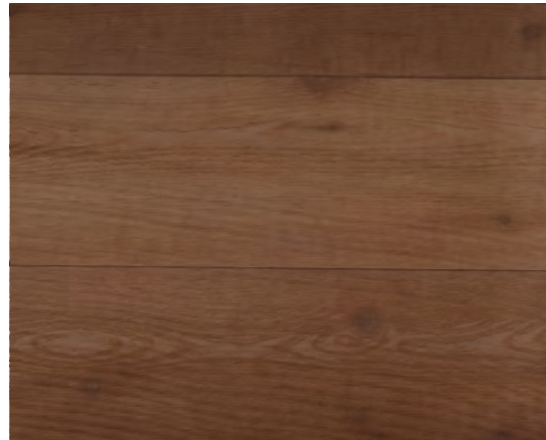
STEEL CHANNEL BEAMS, WIDE
FLANGE COLUMNS & ANGLE TRIM
MILLFINISH W/ CLEARCOAT



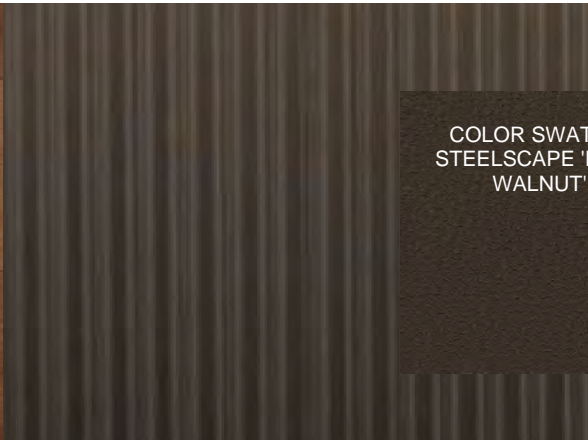
EXTERIOR SCONCES - KITCHLER
'RIPLEY' (MEDIUM AND LARGE) OUTDOOR
WALL LIGHT IN OLDE BRONZE



1x8 SHIPLAP RED CEDAR W/
VALHALLA WOOD TREATMENT



CORRUGATED VERTICAL METAL
SIDING, PAINT: STEELSCAPE
'DARK WALNUT'

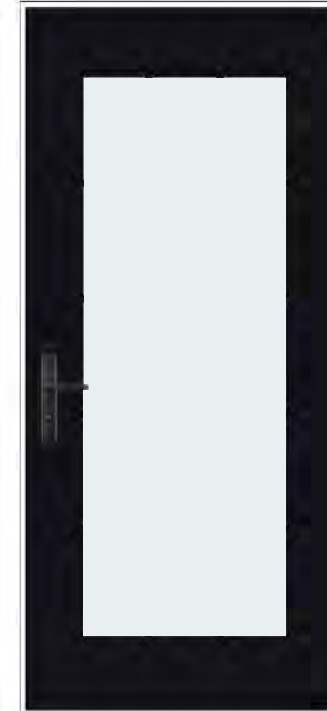


COLOR SWATCH:
STEELSCAPE 'DARK
WALNUT'

BLACK ALUMINUM CLAD
WINDOWS w/ CLEAR GLASS
W/ 1x RED CEDAR TRIM W/
VALHALLA WOOD TREATMENT



BLACK STEEL EXTERIOR DOOR
W/ 1x RED CEDAR TRIM W/
VALHALLA WOOD TREATMENT



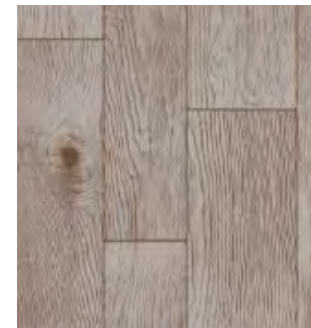
FLUSH BLACK PANEL GARAGE DOORS
W/ VISION PANELS W/ 1x RED CEDAR
TRIM W/ VALHALLA WOOD TREATMENT



RAILING: BLACK, 1x2 TUBE STEEL TOP
RAIL, 1-1/2" TUBE STEEL BALLUSTERS,
1/2" VERTICAL BARS @ 4" O.C., 1-1/2"
TUBE STEEL BOTTOM RAIL



DECK: DEC-TEC VINYL MEMBRANE:
COLOR: 'ROWAN'



TELLURIDE STONE COMPANY
'IRON MOUNTAIN'

FOUNDATION: POURED IN PLACE CONCRETE,
MAX. 6" EXPOSURE ABOVE GRADE

146 EXPLORATION TRAIL - ROAM
WINTER PARK, COLORADO
MATERIAL BOARD

DRWARCHITECTURE



MEMO

TO Planning Commission
FROM Brian P Kelly, Senior Planner
THROUGH James Shockey, AICP, Community Development Director
DATE August 08, 2024
RE Minor Site Plan – 285 Bridger Trail - Lot 8 Bridger’s Cache (PLN24-062)

Property Owner: Judith and Christian Bartels

Applicant: Rebecca Katkin of Katkin Architecture FBO Owners

Architect: Rebecca Katkin, Katkin Architecture

Location: 285 Bridger Trail, Lot 8, Lots 7 & 8 of the Bridger’s Cache Subdivision Exemption (“The Property”)

Zoning:
R-2, P-D (Bridger’s Cache Subdivision Final Plat Reception #2019005077)

Authority:
Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Director considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park Minor Site Plan approval is required before building permit issuance.

Variances:
N/A: No Board of Adjustment (BOA) variance requests were requested with this application.

Architecture:
The applicant proposes one (1) new single-family attached dwelling unit (DU) on vacant unimproved land with an attached two-car (two parking spaces) garage. Plans show two (2) patios: an uncovered/unenclosed patio to the walkout lower floor (1st level) of the north elevation and a covered/unenclosed entry patio slab to the main floor (2nd level) of the south elevation. The proposed structure has shed roof forms. The total building footprint is approximately 3,327-square feet and has a gross floor area of approximately 6,072-square feet.

Title Commitment:
Unsatisfactory. A title commitment from more than the past six months was submitted.

- Applicant shall submit a recent Title from the prior six months.

Homeowner’s Association Review:
Satisfactory. The Bridger’s Cache Owners Association provided a letter stating its approval of the plans.

Material and Color:

Satisfactory. The elevations feature a gray rectangular stone veneer wainscot and chimney, vertical brown cedar siding, black asphalt shingles for roofing, and black metal accents and trim. Primary materials utilize earth tones that are consistent with residential development in the subdivision.

Outdoor Lighting:

Unsatisfactory. Eleven (11) outdoor lighting fixtures each producing 800 lumens exceeds the lighting requirements pursuant to § 3-K-5. Additionally, the proposed light fixture specification sheet does not properly indicate a dark sky compliant fixture.

- Applicant must submit an outdoor lighting plan that is compliant with the UDC requirements; resubmit an Outdoor Lighting Calculation Table with the revised plan.
- Applicant must propose light fixtures that are International Dark Sky (IDA) approved. See § 3-K-3 of the UDC.

Accessory Dwelling Unit (ADU):

N/A. No ADU is proposed.

Site Plan:

Unsatisfactory. The submitted site plan is missing setback distances to the existing and proposed retaining walls. The location of trash receptacles and refuse containers must be identified; permanent trash enclosures must be screened from view and comply with Sec. 3-I-6.

- Applicant must update the site plan to indicate locations of Trash Enclosures (if applicable).
- Applicant must update the site plan to include setback distances of existing and proposed retaining walls to a point on the property line.
- NOTE: The Temporary Construction Material Storage Area 2025 appears to be in an area that will be inaccessible upon completion of the retaining walls and rip-rap swale.

Floorplans:

Satisfactory. The floor plan includes all required information, such as square footage and proper notes. It is consistent with the provided renderings and elevations.

Building Elevations:

Satisfactory. The proposed residential dwelling features shed roof forms with a modern architectural design. The proposed dwelling aligns with the requirements of the Town of Winter Park Design Guidelines (the "Guidelines") and is consistent with architectural design in the neighborhood.

Setbacks:

Satisfactory. The proposed development is compliant with the West Portal PUD, the Bridger's Cache Subdivision Final Plat and the underlying zoning district, R-2.

Building Coverage:

Unsatisfactory. The proposed dwelling utilizes greater than 40 percent building coverage, and the architectural plans (53%) and civil plans (47%) are inconsistent in the calculation of proposed building coverage.

- Applicant will resubmit prior to Building Permit a revised site plan demonstrating a reduction

- in total building coverage area. Building coverage means the area of a parcel occupied by principal and accessory structures and impervious surfaces (i.e., driveways and sidewalks). Uncovered/unenclosed patios, decks, and porches and eaves (greater than twenty-four inches (24")) are included in the building coverage calculation.
- NOTE: Civil Plan area of disturbance is greater than lot size. Applicant must explain/demonstrate area of disturbance beyond lot limits.

Building Height:

Satisfactory. The proposed maximum overall height is 44' 8 1/2" and is measured from lowest point of exposed foundation at existing grade. In addition maximum height at roof midpoint analyzed at all elevations is 32' 1 1/2". The maximum height permitted of a terraced or stepped structure is 55-feet with midpoint not to exceed 35-feet.

Parking:

Satisfactory. As seen in UDC Sec. 3-H-3, Required Parking, two (2) off-street parking spaces are required per Single-Family dwelling unit. Eight (8) total spaces are provided, two (2) in garage, two (2) uncovered and an additional four (4) north of the ROW easement. The uncovered parking spaces lie within the side yard setback, which is permitted by access easement, and single-family land uses as seen in § 3-H-5(C), Parking Standards for Single-Family Detached and Attached Land Use Types.

Landscaping:

Unsatisfactory. The landscape plan provided does not include the required information as outlined on the Minor Site Plan Application Form. In addition the legend indicates the installation of 5-foot diameter trees, which may not be feasible. This property shall be landscaped in compliance with the UDC Sec. 3-I, Landscaping, Buffering, and Screening. Single Family detached uses are required to provide a Type A bufferyard, as referenced in Table 3-I-5-2, District Bufferyard standards. A landscape plan is required to include an acceptable scale, quantity of plant materials, species name, existing and proposed landscaping, existing and proposed hardscaping, and design of drainage on lot.

- The applicant shall submit a Tree Removal and Landscape Plan compliant with the regulations within the Guidelines.
- Add the following note to the Landscape Plan, "Any disturbed areas on the site shall be revegetated with the seed mix recommended by the Grand County Natural Resource Conservation Service, which mix composition is described in Section 7.4 of the Standards and Specifications for Design and Construction". Indicate area of reseeding and provide seed mix specification on landscape plan along with tree genus/species.

Snow Storage:

Unsatisfactory. UDC 3-H-5 requires that a minimum of 25% of all driving surfaces, including gravel shoulders, parking areas, and pedestrian walkways is designated for snow storage. The site plan labels proposed snow storage locations but does not provide any tabulation that verifies it complies with UDC standards.

- Applicant shall provide a snow storage table that includes the following information:

Lot #	Landscape Area (SF)	Asphalt Hardscape (SF)	Snow Storage required (SF)	Snow Storage provided. (SF)
8				

Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:

Satisfactory: The plans submitted are in conformance with the Standards and Specifications for Design and Construction.

Driveway:

Unsatisfactory. The site plan does not indicate the driveway material.

- The applicant shall provide the driveway material on the Site Plan.
- Add a note to the site plan that states the applicant shall install a stabilized construction entrance for the duration of the construction period in conformance with the Standards and Specifications for Design and Construction.

Utility Review:

N/A

Wetlands:

N/A

Inspection:

Building Division staff have not performed a Pre-Disturbance inspection of the property.

- No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Staff Recommendation:

Staff recommends approval of the Minor Site Plan with the following conditions:

1. Applicant shall submit a recent Title from the prior six months.
2. Applicant must submit an outdoor lighting plan that is compliant with the UDC requirements; resubmit an Outdoor Lighting Calculation Table with the revised plan. Light fixtures must be Dark Sky compliant (See § 3-K-3 of the UDC).
3. Applicant must update the site plan to indicate locations of Trash Enclosures (if applicable).
4. Applicant must update the site plan to include setback distances of existing and proposed retaining walls to a point on the property line.
5. Applicant must revise the site plan demonstrating a reduction in total building coverage area not to exceed 40%.
6. The applicant shall submit a Tree Removal and Landscape Plan compliant with the regulations within the Guidelines.
7. Add the following note to the Landscape Plan, "Any disturbed areas on the site shall be revegetated with the seed mix recommended by the Grand County Natural Resource Conservation Service, which mix composition is described in Section 7.4 of the Standards and Specifications for Design and Construction".

8. In the Landscape Plan, the applicant shall provide quantity of plants and species names of plant material utilized in the vegetated buffer.
9. Applicant shall provide a snow storage table that is compliant with UDC Sec. 3-H-5.
10. The applicant shall provide the driveway material on the Site Plan.
11. Add a note to the site plan that states the applicant shall install a stabilized construction entrance for the duration of the construction period in conformance with the Standards and Specifications for Design and Construction.
12. No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Required Permits:

- ✓ Building Permit
- ✓ Driveway Permit
- ✓ SFD/Duplex Deposit Agreement



MINOR SITE PLAN APPLICATION FORM

The Planning Division is here to assist you with your Minor Site Plan Application (“Application”) pursuant to Site Plan (Sec. 5-E-1) in the Unified Development Code (UDC). Applications are administratively and legislatively reviewed and approval is required. The Application will be reviewed in accordance with the procedures and requirements outlined in Sec. 5-E-1 in the UDC.

This publication outlines the Minor Site Plan Application process and submittal requirements.

All submittal items shall be submitted in PDF format in accordance with the Site Development and Permit Decision File Naming Conventions to permits@wpgov.com. Ensure your application is complete by checking each of the required submittal (RS) boxes below.

1 Required Items			
Plan Sheet(s)	RS*	Item #	Submittal Items
	X	1.	Minor Site Plan Application Form. Executed.
	X	2.	Land Use Review Application Form. Executed.
	X	3.	Driveway Permit Application Form. Executed.
	X	4.	Single-Family/Two-Family Attached Dwelling Deposit Agreement Form. Executed.
	X	5.	Title Commitment. Including Schedules A and B. The applicant shall provide a title insurance commitment proving the applicant’s ownership of the land to be platted and that all land to be dedicated or conveyed to the Town is free and clear from all liens and encumbrances except as expressly agreed to by the Town.
	X	6.	HOA Architectural Control Committee Approval Letter. If property is governed by HOA.
A0. 0	X	7.	Narrative. Shall include the following: A. Project name. B. Street address. C. Name, address, email and telephone number of owner, applicant, HOA, project manager, architect, engineer, surveyor, and land planner, as applicable. D. Legal description. E. Zoning district. F. Lot size (acreage and sq. ft.). G. All proposed uses. H. Number of dwelling units. I. Number of bedrooms per dwelling unit. J. Size of residential space (sq. ft.). K. Number of proposed off-street parking spaces. L. Construction schedule indicating major milestones for project.
A0. 0	X	8.	Project Drawings. Shall contain project name, legal description, date of preparation, north arrow, legend, vicinity map, and topography at two-foot (2’) intervals. Shall be sized ARCH D (24”x36”). Shall be oriented so that north is up.
C1. 0	X	8A.	Topographic Survey.
C1. 0 CD1. 0	X	8B.	Construction Plans. Shall have a minimum scale of 1”=20’ and be in conformance with the Standards and Specifications for Design and Construction. All plans shall be at the same

			scale and shall align with one another. A. Grading and Drainage Plan. B. Revegetation, Erosion, and Sediment Control Plan.
C1.0 CD1.0 A0.0 A1.0	X	8C.	Site Plan. Shall have a minimum scale of 1"=20'. All elements listed below shall be dimensioned. A. Building coverage ratio table. Shall include area (sq. ft. and acreage) of the following: building footprint (including roof overhangs, decks, porches, balconies, and patios); drives, sidewalks, and parking areas; easements; areas to be designated open space; the site's total acreage; and percentage of building coverage to open space. B. Driveway. Slope, dimensions, and culvert locations, if any. C. Easements, proposed and existing, public and private. Type and location. If existing easements, provide reception numbers on file with the Grand County Clerk and Recorder's Office. D. Environmental features. Includes riparian buffers, floodplains, floodways, and floodway fringes, wetlands, forests and woodlands, slopes greater than twenty percent (20%), slopes greater than thirty percent (30%), and geologic hazard areas. E. Limit of disturbance. F. Other improvements. Retaining walls, berms, trash receptacles, trash enclosures, fencing, signage, fire features, water features, hot tubs, pools, affixed barbeque grills, outdoor kitchens, sculptures, etc. G. Parking areas for construction workers' vehicles. H. Parking spaces. Dimensioned and counted. I. Property lines. J. Protection notes. <ol style="list-style-type: none"> a. "No disturbance, grading, or removal of significant natural features and vegetation will occur beyond the "limit of disturbance" line, as shown on this plan." b. "The "limit of disturbance" line shall be delineated prior to construction with flags, roping, four foot (4') tall orange construction fencing, or other acceptable means." K. Setback distances as required by zoning district. From all property lines. L. Setback distances from all existing and proposed structures, including retaining walls. Draw a line to tie the structure to a point on the property line. M. Snow storage areas. N. Storage areas for soil, construction equipment, and other materials. O. Street addresses or unit numbers. P. Street ROW, proposed and existing, public and private. Type, location, and name. Q. Structures, proposed and existing. R. Top of foundation elevations. For main corners of each structure. S. Utilities, proposed and existing. For mains and service lines. T. Walkways and paths.
A3.0-3.4	X	8D.	Building Elevations. See Article 3.A, <i>Lot and Building Standards</i> . Shall have a minimum scale of 1/8"=1'. A. Profiles. B. Location where buildings intersect the existing and proposed grades for each profile. C. Building materials. Shall be annotated to correspond with Building Materials Board. D. Location of outdoor lighting fixtures.
A2.0-2.2	X	8E.	Floorplans. Shall have a minimum scale of 1/8"=1'. All plans shall be black and white, at the same scale, and shall align with one another. Shall include a roof plan.
L1.0	X	8F.	Landscaping Plan. See Article 3.I, <i>Landscaping, Buffering, and Screening</i> . Shall have a minimum scale of 1"=20'. Shall include the following:

			<p>A. Proposed species name.</p> <p>B. Property lines labeled with required bufferyard types.</p> <p>C. Structures, existing and proposed.</p> <p>D. Landscaping, existing and proposed.</p> <p>E. Hardscaping, existing and proposed.</p> <p>F. Top-of-wall and bottom-of-wall elevations of all retaining walls and site walls.</p>
	X	8G.	Bufferyard Tabulation. See “Bufferyard Tabulation” below.
N/A	X	8H.	Tree Removal and Protection Plan. See Article 3.G, <i>Tree Removal and Protection</i> . All trees proposed for protection greater than four inches (4”) in caliper.
See attached Lighting Cut Sheet	X	9.	Outdoor Lighting Board. See Article 3.K, <i>Outdoor Lighting</i> . Shall include cut sheets for all proposed outdoor lighting fixtures with International Dark Sky Association (IDA) Approval Symbol. Shall indicate mounting heights.
	X	10.	Outdoor Lighting Tabulation. See “Outdoor Lighting Tabulation” below.
A0.0 SCH-1 SCH-2	X	11.	<p>Building Materials Board. Shall be annotated to correspond with Building Elevations. Shall include photographs of swatches demonstrating color and material composition for the following:</p> <p>A. Decks</p> <p>B. Doors (incl. garage and entry doors)</p> <p>C. Fascia</p> <p>D. Fencing</p> <p>E. Foundation</p> <p>F. Gates</p> <p>G. Railings</p> <p>H. Roofs</p> <p>I. Siding</p> <p>J. Soffits</p> <p>K. Window and door trim</p> <p>L. Window glass type</p>
A3.4	X	12.	Renderings. Shall be 3D, in color, and accurate in scale.
N/A	X	13.	Wetland Delineation. See Article 3.C, <i>Resource Identification and Sensitive Lands Protection</i> . If applicable.
N/A	X	14.	Hillside and Ridgeline Development Study. See Article 3.C, <i>Resource Identification and Sensitive Lands Protection</i> . If impacting slopes greater than twenty percent (20%).
	X	15.	File Naming Conventions. All Minor Site Plan Applications shall be submitted pursuant to the Site Development and Permit Decision File Naming Conventions.
Required Submittal (RS*) = <input type="checkbox"/>			

Bufferyard Tabulation

Tabulation of required bufferyard types per property line and list of proposed plantings proposed per property line. See Sec. 3-I-5, *Bufferyards*, for requirements.

	Evergreen Trees Required	Evergreen Trees Provided	Deciduous Trees Required	Deciduous Trees Provided	Shrubs Required	Shrubs Provided	Berm Height	Deficiency (if any)
N Boundary Length: ^{110'} _____ linear feet Adjacent properties are zoned: <u>OPEN SPACE</u> Bufferyard Type: (A) B C D (circle one)	4	4	4	4				
S Boundary Length: ^{176'} _____ linear feet Adjacent properties are zoned: <u>RESIDENTIAL</u> Bufferyard Type: (A) B C D (circle one)	4	4	4	4				
E Boundary Length: ^{161'} _____ linear feet Adjacent properties are zoned: <u>RESIDENTIAL</u> Bufferyard Type: (A) B C D (circle one)	4	4	4	4				
W Boundary Length: ^{101'} _____ linear feet Adjacent properties are zoned: <u>CLUB LANDS</u> Bufferyard Type: (A) B C D (circle one)	4	4	4	4				

Outdoor Lighting Tabulation

See Article 3.K, *Outdoor Lighting*, for requirements. Ensure each fixture’s cut sheet contains the International Dark Sky Association (IDA) Approval Symbol.

Fixture Name	Proposed # of Fixtures	Proposed Lumens per Fixture	Proposed Correlated Color Temperature (in degrees Kelvin)
Hinkley Lighting: Shelter Tall Wall Sconces Matte Black	11	800	3000

2 Process for Approval – See Sec. 5-E-1, *Site Plan*.

3 Fees – See Sec. 5-B-6, *Application Fees*. An invoice will be sent once the planning file has been created.

- A. \$100.00 Minor Site Plan Application Review Fee.
- B. \$3,000.00 Deposit for Building Exterior, Driveway, and Landscaping.
- C. \$50.00 Driveway Permit Application Fee.

4 Applicant’s Certification Statement

I, _____, as Applicant and duly representative of the owner, hereby certify that the information included upon the attached submittal items are true and accurate; and that the development of the site will occur in accordance with the submittal items.

GENERAL CONDITIONS

01. PROJECT SCOPE: NEW 5 BEDROOM HOME OF WOOD FRAME CONSTRUCTION. 4,449 FINISHED SQ. FT. PLUS 548 SQ. FT. UNCONDITIONED 2-CAR GARAGE AND 300 SQ.FT. UNFINISHED STORAGE (5,327 TOTAL SQ. FT.)

02. GENERAL CONDITIONS: PERFORM ALL WORK REQ'D BY THE CONTRACT DOCUMENTS FOR THE ALTERATION, RENOVATION, REPAIR & REHABILITATION OF THE DESIGNATED PREMISES, INCLUDING ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, SCAFFOLDING & OTHER FACILITIES & SERVICES NECESSARY FOR THE PROPER & COMPLETE EXECUTION OF THE WORK. THESE GENERAL CONDITIONS SHALL APPLY TO ALL WORK INDICATED IN THIS DRAWING SET & SHALL EXTEND TO ANY CHANGES OR ADDITIONAL SCOPE DEVELOPED DURING THE COURSE OF THE PROJECT.

03. EXCLUSIONS: CONTRACTOR SHALL MAKE KNOWN TO ARCHITECT & OWNER ANY LIMITATIONS, EXCLUSIONS OR MODIFICATIONS TO THE PROJECT EXPLICITLY IN THE PROJECT ESTIMATE. UNLESS SPECIFICALLY EXCLUDED, THEY WILL BE PRESUMED TO BE INCLUDED IN THE PRICING OF THE PROJECT.

04. COMPLEMENTARY DOCUMENTS: THE ARCHITECT'S DRAWINGS, SPECIFICATIONS & CONSTRUCTION NOTES ARE COMPLEMENTARY, & WHAT IS CALLED FOR BY ONE SHALL BE BINDING AS IF CALLED FOR BY ALL.

05. INCONSISTENCIES: WHERE DIFFERENCES BETWEEN DRAWINGS, NOTES & SPECIFICATIONS OCCUR, THE DECISION OF THE ARCHITECT SHALL GOVERN AS TO WHICH TAKES PRECEDENCE. THE ARCHITECT SHALL PROMPTLY RESOLVE ANY SUCH DISCREPANCIES BROUGHT FORWARD BY THE CONTRACTOR.

06. MISSING INFORMATION: THE CONTRACTOR SHALL STUDY THE DRAWINGS, NOTES, SPECIFICATIONS & OTHER INSTRUCTIONS, & NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES OR MISSING INFORMATION REQ'D FOR FABRICATION OR INSTALLATION OF THE WORK. THE CONTRACTOR SHALL REQUEST INSTRUCTIONS FROM THE ARCHITECT BEFORE PROCEEDING W/ THE WORK.

07. DOUBTFUL CONDITIONS / FIELD CONDITIONS: VERIFY ALL (E) CONDITIONS & DIMENSIONS AFFECTING THE WORK ON SITE. NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT ARE FOUND CONTRARY TO THOSE SHOWN ON THE DRAWINGS, OR OF ANY DOUBTFUL CONDITIONS THAT MIGHT AFFECT QUALITY OR INTERFERE W/ THE PROPER COMPLETION OF WORK BEFORE COMMENCING WORK. COMMENCEMENT OF WORK INDICATES ACCEPTANCE OF (E) CONDITIONS.

08. PERMITS AND APPROVALS: OBTAIN ALL REQUIRED PERMITS & PAY FEES FOR PERMITS, LICENSES, INSPECTIONS, FILINGS & APPROVALS REQUIRED BY LOCAL LAWS, ORDINANCES & REGULATIONS NECESSARY FOR COMPLETION OF THE PROJECT. SCHEDULE REQUIRED INSPECTIONS IN A TIMELY MANNER SO AS NOT TO INTERRUPT PROGRESS OF THE WORK.

09. A VALID WORK PERMIT SHALL BE PROMINENTLY DISPLAYED AT THE JOB SITE FOR THE ENTIRE DURATION OF THE WORK.

10. COMPLIANCE WITH CODES: ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE TOWN OF WINTER PARK, CO, BUILDING INSPECTION OFFICE, PLANNING OFFICE, FIRE & EMERGENCY SERVICES, LOCAL UTILITY COMPANIES & BRIDGER'S CACHE H.O.A. WHERE REQUIREMENTS OF THESE CODES ARE CONTRADICTORY, THE MORE STRINGENT RULE SHALL APPLY.

11. MEANS AND METHODS: THE CONTRACTOR SHALL SUPERVISE THE WORK USING THE BEST SKILL & ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR, & SHALL HAVE CONTROL OVER, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.

12. SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING & SUPERVISING SAFETY PRECAUTIONS IN CONNECTION W/ THE WORK. HE SHALL GIVE NOTICES & COMPLY W/ ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS & ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE SAFETY OF PERSONS AND PROPERTY, & THEIR PROTECTION FROM DAMAGE, INJURY & LOSS. HE SHALL INSURE THAT THE JOB SITE IS MAINTAINED AT ALL TIMES SO AS TO PREVENT INJURY OR DAMAGE TO ALL PERSONS WORKING ON OR VISITING THE PREMISES, & TO THEIR PROPERTY.

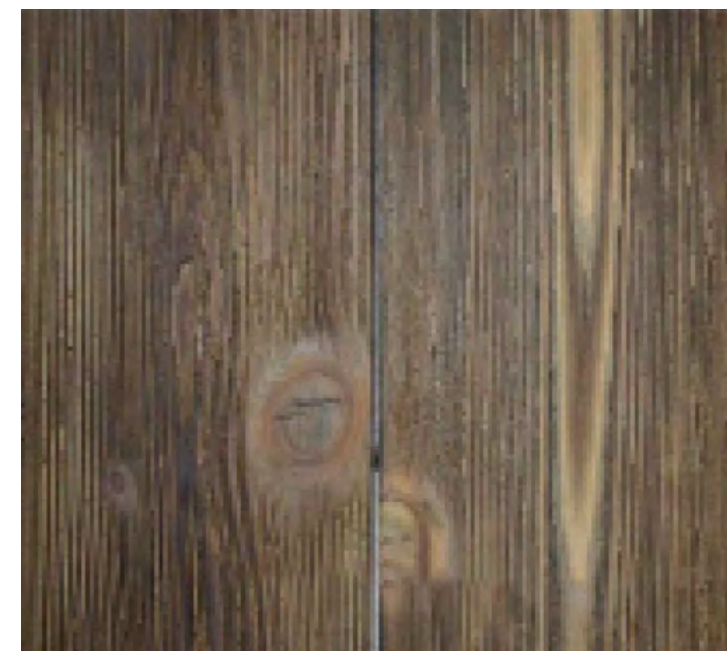
13. HAZARDOUS MATERIALS: IN THE EVENT THE CONTRACTOR ENCOUNTERS ASBESTOS OR PRODUCTS CONTAINING ASBESTOS, REMOVE ALL PERSONS FROM THE PROPERTY IMMEDIATELY W/O DISTURBING THESE PRODUCTS & NOTIFY THE OWNER. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT ALL PARTIES FROM POTENTIAL HAZARDS PRODUCED BY REMOVAL OF OR DAMAGE TO LEAD-BASED PAINTS OR OTHER SIM. HAZARDOUS MATERIALS, ON OR ABOUT THE PROPERTY.

14. SCHEDULE: SUBMIT A CONSTRUCTION SCHEDULE TO ARCHITECT & OWNER PRIOR TO COMMENCING WORK. THE SCHEDULE SHALL INDICATE THE CHRONOLOGICAL PHASES OF WORK THROUGH PROJECT COMPLETION. THE SCHEDULE SHALL INDICATE ORDERING LEAD TIME, START & COMPLETION DATES FOR EACH TRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE APPROVED SCHEDULE.

15. SEQUENCE AND COORDINATION: THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES & SUBCONTRACTORS FOR ALL PORTIONS OF THE WORK UNDER THIS CONTRACT. THE CONTRACTOR SHALL ALSO COOPERATE IN SEQUENCING INSTALLATION OF ITEMS FURNISHED BY THE OWNER.

16. APPROVED MATERIALS: THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR EQUAL" IS USED THE ARCHITECT SHALL DETERMINE THE ACCEPTABILITY OF A SUBSTITUTION REQUESTED BY THE CONTRACTOR. ALL MATERIALS SHALL BE NEW, UNUSED & OF THE HIGHEST QUALITY IN EVERY RESPECT, U.O.N. IN THE DRAWINGS, MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MFR'S RECOMMENDATIONS & INSTRUCTIONS.

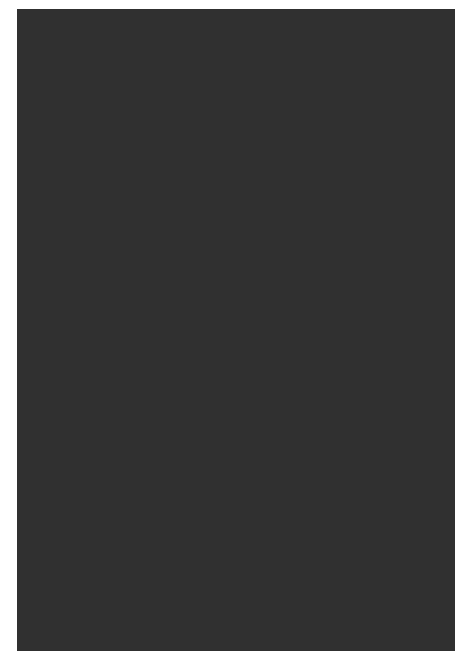
EXTERIOR MATERIALS



PRIMARY SIDING:
STAINED CEDAR
6" BOARDS
VERTICAL ORIENTATION



ROOFING:
TITAN XT (OR EQ.)
RUSTIC BLACK SHINGLE



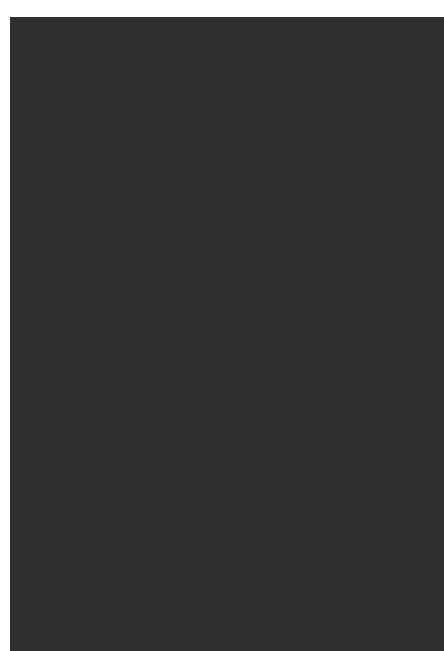
WINDOWS:
ALUMINUM CLAD WOOD
MATTE BLACK FINISH



EXTERIOR SCONCES:
SHELTER TALL WALL
COLOR: MATTE BLACK
HINKLEY LIGHTING



STONE FACING:
TELLURIDE STONE
BLTMORE



FACIAS:
METAL FACIAS
MATTE BLACK FINISH

17. LICENSED TRADESPEOPLE: WORK, INCLUDING PLUMBING, ELECTRICAL & OTHER TRADES, SHALL BE PERFORMED BY CONTRACTORS LICENSED IN THEIR TRADE, WHO SHALL OBTAIN ALL REQUIRED PERMITS, INSPECTIONS & SIGN-OFFS. HVAC SYSTEMS INSTALLERS MUST BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS, BY A PROGRAM ACCEPTABLE TO THE DBI, PER CAL GREEN 702.1

18. CURRENT DRAWINGS / REVISIONS: MAINTAIN A COMPLETE, CURRENT SET OF CONTRACT DOCUMENTS ON SITE THROUGHOUT CONST. FOR THE USE OF ALL TRADES. UPON RECEIPT OF ISSUED REVISIONS TO THE CONST. DOCS. BY THE ARCHITECT, THE CONTRACTOR SHALL IMMEDIATELY REVISE THE FIELD SET OF CONST. DOCS. & NOTIFY ALL AFFECTED TRADES OF THE REVISIONS.

19. LAYOUT OF WORK: LAYOUT WORK FROM DIMENSIONS & ALIGNMENTS SHOWN ON DRAWINGS & BE RESPONSIBLE FOR ALL MEASUREMENTS IN CONNECTION THEREWITH. THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN DRAWINGS & FIELD CONDITIONS TO THE ARCHITECT. **DO NOT SCALE DRAWINGS.**

20. QUALITY ASSURANCES:
A) ALL WORK SHALL BE PERFORMED & SUPERVISED BY WORKERS THOROUGHLY FAMILIAR W/ THE MATERIALS & METHODS SPECIFIED.
B) WORK SHALL BE INSTALLED PLUMB & LEVEL. SHOULD EX'G ADJ WORK NOT BE PLUMB & LEVEL, NEW WORK SHALL BE INSTALLED AS NECESSARY TO MEET THE EX'G WORK, W/O APPEARING TO EMPHASIZE THE VARIANCE, SUBJECT TO THE APPROVAL OF THE ARCHITECT.

21. SECURING OF PREMISES: SECURE THE PREMISES & MATERIALS WITHIN THE CONSTRUCTION AREA FOR THE DURATION OF CONSTRUCTION UNTIL OWNER'S FINAL ACCEPTANCE. TAKE ALL NECESSARY PRECAUTIONS AT THE END OF EACH WORK DAY TO INSURE UNAUTHORIZED PERSONS CANNOT ENTER THE JOB SITE.

22. PROTECTION DURING CONSTRUCTION: PROVIDE & MAINTAIN ALL NECESSARY COVERINGS & PROTECTION TO PREVENT DAMAGE, DISCOLORATION OR SOILING OF (E) & NEW CONST., FINISHES & BUILDING ELEMENTS. MAINTAIN PROTECTION UNTIL OWNER'S FINAL ACCEPTANCE. DUCT OPENINGS AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING ALL PHASES OF CONSTRUCTION, WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS ENTERING THE SYSTEM. UPON OWNER'S ACCEPTANCE, REMOVE ALL PROTECTION AND CLEAN ALL EXPOSED SURFACES. PROTECT HVAC SYSTEMS & COMPONENTS PER W/ SMACNA IAQ GUIDELINES.

23. MEANS OF EGRESS: ALL EX'G MEANS OF EGRESS FOR WORKERS & VISITORS TO SITE SHALL BE MAINTAINED CLEAR & FREE OF OBSTRUCTIONS SUCH AS BUILDING MATERIALS, TOOLS, ETC.

24. DELIVERIES: CONTRACTOR SHALL MAKE ALL REQ'D ARRANGEMENTS FOR DELIVERY & TRANSFER OF EQUIPMENT AND MATERIALS TO THE JOB SITE.

25. REMOVALS: MAINTAIN A CLEAN & NEAT WORK SITE AT ALL TIMES. CLEAN-UP & REMOVE FROM THE PREMISES ALL WASTE MATERIALS, RUBBISH, WRAPPINGS, CONTAINERS & SALVAGES GENERATED BY CONST., DEMOLITION & THE DELIVERY & INSTALLATION OF WOODWORK, FURNITURE & APPLIANCES, WHETHER PROVIDED UNDER THIS CONTRACT OR NOT. 100% OF MIXED DEBRIS SHALL BE PROCESSED FOR RECYCLING.

26. FINAL CLEANUP: ALL SPACES MUST BE LEFT VACUUM-CLEAN & ORDERLY, READY FOR OWNER OCCUPANCY. ALL SURFACES, INCLUDING COUNTERS, CABINET SHELVES & TOPS, MOLDINGS, DOOR & WINDOW HEADS, PLUMBING & LIGHTING FIXTURES, APPLIANCES, HVAC EQUIPMENT & FLOORS SHALL BE THOROUGHLY DUSTED W/ A FREQUENTLY RINSED DAMP CLOTH. AFTER DUSTING ALL SURFACES, FLOORS SHALL BE VACUUMED USING APPROPRIATE ATTACHMENTS. SCRAPE WINDOWS CLEAN W/ RAZOR & WASH.

27. PROJECT CLOSEOUT: UPON COMPLETION OF THE JOB THE CONTRACTOR SHALL SUBMIT ALL CERTIFICATES OF INSPECTION & A CERTIFICATE OF SUBSTANTIAL COMPLETION (AIA DOC. G-704) TO OWNER. UPON OWNER'S ACCEPTANCE, THE CONTRACTOR SHALL PERFORM A FINAL CLEANING.

28. PROJECT COMPLETION: THE PROJECT SHALL BE CONSIDERED COMPLETE WHEN THE WORK ON ARCHITECT'S PUNCH LIST HAS BEEN COMPLETED TO THE SATISFACTION OF THE ARCHITECT AND CLIENTS.

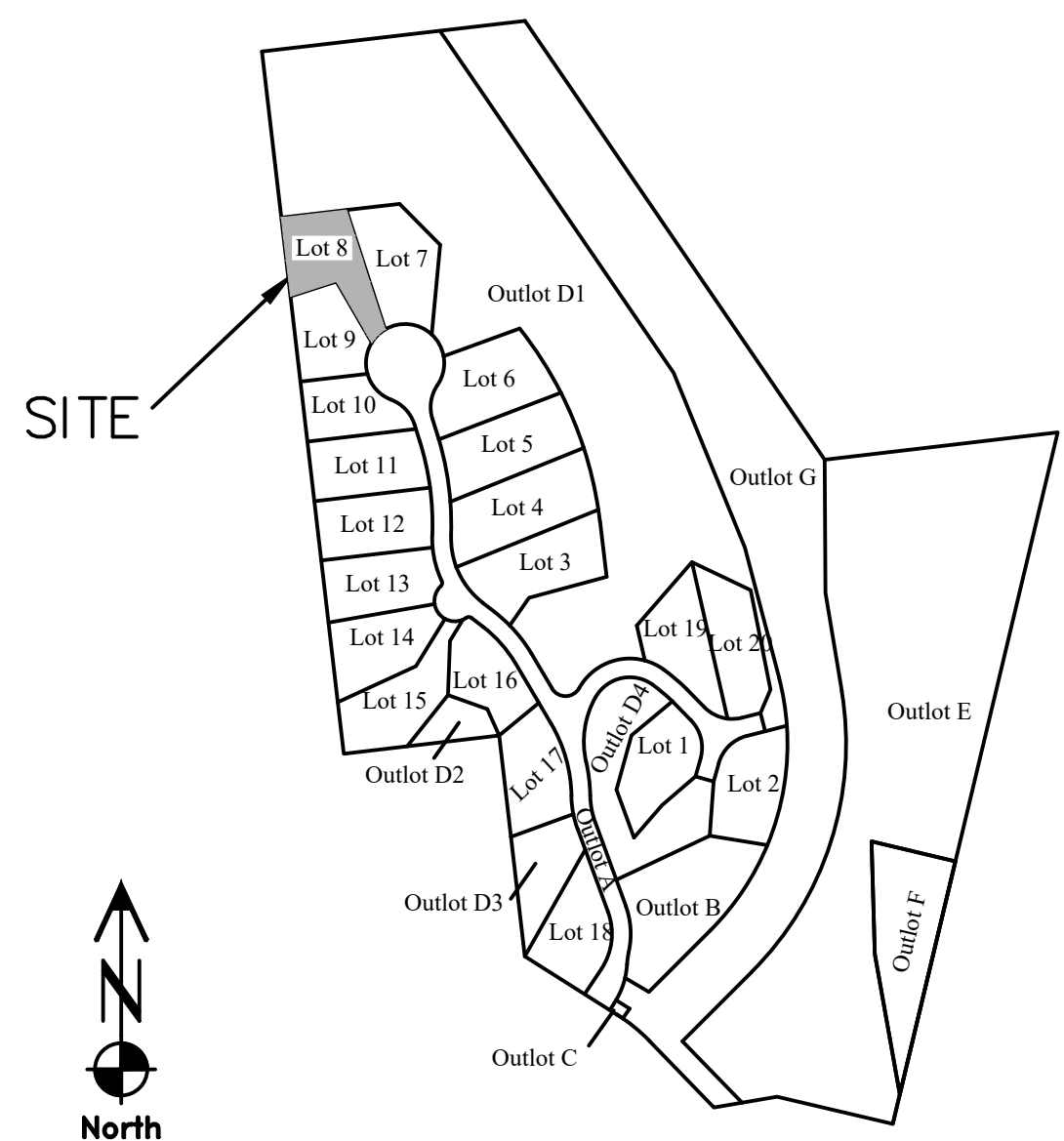
29. WARRANTY & GUARANTEE:
A) THE CONTRACTOR GUARANTEES THAT WORK COMPLETED UNDER THIS CONTRACT IS FREE FROM FAULTY MATERIALS & WORKMANSHIP, INCL. IMPROPER INSTALLATION. THIS GUARANTEE SHALL COVER A MINIMUM PERIOD OF ONE YEAR FOLLOWING THE DATE OF ACCEPTANCE OF THE WORK BY OWNER & SHALL BIND THE CONTRACTOR TO REPAIR OR REPLACE, PROMPTLY & EFFICIENTLY, ANY & ALL WORK & MATERIAL FOUND TO BE DEFECTIVE DURING THIS PERIOD, INCLUDING OTHER WORK NOT PERFORMED UNDER THIS CONTRACT, THAT IS DAMAGED BY SUCH DEFICIENCY.
B) NEITHER THE FINAL CERTIFICATE NOR THE FINAL PAYMENT, NOR ANY OTHER PROVISION IN THE CONTRACT, SHALL RELIEVE THE CONTRACTOR OF RESPONSIBILITY DESCRIBED IN THIS SECTION.
C) THIS WARRANTY IS IN ADDITION TO MANUFACTURER'S STANDARD WARRANTIES ON SPECIFIC PRODUCTS, MATERIALS & ASSEMBLIES.
D) IN THE EVENT ADDITIONAL PROFESSIONAL SERVICES ARE REQUIRED TO VERIFY & DIRECT REPAIRS OR REPLACEMENT OF WORK AS A DIRECT CONSEQUENCE OF THE FAILURE OF MATERIALS OR WORKMANSHIP GUARANTEED BY THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PAYMENT OF FEES FOR SUCH PROFESSIONAL SERVICES & ANY OTHER FEES NECESSARY TO CORRECT THE WORK.

APPLICABLE CODES

2015 INTERNATIONAL CODES (ICC)
2015 INTERNATIONAL PLUMBING CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

ALL TOWN OF WINTER PARK, CO. AMMENDMENTS

VICINITY MAP (N.T.S.)



SYMBOLS & GRAPHIC CONVENTIONS

SECTION DETAIL		WOOD FRAMING	
PLAN DETAIL		WOOD BLOCKING	
ELEVATION KEY		BATT INSULATION	
ELEVATION KEY		RIGID INSULATION	
ENLARGED DETAIL		GYPSUM WALL BOARD	
ELEVATION / DATUM TAG		LINE ABOVE	
ROOM NUMBER		LINE BELOW	
SHEET NOTE		EXISTING CONSTRUCTION TO BE DEMOLISHED	
DOOR NUMBER		EXISTING CONSTRUCTION TO REMAIN	
WINDOW NUMBER		NEW CONSTRUCTION	

TABLES

Table R301.2 (1) is amended to read as follows:

Table R301.2 (1)

Roof Snow Load
9,000 feet above sea level is 98 pounds per square foot
9,250 feet above sea level is 105 pounds per square foot
9,500 feet above sea level is 113 pounds per square foot
9,750 feet above sea level is 120 pounds per square foot
10,000 feet above sea level is 128 pounds per square foot
10,250 feet above sea level is 136 pounds per square foot
10,500 feet above sea level is 145 pounds per square foot
10,750 feet above sea level is 154 pounds per square foot

- Wind is ninety (90) miles per hour
- Seismic design category is "B"
- Weathering probability for concrete is severe
- Frost line depth is thirty inches (30")
- Termite infestation probability none to slight
- Decay probability is none to slight
- Winter design temperature is -16 degrees Fahrenheit
- Flood hazards, see flood insurance reference map

ABBREVIATIONS

CL	CENTERLINE	INCL	INCLUDING
PL	PROPERTY LINE	JB	JUNCTION BOX
Ø	DIAMETER OR ROUND	LAV	LAVATORY
# or LB	POUND OR NUMBER	LT	LIGHT/LIGHTING
(E)	EXISTING		
(N)	NEW		
X	TIMES OR BY (AS IN 2X4)	MAINT	MAINTENANCE
ADJ	ADJACENT	MAT	MATERIAL
AFF	ABOVE FINISHED FLOOR	MAX	MAXIMUM
ALUM	ALUMINUM	MECH	MECHANICAL
APPRD	APPROVED	MFR	MANUFACTURER
APPROX	APPROXIMATE	MICRO	MICROWAVE
ARCH	ARCHITECTURAL	MIN	MINIMUM
AVG	AVERAGE	MISC	MISCELLANEOUS
		MTD	MOUNTED
		MTL	METAL
BD	BOARD	N	NORTH
BTWN	BETWEEN	NIC	NOT IN CONTRACT
BLDG	BUILDING	NO OR #	NUMBER
BLKG	BLOCKING	NOM	NOMINAL
BM	BEAM	NTS	NOT TO SCALE
BOS	BOTTOM OF STEEL	O/	OVER
BO	BOTTOM OF	OC	ON CENTER
		OD	OUTSIDE DIAMETER (DIM)
CAB	CABINET	OPNG	OPENING
CEM	CEMENT	OPP	OPPOSITE
CH	CEILING HEIGHT	OVHD	OVERHEAD
CLG	CEILING		
CLKG	CAULKING		
CLOS	CLOSET		
CLF	CLEAR	PART	PARTITION
CLR	CLEAR OPENING	PLBG	PLUMBING
CO	CASED OPENING	PLAS	PLASTIC
COL	COLUMN	PLYWD	PLYWOOD
CONC	CONCRETE	PNTRY	PANTRY
CONSTR	CONSTRUCTION	PT	POINT
CONT	CONTINUOUS	PTD	PAINTED
CTR	CENTER		
		QUAL	QUALITY
		QTY	QUANTITY
DBL	DOUBLE	R	RISER
DEPT	DEPARTMENT	REF	REFRIGERATOR
DET	DETAIL	REQ'D	REQUIRED
DIA	DIAMETER	RM	ROOM
DIM	DIMENSION	RO	ROUGH OPENING
DISP	DISPOSAL		
DN	DOWN		
DR	DOOR	S	SOUTH
DW	DISHWASHER	SCHED	SCHEDULE
DWR	DRAWER	SECT	SECTION
DWG	DRAWING	SHT	SHEET
		SH	SIMILAR
EA	EACH	SPEC	SPECIFICATION
E	EAST	SO	SQUARE
ELEV	ELEVATION	ST STL	STAINLESS STEEL
ELEC	ELECTRICAL	STD	STAINED
EQ	EQUIPMENT	STL	STEEL
EQT	EQUIPMENT	STOR	STORAGE
EX'G	EXISTING	STRUCT	STRUCTURAL
EXT	EXTERIOR	SUSP	SUSPENDED
		SF	SQUARE FEET
FA	FIRE ALARM	SYST	SYSTEM
FIN	FINISHED	S.S.D.	SEE STRUCTURALDRAWINGS
FIN FL	FINISHED FLOOR		
FL	FLOOR	TEL	TELEPHONE
FLUOR	FLUORESCENT	TEMP	TEMPERED
FOC	FACE OF CONCRETE	THK	THICK(NESS)
FOF	FACE OF FINISH	TR	TRASH
FOS	FACE OF STUDS	TV	TELEVISION
FR	FRAME	TYP	TYPICAL
FRZ	FREEZER		
FT	FOOT OR FEET	UNF	UNFINISHED
FURR	FURRING	UON	UNLESS OTHERWISE NOTED
		UL	UNDERWRITERS LABORATORY
GA	GAUGE	UTL	UTILITY
GALV	GALVANIZED		
GL	GLASS	VERT	VERTICAL
GLWB	GYPSUM WALL BOARD	VIF	VERIFY IN FIELD
		W	WEST
HB	HOSE BIB	W/	WITH
HC	HANDICAPPED		
HDWR	HARDWARE		
HT	HEIGHT		
HTG	HEATING		

PROJECT DESCRIPTION

NEW 5 BEDROOM, 3-STORY HOME OF WOOD FRAME CONSTRUCTION, WITH UNCONDITIONED 2-CAR GARAGE.

CONDITIONED LIVING SPACE: 4,554 S.F.
GARAGE: 610 S.F.
UNFINISHED MECHANICAL/STORAGE RMS: 213 S.F.
PATIO: 155 S.F.
COVERED BALCONY: 249 S.F.
LOT COVERAGE (BUILDING, COV. BALCONY, PATIO): 3,242 S.F.
DRIVES & PARKING 3227 S.F.
LOT AREA 12,079 S.F.
% LOT COVERAGE = 26.8% (40% ALLOWED)

% EXTERIOR STONE = 33%
5433 S.F. EXTERIOR MATERIALS
1779 S.F. EXTERIOR STONE FACING

SHEET INDEX

ARCHITECTURAL	
A0.0	GENERAL CONDITIONS & NOTES; SHEET INDEX
A1.0	PLOT / ROOF PLAN
A2.0	LOWER LEVEL FLOOR PLAN
A2.1	GARAGE & MAIN LEVEL FLOOR PLANS
A2.2	UPPER LEVEL FLOOR PLAN
A2.3	REFLECTED CEILING PLAN - MAIN LEVEL
A2.4	REFLECTED CEILING PLANS - LOWER & UPPER LEVELS
A3.0	PROPOSED EXTERIOR EAST ELEVATIONS
A3.1	PROPOSED EXTERIOR SOUTH ELEVATIONS
A3.2	PROPOSED EXTERIOR NORTH ELEVATIONS
A3.3	PROPOSED EXTERIOR WEST ELEV. & NORTH COMPOSITE
A3.4	PROPOSED EXTERIOR ELEV. EAST & SOUTH COMPOSITES
A4.0	BUILDING SECTIONS
A6.0-6.2	CONSTRUCTION DETAILS

SCHEDULES	
SCH-1	DOOR SCHEDULE
SCH-2	WINDOW SCHEDULE

LANDSCAPE	
L1.0	LANDSCAPE PLAN

CIVIL	
CI.0	CIVIL SITE PLAN
CD1.0	SITE DETAILS

OWNERS:

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3633 PAONIA STREET
BOULDER, CO 80301



P.O. BOX 2115, EL GRANADA CA 94018
rebecca@katkinarchitecture.com
415.706.0981



PROJECT:

BARTELS RESIDENCE

285 BRIDGER TRAIL
WINTER PARK, CO 80482
A.P.N.: 1705-151-06-008

ISSUE:

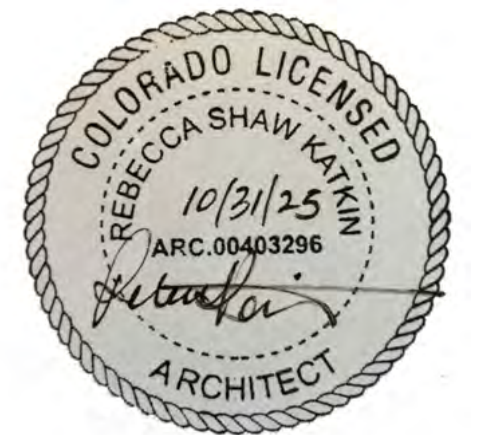
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SITE PERMIT

SCALE: N/A

SHEET DATE: 07.15.2024

A0.0
GENERAL CONDITIONS
& NOTES, SHEET INDEX



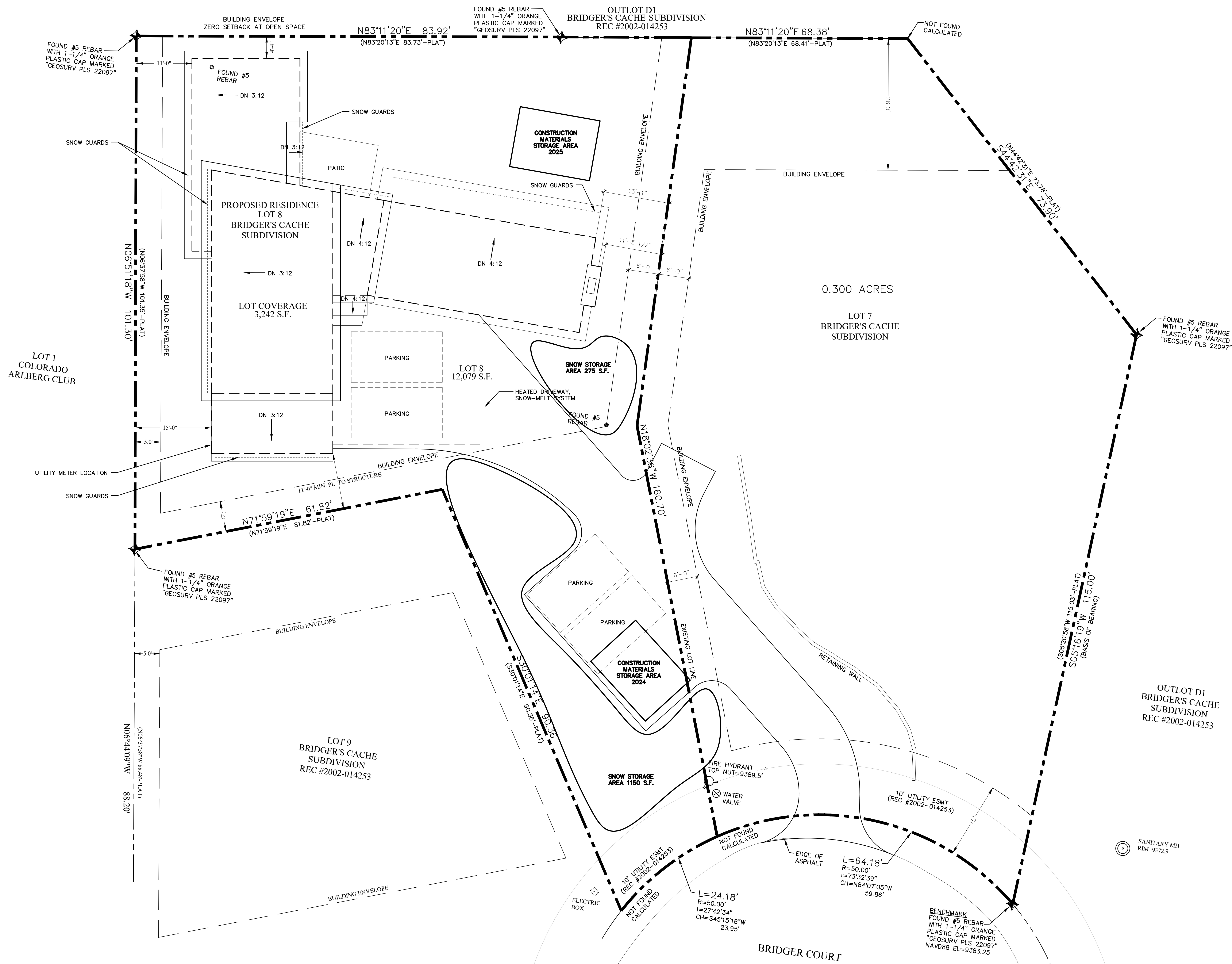
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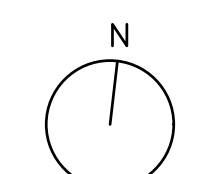
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SCALE: 1/8"=1'-0"
 SHEET DATE: 07.15.2024

A1.0
 PLOT / ROOF PLAN



GENERAL NOTES:
 1. DO NOT SCALE DRAWINGS





PROJECT:

BARTELS RESIDENCE

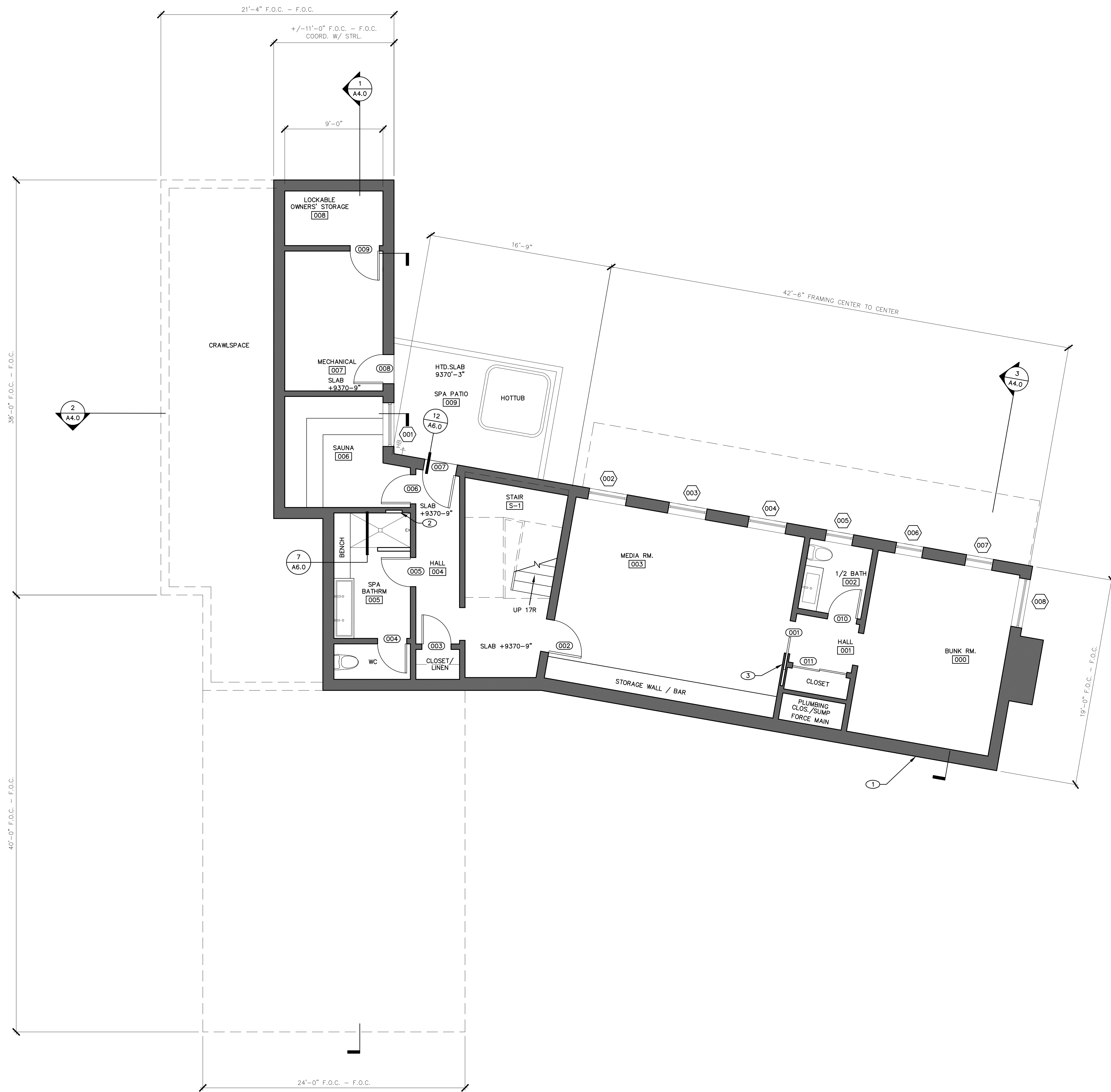
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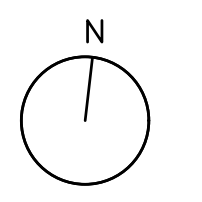
SCALE: 1/4" = 1'-0"
 SHEET DATE: 07.15.2024

A2.0
 LOWER LEVEL
 FLOOR PLAN



GENERAL NOTES:
 1. DO NOT SCALE DRAWINGS
 2. INSTALL PERIMETER DRAINS AT FOUNDATION WALLS, TO DAYLIGHT, TYP.

SHEET NOTES:
 ① FRAMED INSULATED 2X4 WALL INSIDE FOUNDATION WALL, TYP. @ FOUNDATION WALLS TO CONDITIONED SPACES
 ② SHOWER NICHE
 ③ 2x6 WALL FOR POCKET DOOR & SOUND INSULATION





PROJECT:

BARTELS RESIDENCE

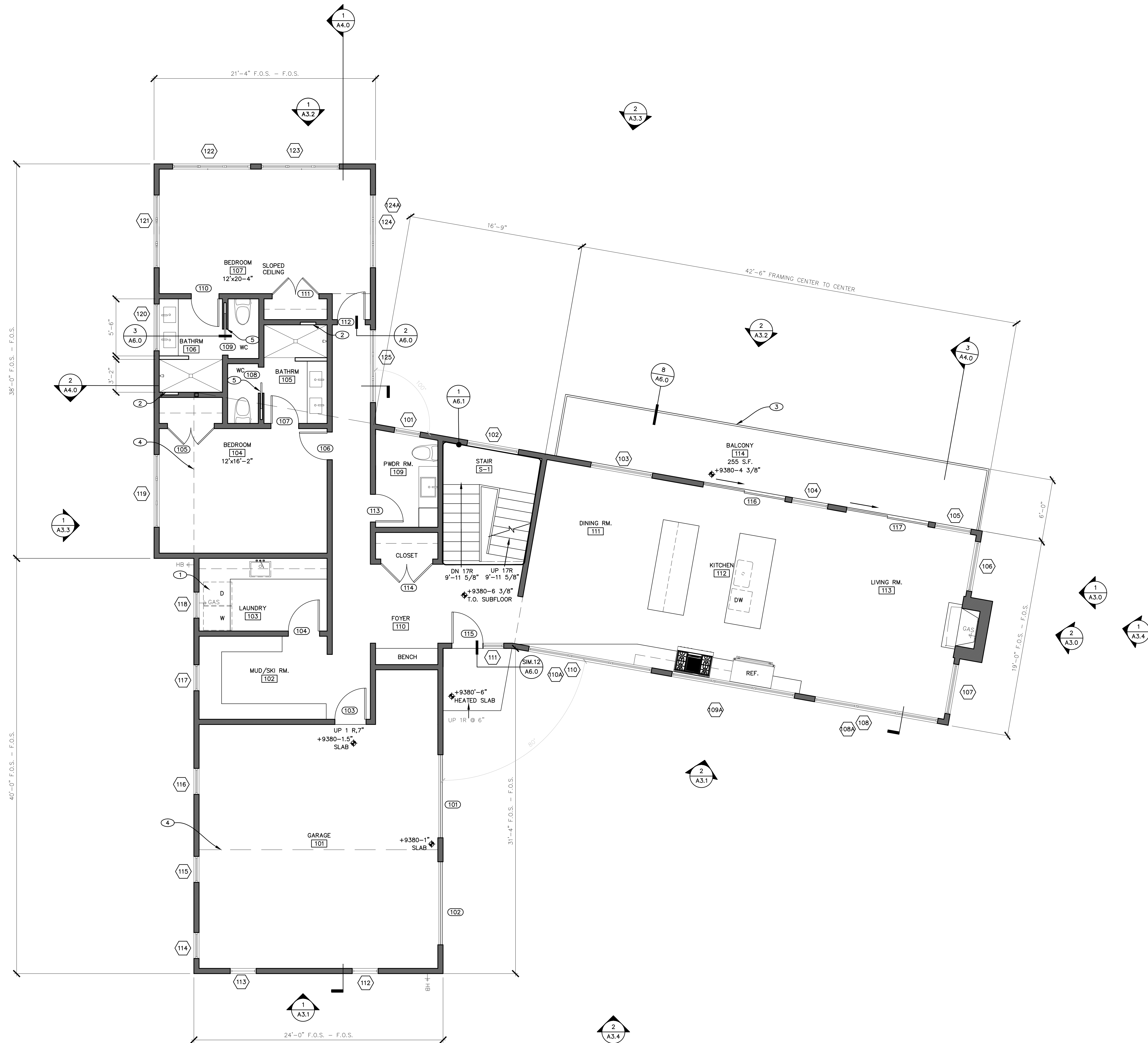
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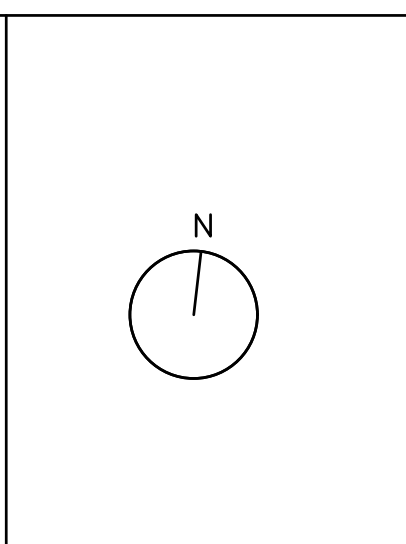
SCALE: 1/4" = 1'-0"
 SHEET DATE: 07.15.2024

A2.1
 ENTRY & MAIN
 LEVEL FLOOR PLAN



GENERAL NOTES:
 1. DO NOT SCALE DRAWINGS

SHEET NOTES:
 ① GAS OR ELECTRIC DRYER T.B.D. COORD. W/ ELECTRICIAN & PLUMBER AS REQ.
 ② SHOWER NICHE
 ③ IMPERVIOUS BALCONY WITH CABLE RAILINGS, BLACK STEEL POSTS AND TOP CAP. SLOPE TO EXTERIOR
 ④ LINE OF STRUCTURE ABOVE
 ⑤ 2X6 WALL FOR POCKET DOOR W/ SOUND INSULATION





PROJECT:

BARTELS RESIDENCE

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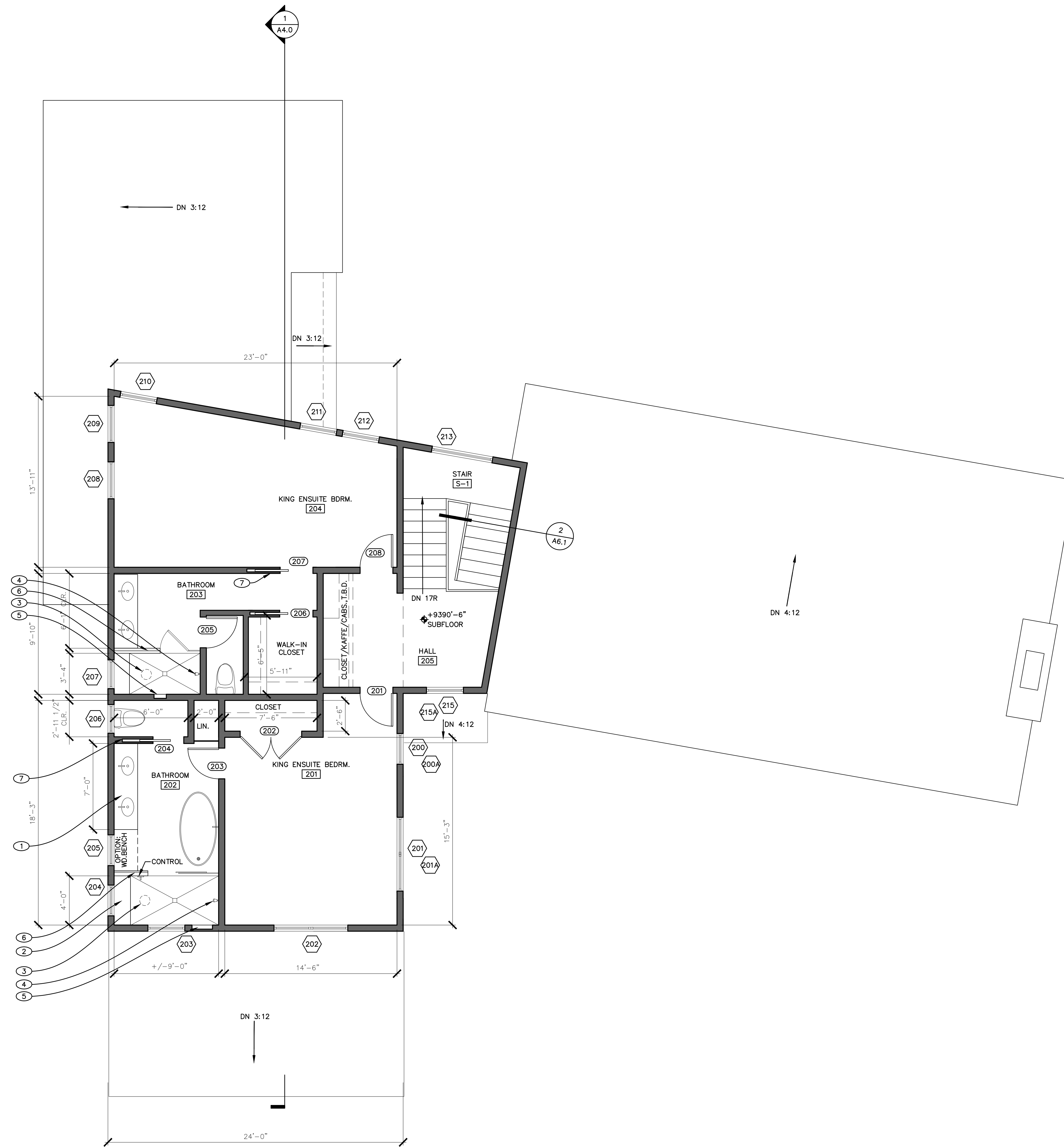
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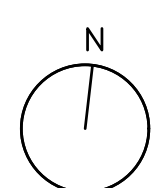
SHEET DATE: 07.15.2024

A2.2
 2ND LEVEL
 FLOOR PLAN



GENERAL NOTES:
 1. DO NOT SCALE DRAWINGS

- SHEET NOTES:
- ① VANITY SIZE, T.B.D. COORDINATE FINAL LOCATION W/ RCP, SCONES & PLUMBING
 - ② STONE OR TILED BENCH
 - ③ RAIN HEAD
 - ④ SHOWER HEAD - WALL MOUNTED
 - ⑤ SHOWER NICHE
 - ⑥ 1/2" TEMPERED SHOWER GLASS W/ ANTI-STREAK COATING
 - ⑦ 2X6 WALL FOR POCKET DOOR W/ SOUND INSULATION



OWNERS:
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PROJECT:

BARTELS RESIDENCE

 285 BRIDGER TRAIL
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 A.P.N.: 1705-151-06-008



○ SHELTER TALL OUTDOOR WALL SCONCE
 HINKLEY LIGHTING

ISSUE:
 NO. DESCRIPTION DATE

SITE PERMIT
 SCALE: 1/4" = 1'-0"
 SHEET DATE: 07.15.2024

A2.3
 REFLECTED CEILING
 PLAN - MAIN LEVEL

GENERAL NOTES:

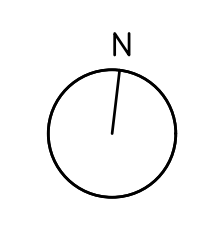
- DO NOT SCALE DRAWINGS
- ALL KITCHEN AND BATH RECEPTACLES TO BE GFCI / AFCI W/ DEDICATED CIRCUITS AS REQUIRED BY COLORADO ELECTRIC CODE
- ALL EXTERIOR LIGHTING MUST HAVE THE FOLLOWING CONTROLS:
 - CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT PERMITS THE AUTOMATIC ACTIONS OF ITEMS B OR C.
 - CONTROLLED BY A PHOTOCELL AND EITHER A MOTION SENSOR OR AUTOMATIC TIME SWITCH CONTROL OR CONTROLLED BY AN ASTRONOMICAL TIME CLOCK CONTROL
- ALL LIGHTING TO BE HIGH LUMINOUS EFFICACY
- ALL LIGHTING IN HABITABLE SPACES SHALL BE CONTROLLED BY A DIMMER SWITCH

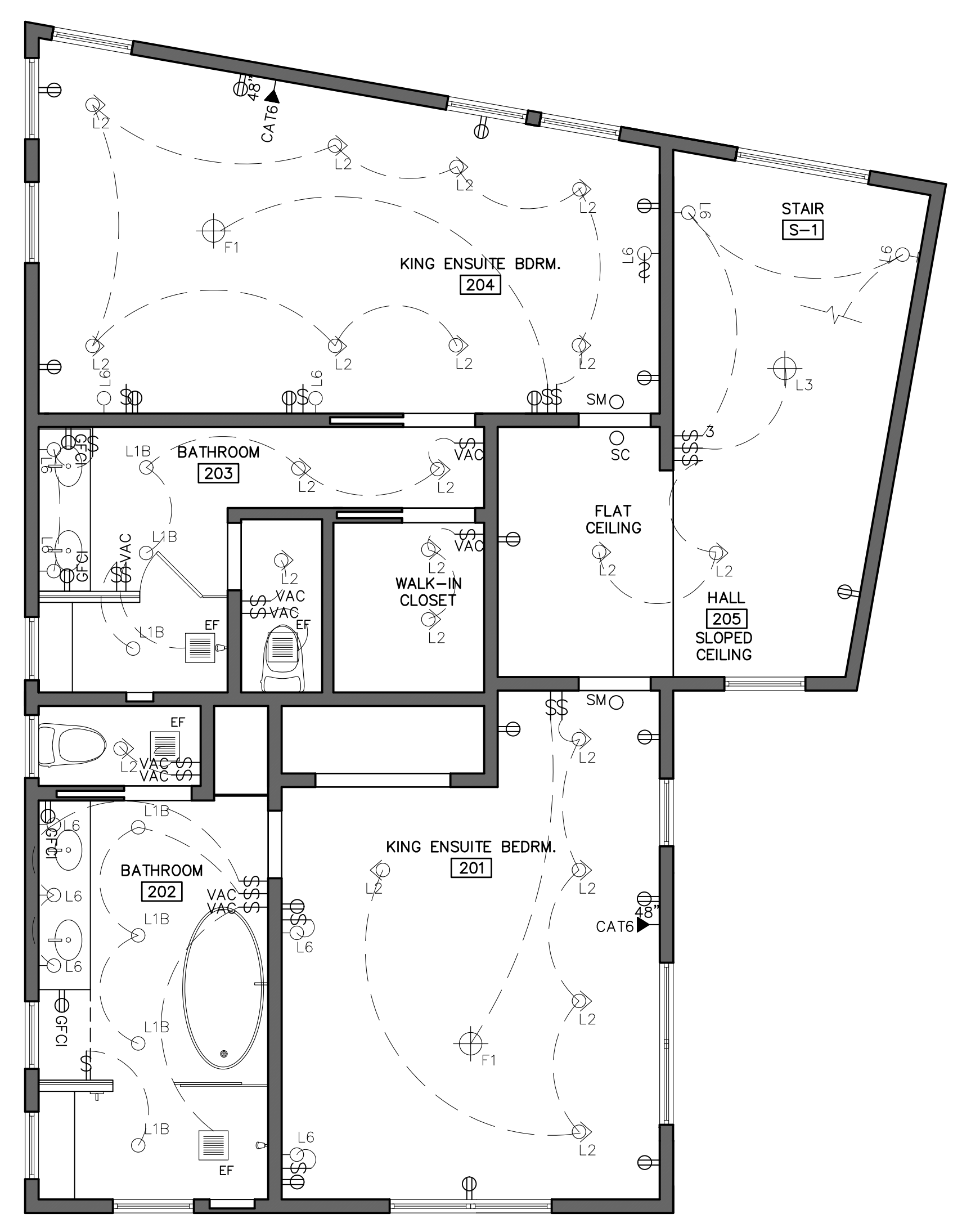
SHEET NOTES:

① GAS OR ELECTRIC DRYER T.B.D. COORD. W/ ELECTRICIAN & PLUMBER AS REQ.

LEGEND:

⊕	DUPLEX RECEPTACLE	→ HB	HOSE BIB	○ L6	WALL SCONCE / CEIL MT. MONOPOINT
⊕ GFCI	GFCI RECEPTACLE	→ GAS	GAS VALVE	○ L6-EXT	WALL SCONCE - EXTERIOR
⊕ EXT	EXTERIOR GFCI W/COVER	○ L1	RECESSED CAN	⊕ EF	EXHAUST FAN
⊕ JB	JUNCTION BOX	○ L1B	RECESSED CAN-DAMP RATED	● SC	HARDWIRED COMBO SMOKE / CO ALARM
⊕ 220	220V RECEPTACLE	○ L2	RECESSED CAN W/ GIMBAL	● SM	HARDWIRED SMOKE ALARM
← CAT6	DATA	⊕ L3	CEIL.FLUSH MT./PENDANT/SUSPENSION	⊕ F1	FAN (W/ OR W/O LIGHT TBD)
↔ S	SWITCH	— L4	LINEAR LED		
↔ 3	SWITCH, 3-WAY	— L5	UNDER CAB. LED TAPE LIGHT		
↔ J	SWITCH, JAMB				
↔ VAC	SWITCH, VACANCY SENSOR				





2 2ND LEVEL REFLECTED CEILING PLAN
 1/4" = 1'-0"



1 LOWER LEVEL REFLECTED CEILING PLAN
 1/4" = 1'-0"

GENERAL NOTES:

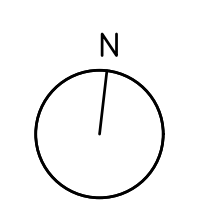
- DO NOT SCALE DRAWINGS
- ALL KITCHEN AND BATH RECEPTACLES TO BE GFCI / AFCI W/ DEDICATED CIRCUITS AS REQUIRED BY COLORADO ELECTRIC CODE
- ALL EXTERIOR LIGHTING MUST HAVE THE FOLLOWING CONTROLS:
 - CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT PERMITS THE AUTOMATIC ACTIONS OF ITEMS B OR C.
 - CONTROLLED BY A PHOTOCELL AND EITHER A MOTION SENSOR OR AUTOMATIC TIME SWITCH CONTROL OR CONTROLLED BY AN ASTRONOMICAL TIME CLOCK CONTROL
- ALL LIGHTING TO BE HIGH LUMINOUS EFFICACY
- ALL LIGHTING IN HABITABLE SPACES SHALL BE CONTROLLED BY A DIMMER SWITCH

SHEET NOTES:

- SIDEWALL E/F

LEGEND:

⊖	DUPLEX RECEPTACLE	→ HB	HOSE BIB	⊖ L6	WALL SCONCE / CEIL MT. MONOPOINT
⊖ GFCI	GFCI RECEPTACLE	→ GAS	GAS VALVE	⊖ L6-EXT	WALL SCONCE - EXTERIOR
⊖ EXT	EXTERIOR GFCI W/COVER	○ L1	RECESSED CAN	⊖ EF	EXHAUST FAN
⊖ JB	JUNCTION BOX	○ L1B	RECESSED CAN-DAMP RATED	● SC	HARDWIRED COMBO SMOKE / CO ALARM
⊖ 220	220V RECEPTACLE	○ L2	RECESSED CAN W/ GIMBAL	● SM	HARDWIRED SMOKE ALARM
⊖ CAT6	CAT6 DATA	⊖ L3	CEIL.FLUSH MT./PENDANT/SUSPENSION	⊖ F1	FAN (W/ OR W/O LIGHT TBD)
⊖ S	SWITCH	— L4	LINEAR LED		
⊖ 3	SWITCH, 3-WAY	— L5	UNDER CAB. LED TAPE LIGHT		
⊖ J	SWITCH, JAMB				
⊖ VAC	SWITCH, VACANCY SENSOR				





PROJECT:

BARTELS RESIDENCE

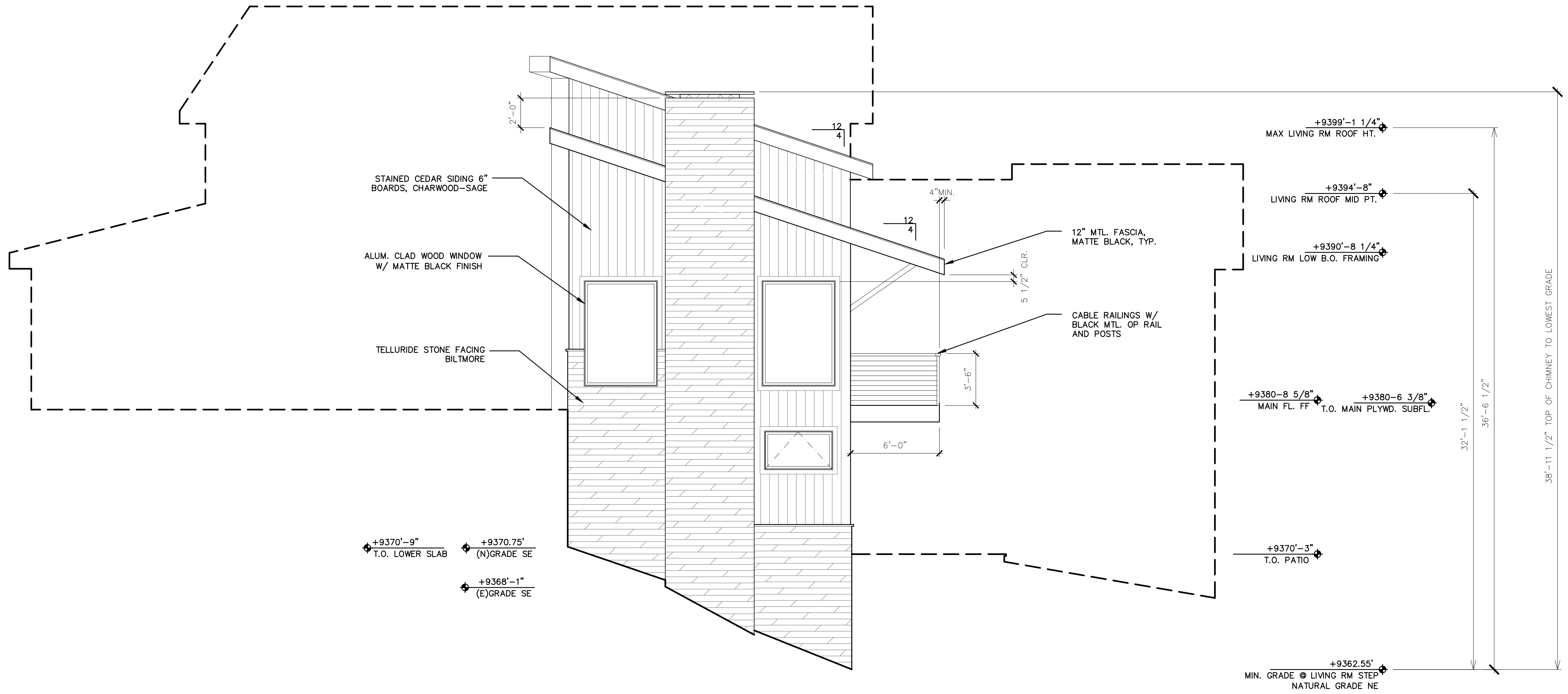
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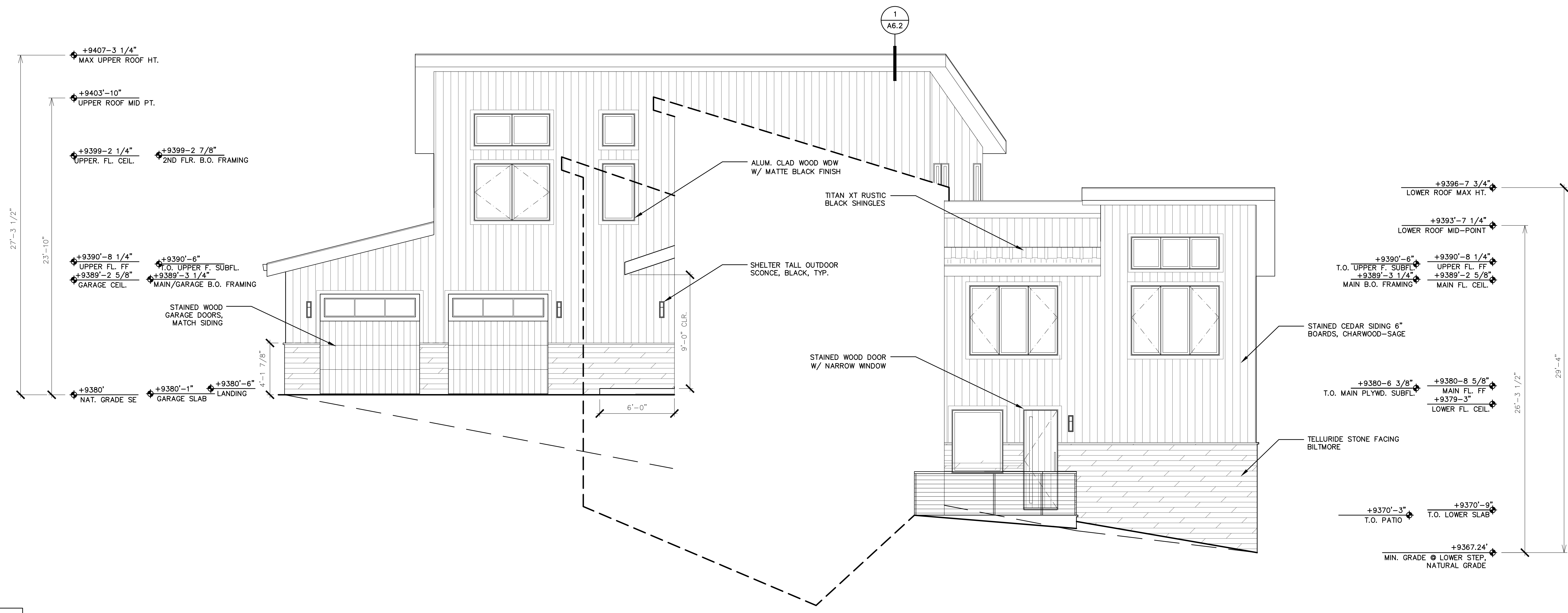
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SCALE: 1/4" = 1'-0"
 SHEET DATE: 07.15.2024

A3.0
 EXTERIOR
 ELEVATIONS
 EAST SIDE

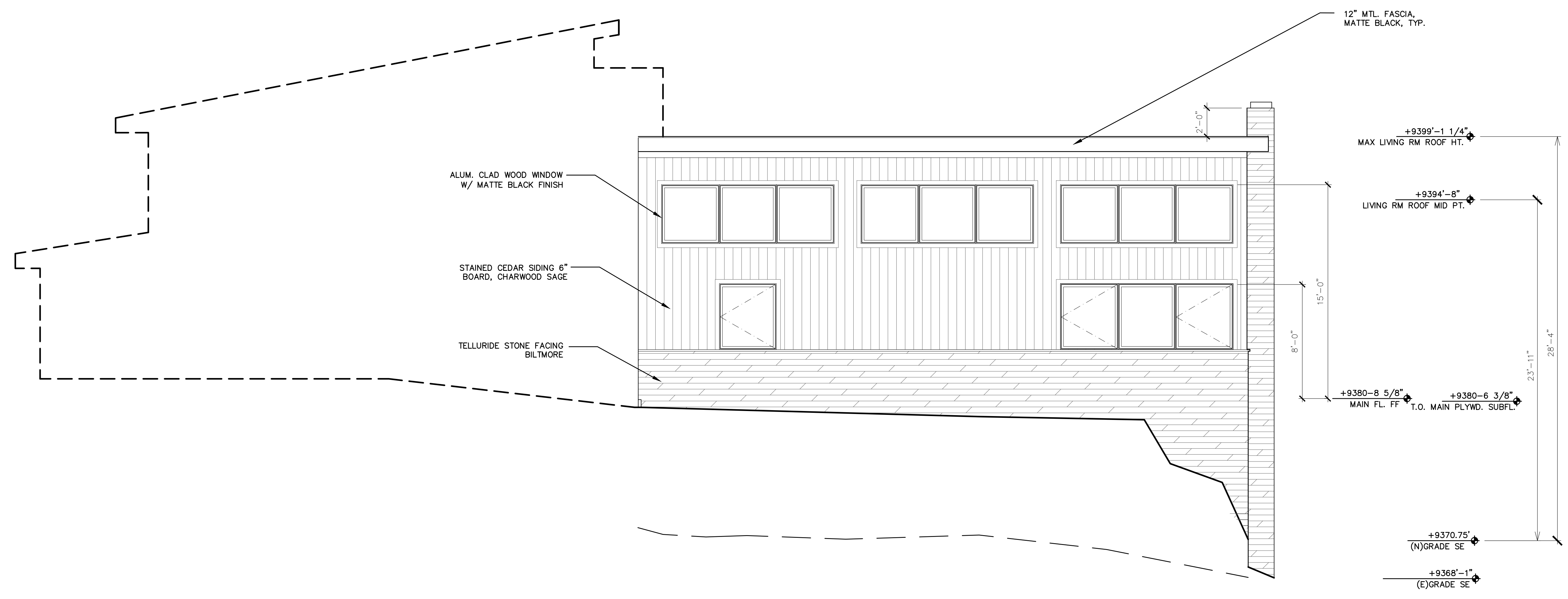


2 EAST SIDE OF LIVING/DINING/KITCHEN
 1/4" = 1'-0"



1 EAST SIDE OF BEDROOM WING
 1/4" = 1'-0"

LEGEND:
 ——— NATURAL GRADE
 - - - - BUILDING OUTLINE

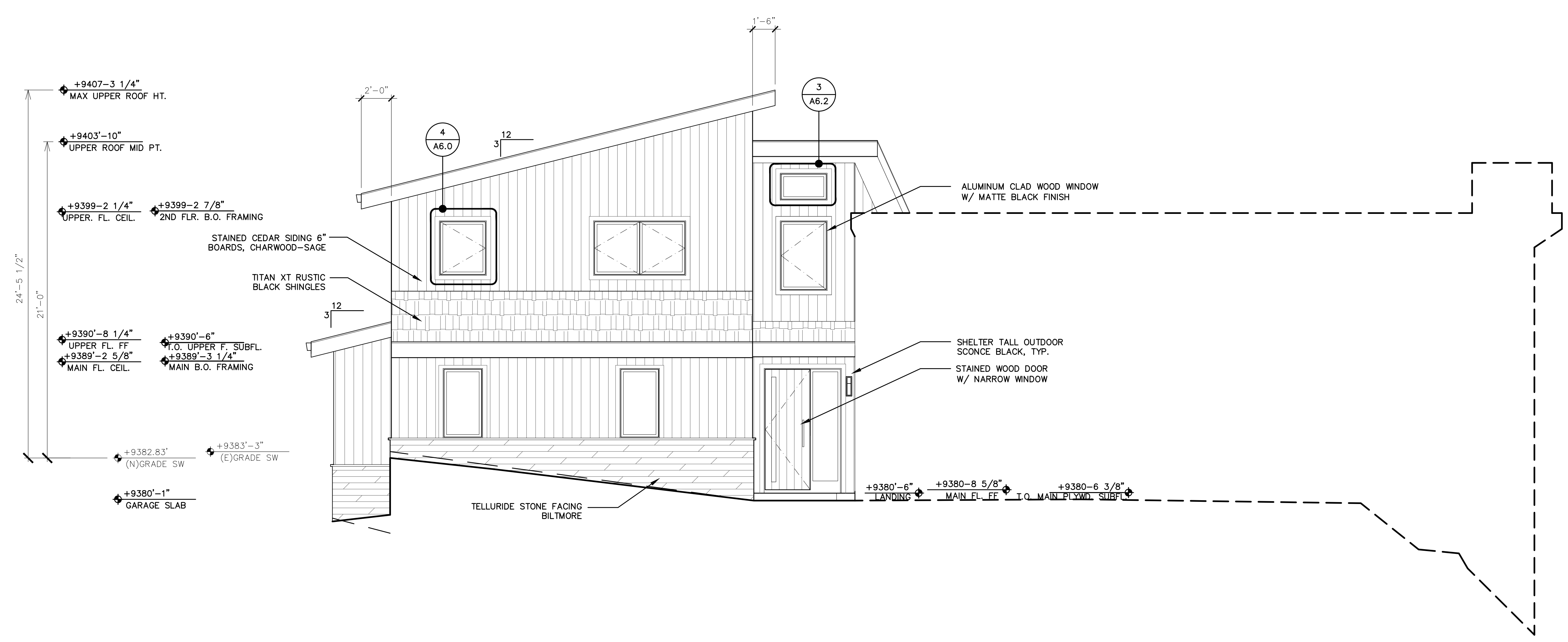


② SOUTH SIDE OF LIVING/DINING/KITCHEN
 1/4" = 1'-0"

PROJECT:

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① SOUTH SIDE OF BEDROOM WING
 1/4" = 1'-0"

LEGEND:
 ——— NATURAL GRADE
 - - - - BUILDING OUTLINE

ISSUE:

NO.	DESCRIPTION	DATE

SITE PERMIT

SCALE: 1/4" = 1'-0"
 SHEET DATE: 07.15.2024

A3.1
 EXTERIOR
 ELEVATIONS
 SOUTH SIDE



PROJECT:

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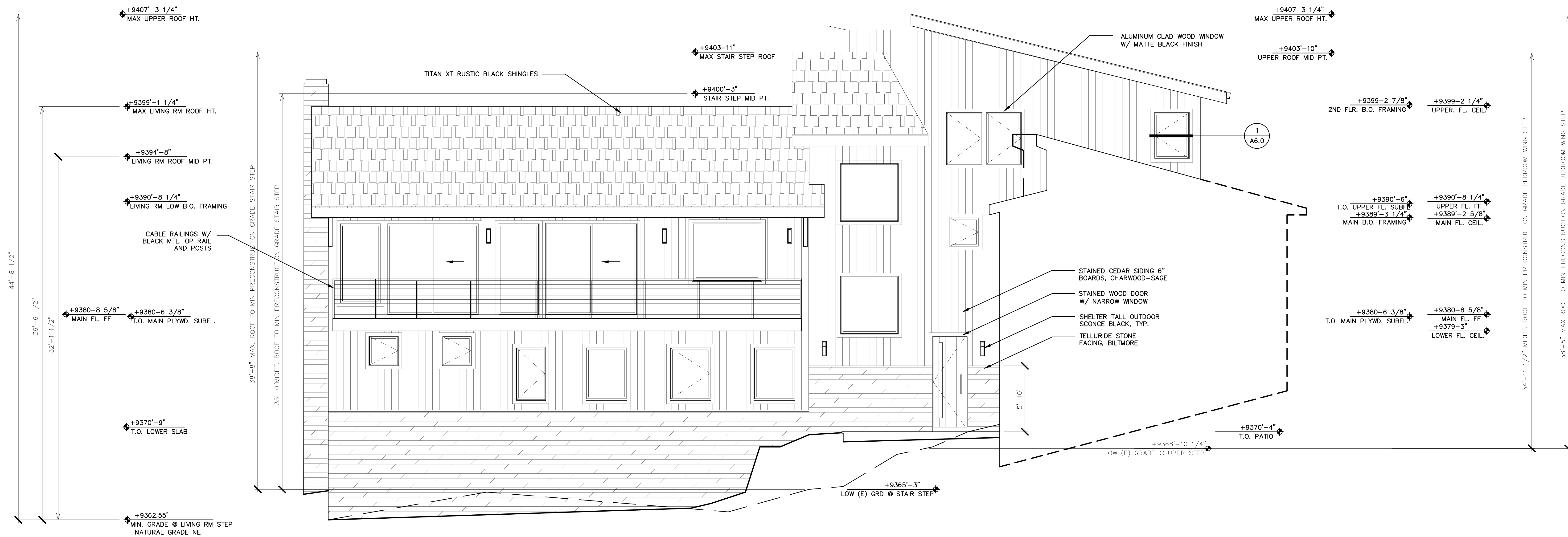
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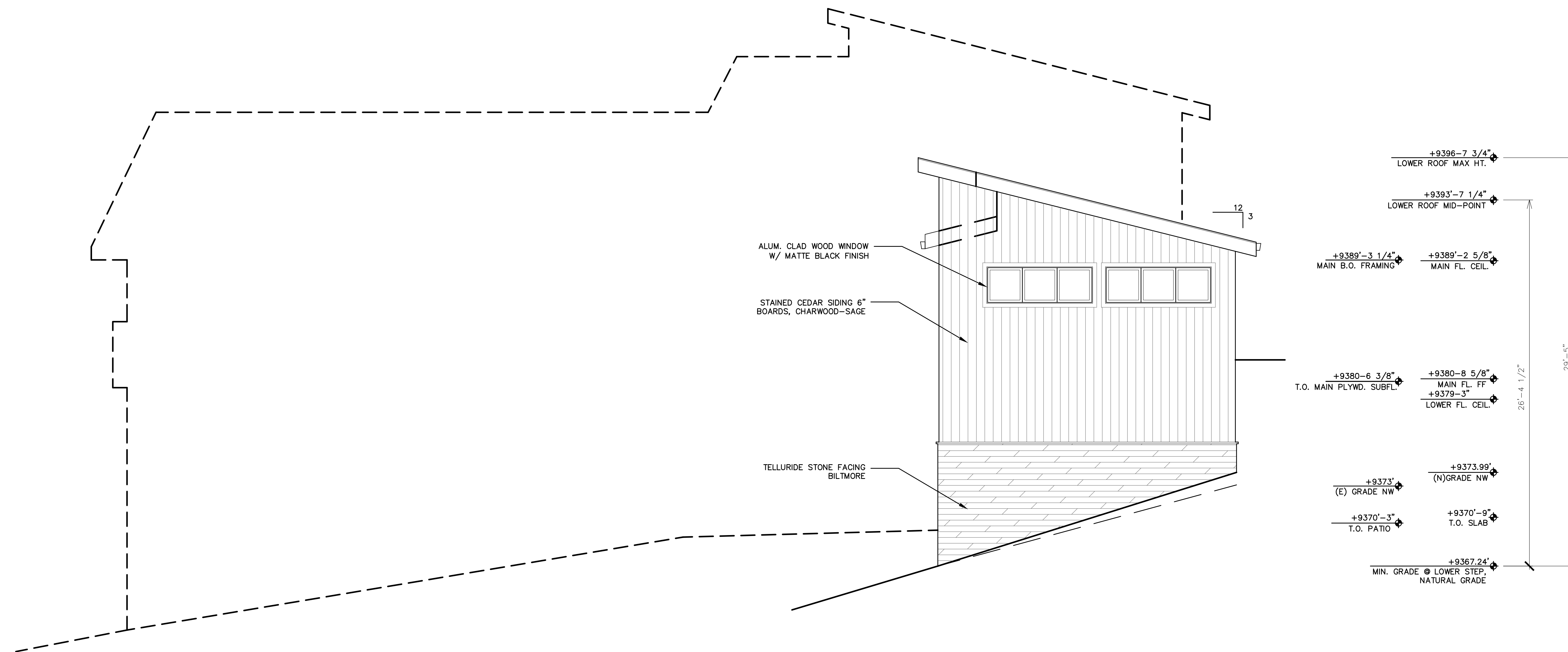
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SHEET DATE: 07.15.2024

A3.2
 EXTERIOR
 ELEVATIONS
 NORTH SIDE



2 NORTH SIDE OF LIVING/DINING/KITCHEN
 1/4" = 1'-0"



1 NORTH SIDE OF BEDROOM WING
 1/4" = 1'-0"

LEGEND:

---	NATURAL GRADE
---	BUILDING OUTLINE



PROJECT:

BARTELS RESIDENCE

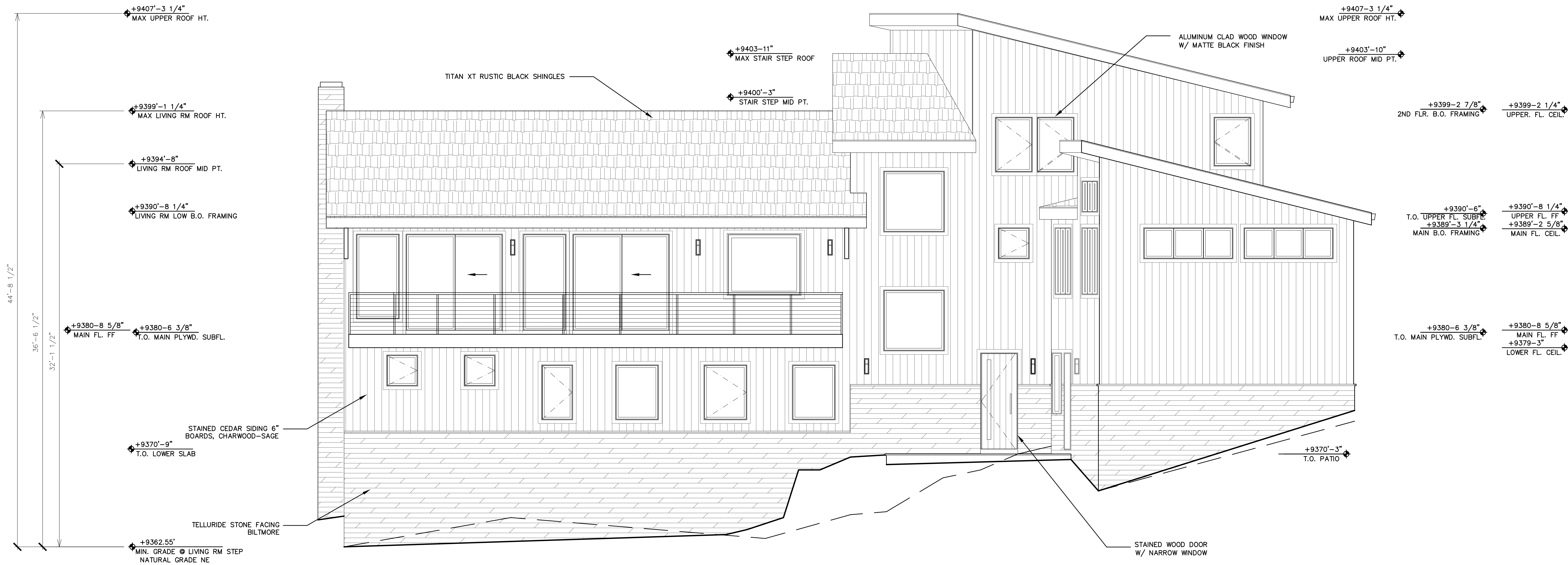
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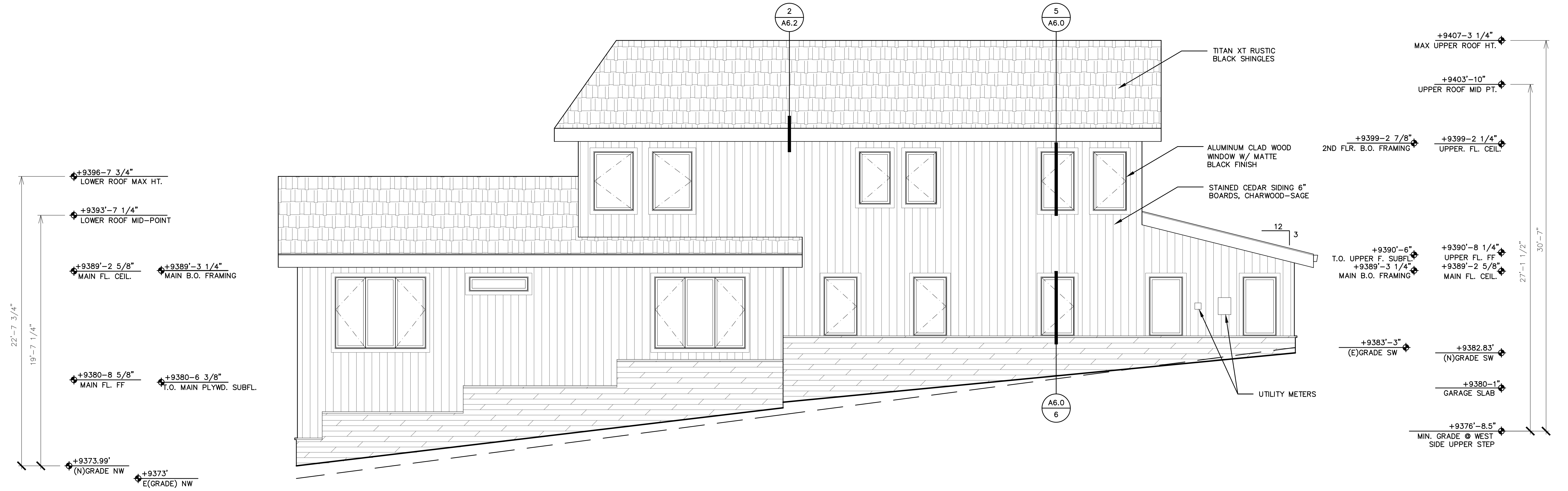
SITE PERMIT

SCALE: 1/4" = 1'-0"
 SHEET DATE: 07.15.2024

A3.3
 FULL EXTERIOR
 ELEVATIONS WEST &
 NORTH SIDE COMPOSITE



② NORTH SIDE COMPOSITE VIEW, BEDROOM WING IN PERSPECTIVE
 1/4" = 1'-0"



LEGEND:
 --- NATURAL GRADE
 - - - BUILDING OUTLINE

① WEST SIDE OF BEDROOM WING
 1/4" = 1'-0"



② SOUTH SIDE COMPOSITE VIEW, LIVING ROOM WING IN PERSPECTIVE
 1/4" = 1'-0"



PROJECT:

BARTELS RESIDENCE

285 BRIDGER TRAIL
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 A.P.N.: 1705-151-06-008



① EAST SIDE COMPOSITE VIEW GARAGE/BEDROOM WING IN PERSPECTIVE
 1/4" = 1'-0"

LEGEND:

—	NATURAL GRADE
---	BUILDING OUTLINE

ISSUE:

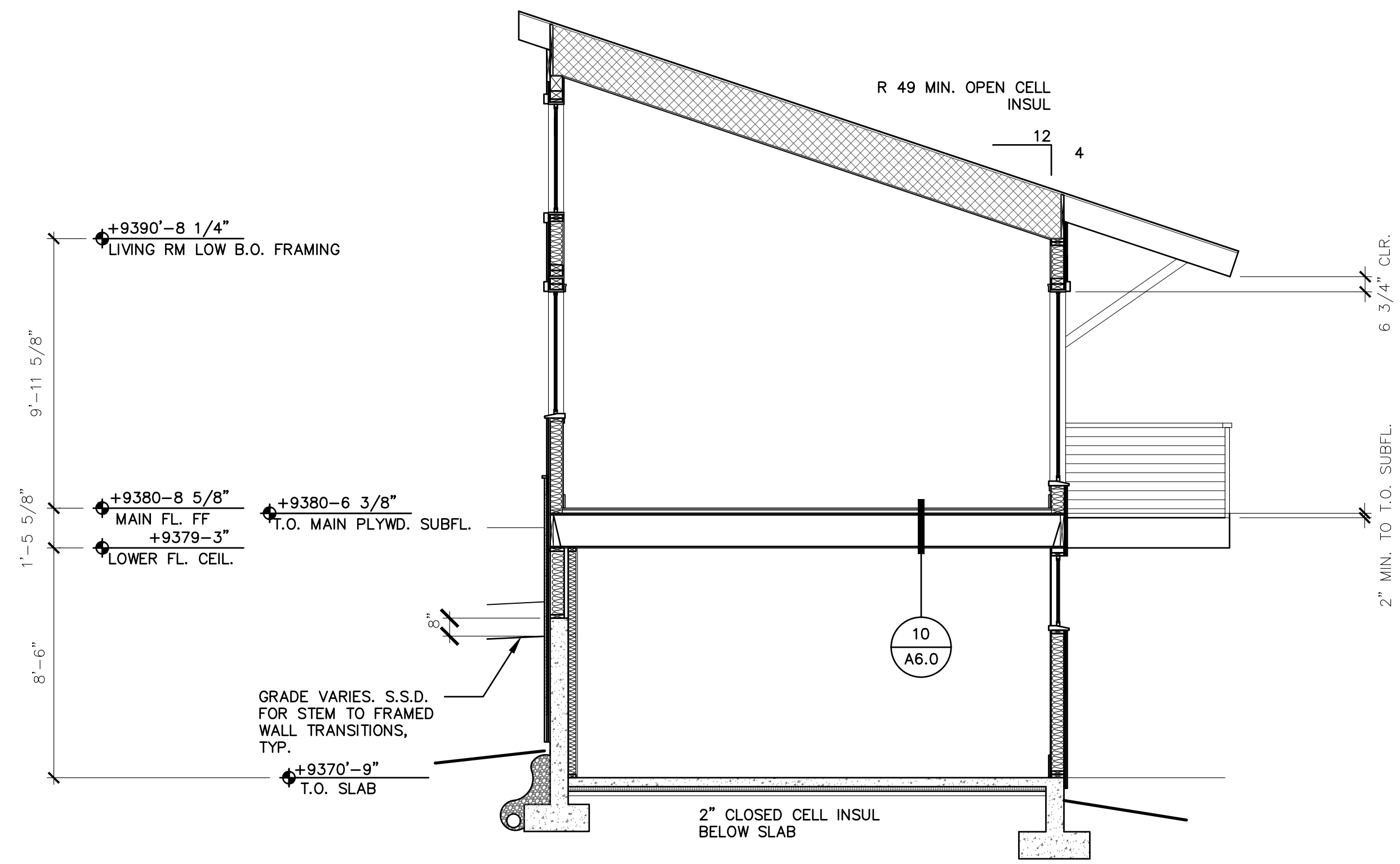
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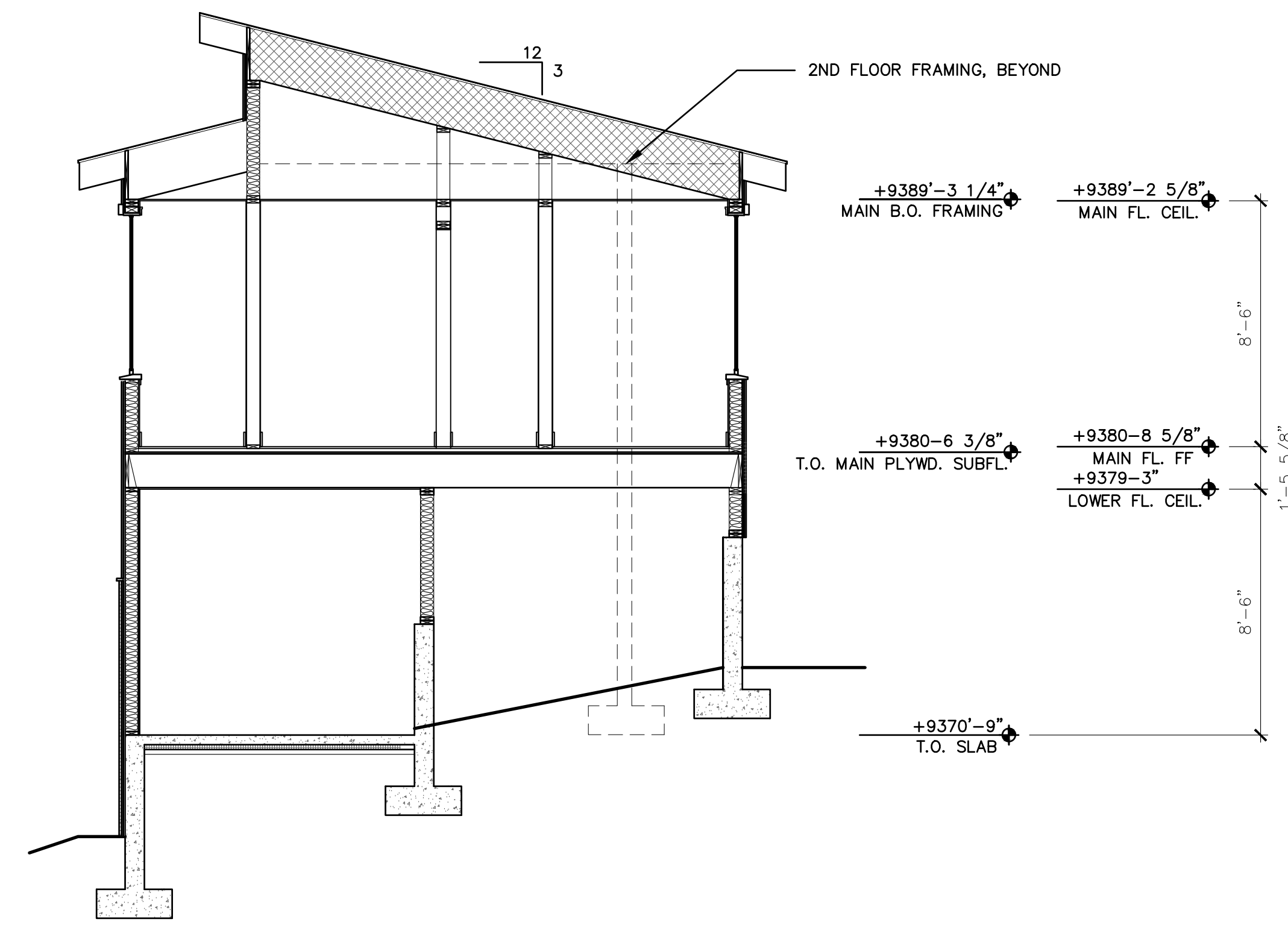
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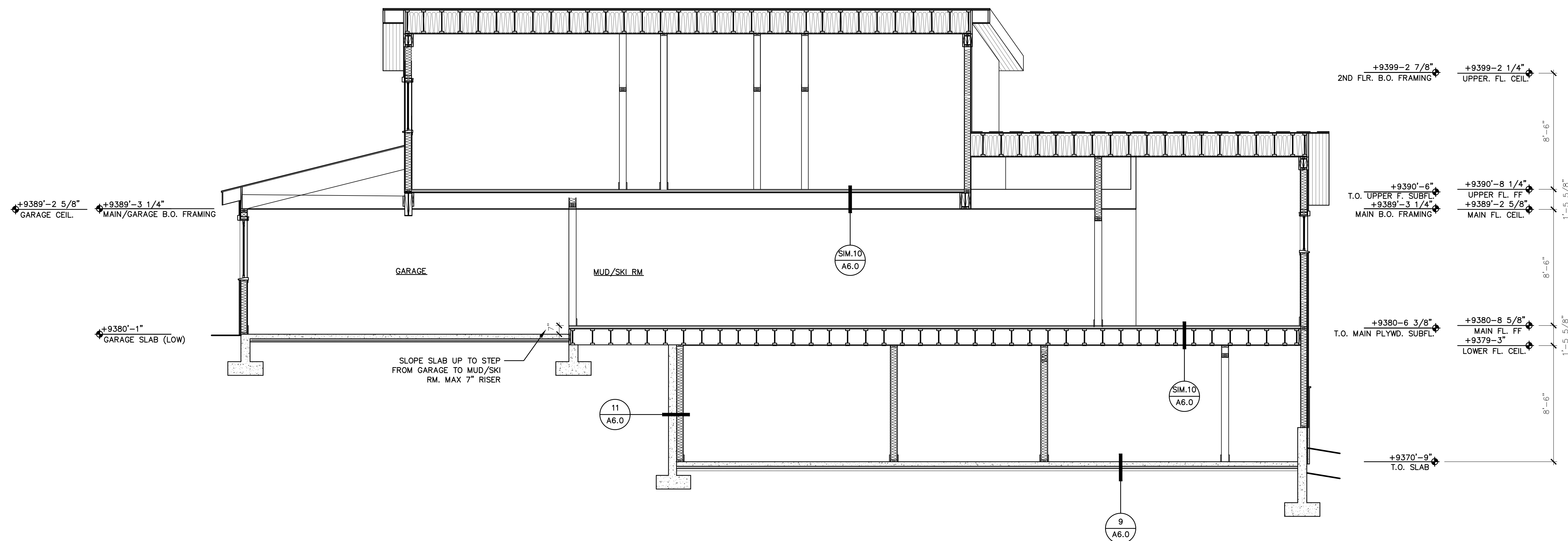
A3.4
 FULL EXT. ELEVATIONS
 EAST & SOUTH SIDE
 COMPOSITES



③ SECTION THROUGH LIVING RM / BUNK RM. FACING WEST
 1/4" = 1'-0"



② SECTION THROUGH BATHROOMS 105+106 FACING SOUTH
 1/4" = 1'-0"



① SECTION SOUTH TO NORTH THROUGH BEDROOM WING FACING WEST
 1/4" = 1'-0"



PROJECT:

BARTELS RESIDENCE

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SITE PERMIT

SCALE: 1/4" = 1'-0"

SHEET DATE: 07.15.2024

A4.0
 BUILDING SECTIONS

BARTELS RESIDENCE

SCHEDULE 1 - DOOR SCHEDULE

NO.	LOCATION	OPER./CONFIG.	MATERIAL/FINISH	WIDTH (R.O.)	HEIGHT (R.O. ABV. SHEATHING)	HEAD (R.O. ABV. SHEATHING)			DET.	HDW GRP	HARDWARE NOTES
001	001 BUNK ROOM	POCKET		3'-0"	8'-0"	8'-0"				G	
002	003 MEDIA ROOM	RH SWING		3'-0"	8'-0"	8'-0"				E	
003	004 HALL CLOSET	LH SWING		2'-8"	8'-0"	8'-0"				E	
004	005 SPA BATHROOM	LH SWING		2'-8"	8'-0"	8'-0"				D	
005	005 SPA BATHROOM	RH SWING		2'-8"	8'-0"	8'-0"				D	
006	006 SAUNA	LH SWING		2'-8"	8'-0"	8'-0"				E	
007	009 SPA PATIO	EXTERIOR LH SWING		3'-0"	8'-0"	8'-0"				C	KEYED
008	007 MECHANICAL	EXTERIOR LH SWING		2'-8"	8'-0"	8'-0"				C	KEYED
009	008 STORAGE	LH SWING		2'-8"	8'-0"	8'-0"				K	KEYED
010	000 BUNK ROOM BATH	RH SWING		2'-8"	8'-0"	8'-0"				D	
011	000 BUNK ROOM ENTRY	BI-PASS SLIDERS OR CASEWORK TBD		5'-0"	8'-0"	8'-0"				L	CLOSET, CABINETRY, OR OPEN CASEWORK, T.B.S.
101	101 GARAGE	GARAGE DOOR		8'-0"	8'-0"	8'-0"				A	
102	101 GARAGE	GARAGE DOOR		8'-0"	8'-0"	8'-0"				A	
103	102 MUD/SKI ROOM	EXTERIOR FIRE RATED RH SWING		3'-0"	8'-0"	8'-0"				C	KEYED, FIRE-RATED W/ AUTO CLOSER
104	103 LAUNDRY	RH SWING		3'-0"	8'-0"	8'-0"				E	
105	104 BEDROOM CLOSET	DOUBLE SWING		4'-6"	8'-0"	8'-0"				E	
106	104 BEDROOM	RH SWING		2'-8"	8'-0"	8'-0"				D	
107	105 BATHROOM	LH SWING		2'-8"	8'-0"	8'-0"				D	
108	105 BATHROOM	POCKET		2'-6"	8'-0"	8'-0"				H	
109	106 BATHROOM	POCKET		2'-6"	8'-0"	8'-0"				H	
110	106 BATHROOM	LH SWING		2'-8"	8'-0"	8'-0"				D	
111	107 BEDROOM CLOSET	DOUBLE SWING		4'-6"	8'-0"	8'-0"				E	
112	107 BEDROOM	RH SWING		2'-8"	8'-0"	8'-0"				D	
113	109 POWDER ROOM	RH SWING		2'-8"	8'-0"	8'-0"				D	
114	110 FOYER CLOSET	DOUBLE SWING		5'-0"	8'-0"	8'-0"				E	
115	ENTRY	EXT. LH SWING W/ 24" DOOR SIDELITE OR SEP. WDW		3'-0"	8'-0"	8'-0"				B	KEYED
116	112 KITCHEN	EXTERIOR SLIDING PATIO		8'-0"	8'-0"	8'-0"				M	
117	113 LIVING ROOM	EXTERIOR SLIDING PATIO		8'-0"	8'-0"	8'-0"				M	
201	206 HALL	LH SWING		2'-8"	8'-0"	8'-0"				D	
202	201 BEDROOM CLOSET	DOUBLE SWING		5'-0"	8'-0"	8'-0"				E	
203	202 BATHROOM	RH SWING		2'-6"	8'-0"	8'-0"				D	
204	202 BATHROOM	POCKET		2'-6"	8'-0"	8'-0"				H	
205	203 BATHROOM	LH SWING		2'-6"	8'-0"	8'-0"				D	
206	203 BATHROOM CLOSET	POCKET		2'-8"	8'-0"	8'-0"				G	
207	204 BEDROOM	POCKET		2'-8"	8'-0"	8'-0"				H	
208	204 BEDROOM	RH SWING		2'-8"	8'-0"	8'-0"				D	

DOOR HARDWARE GROUPS:
A. GARAGE DOOR - AUTOMATIC/REMOTE CONTROL OPENER
B. FRONT ENTRY: KEYED LOCKING - ROCKY MOUNTAIN HARDWARE MACK ENTRY SET, OR APPROVED ALT.; COORDINATE FINISH W/ DOOR CLADDING: WHITE, BRONZE, DARK OR OTHER, TBD
C. KEYED LOCKING, EXTERIOR TYP.
D. PRIVACY
E. PASSAGE
F. DUMMY
G. POCKET, EDGE PULL - PASSAGE, HEAVY DUTY HEAD MTD. TRACK W/ FLOOR GUIDE, TYP.
H. POCKET, EDGE PULL - LOCKING, HEAVY DUTY HEAD MTD. TRACK W/ FLOOR GUIDE, TYP.
I. SLIDING, EXPOSED BARN TRACK, ROCKY MOUNTAIN HARDWARE TRK 100, FLUSH PULL
J. CONCEALED PUSH, HIDDEN HINGES
K. KEYED LOCKING, INTERIOR
L. BI-PASS SLIDER HARDWARE
M. EXTERIOR LOCKING PATIO DOOR HARDWARE

DOOR HARDWARE NOTES:
1. COORDINATE ALL INTERIOR DOOR HARDWARE FINISHES: EMTEK ASSA ABLOY CONTEMPORARY BRASS, LARIAT LEVER, #3 RECTANGULAR ROSETTE, TUMBLED WHITE BRONZE FINISH

DOOR NOTES:
1. ALL INTERIOR DOORS TO BE TRIPLE RECESSED PANEL, CLEAR STAINED, VERTICAL GRAIN
3. ALL DOOR GLAZING (INSET PANELS) TO BE TEMPERED GLASS
4. EXTERIOR DOOR / WINDOW CLADDING TO BE TW BLACK 061
5. ALL GLAZED DOORS NOT TO EXCEED MAX .32 U-VALUE

OWNERS:
JUDITH & CHRISTIAN BARTELS
3633 PAONIA STREET
BOULDER, CO 80301



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PROJECT:

BARTELS RESIDENCE

285 BRIDGER TRAIL
WINTER PARK, CO 80482
A.P.N.: 1705-151-06-008

ISSUE:
NO. DESCRIPTION DATE

SITE PERMIT

SCALE: N/A
SHEET DATE: 07.15.2024

SCH-1
DOOR SCHEDULE

BARTELS RESIDENCE											
SCHEDULE 2 - WINDOW SCHEDULE											
NO.	LOCATION	OPER./CONFIG.	MAKER/MATERIAL	WIDTH (R.O.)	HEIGHT (R.O. ABV. SHEATHING)	HEAD (R.O. ABV. SHEATHING)	HEAD DET.	SILL DET.	JAMB DET.	INT. TRIM	NOTES
001	006 SAUNA	FIXED	-	4'-0"	5'-0"	8'-0"					
002	003 MEDIA ROOM	FIXED	-	3'-6"	4'-6"	7'-0"					
003	003 MEDIA ROOM	CASEMENT	-	3'-6"	4'-6"	7'-0"					
004	003 MEDIA ROOM	FIXED	-	3'-6"	4'-6"	7'-0"					
005	002 BATH	CASEMENT	-	2'-6"	4'-6"	7'-0"					OBSCURED GLAZING TBD PER OWNER / ID
006	000 BUNK ROOM	CASEMENT	-	2'-6"	2'-6"	7'-10"					
007	000 BUNK ROOM	CASEMENT	-	2'-6"	2'-6"	7'-10"					
008	000 BUNK ROOM	AWNING	-	4'-6"	2'-6"	7'-10"					
101	109 POWDER ROOM	CASEMENT	-	2'-6"	2'-6"	8'-0"					
102	S-1 STAIR	FIXED	-	5'-0"	5'-0"	8'-0"					
103	111 DINING ROOM	FIXED	-	6'-0"	5'-0"	8'-0"					
104	112 KITCHEN	FIXED	-	3'-6"	8'-0"	8'-0"					
105	113 LIVING ROOM	FIXED	-	3'-6"	7'-0"	8'-0"					
106	113 LIVING ROOM	FIXED	-	4'-10"	7'-0"	8'-0"					
107	113 LIVING ROOM	FIXED	-	4'-10"	7'-0"	8'-0"					
108	113 LIVING ROOM	CASE-FIXED-CASE	-	12'-0" (3X4'-0")	4'-6"	8'-0"					
108A	113 LIVING ROOM	FIXED 3 PANE	-	12'-0" (3X4'-0")	4'-0"	15'-0"					
108A	112 KITCHEN	FIXED 3 PANE	-	12'-0" (3X4'-0")	4'-0"	15'-0"					
110	111 DINING ROOM	CASEMENT	-	4'-0"	4'-6"	8'-0"					
110A	111 DINING ROOM	FIXED 3 PANE	-	12'-0" (3X4'-0")	4'-0"	15'-0"					
111	ENTRY	FIXED	WINDOW OR DOOR SIDELITE?	2'-0"	8'-0"	8'-0"					
112	101 GARAGE	FIXED	-	2'-6"	4'-6"	8'-7" ALIGN W/ ALL ADJ. WDW HEADS ON WEST ELEV.					
113	101 GARAGE	FIXED	-	2'-6"	4'-6"	8'-7" ALIGN W/ ALL ADJ. WDW HEADS ON WEST ELEV.					
114	101 GARAGE	FIXED	-	2'-6"	4'-6"	8'-7" ALIGN W/ ALL ADJ. WDW HEADS ON WEST ELEV.					
115	101 GARAGE	FIXED	-	2'-6"	4'-6"	8'-7" ALIGN W/ ALL ADJ. WDW HEADS ON WEST ELEV.					
116	101 GARAGE	CASEMENT	-	2'-6"	4'-6"	8'-7" ALIGN W/ ALL ADJ. WDW HEADS ON WEST ELEV.					
117	102 MUDROOM	CASEMENT	-	2'-6"	4'-6"	8'-0"					
118	103 LAUNDRY	CASEMENT	-	2'-6"	4'-6"	8'-0"					
119	104 BEDROOM	CASE-FIXED-CASE	-	7'-0" (3X2'-4")	5'-6"	8'-0"					
120	106 BATHROOM	FIXED	-	4'-6"	1'-0"	8'-0"					
121	107 BEDROOM	CASE-FIXED-CASE	-	7'-0" (3X2'-4")	5'-6"	8'-0"					
122	107 BEDROOM	TRIPLE FIXED	-	7'-6" (3X2'-6")	2'-6"	8'-0"					
123	107 BEDROOM	TRIPLE FIXED	-	7'-6" (3X2'-6")	2'-6"	8'-0"					
124	107 BEDROOM	CASE-FIXED-CASE	-	7'-0" (3X2'-4")	5'-6"	8'-0"					
124A	107 BEDROOM	TRIPLE FIXED	-	7'-0" (3X2'-4")	2'-6"	12'-0"					
125	HALL	CASE-FIXED-CASE	-	7'-0" (3X2'-4")	5'-6"	8'-0"					
200	201 BEDROOM	FIXED	-	2'-6"	4'-6"	8'-0"					
200A	201 BEDROOM	FIXED	-	2'-6"	2'-6"	12'-0"					
201	201 BEDROOM	CASEMENT PAIR	-	6'-0"	4'-6"	8'-0"					
201A	201 BEDROOM	FIXED PAIR	-	6'-0"	2'-6"	12'-0"					
202	201 BEDROOM	CASEMENT PAIR	-	6'-0"	3'-6"	8'-0"					
203	202 BATHROOM	CASEMENT	-	3'-0"	3'-6"	8'-0"					
204	202 BATHROOM	CASEMENT	-	2'-6"	4'-6"	8'-0"					
205	202 BATHROOM	CASEMENT	-	2'-6"	4'-6"	8'-0"					
206	202 BATHROOM	CASEMENT	-	2'-4"	4'-0"	8'-0"					
207	203 BATHROOM	CASEMENT	-	2'-4"	4'-0"	8'-0"					
208	204 BEDROOM	CASEMENT	-	3'-0"	4'-6"	8'-0"					
209	204 BEDROOM	CASEMENT	-	3'-0"	4'-6"	8'-0"					
210	204 BEDROOM	CASEMENT	-	3'-0"	4'-0"	8'-0"					
211	204 BEDROOM	CASEMENT	-	3'-0"	4'-6"	8'-0"					
212	204 BEDROOM	CASEMENT	-	3'-0"	4'-6"	8'-0"					
213	S-1 STAIR	FIXED	-	5'-0"	5'-0"	8'-0"					
214	NOT USED										
215	S-1 STAIR	CASEMENT	-	3'-0"	4'-6"	8'-0"					
215A	S-1 STAIR	FIXED	-	3'-0"	1'-8"	11'-0"					

WINDOW NOTES:
1. ALL WINDOWS SHALL BE SIERRA PACIFIC ASPEN SERIES GLAZED PINE WINDOWS W/ CONTEMPORARY SASH AND LOW E GLAZING. PROVIDE ULTRA VIEW SCREENS AT OPERABLE WINDOWS, TYP. U.O.N. CLADDING COLOR: TW BLACK 081. PROVIDE STAIN SAMPLES FOR INTERIOR FINISH, TYP.
2. CONTRACTOR SHALL FIELD VERIFY ALL OPENINGS PRIOR TO WINDOW ORDERS.
3. SEE WINDOW SCHEDULE AND EXTERIOR ELEVATIONS TO CONFIRM WINDOW OPERATION AND HINGE SIDE.
4. PROVIDE SAFETY GLAZING WITHIN A 24" ARC OF ANY DOOR, TUB, OR SHOWER ENCLOSURE, 36" OF STAIRS, LANDINGS, OR RAMPS; WITHIN 60" OF BOTTOM TREAD WHERE GLAZING IS LESS THAN 60" ABOVE FLOOR, AND WHERE SINGLE GLAZED PANELS OF OVER 9 SF IN AREA HAVE A BOTTOM EDGE LESS THAN 18" ABOVE FLOOR.
5. ALL WINDOWS NOT TO EXCEED MAX. 32 U-VALUE, SKYLIGHTS MAX. 55 MAX U-VALUE.

OWNERS:
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BARTELS**
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PROJECT:

BARTELS RESIDENCE

285 BRIDGER TRAIL
WINTER PARK, CO 80482
A.P.N.: 1705-151-06-008

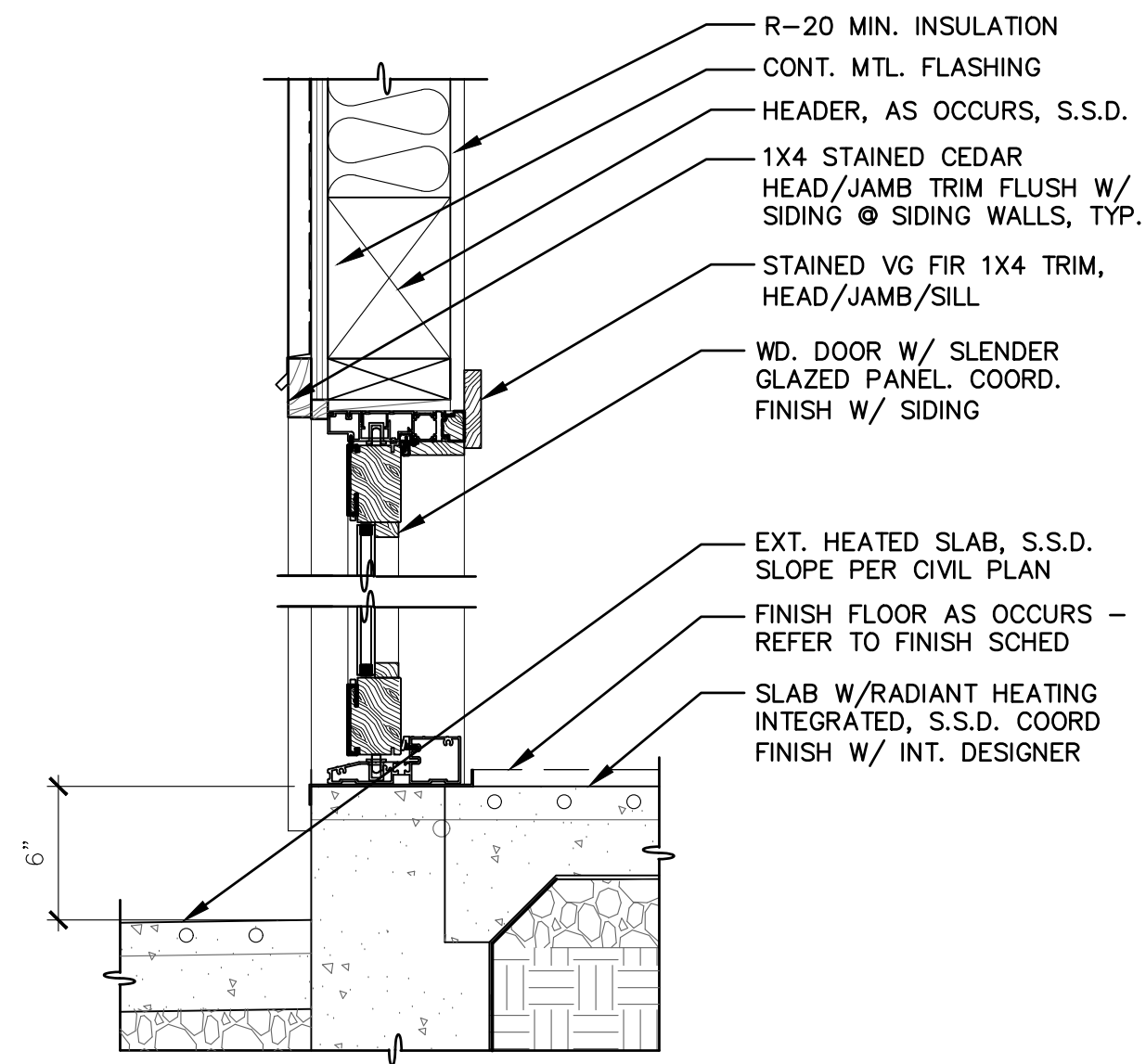
ISSUE:
NO. DESCRIPTION DATE

SITE PERMIT

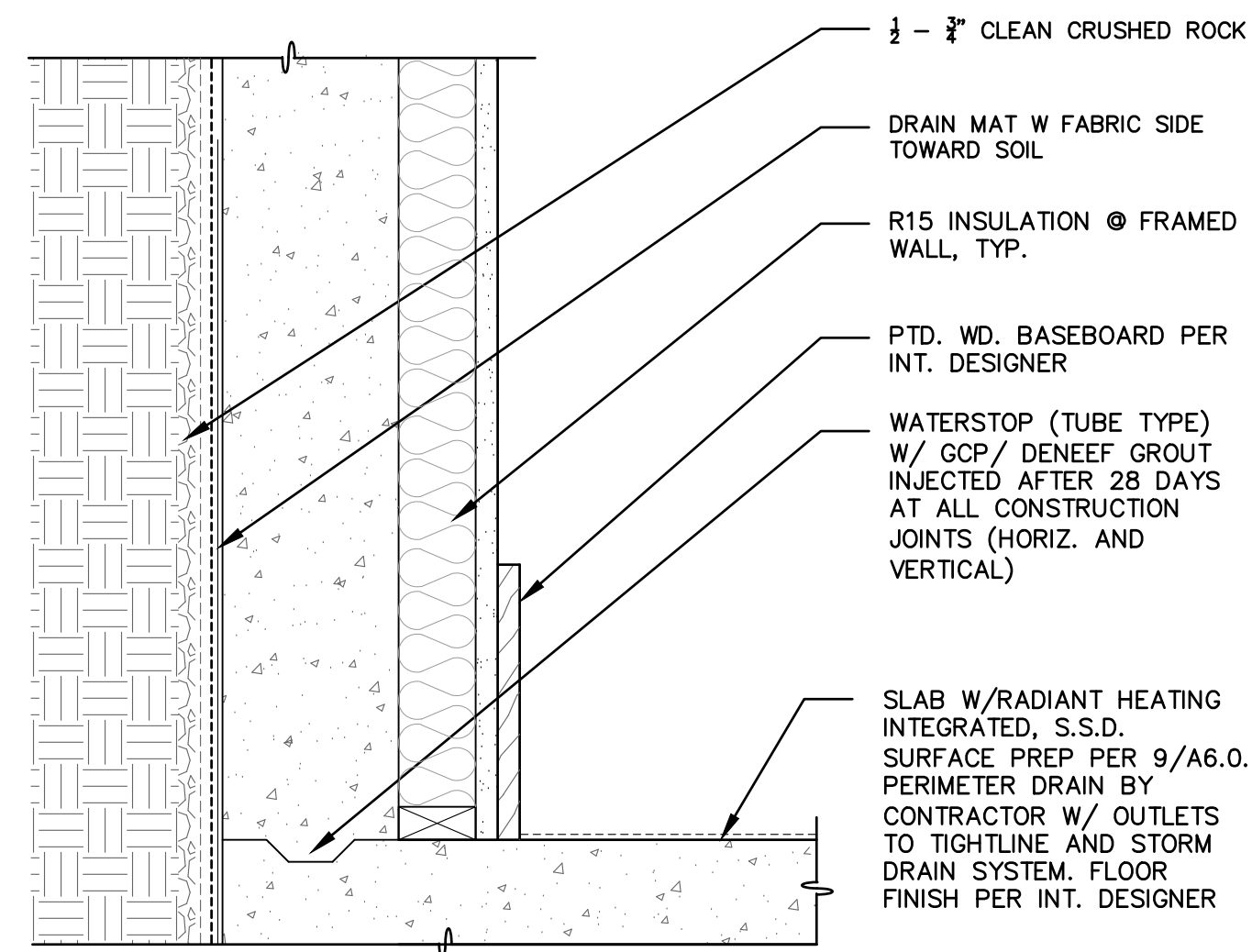
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SHEET DATE: 07.15.2024

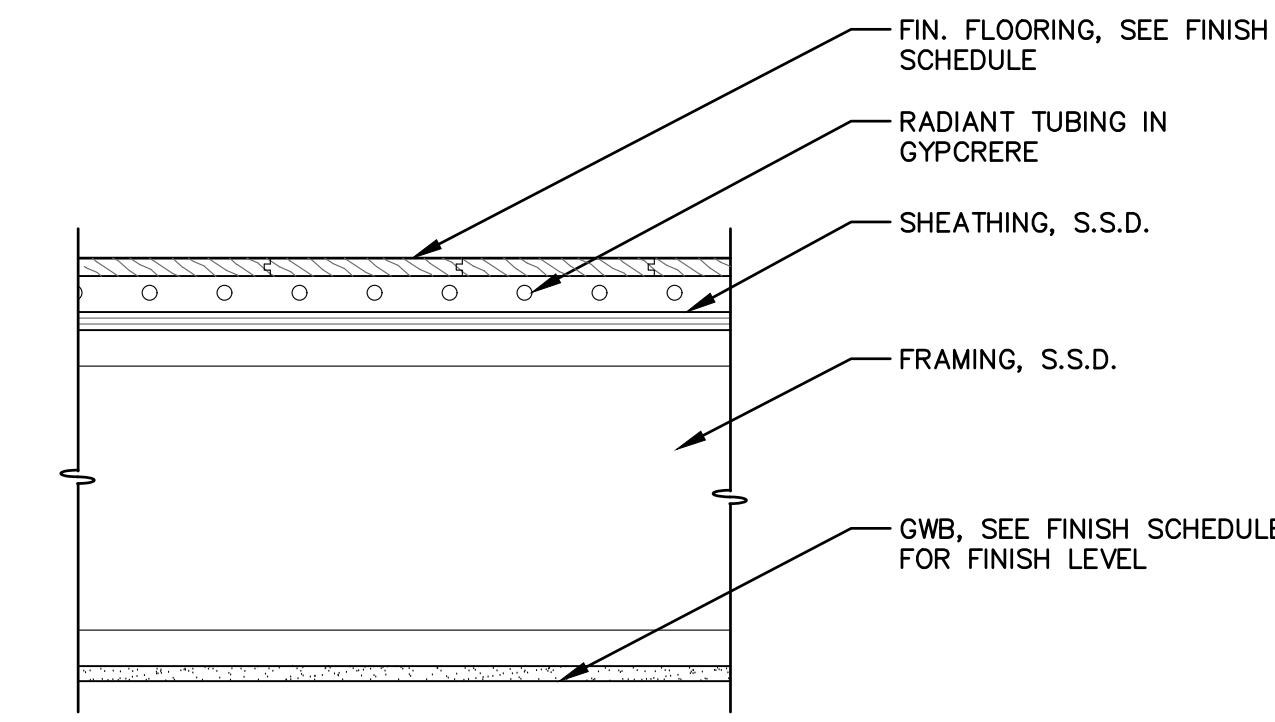
SCH-2
WINDOW SCHEDULE



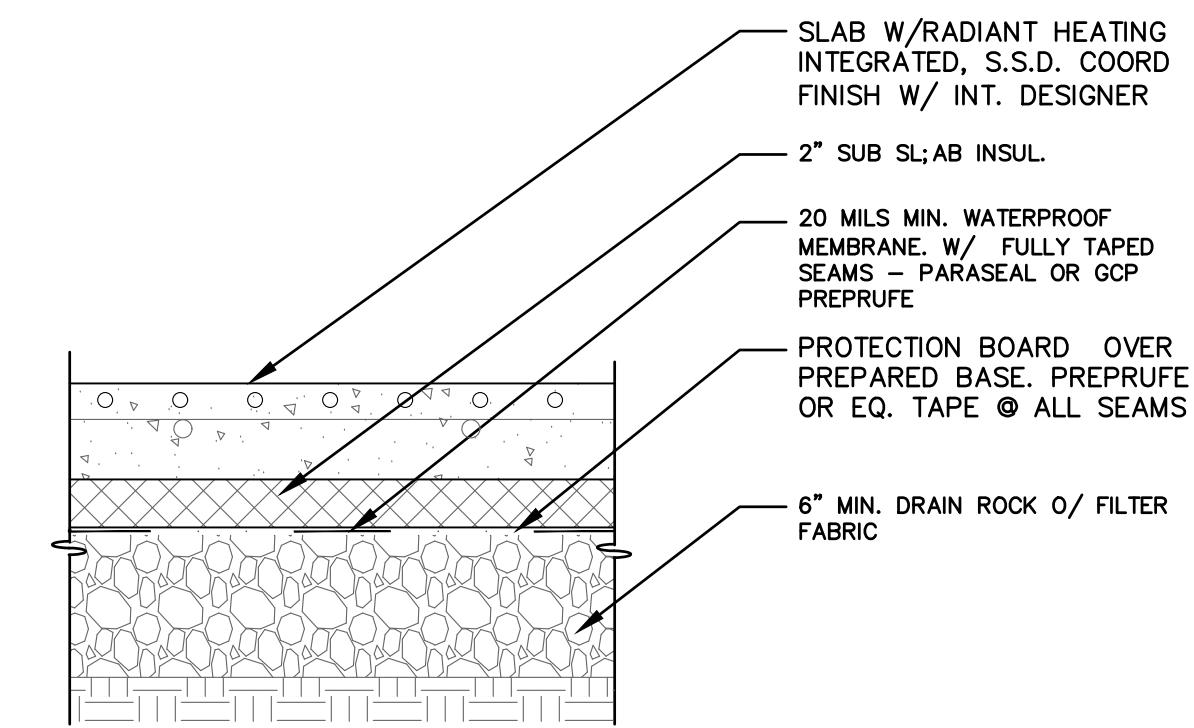
12 DOOR 7 THRESHOLD
SCALE: 1-1/2"=1'-0"



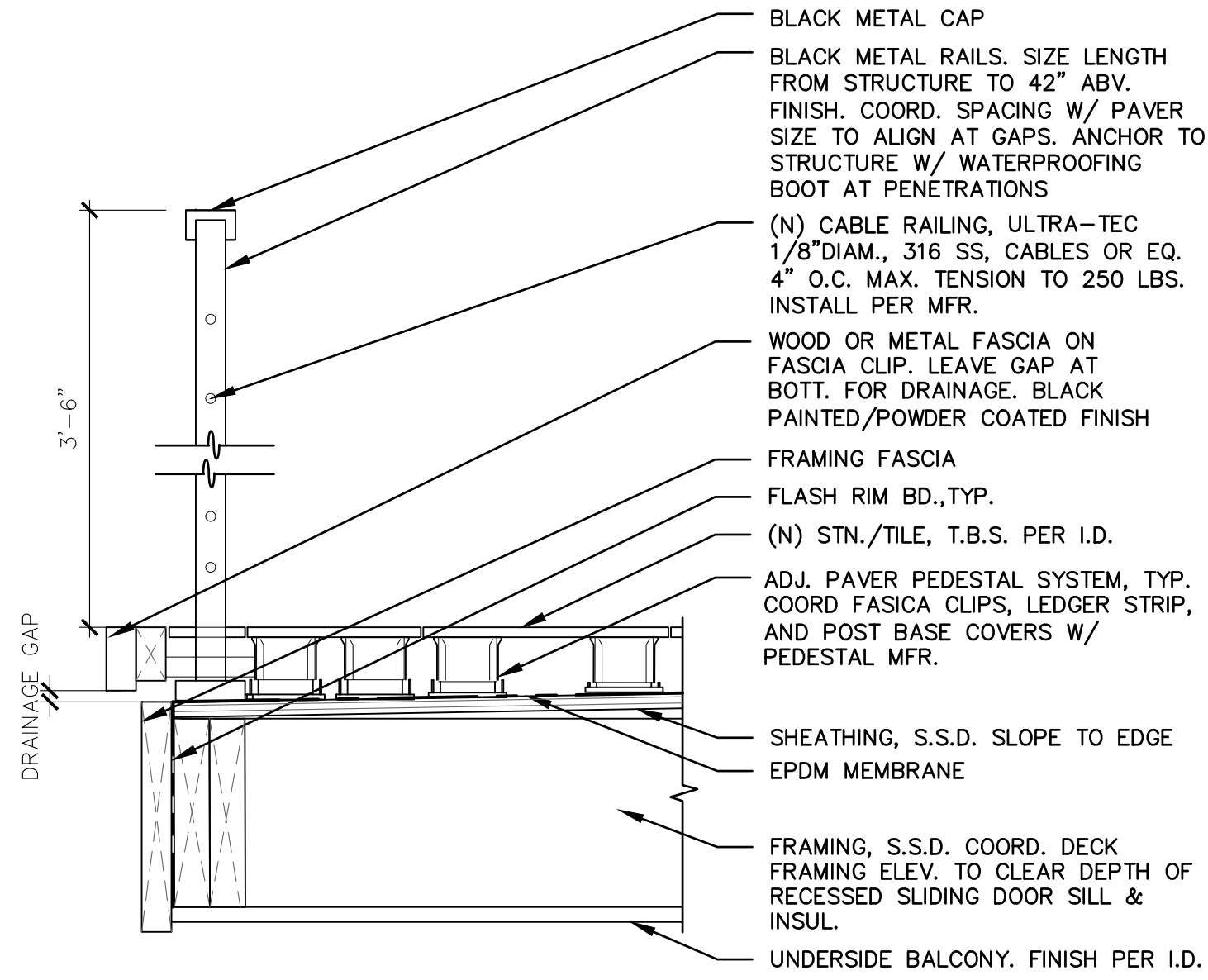
11 FRAMED WALL INSIDE FOUNDATION WALL, TYP.
SCALE: 1-1/2"=1'-0"



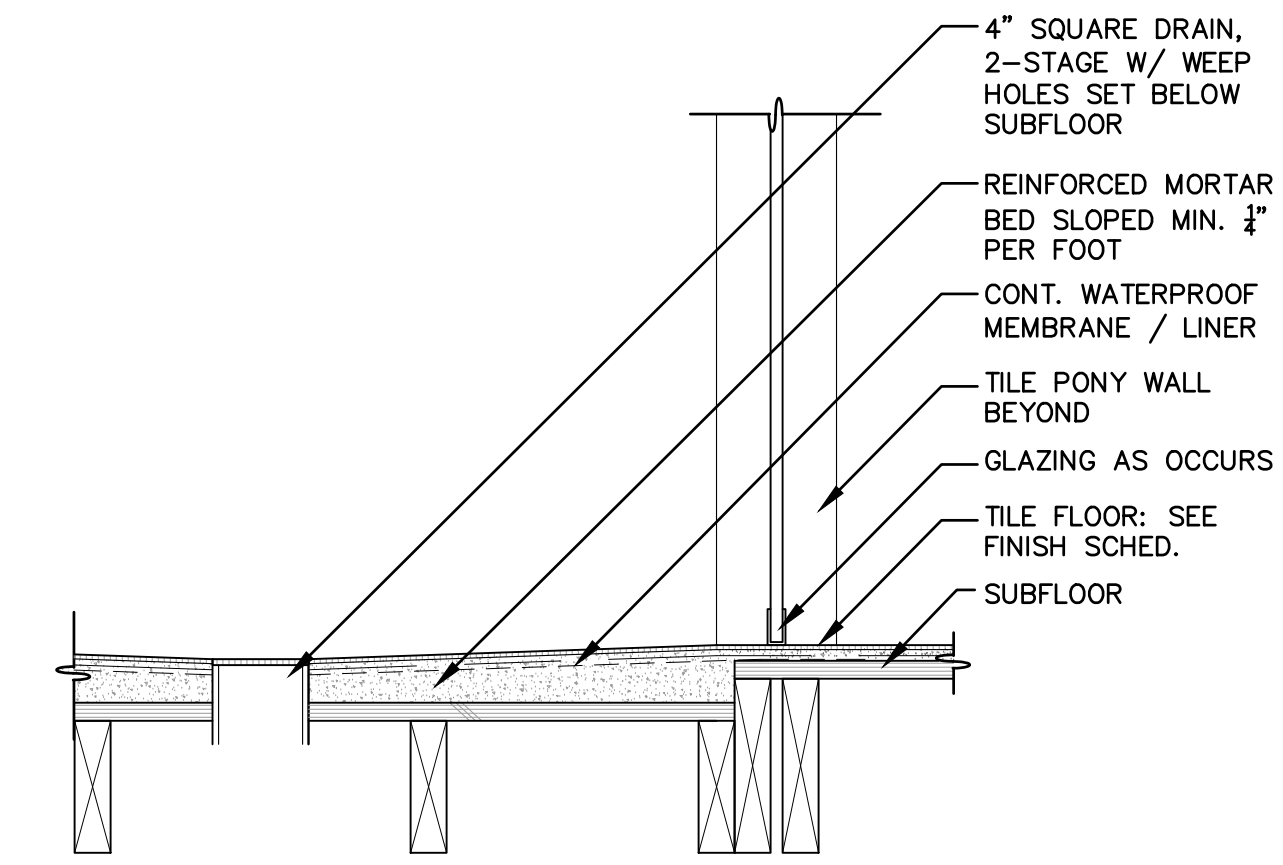
10 FRAMED FLOOR ASSEMBLY @ GREAT ROOM
SCALE: 1-1/2"=1'-0"



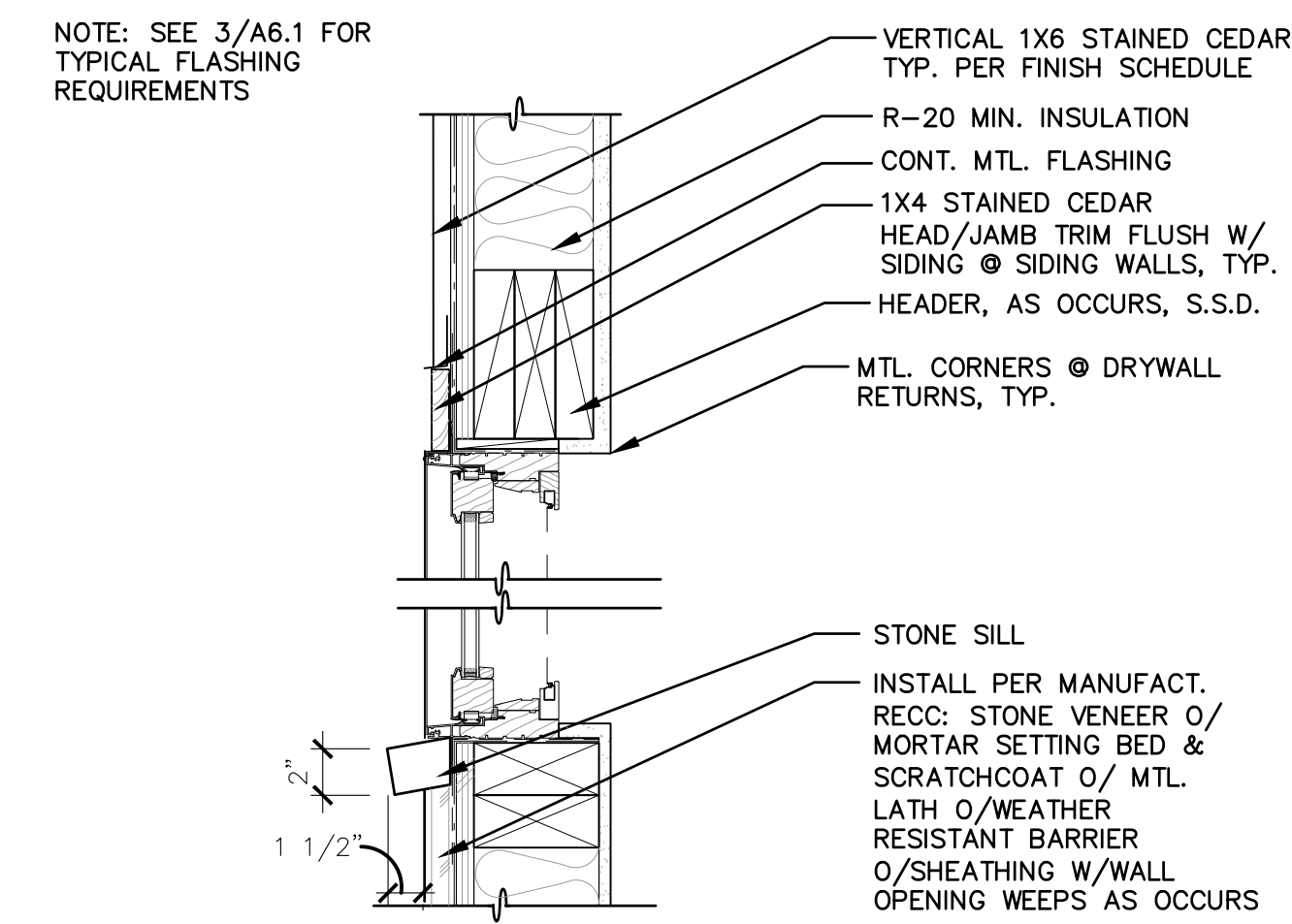
9 SECTION THRU TYP. GROUND FLOOR SLAB
SCALE: 1-1/2"=1'-0"



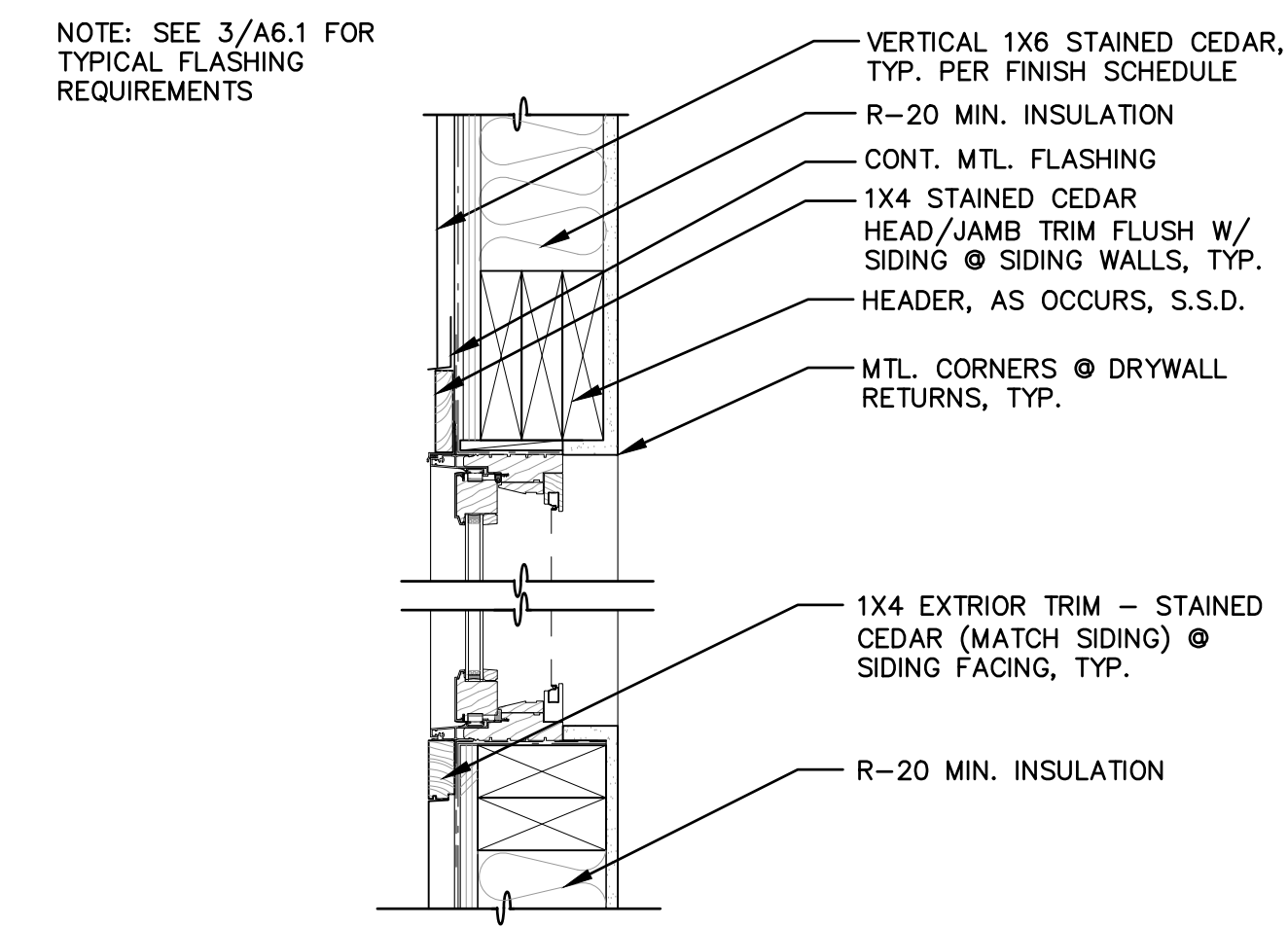
8 SECTION THROUGH BALCONY GUARDRAIL
SCALE: 1-1/2"=1'-0"



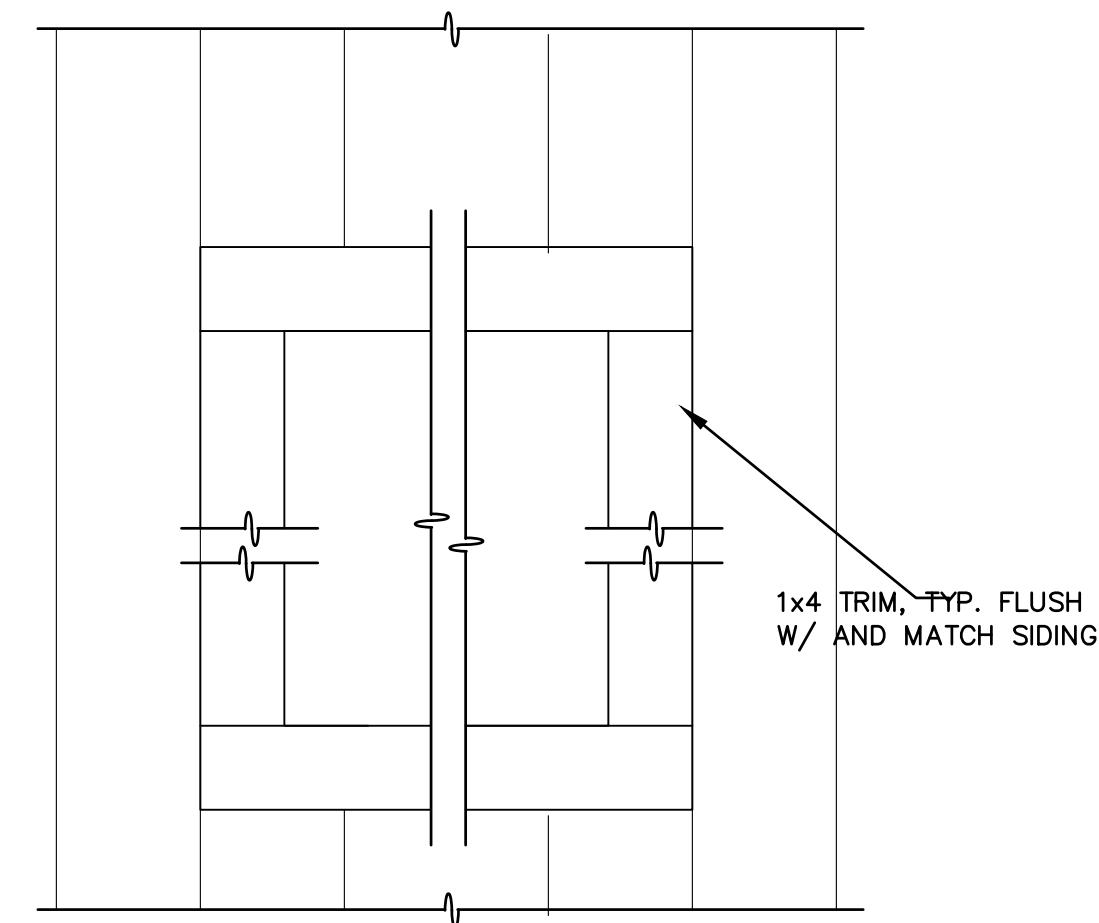
7 SECTION THRU TYP. SHOWER
SCALE: 1-1/2"=1'-0"



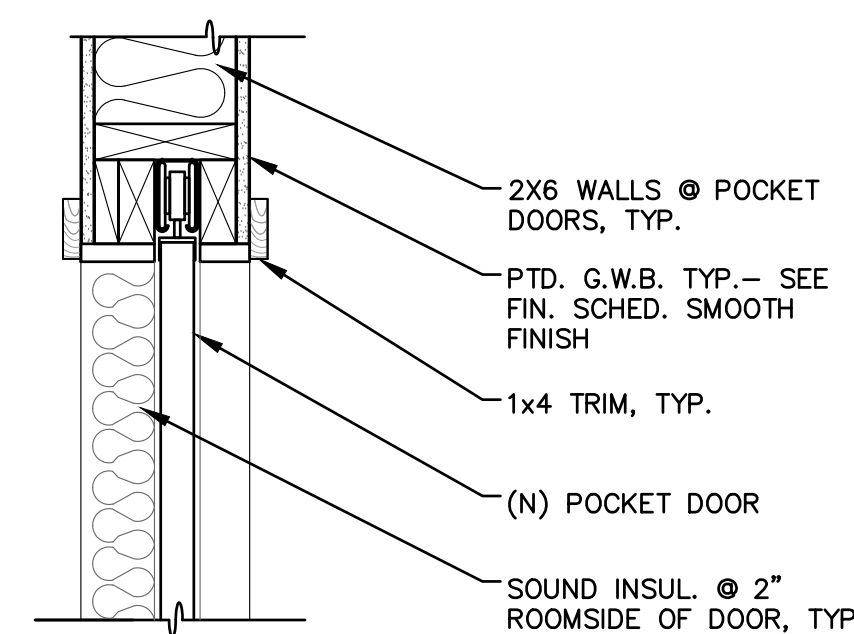
6 TYP. HEAD / SILL @ WDW @ STONE/ WD. TRANSITION
SCALE: 1-1/2"=1'-0"



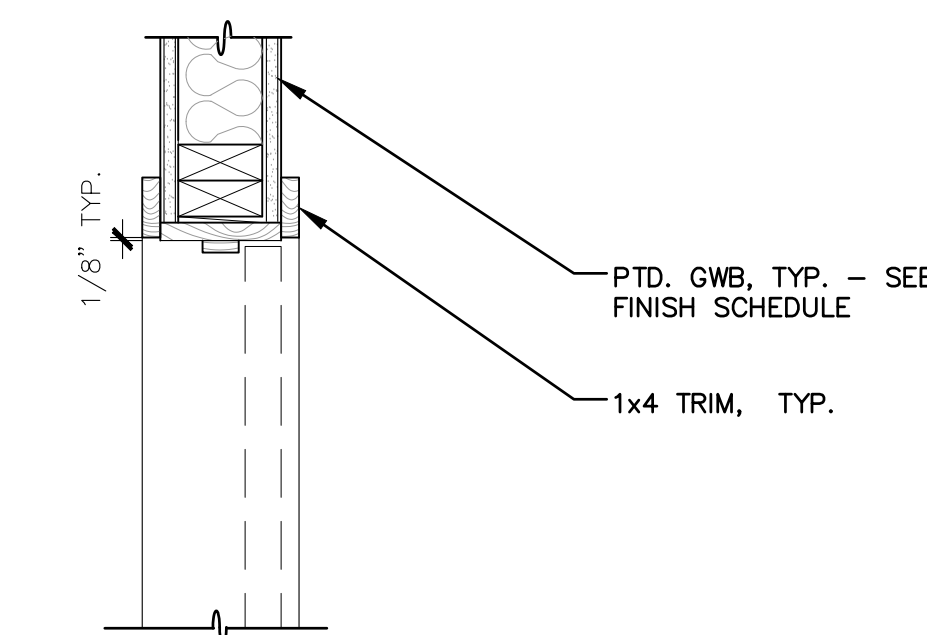
5 TYP. HEAD / SILL AT WINDOW IN FRAMED WALL
SCALE: 1-1/2"=1'-0"



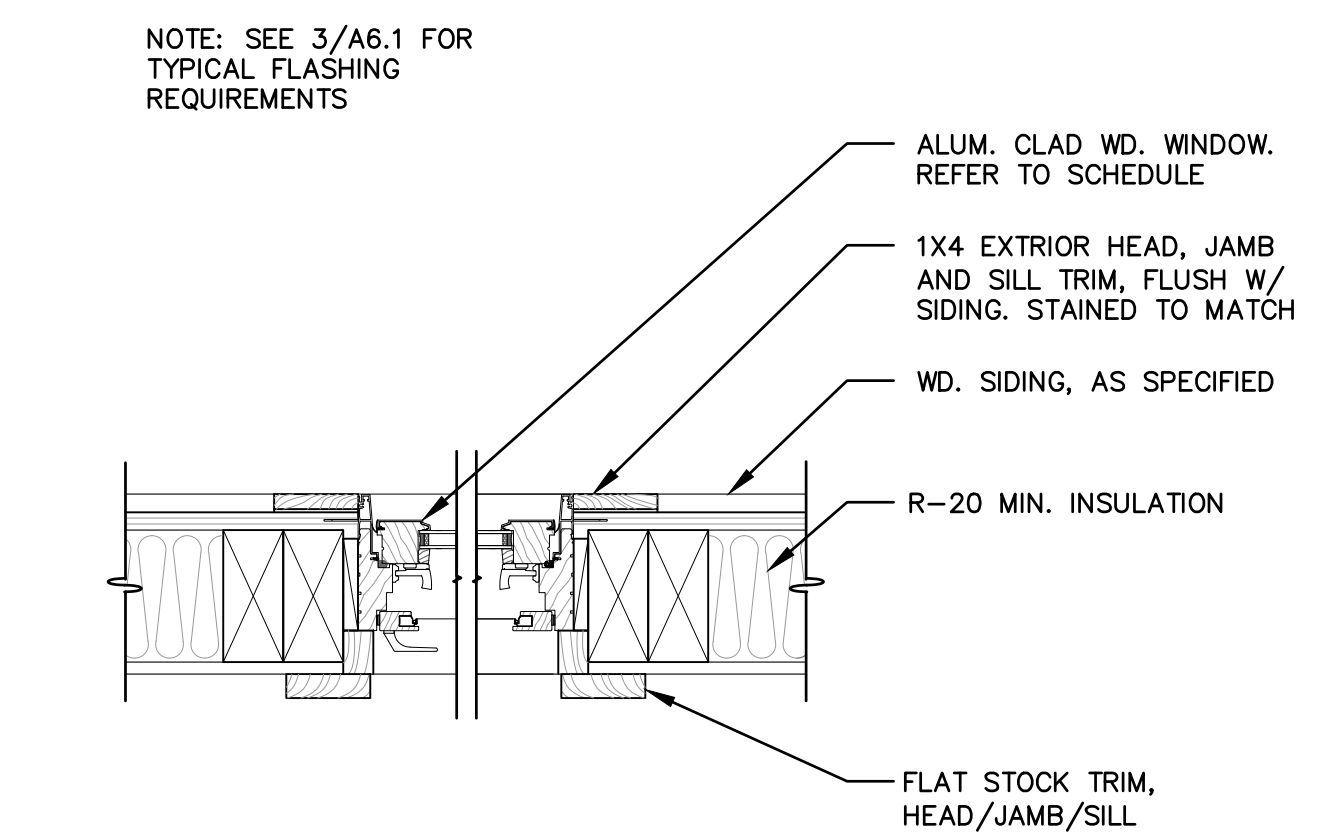
4 EXT ELEVATION @ WINDOW TRIM, TYP.
SCALE: 1-1/2"=1'-0"



3 HEAD AT POCKET DOOR TYP. (JAMB SIM. TRIM)
SCALE: 1-1/2"=1'-0"



2 HEAD/JAMB AT INT. DOORS, TYP.
SCALE: 1-1/2"=1'-0"



1 TYP. JAMB AT WINDOW IN FRAMED WALL
SCALE: 1-1/2"=1'-0"



PROJECT:

BARTELS RESIDENCE

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WINTER PARK, CO 80482
A.P.N.: 1705-151-06-008

ISSUE:

NO. DESCRIPTION DATE

SITE PERMIT

SCALE: 1-1/2"=1'-0"

SHEET DATE: 07.15.2024

A6.0
CONSTRUCTION
DETAILS

OWNER:

BARTELS RESIDENCE
285 BRIDGER TRAIL
WINTER PARK, CO 80482



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PROJECT:

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ISSUE:

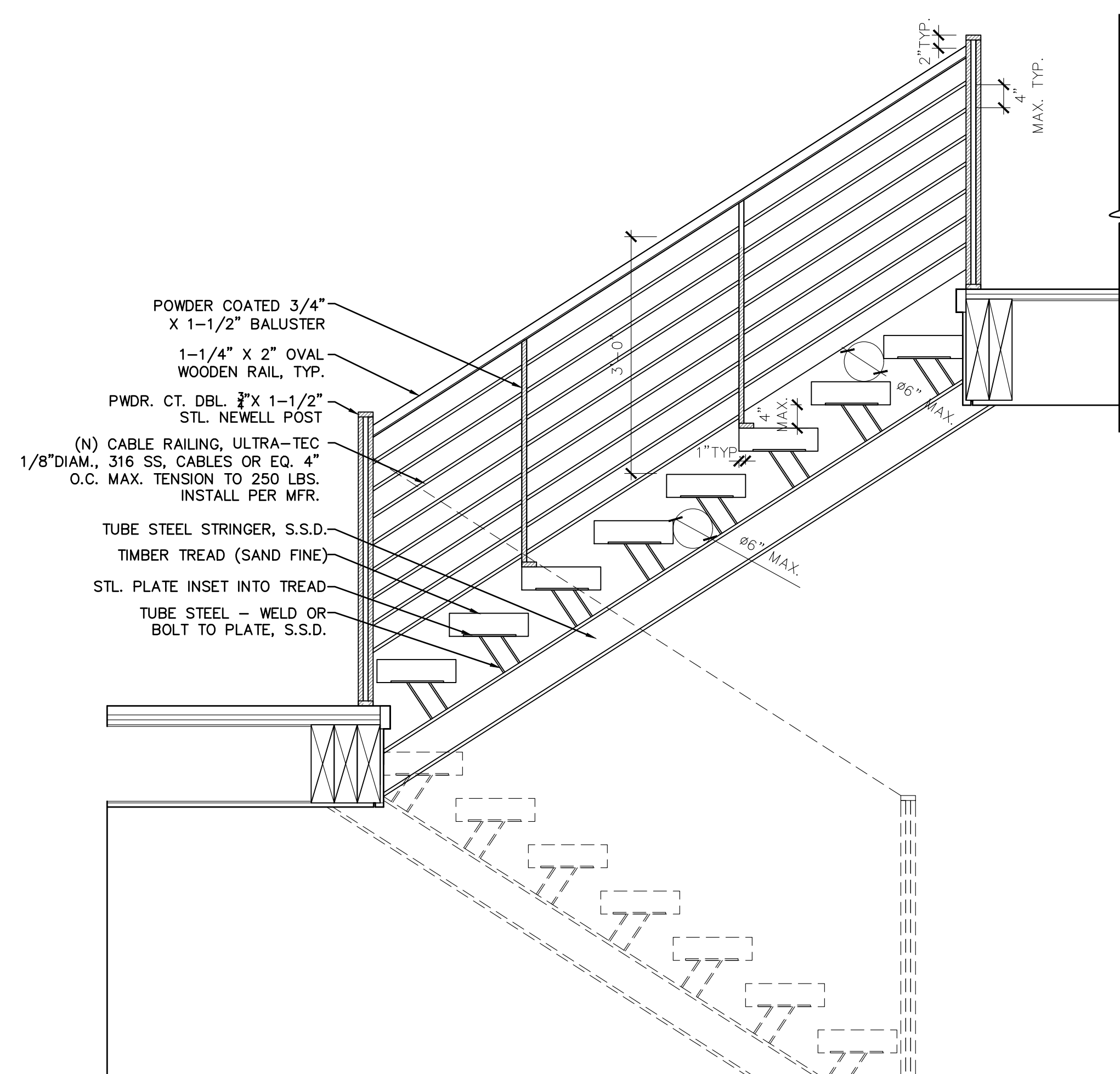
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SITE PERMIT

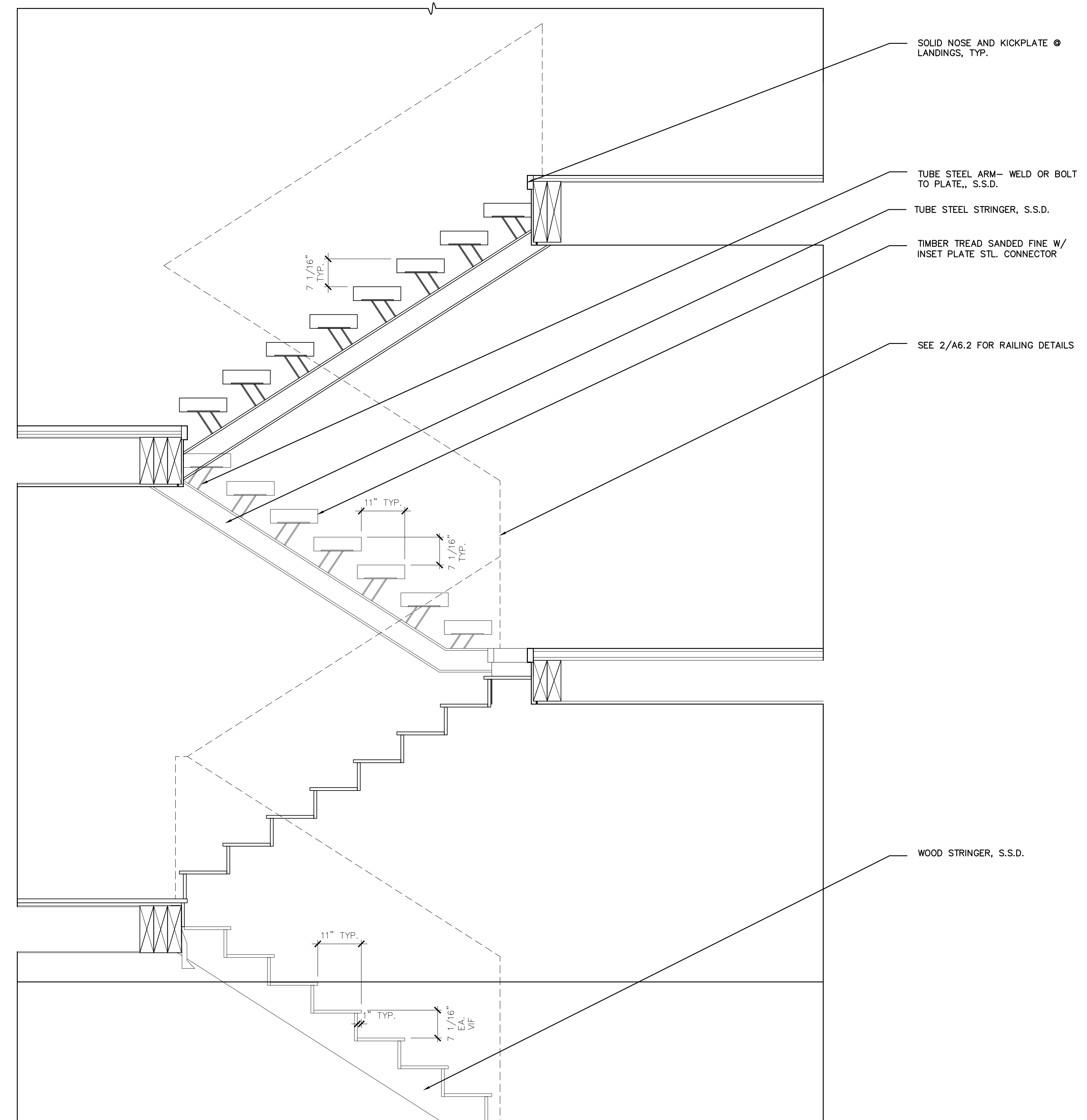
SCALE: 3/4"=1'-0"

SHEET DATE: 07.15.2024

A6.1
CONSTRUCTION
DETAILS



2 STAIR RAILING DETAIL
SCALE: 3/4"=1'-0"



1 SECTION THRU MAIN STAIR
SCALE: 3/4"=1'-0"

OWNER:

BARTELS RESIDENCE
285 BRIDGER TRAIL
WINTER PARK, CO 80482



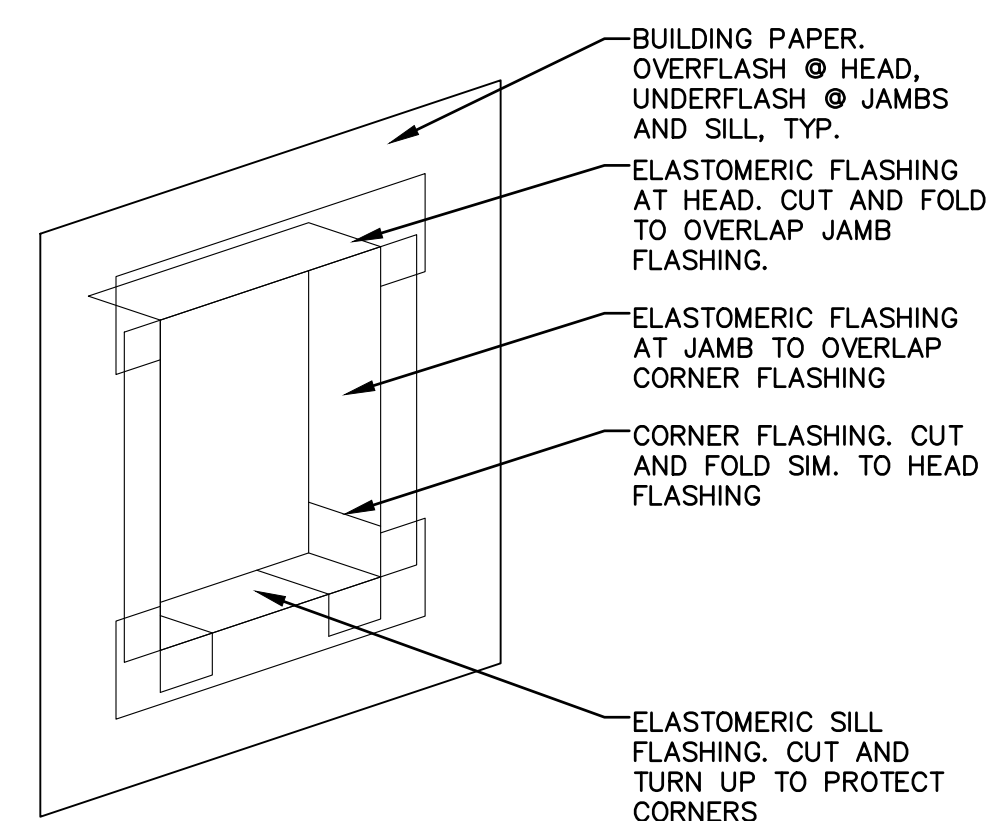
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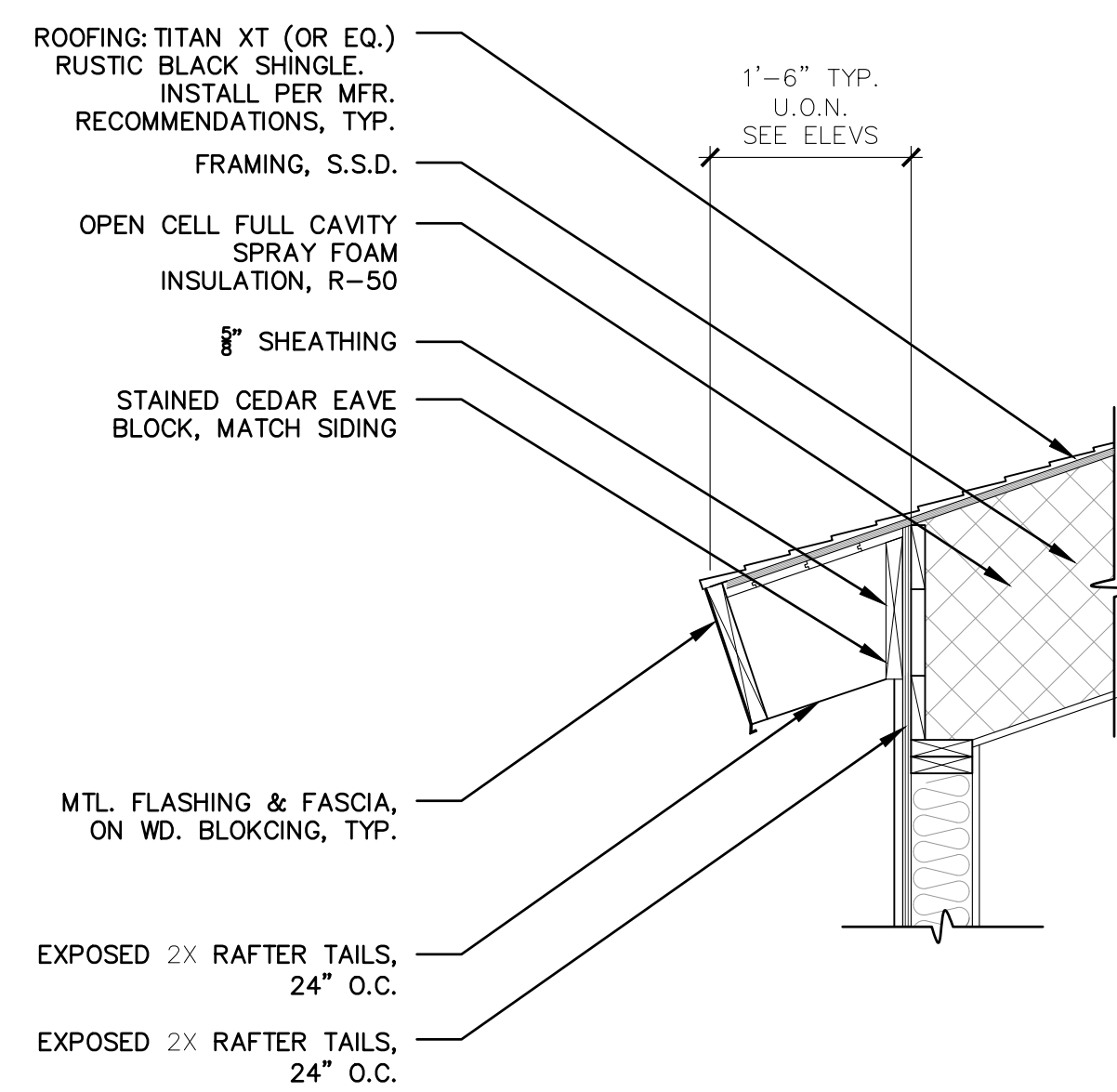
PROJECT:

BARTELS RESIDENCE

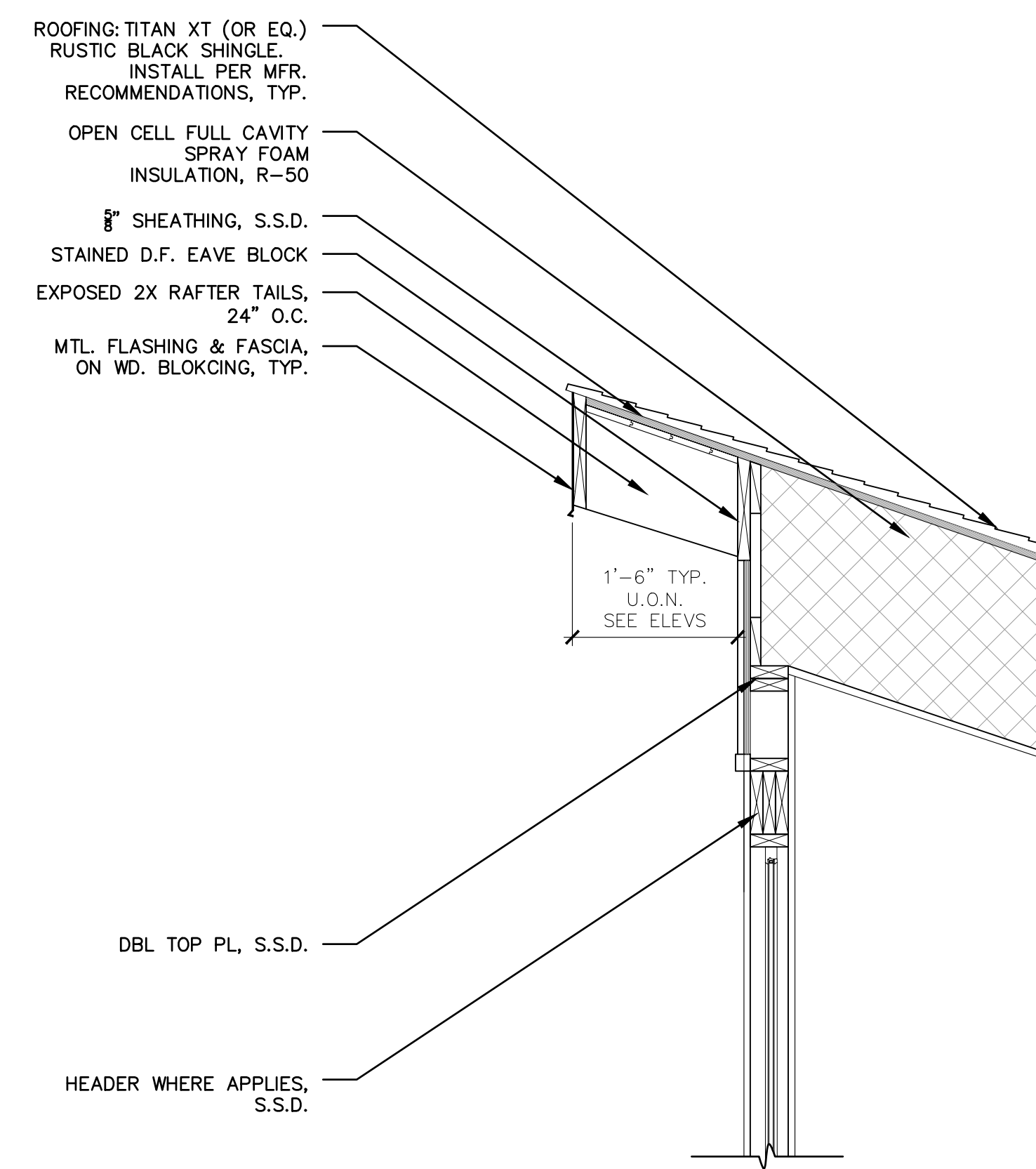
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3 TYPICAL FLASHING AT WALL OPENING
SCALE: N.T.S.



2 SECTION THRU. TYP. BOTTOM EAVE
SCALE: 3/4"=1'-0"



1 SECTION THROUGH TYP. TOP SLOPE EAVE
SCALE: 3/4"=1'-0"

ISSUE:

NO.	DESCRIPTION	DATE

SITE PERMIT

SCALE: 3/8"=1'-0"

SHEET DATE: 07.15.2024

A6.2
CONSTRUCTION
DETAILS

GENERAL NOTES

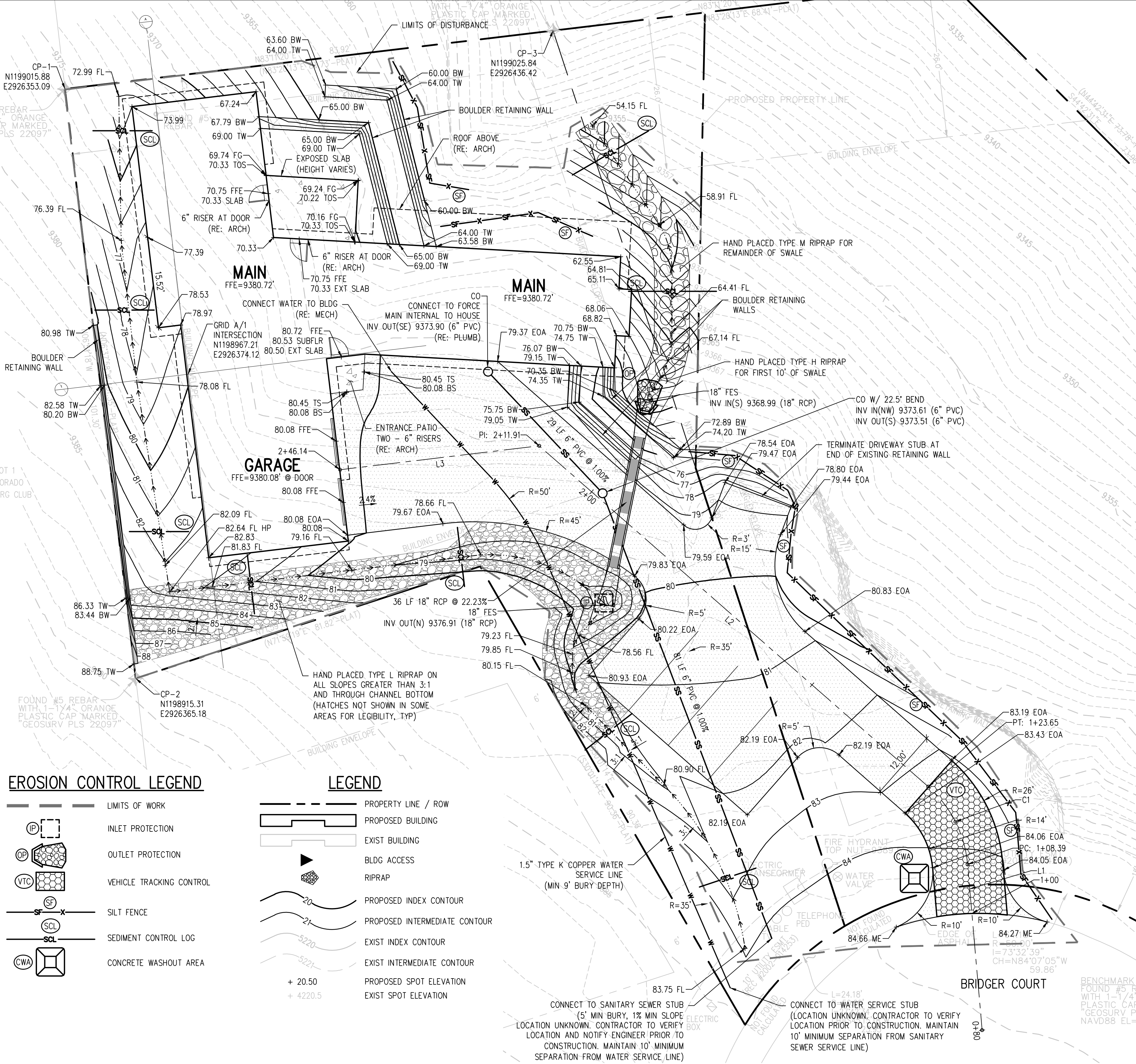
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE TOWN OF WINTER PARK, WINTER PARK WATER AND SANITATION DISTRICT, COLORADO DEPARTMENT OF TRANSPORTATION, EAST GRAND FIRE PROTECTION DISTRICT #1, AND APPLICABLE STATE AND LOCAL STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL HAVE IN POSSESSION AT ALL TIMES ONE (1) SIGNED COPY OF APPROVED PLANS, STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EMERGENCY ACCESS ROUTES TO THE SITE AND STRUCTURE AT ALL TIMES PER THE APPLICABLE GRAND FIRE PROTECTION DISTRICT NO 1 REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ANY VARIANCE TO THE ABOVE DOCUMENTS. NOTIFY ENGINEER OF ANY CONFLICTING STANDARDS OR SPECIFICATIONS. IN THE EVENT OF ANY CONFLICTING STANDARD OR SPECIFICATION, THE MORE STRINGENT OR HIGHER QUALITY STANDARD, DETAIL OR SPECIFICATION SHALL APPLY.
- THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE CODES, LICENSES, STANDARD SPECIFICATIONS, PERMITS, BONDS, ETC., WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK, INCLUDING, BUT NOT LIMITED TO A LOCAL AND STATE GROUNDWATER DISCHARGE AND COLORADO DEPARTMENT OF HEALTH AND ENVIRONMENT (CDPHE) STORMWATER DISCHARGE PERMIT ASSOCIATED WITH CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE REQUIRED PARTY (OWNER, OWNER'S REPRESENTATIVE, MUNICIPAL/DISTRICT INSPECTOR, GEOTECHNICAL ENGINEER, ENGINEER AND/OR UTILITY OWNER) AT LEAST 48 HOURS PRIOR TO START OF ANY CONSTRUCTION, PRIOR TO BACKFILLING, AND AS REQUIRED BY JURISDICTIONAL AUTHORITY AND/OR PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL CONTINUE WITH NOTIFICATIONS THROUGHOUT THE PROJECT AS REQUIRED BY THE STANDARDS AND SPECIFICATIONS.
- THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION BASED ON INFORMATION BY OTHERS. NOT ALL UTILITIES MAY BE SHOWN. THE CONTRACTOR SHALL DETERMINE THE EXACT SIZE, LOCATION AND TYPE OF ALL EXISTING UTILITIES WHETHER SHOWN OR NOT BEFORE COMMENCING WORK. THE ENGINEER AND/OR OWNER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS SHOWN ON PLANS. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES AND COSTS WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY COMPANIES AND DETERMINE THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO PROCEEDING WITH GRADING AND CONSTRUCTION. ALL WORK PERFORMED IN THE AREA OF UTILITIES SHALL BE PERFORMED AND INSPECTED ACCORDING TO THE REQUIREMENTS OF THE UTILITY OWNER. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MAPPING ANY EXISTING UTILITY (INCLUDING DEPTH) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION, AND FOR RELOCATING ENCOUNTERED UTILITIES AS DIRECTED BY THE ENGINEER. CONTRACTOR SHALL CONTACT AND RECEIVE APPROVAL FROM MUNICIPALITY/UTILITY OWNER AND ENGINEER BEFORE RELOCATING ANY ENCOUNTERED UTILITIES. CONTRACTOR RESPONSIBLE FOR SERVICE CONNECTIONS, AND RELOCATING AND RECONNECTING AFFECTED UTILITIES AS COORDINATED WITH UTILITY OWNER AND/OR ENGINEER, INCLUDING NON-MUNICIPAL UTILITIES (TELEPHONE, GAS, CABLE, ETC., WHICH SHALL BE COORDINATED WITH THE UTILITY OWNER). THE CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER UPON DISCOVERY OF A UTILITY DISCREPANCY OR CONFLICT. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE UTILITY NOTIFICATION CENTER OF COLORADO (1-800-922-1987, WWW.UNCC.ORG).
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS NOR EROSION ON ADJUTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS. GROUNDWATER TO BE PUMPED SHALL BE TESTED, PERMITTED, AND PUMPED PER THE STATE OF COLORADO AND LOCAL GROUNDWATER DISCHARGING PERMIT REQUIREMENTS.
- RIM AND GRATE ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. THE CONTRACTOR SHALL ADJUST RIMS AND OTHER IMPROVEMENTS TO MATCH FINAL PAVEMENT AND FINISHED GRADE ELEVATIONS.
- THE EXISTING AND PROPOSED ELEVATIONS OF FLATWORK, SIDEWALKS, CURBS, THRESHOLDS, PAVING, ETC. AS SHOWN HEREON ARE BASED ON EXTRAPOLATION OF FIELD SURVEY DATA, EXISTING CONDITIONS, AND DATA PROVIDED BY OTHERS. AT CRITICAL AREAS AND SITE FEATURES, CONTRACTOR SHALL HAVE FORMWORK INSPECTED AND APPROVED BY OWNER, OWNER'S REPRESENTATIVE, OR ENGINEER PRIOR TO PLACING CONCRETE. MINOR ADJUSTMENTS, AS APPROVED, TO PROPOSED GRADES, INVERTS, ETC. MAY BE REQUIRED TO PREVENT PONDING OR SLOPE NOT IN CONFORMANCE WITH MUNICIPAL STANDARDS. ALL FLATWORK MUST PREVENT PONDING AND PROVIDE POSITIVE DRAINAGE AWAY FROM EXISTING AND PROPOSED BUILDINGS, WALLS, ROOF DRAIN OUTFALLS, ACROSS DRIVES AND WALKS, ETC., TOWARDS THE PROPOSED INTENDED DRAINAGE FEATURES AND CONVEYANCES.
- ANY EXISTING MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC. TO BE PROTECTED AND TO REMAIN IN SERVICE. IF FEATURES EXIST, EXTEND OR LOWER TO FINAL SURFACE WITH LIKE KIND CAP WITH STANDARD CAST ACCESS LID WITH SAME MARKINGS. IN LANDSCAPED AREAS PROVIDE A CONCRETE COLLAR (18"x18"x6" THICK) AT ALL EXISTING AND PROPOSED MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC.
- PIPE LENGTHS AND HORIZONTAL CONTROL POINTS SHOWN ARE FROM CENTER OF STRUCTURES, END OF FLARED END SECTIONS, ETC. SEE STRUCTURE DETAILS FOR EXACT HORIZONTAL CONTROL LOCATION. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING ACTUAL PIPE LENGTHS TO ACCOUNT FOR STRUCTURES AND LENGTH OF FLARED END SECTIONS.
- ALL SURPLUS MATERIALS, TOOLS, AND TEMPORARY STRUCTURES, FURNISHED BY THE CONTRACTOR, SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR. ALL DEBRIS AND RUBBISH CAUSED BY THE OPERATIONS OF THE CONTRACTOR SHALL BE REMOVED, AND THE AREA OCCUPIED DURING CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ITS ORIGINAL CONDITION, WITHIN 48 HOURS OF PROJECT COMPLETION, UNLESS OTHERWISE DIRECTED BY THE MUNICIPALITY OR OWNER'S REPRESENTATIVE.
- PROTECT ALL TREES AND VEGETATION. PLACE CONSTRUCTION FENCING AT DRIP LINE OF TREES AND PLANTS NEAR THE WORK ZONE. DEEP WATER TREES WEEKLY. HAND EXCAVATION REQUIRED AT ROOT ZONES WHERE PROPOSED PAVING OR UTILITY WORK IS WITHIN DRIPLINE OF TREES.
- BENCHMARK INFORMATION: TOPOGRAPHIC INFORMATION WAS PROVIDED BY TIM SHENK LAND SURVEYING INC. SEE "TOPOGRAPHIC SURVEY" DATED 11/28/2016. PROJECT BENCHMARK USED TO DETERMINE THE BASIS OF ELEVATIONS FOR THIS MAP IS NGS H360, A STANDARD U.S. COAST AND GEODETIC SURVEY MONUMENT SET IN BOULDER. NAVD88 ELEVATION = 8971.34 U.S. SURVEY FEET. COORDINATE AND VERIFY ALL VERTICAL AND HORIZONTAL DATA SHOWN IN SURVEY AND REPORT AND IRREGULARITIES OR DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
- HORIZONTAL CONTROL INFORMATION: HORIZONTAL CONTROL COORDINATES ARE BASED ON THE REFERENCED SURVEY AND ARE PROVIDED BY THE FOLLOWING POINTS AS SHOWN ON THE PLANS.
 CP-1 N1199015.88 E2926353.09
 CP-2 N1198915.13 E2926365.18
 CP-3 N1199025.84 E2926436.42
 BASIS OF BEARINGS: SEE SURVEY.

NOTES:

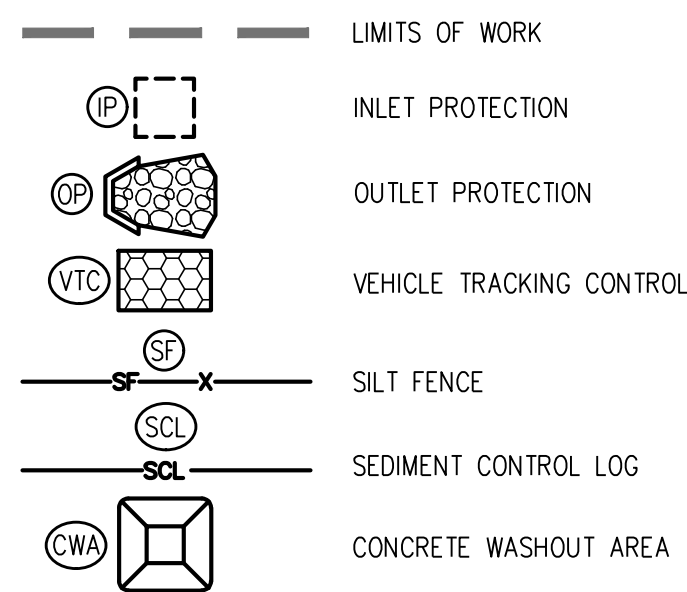
- NO DISTURBANCE, GRADING OR REMOVAL OF SIGNIFICANT NATURAL FEATURES AND VEGETATION WILL OCCUR BEYOND THE LIMITS OF DISTURBANCE LINE AS SHOWN ON THIS PLAN.
- THE LIMIT OF DISTURBANCE LINE SHALL BE DELINEATED PRIOR TO CONSTRUCTION WITH FLAGS, ROPING, 4' TALL ORANGE CONSTRUCTION FENCING, OR OTHER ACCEPTABLE MEANS.
- BASED ON THE CURRENT PROPOSED BUILDING PLAN, IT IS ANTICIPATED THAT THE PROJECT WILL BE SERVED BY A 1.5" DOMESTIC WATER SERVICE CONNECTED TO A WATER WELL BY OTHERS AND A 4" SANITARY SERVICE TO ACCESS THE ON SITE WASTEWATER SYSTEM BY OTHERS. OWNER AND CONTRACTOR TO VERIFY FINAL PIPE SIZES, BASED ON FINAL FIXTURE COUNTS, AT THE TIME OF BUILDING PERMIT APPLICATION AND ADJUST TAP SIZES, SERVICE LINES AND FITTINGS, AND TAP FEES ACCORDINGLY.
- OWNER AND CONTRACTOR TO VERIFY FINAL BUILDING LOCATION BASED ON ARCHITECTURAL SITE PLAN.

SITE DATA (LOT 8 ONLY):

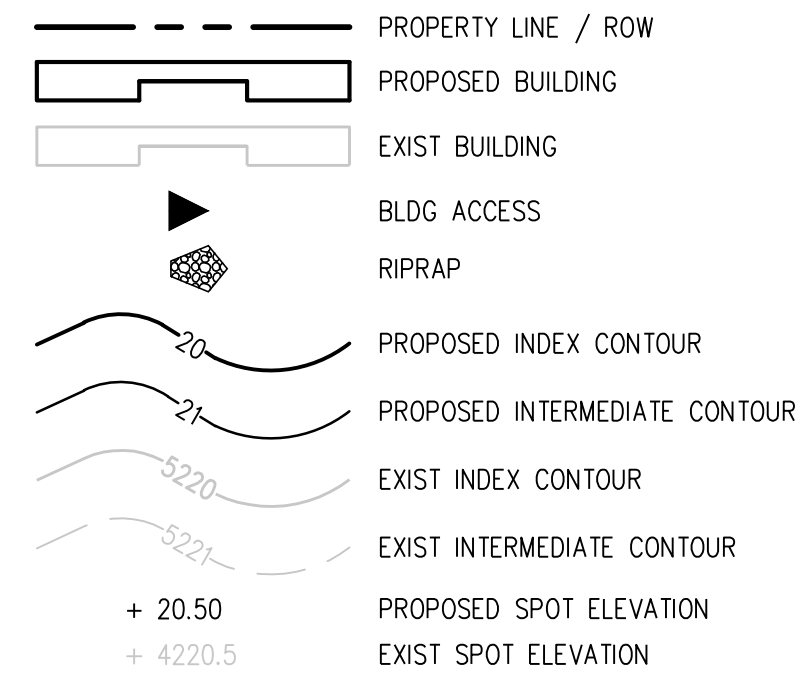
TOTAL AREA OF LOT = 0.277 AC = 12097 SQ.FT.
 TOTAL AREA OF DISTURBANCE = 0.28 AC = 12,580 SQ.FT.
 BUILDING FOOTPRINT (INCL OVERHANGS, DECKS, ETC) = 3586 SQ.FT.
 IMPERVIOUS DRIVES, WALKS, PARKING, ETC = 2135 SQ.FT.
 PERCENTAGE OF IMPERVIOUS AREAS = 47%



EROSION CONTROL LEGEND



LEGEND



GRADING AND DRAINAGE NOTES:

- CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
- CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL DISTURBED AREAS TO THEIR ORIGINAL CONDITIONS.
- ALL SPOT ELEVATIONS ARE TO FINISHED GRADE OR FLOWLINE UNLESS OTHERWISE SPECIFIED.
- IF WALL IS SHOWN, TW DENOTES THE FINISHED GRADE ADJACENT TO THE HIGH SIDE OF THE WALL. BW DENOTES THE FINISHED GRADE ADJACENT TO THE LOW SIDE OF THE WALL. REFER TO ARCH PLANS/DETAILS FOR WALL ELEVATIONS BEYOND THE ADJACENT FINISHED GRADES (EXPOSED WALL CAP/FOOTER, ETC.)

EROSION AND SEDIMENTATION NOTES:

- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PER URBAN DRAINAGE AND FLOOD CONTROL DISTRICT (UDFCD) STANDARD DETAILS.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL CONTROLS DURING INITIAL, INTERIM, AND FINAL CONDITIONS.
- ALL CONTROLS SHALL BE INSTALLED WITHIN THE PROPERTY LINES UNLESS OTHERWISE SPECIFIED. WHEN CONSTRUCTION ACTIVITIES DISTURB ADJACENT AND/OR RIGHT-OF-WAY PROPERTIES, COORDINATION WITH PROPERTY OWNERS IS REQUIRED PRIOR TO CONSTRUCTION.

UTILITY NOTES:

- CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
- ALL DRY UTILITY AND ELECTRIC SERVICES ARE PROVIDED BY OTHERS AND SHOWN FOR REFERENCE ONLY. SEE MEP PLANS AND SPECIFICATIONS AND COORDINATE WITH ALL UTILITY OWNERS AS NEEDED.
- CONTRACTOR TO MARK ALL UTILITY STUBS WITH MARKERS.

JVA, Inc.
 CONSULTING ENGINEERS
 PO Box 1380
 Suite 328
 Winter Park, CO 80482
 970.722.7677
 www.jva.com
 Boulder • Fort Collins • Winter Park
 Glenwood Springs • Denver

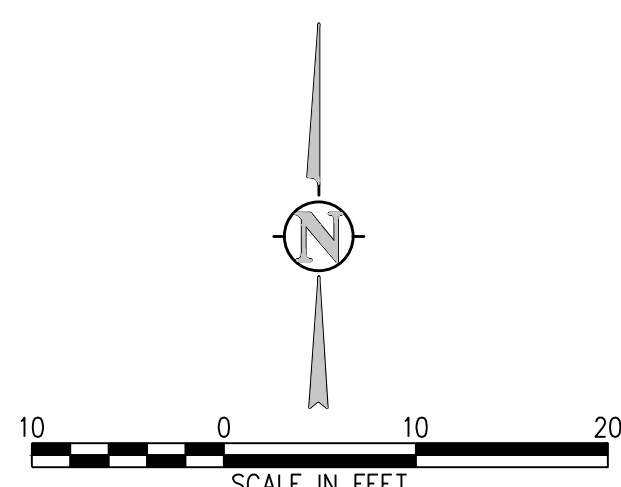
NO.	DATE	DESIGNED	DRAWN	REVISION DESCRIPTION

DESIGNED BY: DAD
 DRAWN BY: DAD
 CHECKED BY: CWK
 JOB #: 2958c
 DATE: MAY 25, 2024
 © JVA, INC.

BRIDGER'S CACHE RESIDENCE - LOT 8
 285 BRIDGER TRAIL,
 WINTER PARK, CO 80482

CIVIL SITE PLAN

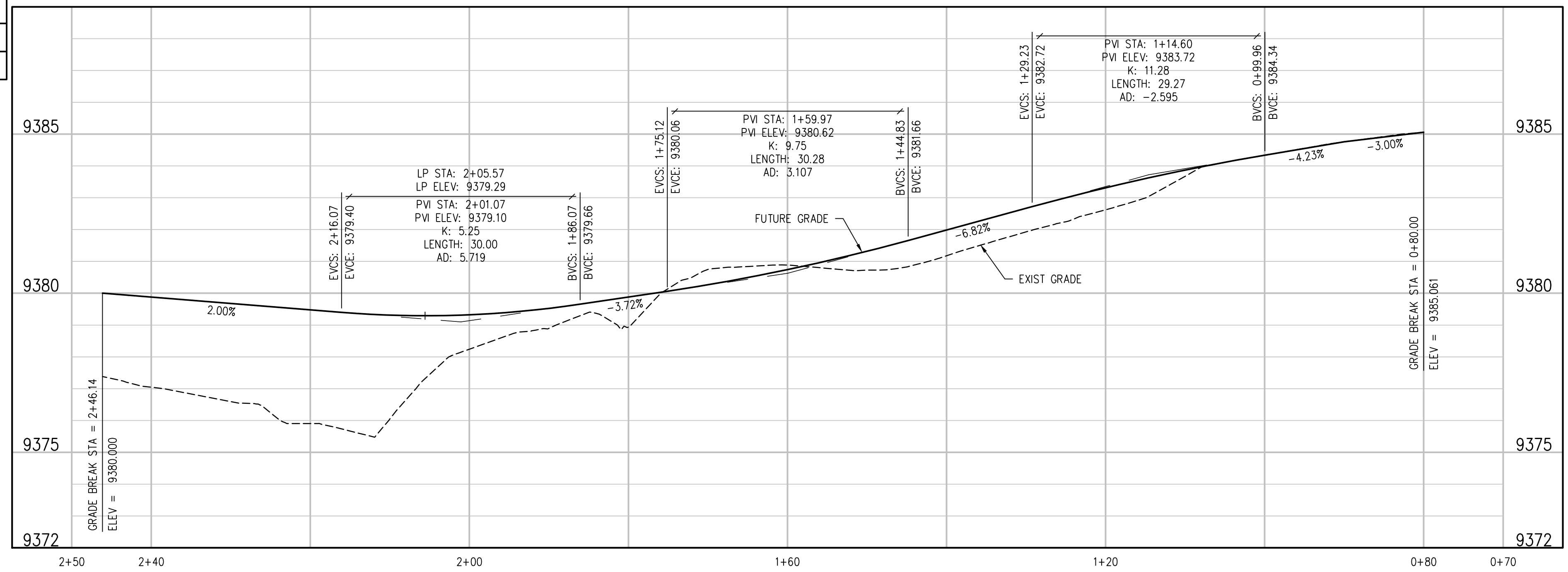
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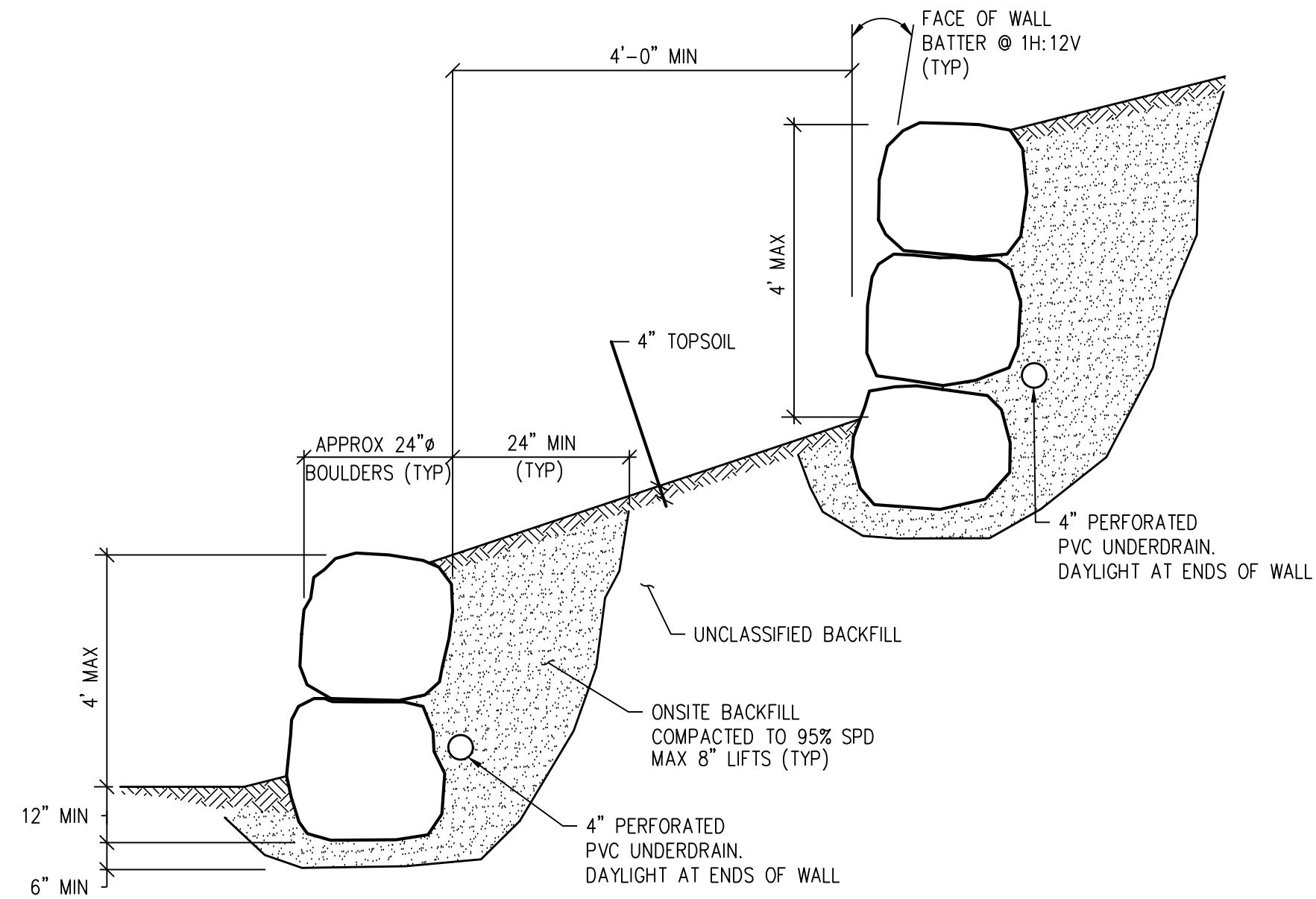
K:\2958c-Wrny-Residence - Bridgers Cache Lot 8\Drawings\2958c-01-CIP-01.dwg, 5/24/2024 - 10:53 AM, CWK

LINE TABLE			
LINE	LENGTH	DIRECTION	START (N, E)
L1	8.39	N5° 00' 57"W	(1198875.20, 2926507.90)
L2	88.26	N48° 47' 16"W	(1198896.84, 2926500.44)
L3	34.28	S83° 09' 34"W	(1198954.99, 2926434.04)

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD LEN	START (N, E)
C1	15.25	20.00	43°42'35"	N26°52'14"W	14.89	(1198883.56, 2926507.17)

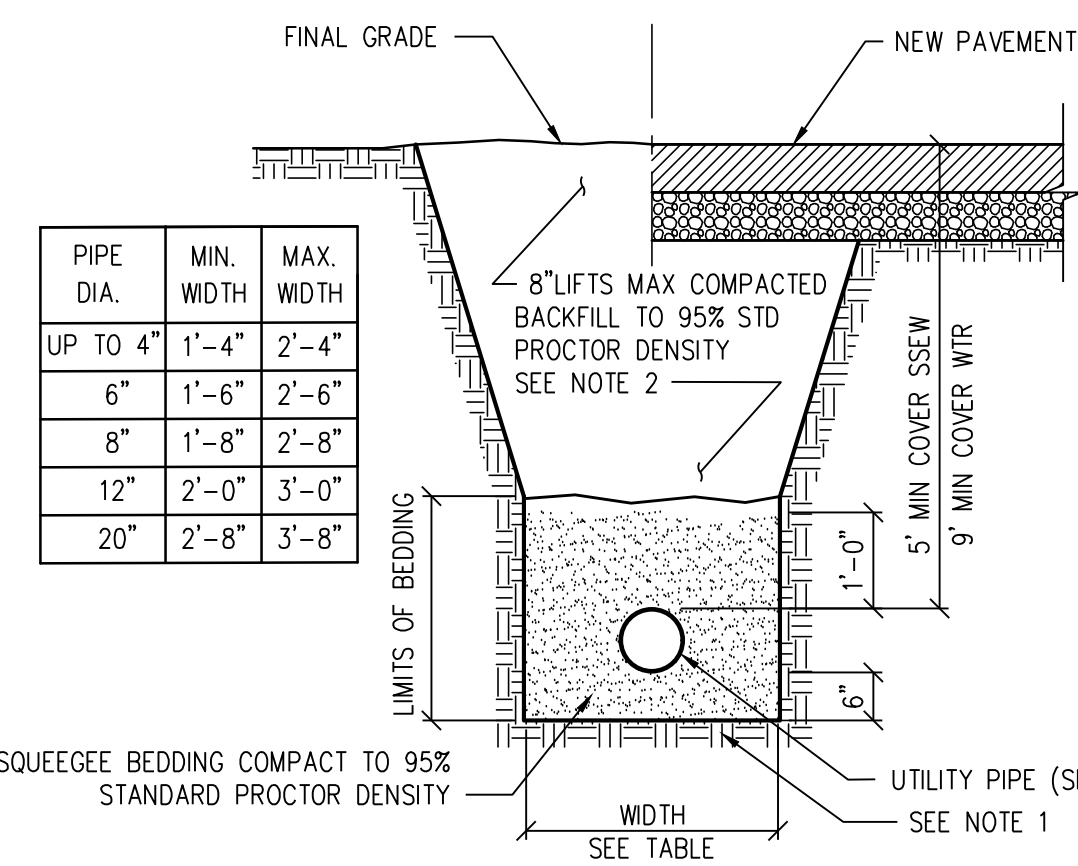


Drive CL PROFILE
SCALE: 1"=10' HORIZ
1"=2' VERT



- NOTE:**
- ONE VERTICAL HEAD JOINT EVERY 6 FEET TO BE UNGROUTED FOR DRAINAGE.
 - GRADE AT BOTTOM OF WALL TO BE 1% MINIMUM FOR PAVEMENT OR 2% MINIMUM FOR GRASS FOR A DISTANCE OF 5' MINIMUM

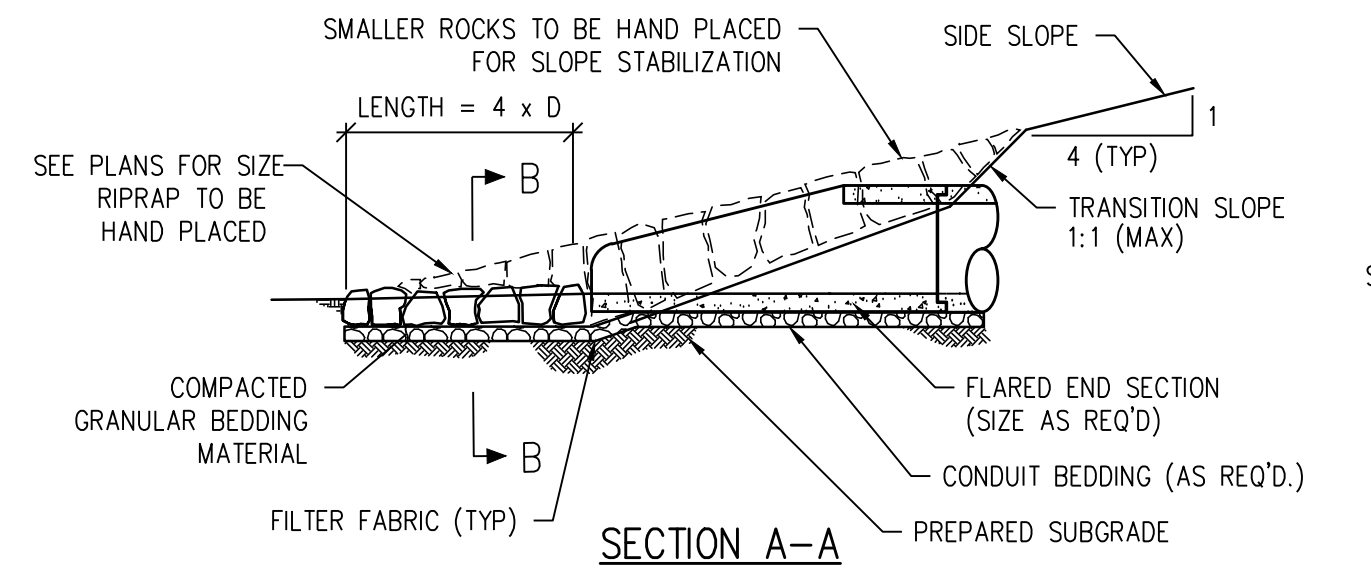
BOULDER RETAINING WALL DETAIL
NTS



PIPE DIA.	MIN. WIDTH	MAX. WIDTH
UP TO 4"	1'-4"	2'-4"
6"	1'-6"	2'-6"
8"	1'-8"	2'-8"
12"	2'-0"	3'-0"
20"	2'-8"	3'-8"

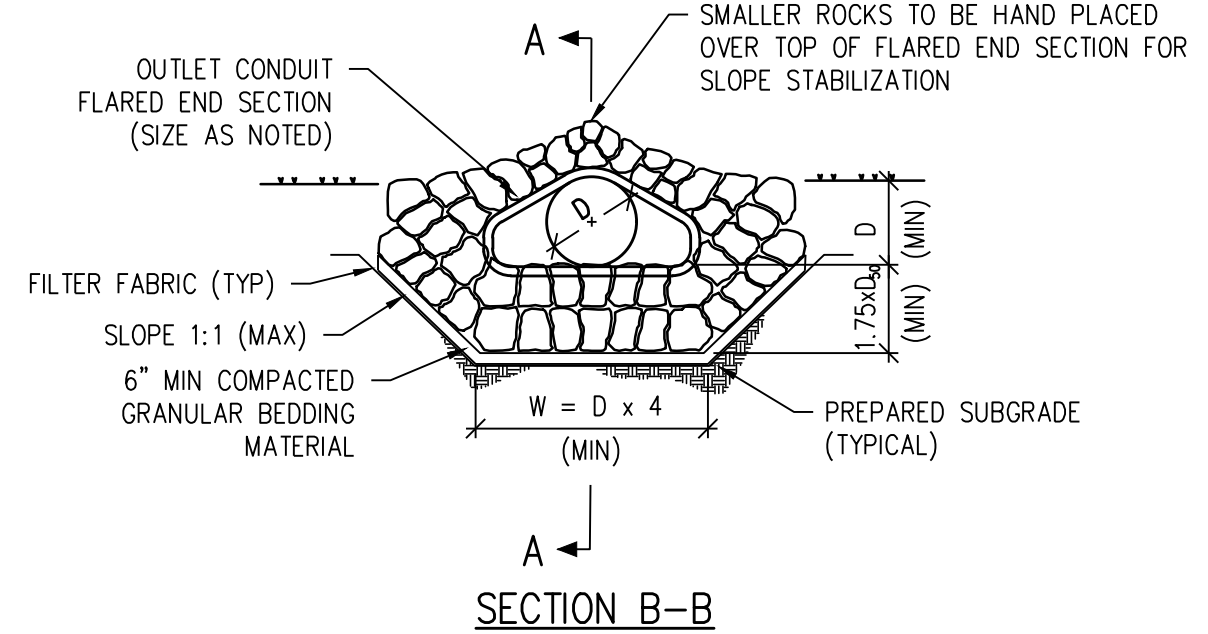
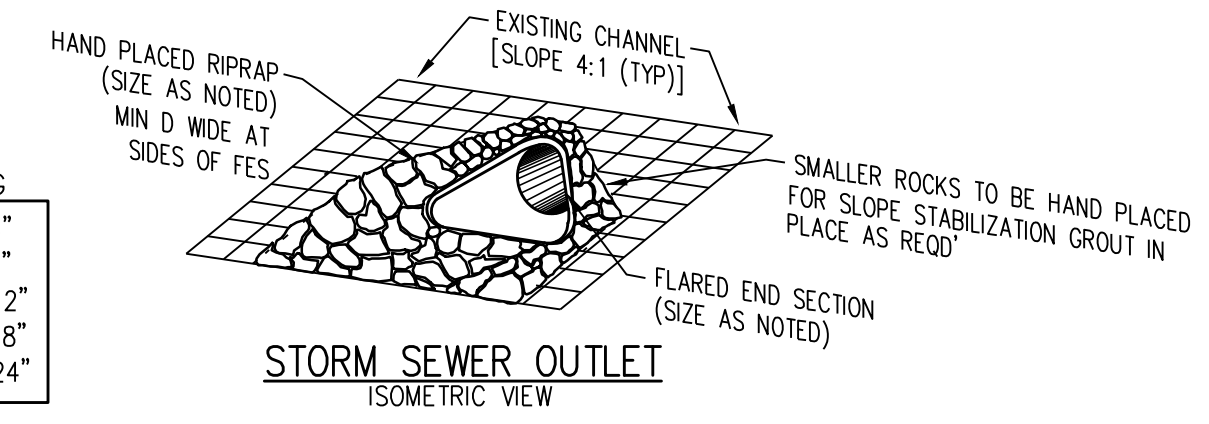
- NOTES:**
- IF UNSTABLE MATERIALS ARE FOUND IN TRENCH BOTTOM, OVER EXCAVATE 12" BELOW STD EMBEDMENT AND FILL WITH 3/4" CRUSHED ROCK, COMPACTED TO 95% PROCTOR DENSITY IN NON-DRIVING SURFACES AND 95% UNDER PAVEMENT
 - SHOULD THE TRENCH BE EXCAVATED WIDER THAN ALLOWED A CONCRETE CRADLE SHALL BE PLACED WITH 2500PSI CONCRETE FROM TRENCH BOTTOM TO PIPE SPRINGLINE
 - TRENCH TO BE BRACED OR SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKERS AND THE PROTECTION OF OTHER UTILITIES IN ACCORDANCE WITH LOCAL STATE AND FEDERAL SAFETY REGULATIONS

SANITARY SEWER & WATER PIPE BEDDING DETAIL
NTS

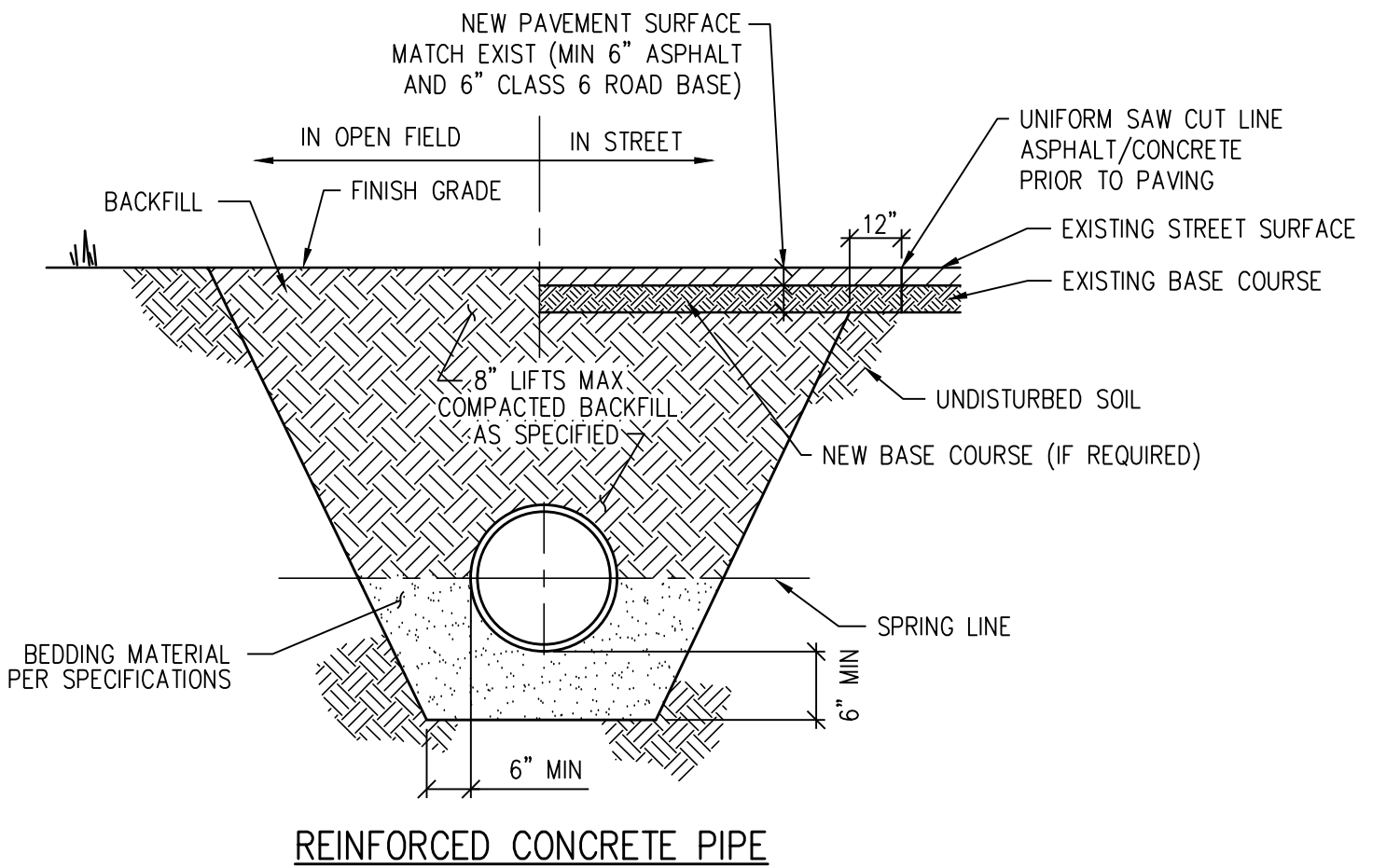


RIPRAP SIZING

TYPE VL D50=6"
TYPE L D50=9"
TYPE M D50=12"
TYPE H D50=18"
TYPE VH D50=24"

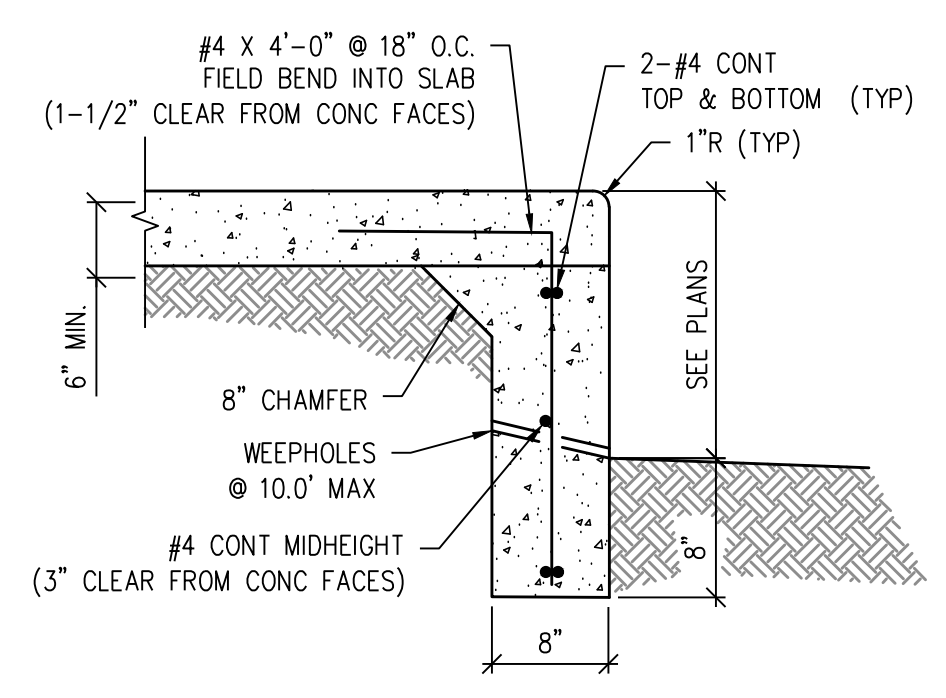


STORM SEWER FLARED END SECTION DETAIL
NTS



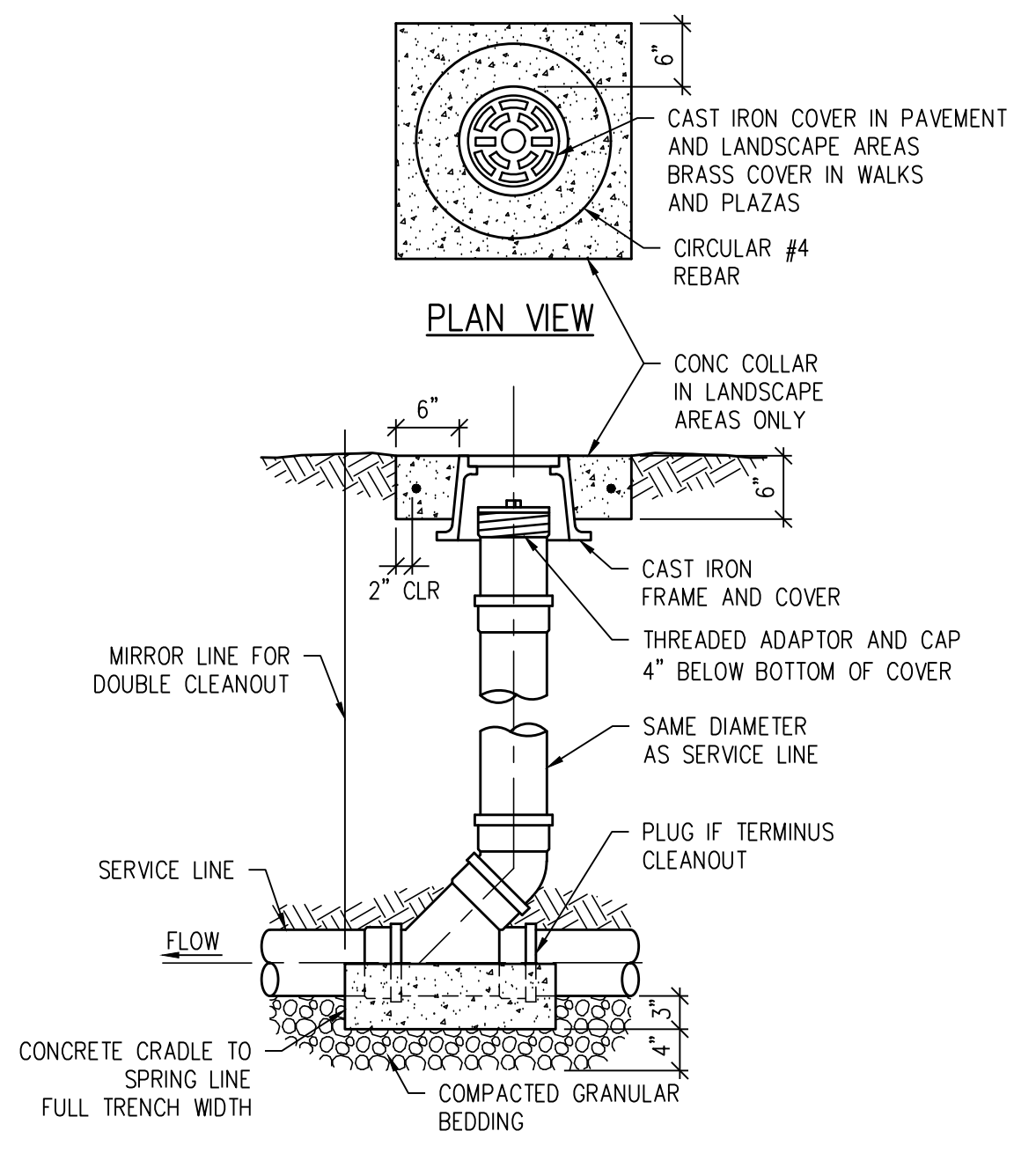
- NOTES:**
- IF UNSTABLE MATERIALS ARE FOUND IN TRENCH, OVEREXCAVATE PER SPECIFICATIONS OR AS REQUIRED.
 - TRENCH TO BE BRACED OR SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKERS AND THE PROTECTION OF OTHER UTILITIES.
 - MINIMUM COVER IS 18" BELOW FINISHED GRADE.

STORM SEWER PIPE BEDDING DETAIL
NTS



- NOTES:**
- ALL REINF SHALL BE GRADE 60 STEEL CONFORMING TO ASTM 615
 - DROPS GREATER THAN 2'-6" REQUIRE RAILING.
 - VERTICAL REBAR NOT REQUIRED WHERE DROP IS LESS THAN 12"
 - ALL CONCRETE SHALL HAVE FIBERMESH REINFORCEMENT

TURNED DOWN EDGE AT PATIO
NTS



SANITARY CLEANOUT DETAIL
NTS

NO.	DATE	DESIGN	DESCRIPTION
		DWN	

DESIGNED BY:	DAD
DRAWN BY:	DAD
CHECKED BY:	CWK
JOB #:	2958c
DATE:	MAY 25, 2024

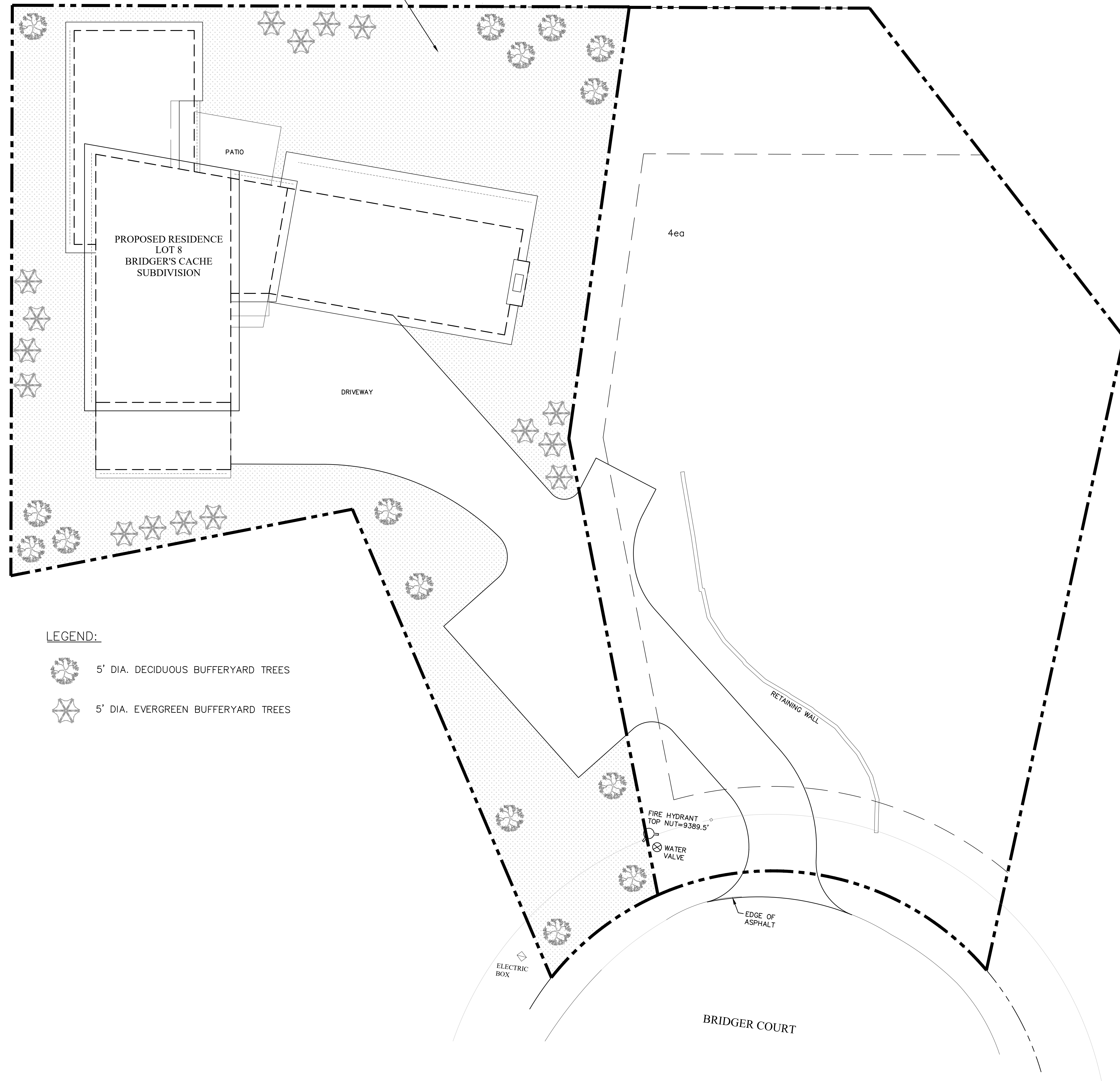
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BRIDGER'S CACHE RESIDENCE - LOT 8
285 BRIDGER TRAIL,
WINTER PARK, CO 80482



SITE DETAILS

K:\2958c-10rny Residence - Bridgers Cache Lot 8\Drawings\2958c-01.dwg, 5/24/2024 - 10:53 AM, CWK

PROPOSED SOIL AND NATIVE SEEDS
 [NO TREES WITHIN THE LIMITS OF
 DISTURBANCE ARE PROPOSED
 FOR TREE PROTECTION]



LEGEND:

-  5' DIA. DECIDUOUS BUFFERYARD TREES
-  5' DIA. EVERGREEN BUFFERYARD TREES

OWNERS:
**JUDITH & CHRISTIAN
 BARTELS**
 3633 PAONIA STREET
 BOULDER, CO 80301



P.O. BOX 2115, EL GRANADA CA 94018
 rebecca@katkinarchitecture.com
 415.706.0981



PROJECT:

BARTELS RESIDENCE

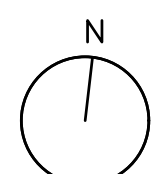
285 BRIDGER TRAIL
 WINTER PARK, CO 80482
 A.P.N.: 1705-151-06-008

ISSUE:
 NO. DESCRIPTION DATE

SITE PERMIT

SCALE: 1/8"=1'-0"
 SHEET DATE: 07.15.2024

L1.0
 LANDSCAPE PLAN



- LANDSCAPE NOTES:
1. INSTALL ALL DRIP IRRIGATION TO ALL NEW PLANTINGS
 2. ALL SEEDED AREAS TO RECEIVE 2" SCREENED TOP SOIL
 3. REVEGETATE AREAS DISTURBED BY CONSTRUCTION ALONG DRIVEWAY, ON AND OUTSIDE LOT, TO ROAD.
 4. REFER TO A1.1 AND CIVIL ENGINEERING PLANS FOR DRAINAGE AND EROSION CONTROL MEASURES. INSTALL EROSION CONTROL BLANKETS AT LOCATIONS REQUIRING STABILIZATION AT LOT 7 AND LOT 8, ALONG DRIVEWAY AND NEW SWALES



BRAND

Hinkley Lighting

DESCRIPTION

The Shelter Tall Outdoor Wall Sconce features a minimalist style in aluminum creates a chic, dramatic statement as the light from above grazes through its clear seedy glass. Note: LED option is Title 24 Compliant with included bulb.



Shown in: Black / Clear Seedy

SHADE COLOR	Clear Seedy
BODY FINISH	Black
WATTAGE	50W
DIMMER	Standard 120V
DIMENSIONS	4.5"W x 15.5"H x 4.8"D
BULB INCLUDED	
LAMP	1 x MR16/GU10/50W/120V Halogen

Technical Information

PRODUCT DIMENSIONS	Backplate Dimensions: 4.5" W x 12" H
---------------------------	--------------------------------------

SPEC # HIN221105



COMPANY	PROJECT	FIXTURE TYPE	APPROVED BY	DATE



MEMO

TO Planning Commission
FROM Brian P Kelly, Senior Planner
THROUGH James Shockey AICP, Community Development Director
DATE July 31, 2024
RE Minor Site Plan 353 Kings Crossing Peterson Deck Addition

Property Owner: Lance Peterson and Lisa Stead

Applicant: Lance Peterson and Lisa Stead

Location: 353 Kings Crossing, Alpine Timbers Subdivision, Lot 57 ("The Property")

Architects: Tim Koepke, Alpine Meadows Design

Zoning:
R-1 Single Family Residential

Authority:
Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Director considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park. Minor Site Plan approval is required before building permit issuance.

Variances:
No Board of Adjustment (BOA) variance requests are included with the application.

Design/Building Modification Intent

The proposed exterior modification is to expand the existing approximately 230-square foot 2nd floor deck on the home's east elevation with an increase of approximately 622-square feet on the south and west elevations, for a total of approximately 852-square feet of unenclosed outdoor deck space. The new deck will include composite decking (Trex) over exterior grade wood framing and proposed custom metal railing to match existing, black color.

Architecture:
Existing 2-story Single Family home with stucco/wood siding and stone veneer wainscot, with an existing approximate 230-square feet deck with railing.

Title Commitment:
NA.

Homeowner's Association Review:

Satisfactory. The HOA provided approval in a letter dated October 2, 2023.

Material and Color:

Satisfactory. Below deck columns will be 6x6 wood post supported by 2-foot diameter spread footing to support treated wood deck framing attached to the home's exterior. Floor decking will be composite decking. Deck framing, flooring and railing colors will match the existing deck and railing's colors and with the home's exterior wood siding.

Outdoor Lighting:

NA.

Accessory Dwelling Unit (ADU):

NA.

Site Plan:

Satisfactory. The proposed site plan and zoning data table accurately reflect the intent of the proposed deck addition and concrete patio extension. No other site development is proposed.

Floorplans:

NA.

Building Elevations:

Satisfactory. The proposed deck and railings are compatible with the existing home's exterior features and materials.

Setbacks:

Satisfactory. Per R-1 zoning, minimum setbacks are 25 feet Front, 10 feet Side, and 20 feet Rear. There are no setback encroachments with the proposed deck addition.

Building Coverage:

Satisfactory. Per R-1 zoning, maximum building coverage is 40%. The total building coverage is approximately 25% with the proposed deck addition and proposed additional impervious surface materials.

Building Height:

Satisfactory. Per R-1 zoning, maximum building height is 35 feet. There is no change to the home's existing height with the proposed deck addition.

Parking:

NA.

Landscaping:

NA.

Snow Storage:

NA.

Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:

NA.

Driveway:

NA.

Utility Review:

NA.

Wetlands:

NA.

Inspection:

Building Division staff have not performed a Pre-Disturbance inspection of the property.

- No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Staff Recommendation:

Staff approves the Minor Site Plan with the following conditions:

1. No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Required Permits:

- ✓ Building Permit



ADMINISTRATIVE SITE PLAN APPLICATION FORM

↖ Converted to Minor Site Plan

The Planning Division is here to assist you with your Administrative Site Plan Application (“Application”) pursuant to Site Plan (Sec. 5-E-1) in the Unified Development Code (UDC). Applications are administratively reviewed and approval is required. The Application will be reviewed in accordance with the procedures and requirements outlined in Sec. 5-E-1 in the UDC.

This publication outlines the Administrative Site Plan Application process and submittal requirements.

All submittal items shall be submitted in PDF format in accordance with the Site Development and Permit Decision File Naming Conventions to permits@wpgov.com. Ensure your application is complete by checking each of the required submittal (RS) boxes below. If you have questions about the required submittal items, contact the Planning Division to confirm which items are applicable to your project.

1 Required Items			
Plan Sheet(s)	RS*	Item #	Submittal Items
	<input type="checkbox"/>	1.	Administrative Site Plan Application Form. Executed.
	<input type="checkbox"/>	2.	Land Use Review Application Form. Executed.
	<input type="checkbox"/>	3.	Driveway Permit Application Form. Executed.
	<input type="checkbox"/>	4.	Single-Family/Two-Family Attached Dwelling Deposit Agreement Form. Executed.
	<input type="checkbox"/>	5.	Title Commitment. Including Schedules A and B. The applicant shall provide a title insurance commitment proving the applicant’s ownership of the land to be platted and that all land to be dedicated or conveyed to the Town is free and clear from all liens and encumbrances except as expressly agreed to by the Town.
	<input type="checkbox"/>	6.	HOA Architectural Control Committee Approval Letter. If property is governed by HOA.
	<input type="checkbox"/>	7.	Narrative. Shall include the following: A. Project name. B. Street address. C. Name, address, email and telephone number of owner, applicant, HOA, project manager, architect, engineer, surveyor, and land planner, as applicable. D. Legal description. E. Zoning district. F. Lot size (acreage and sq. ft.). G. All proposed uses. H. Number of dwelling units. I. Number of bedrooms per dwelling unit. J. Size of residential space (sq. ft.). K. Number of proposed off-street parking spaces. L. Construction schedule indicating major milestones for project.
	<input type="checkbox"/>	8.	Project Drawings. Shall contain project name, legal description, date of preparation, north arrow, legend, vicinity map, and topography at two-foot (2’) intervals. Shall be sized ARCH D (24”x36”). Shall be oriented so that north is up.
	<input type="checkbox"/>	8A.	Topographic Survey.
	<input type="checkbox"/>	8B.	Construction Plans. Shall have a minimum scale of 1”=20’ and be in conformance with the

		Standards and Specifications for Design and Construction. All plans shall be at the same scale and shall align with one another. A. Grading and Drainage Plan. B. Revegetation, Erosion, and Sediment Control Plan.
<input type="checkbox"/>	8C.	Site Plan. Shall have a minimum scale of 1"=20'. All elements listed below shall be dimensioned. A. Building coverage ratio table. Shall include area (sq. ft. and acreage) of the following: building footprint (including roof overhangs, decks, porches, balconies, and patios); drives, sidewalks, and parking areas; easements; areas to be designated open space; the site's total acreage; and percentage of building coverage to open space. B. Driveway. Slope, dimensions, and culvert locations, if any. C. Easements, proposed and existing, public and private. Type and location. If existing easements, provide reception numbers on file with the Grand County Clerk and Recorder's Office. D. Environmental features. Includes riparian buffers, floodplains, floodways, and floodway fringes, wetlands, forests and woodlands, slopes greater than twenty percent (20%), slopes greater than thirty percent (30%), and geologic hazard areas. E. Limit of disturbance. F. Other improvements. Retaining walls, berms, trash receptacles, trash enclosures, fencing, signage, fire features, water features, hot tubs, pools, affixed barbeque grills, outdoor kitchens, sculptures, etc. G. Parking areas for construction workers' vehicles. H. Parking spaces. Dimensioned and counted. I. Property lines. J. Protection notes. a. "No disturbance, grading, or removal of significant natural features and vegetation will occur beyond the "limit of disturbance" line, as shown on this plan." b. "The "limit of disturbance" line shall be delineated prior to construction with flags, roping, four foot (4') tall orange construction fencing, or other acceptable means." K. Setback distances as required by zoning district. From all property lines. L. Setback distances from all existing and proposed structures, including retaining walls. Draw a line to tie the structure to a point on the property line. M. Snow storage areas. N. Storage areas for soil, construction equipment, and other materials. O. Street addresses or unit numbers. P. Street ROW, proposed and existing, public and private. Type, location, and name. Q. Structures, proposed and existing. R. Top of foundation elevations. For main corners of each structure. S. Utilities, proposed and existing. For mains and service lines. T. Walkways and paths.
<input type="checkbox"/>	8D.	Building Elevations. See Article 3.A, <i>Lot and Building Standards</i> . Shall have a minimum scale of 1/8"=1'. A. Profiles. B. Location where buildings intersect the existing and proposed grades for each profile. C. Building materials. Shall be annotated to correspond with Building Materials Board. D. Location of outdoor lighting fixtures.
<input type="checkbox"/>	8E.	Floorplans. Shall have a minimum scale of 1/8"=1'. All plans shall be black and white, at the same scale, and shall align with one another. Shall include a roof plan.
<input type="checkbox"/>	8F.	Landscaping Plan. See Article 3.I, <i>Landscaping, Buffering, and Screening</i> . Shall have a

you're proposing
new lighting
fixtures

		<p>minimum scale of 1"=20'. Shall include the following:</p> <ul style="list-style-type: none"> A. Proposed species name. B. Property lines labeled with required bufferyard types. C. Structures, existing and proposed. D. Landscaping, existing and proposed. E. Hardscaping, existing and proposed. F. Top-of-wall and bottom-of-wall elevations of all retaining walls and site walls.
	<input type="checkbox"/>	8G. Bufferyard Tabulation. See "Bufferyard Tabulation" below.
	<input type="checkbox"/>	8H. Tree Removal and Protection Plan. See Article 3.G, <i>Tree Removal and Protection</i> . All trees proposed for protection greater than four inches (4") in caliper.
	<input type="checkbox"/>	9. Outdoor Lighting Board. See Article 3.K, <i>Outdoor Lighting</i> . Shall include cut sheets for all proposed outdoor lighting fixtures with International Dark Sky Association (IDA) Approval Symbol. Shall indicate mounting heights.
	<input type="checkbox"/>	10. Outdoor Lighting Tabulation. See "Outdoor Lighting Tabulation" below.
	<input type="checkbox"/>	<p>11. Building Materials Board. Shall be annotated to correspond with Building Elevations. Shall include photographs of swatches demonstrating color and material composition for the following:</p> <ul style="list-style-type: none"> A. Decks B. Doors (incl. garage and entry doors) C. Fascia D. Fencing E. Foundation F. Gates G. Railings H. Roofs I. Siding J. Soffits K. Window and door trim L. Window glass type
	<input type="checkbox"/>	12. Renderings. Shall be 3D, in color, and accurate in scale.
	<input type="checkbox"/>	13. File Naming Conventions. All Administrative Site Plan Applications shall be submitted pursuant to the Site Development and Permit Decision File Naming Conventions.
Required Submittal (RS*) = <input type="checkbox"/>		

Bufferyard Tabulation

Tabulation of required bufferyard types per lot line and list of proposed plantings proposed per lot line. See Sec. 3-l-5, *Bufferyards*, for requirements.

	Evergreen Trees Required	Evergreen Trees Provided	Deciduous Trees Required	Deciduous Trees Provided	Shrubs Required	Shrubs Provided	Berm Height	Deficiency (if any)
N Lot Line Length: _____ linear feet Adjacent properties are zoned: _____ Bufferyard Type: A B C D (circle one)								
S Lot Line Length: _____ linear feet Adjacent properties are zoned: _____ Bufferyard Type: A B C D (circle one)								
E Lot Line Length: _____ linear feet Adjacent properties are zoned: _____ Bufferyard Type: A B C D (circle one)								
W Lot Line Length: _____ linear feet Adjacent properties are zoned: _____ Bufferyard Type: A B C D (circle one)								

Outdoor Lighting Tabulation

See Article 3.K, *Outdoor Lighting*, for requirements. Ensure each fixture’s cut sheet contains the International Dark Sky Association (IDA) Approval Symbol.

Fixture Name	Proposed # of Fixtures	Proposed Lumens per Fixture	Proposed Correlated Color Temperature (in degrees Kelvin)

2 Process for Approval – See Sec. 5-E-1, Site Plan.

3 Fees – See Sec. 5-B-6, Application Fees. An invoice will be sent once the planning file has been created.

- A. \$100.00 Minor Site Plan Application Review Fee.
- B. \$3,000.00 Deposit for Building Exterior, Driveway, and Landscaping (if applicable).
- C. \$50.00 Driveway Permit Application Fee (if applicable).

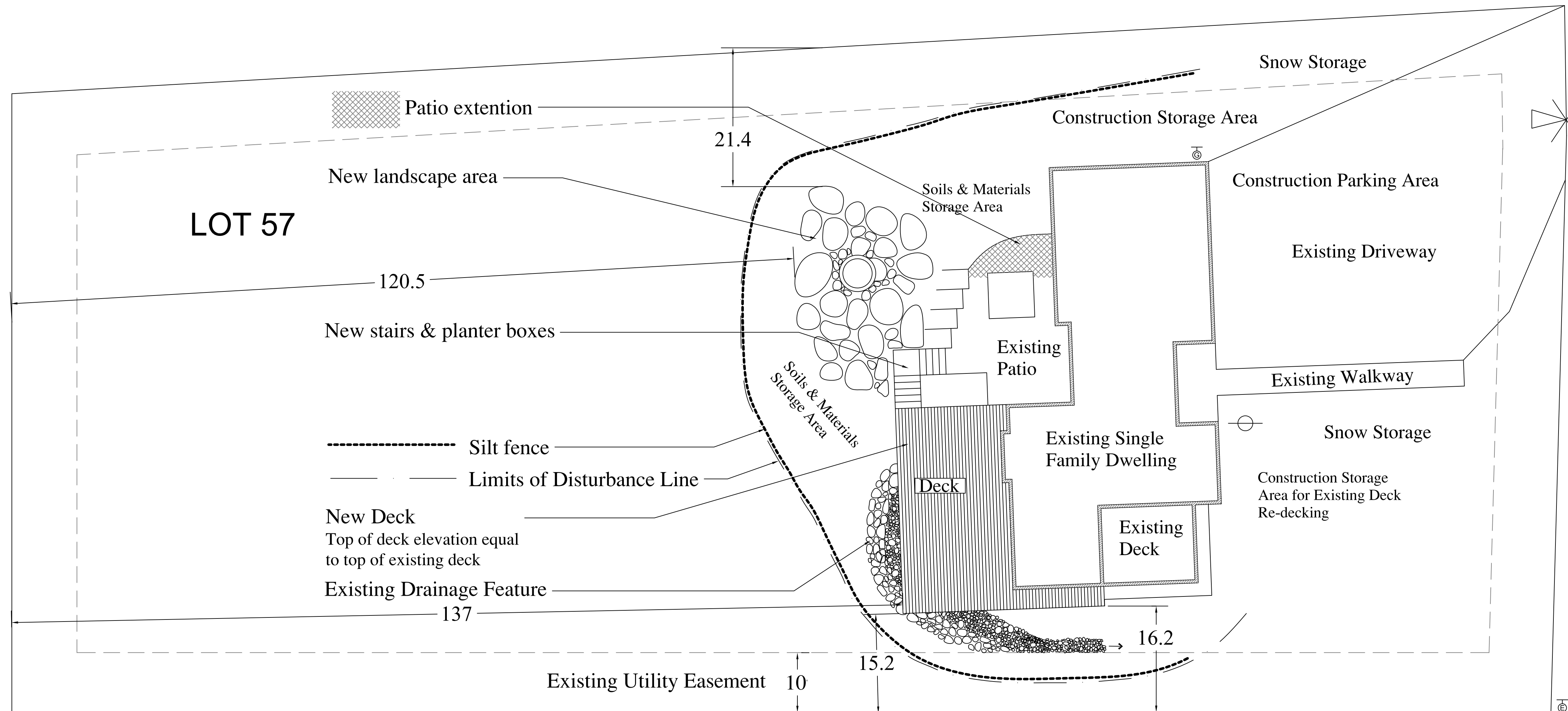
4 Applicant's Certification Statement

I, Larue Peterson, as Applicant and duly representative of the owner, hereby certify that the information included upon the attached submittal items are true and accurate; and that the development of the site will occur in accordance with the submittal items.

 10/17/23

Site Plan

353 Kings Crossing Winter Park, CO 80482
 Lot 57 Alpine Timbers II Rec. No. 270910
 TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO



Kings Crossing
 (60' R.O.W.)

Protection Notes:

No disturbance, grading, or removal of significant natural features and vegetation will occur beyond the "Limits of Disturbance" line as shown on this plan.

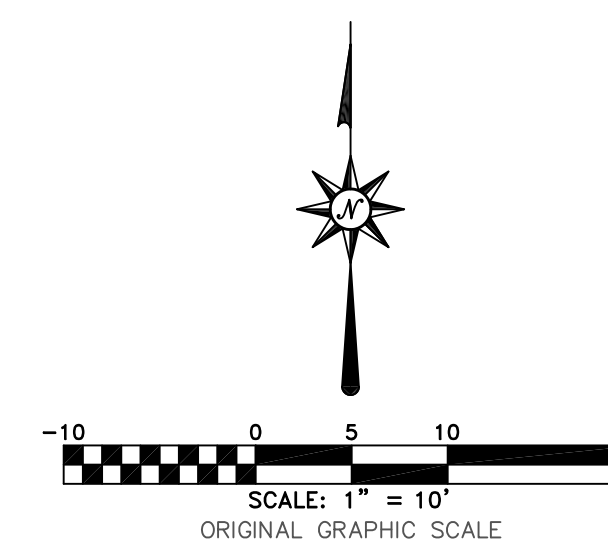
The "Limits of Disturbance" line shall be delineated prior to construction with flags, roping, four foot(4') tall orange construction fencing, or other acceptable means.

Building Coverage Ratio Table

Building Coverage Area	5,982 sf or 0.137 acres
Lot Size	24,187 sf or 0.56 acres
Building Coverage Area/Lot Size	0.247

MASTER LEGEND

- ⊗ - WATER VALVE/CURB STOP
- ⊖ - PVC CLEANOUT
- ⬢ - ELECTRIC VAULT
- ⊕ - ELECTRIC METER
- ⊞ - TELEPHONE/COMMUNICATION PEDESTAL
- ⊕ - GAS METER



ALPINE MEADOWS DESIGN
 P.O. BOX 3170
 Winter Park, CO 80482
 (970) 531-3920

Site Plan
 Peterson Residence Deck and Landscape Addition
 353 Kings Crossing Winter Park, CO 80482

SHEET 1 OF 1

JOB: 23-2-1422101	DWG: 1 of 1	DATE: 10/23/2023	DRAWN BY: TAK
-------------------	-------------	------------------	---------------

NOTES

1. DESIGNER AND ENGINEER MAKES NO CLAIMS OR WARRANTIES FOR THE PLACEMENT OF MATERIALS
2. THIS PROJECT SHALL COMPLY WITH THE GOVERNING CODES AND OR THE REQUIREMENTS OF ANY AUTHORITY HAVING JURISDICTION OVER THE WORK.
3. MEASURE GRADE ELEVATIONS PRIOR TO PLACEMENT OF FOOTERS CONTACT DESIGNER IF CONDITIONS VARY FROM THOSE GENERALLY DEPICTED IN DRAWINGS.
4. FOLLOW ALL ACI GUIDLINES FOR PLACEMENT OF FOUNDATION MATERIALS.
5. PROVIDE WATERPROOFING OF THE FOUNDATION WALL.
6. FOLLOW ALL ASCI GUIDELINES FOR THE PLACEMENT OF STEEL STRUCTURAL MATERIALS.
7. PROVIDE BLOCKING FOR ALL FIXTURES WHERE NEEDED.
8. FOLLOW ALL NEC GUIDELINES FOR PLACEMENT OF ELECTRICAL MATERIALS AND FIXTURES.
9. THE GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE AND CONTROL OF SURFACE WATER AWAY FROM THE STRUCTURE FOR A DISTANCE OF NOT LESS THAN 10'.
10. USE DETAILS MARKED AS TYPICAL WHERE EVER APPLICABLE.
11. ALL DIMENSIONAL FRAMING LUMBER SHALL BE NO. 2 AND BETTER DOUGLAS FIR, LARCH OR LOCAL EQUIVALENT.
12. USE A WATERPROOF MEMBRANE, BITHUTHANE OR OTHER A FROM THE EAVES TO PEAK
13. PROVIDE EAVE GUTTERS AND DRAIN SYSTEM FOR THE DISCHARGE OF RAINWATER AS NECESSARY AND PLACE THE END OF DOWN SPOUTS AWAY FROM THE FOUNDATION.
14. METAL FLASHING SHALL BE USED AT ALL ROOF VALLEYS, ROOF WALL INTERSECTIONS AND ROOF PENETRATION INTERSECTIONS. THE FLASHING AND COUNTER FLASHING SHALL BE NOT LESS THAN 26 GAUGE, CORROSION RESISTANT METAL.
15. PROVIDE PERIMETER FOOTING DRAINS AS DICTATED BY LOCAL CODES AND SITE CONDITIONS
16. THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE COMPLETION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS.
17. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO PROVIDE FOR THE CONTINUOUS INTEGRITY OF BEARING COLUMNS WHEN INTERRUPTED BY A PLATFORM.
18. BUILDER IS RESPONSIBLE TO CHECK ALL DIMENSIONS PRIOR TO PLACEMENT OF MATERIALS

DESIGN AND STRUCTURAL CRITERIA


STRUCTURAL BUILDING CODE _____ IBC 2015
 WIND SPEED _____ 90 MPH 3 SEC GUSTS
 EXPOSURE CLASSIFICATION _____ C
 SEISMIC ZONE _____ I
 FROST DEPTH _____ 30"
 SOIL BEARING _____ 2000 PSF* UNDISTURBED
 FLOOR LOAD _____ 45 PSF
 SNOW LOAD _____ 98 PSF
 CONCRETE@28 DAYS _____ 3000 PSI(UNLESS OTHERWISE SPECIFIED)
 REINFORCING _____ GRADE 40

* For purposes of design and engineering calculations are based on this assumed bearing. No soils report or investigation has been made available to AM Design and Engineering. If any discrepancies are noted upon initial excavation and prior to construction it shall be the responsibility of the general contractor to obtain a soils engineering report and contact the structural engineer for a redesign based on the updated criteria.

Drawing Index

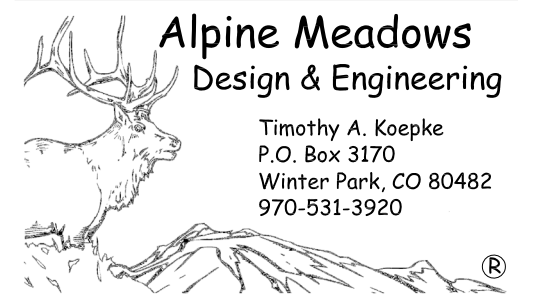
Drawing	Page
Cover	1
Plan View	2
South&West Elevation	3
North Elevation	4
Foundation Plan	5
Frame Plan	6
Sections	7

DRAWING SYMBOLS

TO	Top of	PT	Pressure treated
BO	Bottom of		Grade
FDH	Full Door Height	T	Trimmer
TBS	To be selected	K	King Post
TBD	To be determined		
(typ)	Typical detail to be applied throughout		



Builder is responsible to call for utility locates prior to excavation



Timothy A. Koepke
 P.O. Box 3170
 Winter Park, CO 80482
 970-531-3920

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Client

Lance & Lisa Peterson
 P.O. Box 130
 Winter Park, CO 80482

Project No.

23-02-1422101

Project Location

353 Kings Crossing
 Winter Park, CO. 80482

Notes



Revision	Date
Progress Set	29-Aug-2023
Progress Set	30-Aug-2023
Progress Set	8-Sept-2023
Permit Set	14-Sept-2023

Drawing 1 of 7

Peterson Residence Deck Addition

Cover Sheet

Client
Lance & Lisa Peterson
P.O. Box 130
Winter Park, CO 80482

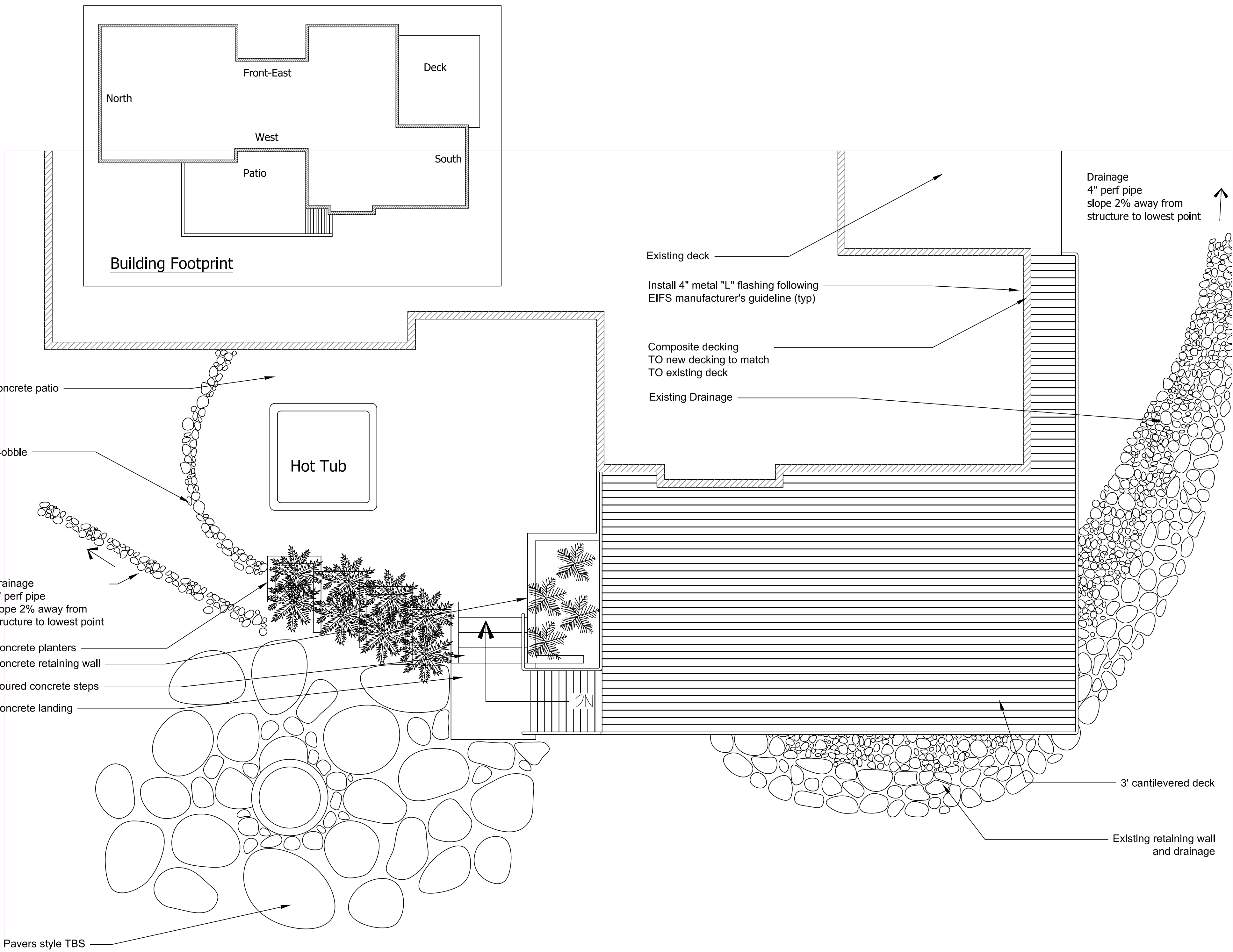
Project No.
23-02-1422101

Project Location
353 Kings Crossing
Winter Park, CO. 80482

Notes



Revision	Date
Progress Set	29-Aug-2023
Progress Set	30-Aug-2023
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Permit Set	14-Sept-2023



Plan View Deck Addition

Scale 1/4" = 1'-0"

Lance & Lisa Peterson
P.O. Box 130
Winter Park, CO 80482

Project No.
23-02-1422101

Project Location
353 Kings Crossing
Winter Park, CO. 80482

Notes



West Elevation

Scale $\frac{1}{4}'' = 1'-0''$

Railing to match existing.
Design by other.

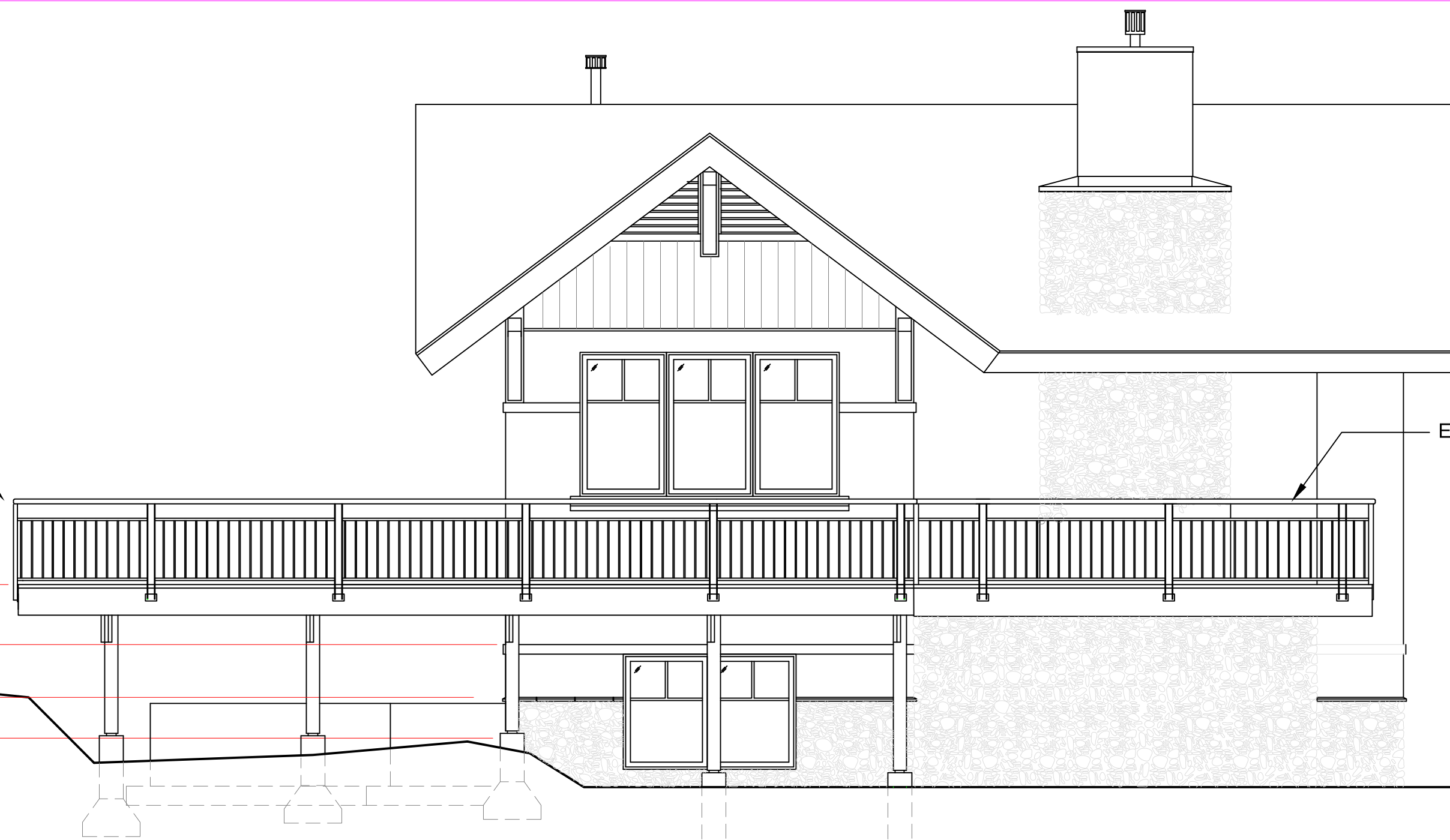
Top of deck 0'-0"

Top of stucco band -2'-1"

Top of wainscot cap -3'-11"

Finished grade at foundation -5'-4"

Existing front deck



South Elevation

Scale $\frac{1}{4}'' = 1'-0''$



Revision	Date
Progress Set	29-Aug-2023
Progress Set	30-Aug-2023
Progress Set	8-Sept-2023
Permit Set	14-Sept-2023

Drawing 3 of 7

A.2
Sheet

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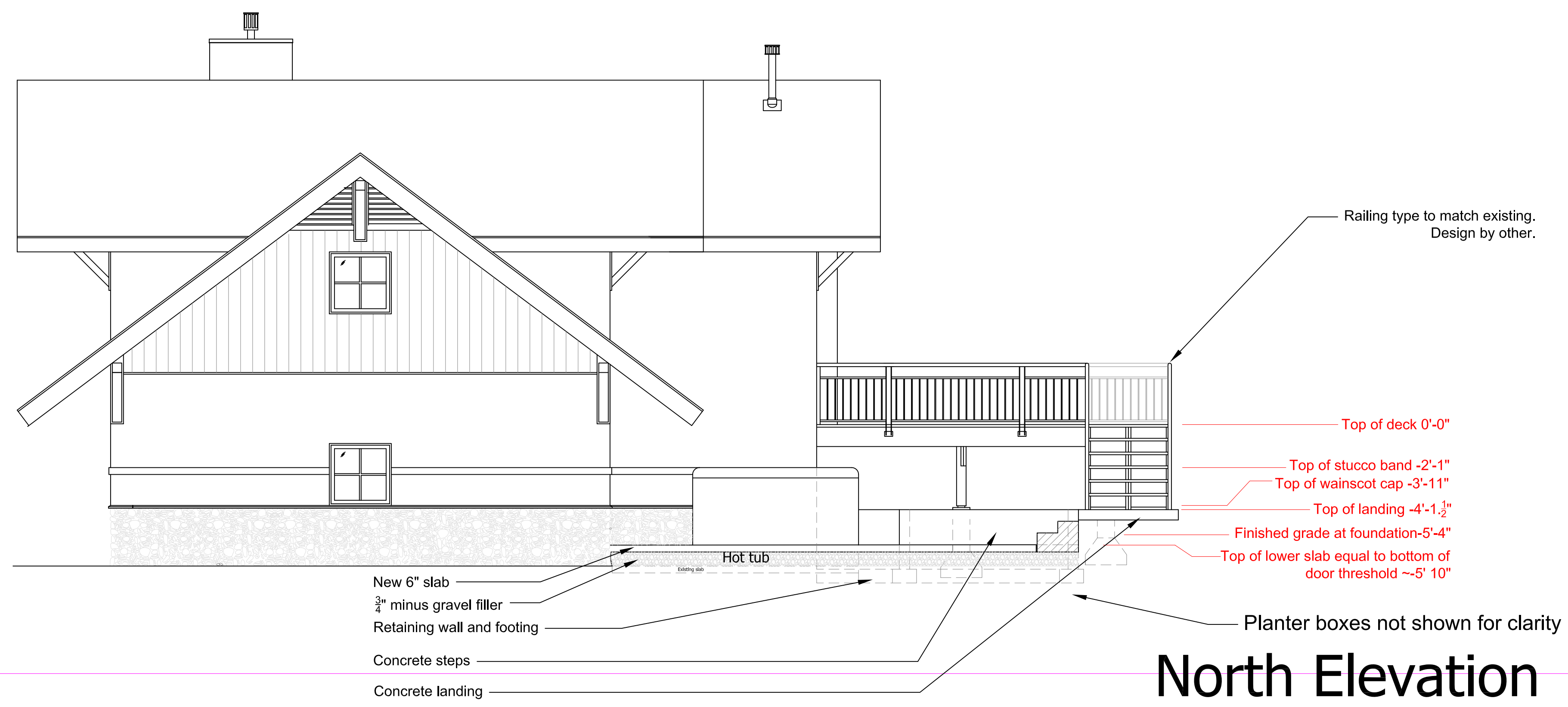
Client

Lance & Lisa Peterson
P.O. Box 130
Winter Park, CO 80482

Project No.
23-02-1422101

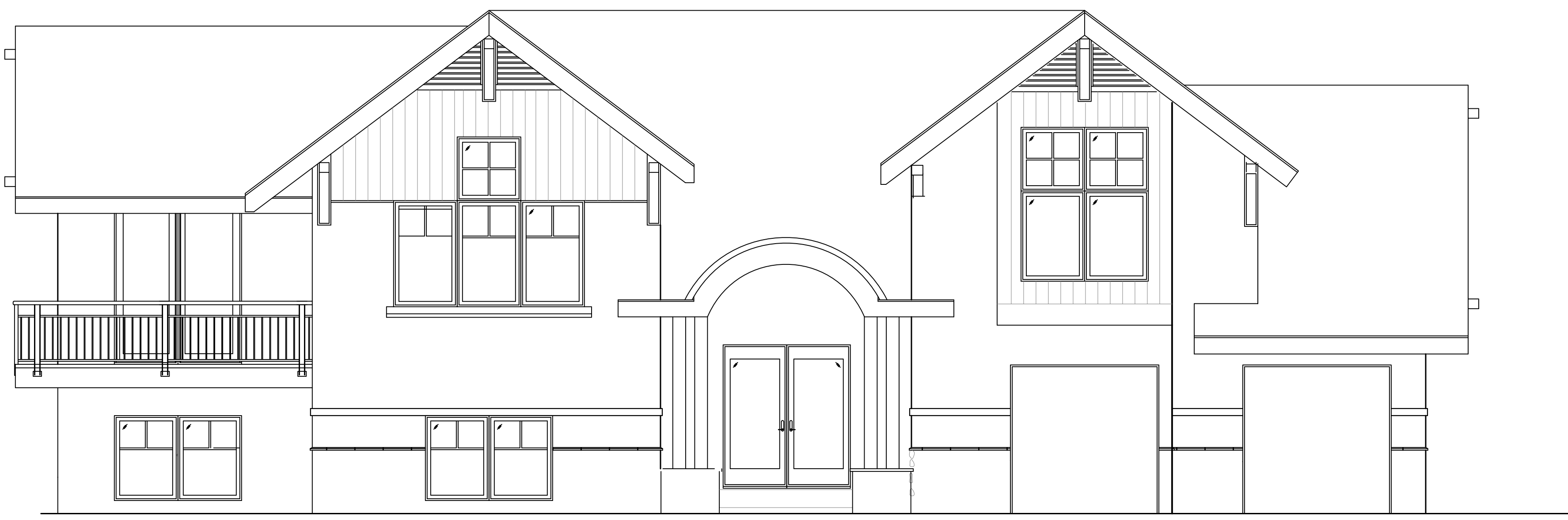
Project Location
353 Kings Crossing
Winter Park, CO. 80482

Notes



North Elevation

Scale $\frac{1}{4}'' = 1'-0''$



No changes to the East Elevation

East Elevation

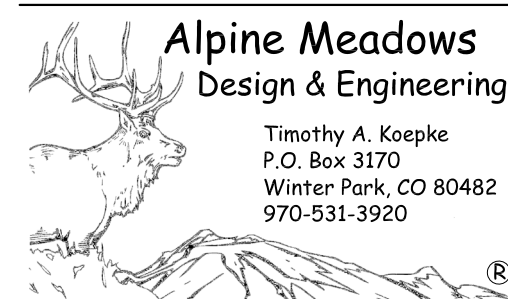
Scale $\frac{1}{4}'' = 1'-0''$



Revision	Date
Progress Set	29-Aug-2023
Progress Set	30-Aug-2023
Progress Set	8-Sept-2023
Permit Set	14-Sept-2023

Drawing 4 of 7

A.3
Sheet



Alpine Meadows
Design & Engineering
Timothy A. Koepke
P.O. Box 3170
Winter Park, CO 80482
970-531-3920

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Client

Lance & Lisa Peterson
P.O. Box 130
Winter Park, CO 80482

Project No.
23-02-1422101

Project Location
353 Kings Crossing
Winter Park, CO. 80482

Notes

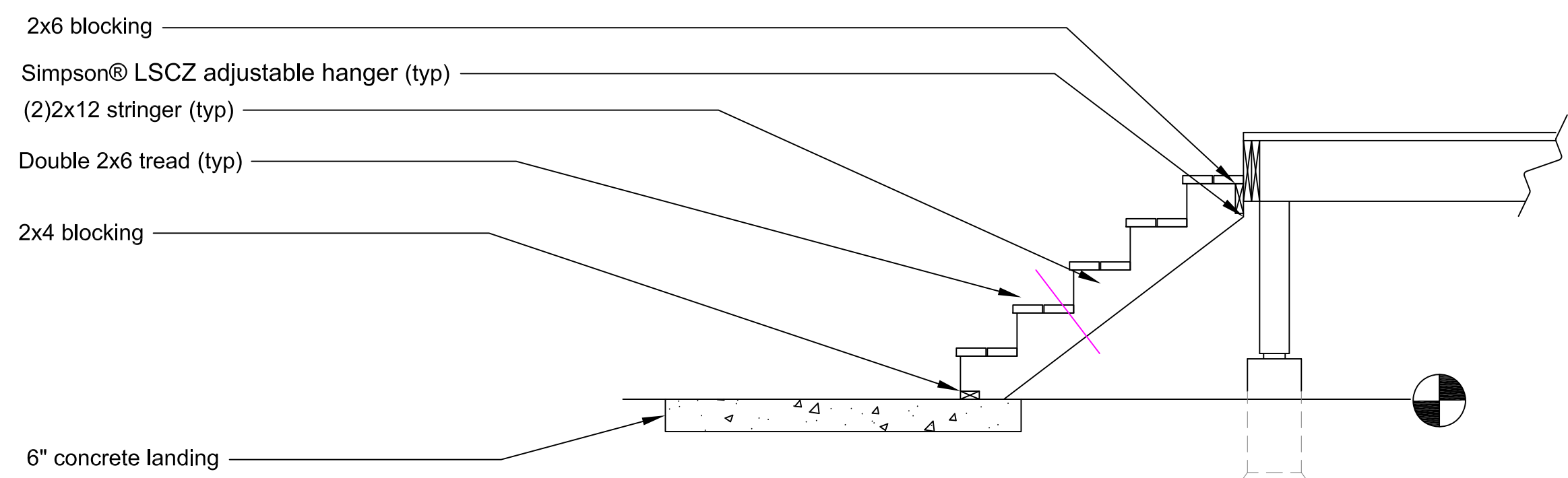
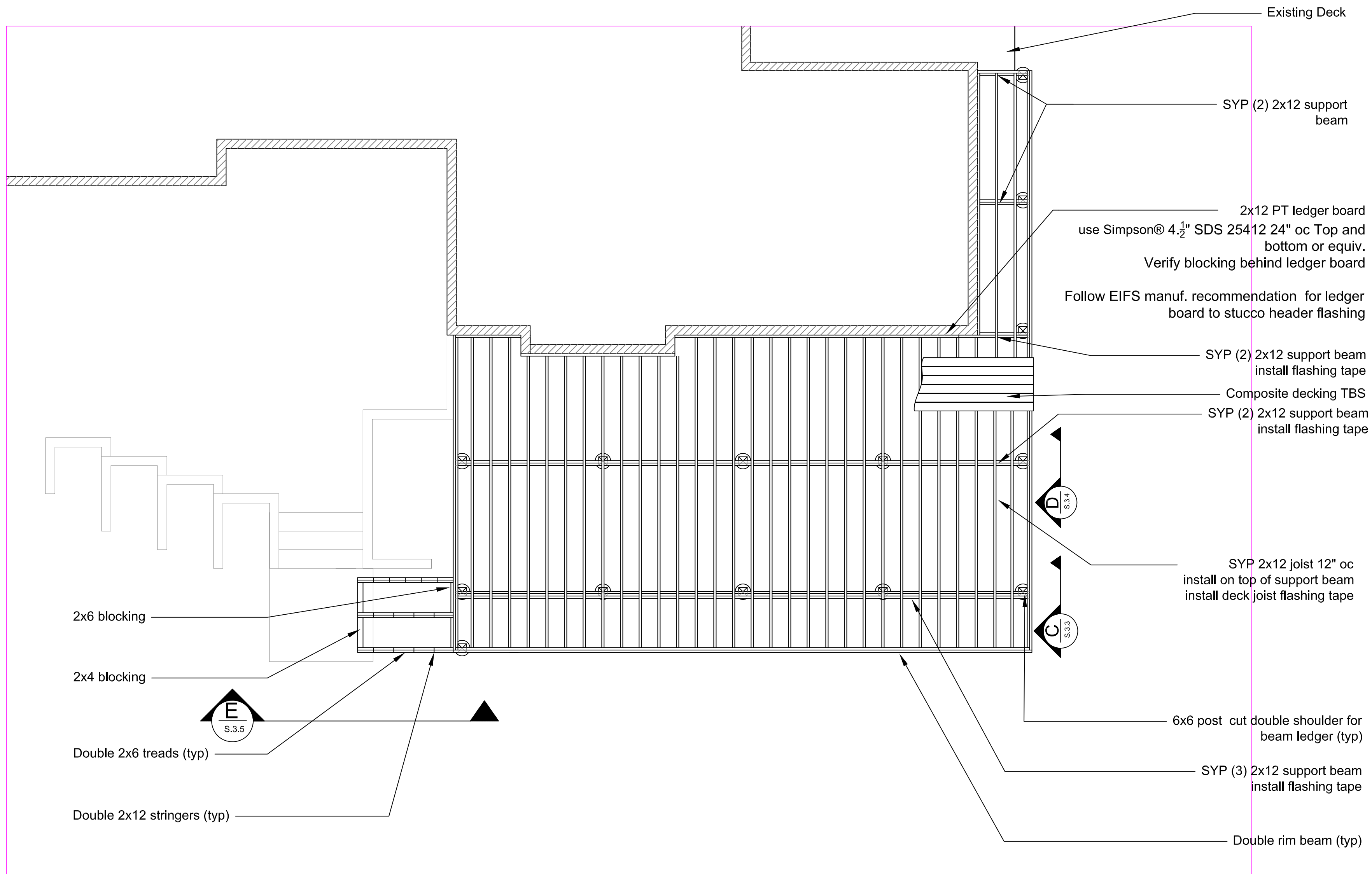
Southern yellow pine (SYP)
#2 or btrr on all framing
members



Revision	Date
Progress Set	29-Aug-2023
Progress Set	30-Aug-2023
Progress Set	8-Sept-2023
Permit Set	14-Sept-2023

Drawing 6 of 7

S.2
Sheet



A Stair Section
Scale 1/2" = 1'-0"

Deck Frame Plan
Scale 1/4" = 1'-0"

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Client

Lance & Lisa Peterson
P.O. Box 130
Winter Park, CO 80482

Project No. **23-02-1422101**
Project Location
353 Kings Crossing
Winter Park, CO. 80482

Notes

Southern yellow pine (SYP) #2 or bttr on all framing members

Place all piers and footings on undisturbed natural soils or compacted fill

Deck support concrete and retaining wall 3000 psi 28 day cure

Patio slab concrete 4000 psi 28 day cure

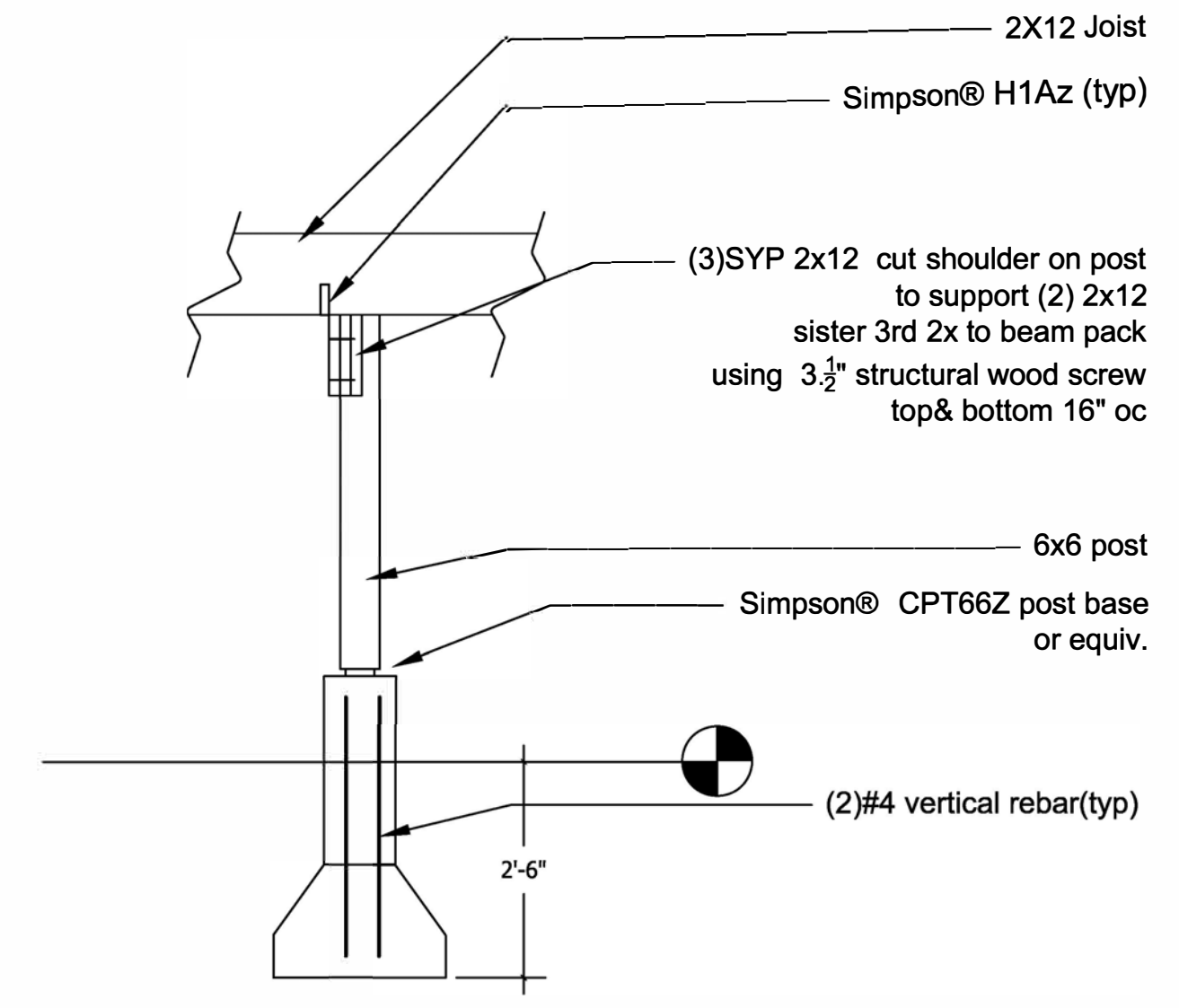
Follow all ACSI guidelines for placement of steel in concrete



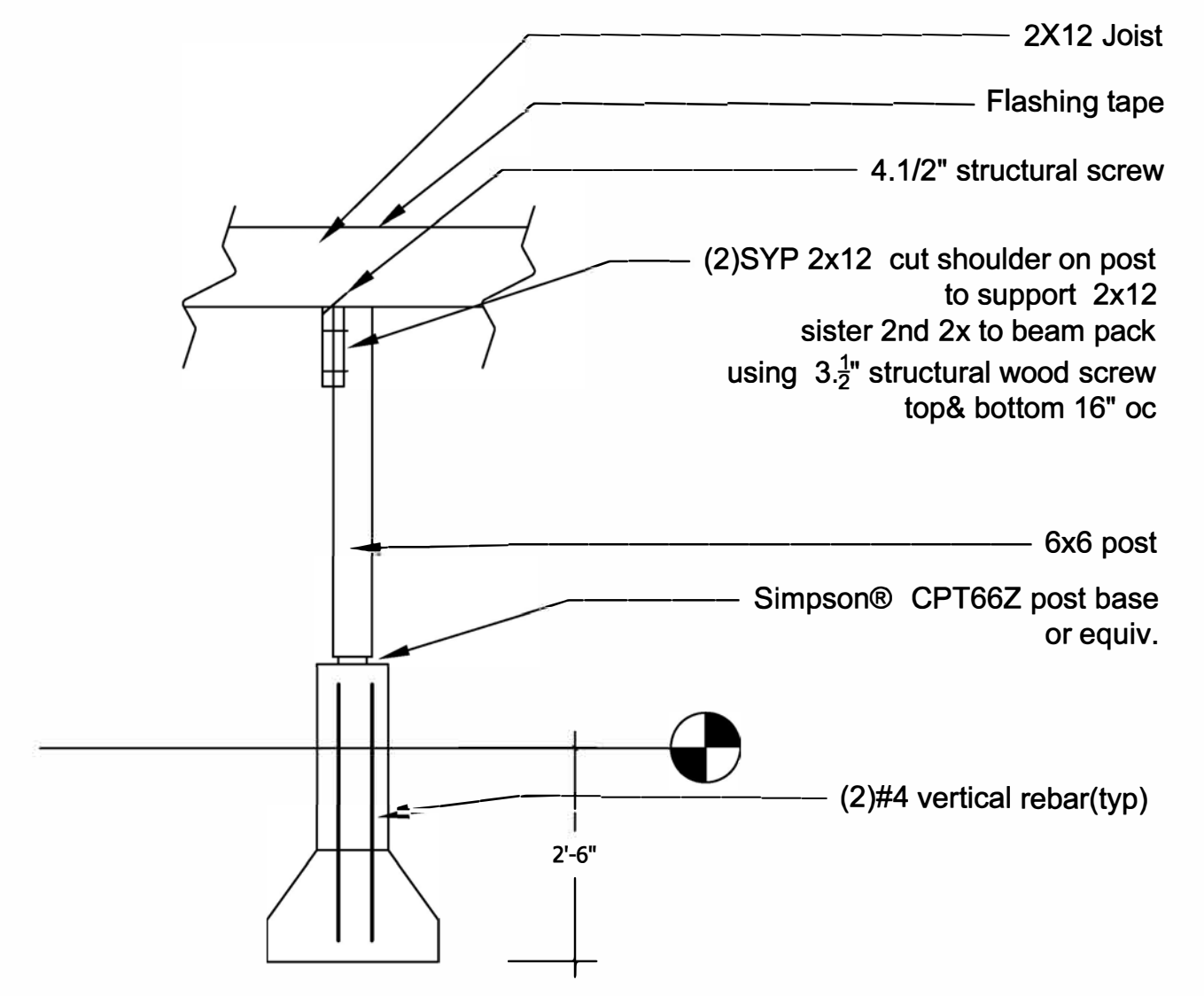
Revision	Date
Progress Set	29-Aug-2023
Progress Set	30-Aug-2023
Progress Set	8-Sept-2023
Permit Set	14-Sept-2023

Sections
Scale 1/2" = 1'-0"

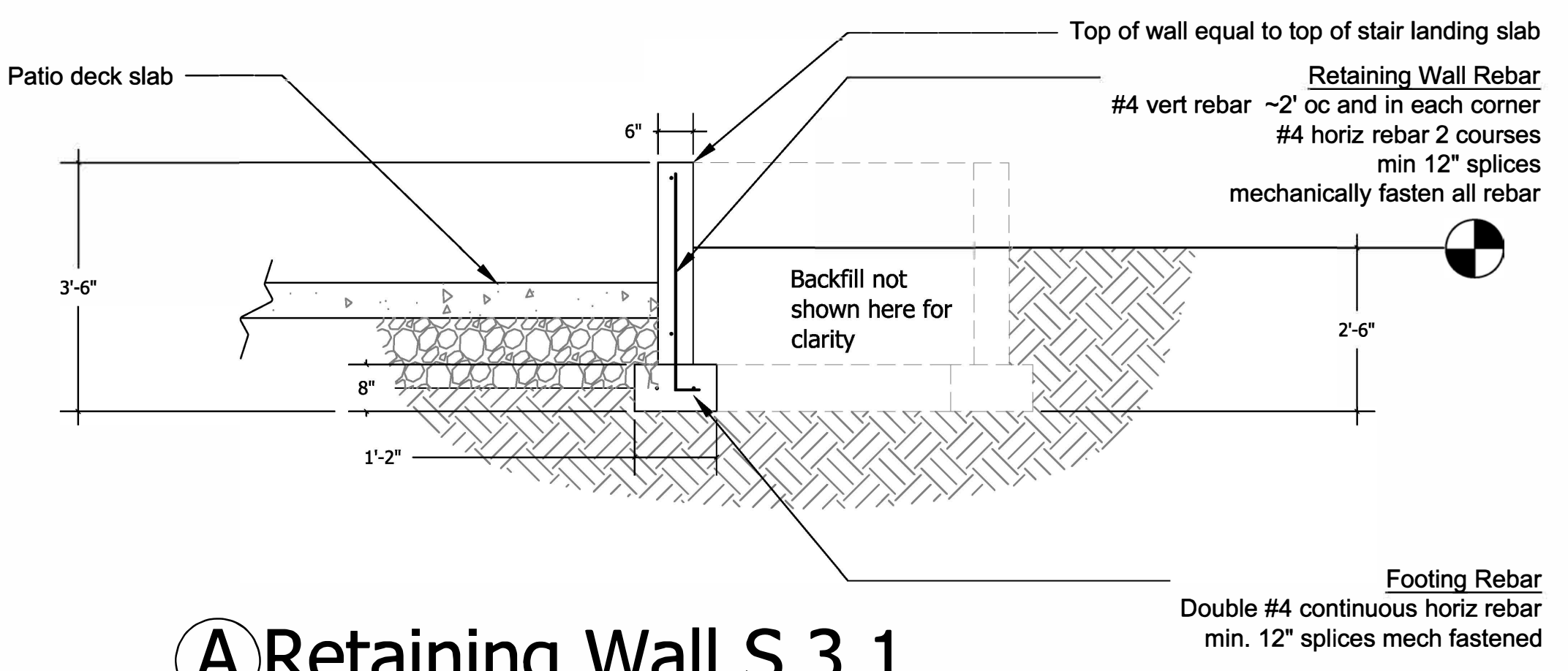
S.3
Sheet



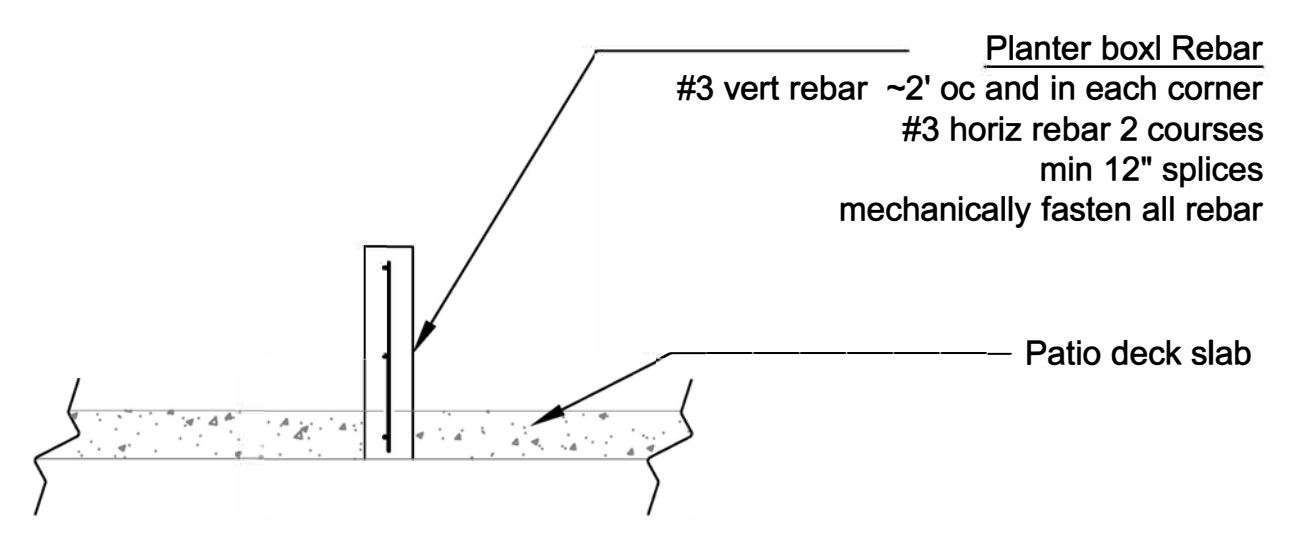
C Deck Post S.3.3
Scale 1/2" = 1'-0"



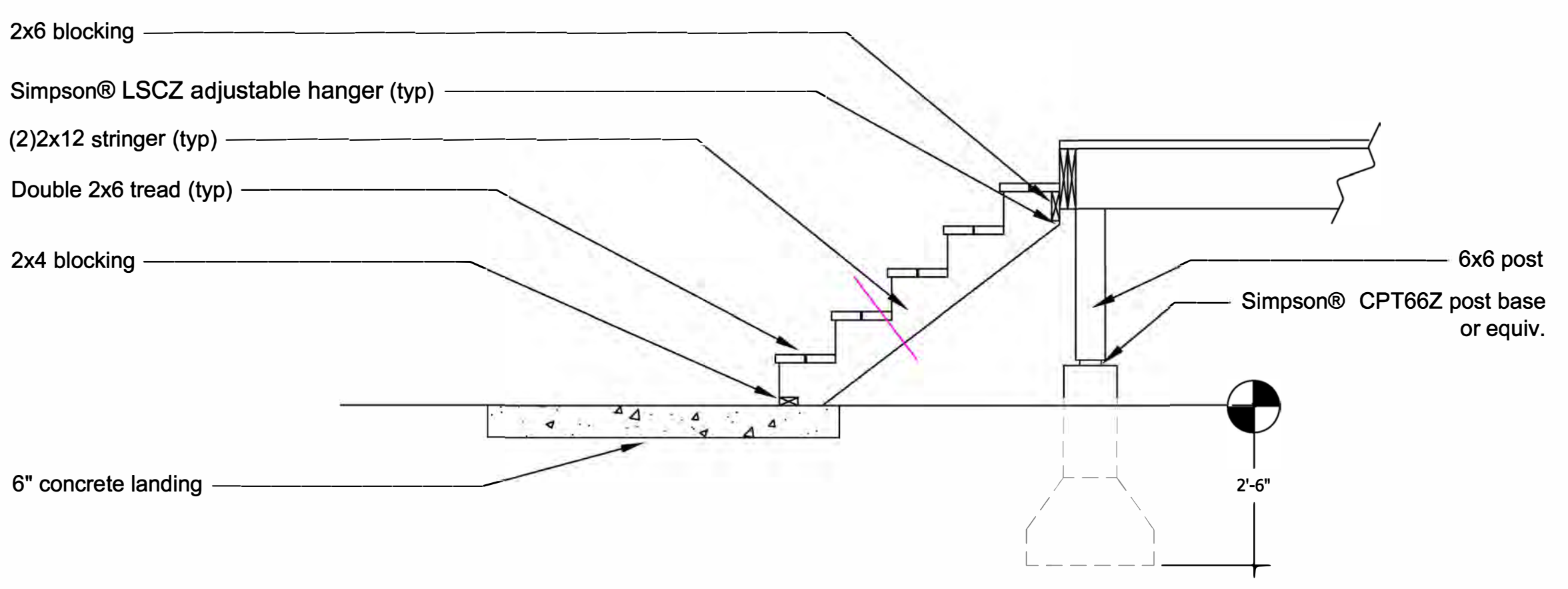
D Deck Post S.3.4
Scale 1/2" = 1'-0"



A Retaining Wall S.3.1
Scale 1/2" = 1'-0"



B Planter Box S.3.2
Scale 1/2" = 1'-0"



E Stairs S.3.5
Scale 1/2" = 1'-0"

Decking Material: TREX Enhance -Toasted Sand



Railing Material: Custom Metal - Black



Existing Site Photos: 07.31.2024





MEMO

TO Planning Commission

FROM James Shockey, Community Development Director

DATE August 13, 2024

RE Amendment to Minor Site Plan – Lot 3, Mountain Creek Subdivision – 692 Vasquez Road
(PLN22-005)

Applicant: Julie Doman

Architect: Julie Doman Interior Design

Zoning: R-2 (Multiple Family)

Authority: Pursuant to § 2-1-4 of the Winter Park Town Code (the "Code"), the Planning Commission considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park. Design approval is required before issuance of a building permit.

Variance:

N/A. No administrative or Board of Adjustment variance requests are included with the application.

Architectural:

The applicant is requesting to modify the original design that was approved in 2022. Modifications include material changes, addition of screening material, window placement and substantial changes to the north façade adjacent to Vasquez Road.

Title Commitment:

NA

Homeowner's Association Review:

N/A. No HOA governs the property.

Material and Color:

Satisfactory.

Exterior Lighting:

Unsatisfactory. Two exterior luminaires are proposed. Neither fixture contains the International Dark Sky Association (IDA) approval stamp (UDC, § 3-K-3(A)(1)). Each lot shall not exceed 5,100 lumens and they are proposing 8,555. Fixtures cannot not exceed 850 lumens and the Modern Form LED Wall Sconce is at 861 lumens. Photometric plans are not required for single-family homes.

Fixture Name	Proposed # of Fixtures	Proposed Lumens	Proposed CCT
Elco 4" LED Can Light	5	850	2700K
Modern Form LED Wall Sconce	5	861	2700K

- Applicant shall indicate exterior luminaire locations on elevation drawings for staff's review.
- Applicant shall provide fixtures that contain the IDA approved stamp and meet the requirements in UDC Sec. 3-K.

Accessory Dwelling Unit (ADU):

N/A.

Site Plan:

NA – changes are proposed to the site plan.

Building Elevations:

Refer to the clouded areas on the elevations for proposed changes.

Setbacks:

NA – there are no proposed changes to the setbacks.

Building Coverage:

NA – building coverage is not changing.

Building Height:

NA – building height is not changing

Parking:

Satisfactory. Two garage spaces and two driveway spaces are provided.

Landscape Transition Zones and Revegetation:

NA – there are no proposed changes to the landscape.

Snow Storage:

NA – there are no proposed changes to snow storage.

Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:

NA

Driveway:

NA – no proposed changes to the driveway.

Staff Recommendation:

Staff recommends the Planning Commission approve the Amendment to the Minor Site Plan – Lot 3, Mountain Creek Subdivision – 692 Vasquez Road (PLN22-005) with the following conditions:

1. Applicant shall indicate exterior luminaire locations on elevation drawings for staff's review.
2. Applicant shall provide fixtures that contain the IDA approved stamp and meet the requirements in UDC Sec. 3-K.

Required Permits:

- ✓ Building Permit
- ✓ Driveway Permit
- ✓ SFD/Duplex Deposit Agreement



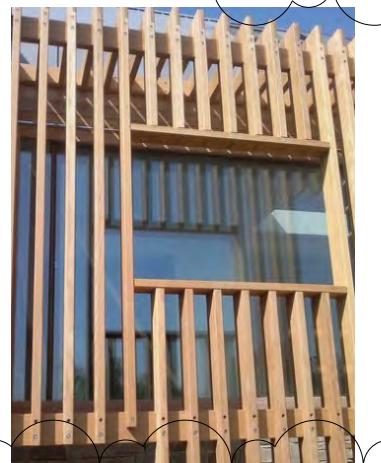
MP-01 STANDING SEAM METAL ROOF

SIZE: 16"
DESCRIPTION: STANDING SEAM METAL PANEL, DARK BRONZE
SPECIFICATION: INSTALLED IN ROOF AND VERTICAL WALL APPLICATIONS



**WD-01 EXTERIOR CLADDING:
REAL WOOD - CEDAR**

DESCRIPTION: SPECIALTY WOOD 2" T&G, CEDAR
HORIZONTAL INSTALL
STAINED/TREATED ON ALL 4 SIDES
STAINED TO MATCH SAMPLE



**WD-02 EXTERIOR SCREEN:
REAL WOOD - CEDAR**

DESCRIPTION: SPECIALTY WOOD 2" SLATS, CLEAR CEDAR
STAINED/TREATED ON ALL 4 SIDES
STAINED TO MATCH SAMPLE
VERTICAL AND HORIZONTAL - SCREWED TO STRUCTURE



D-1 EXTERIOR DECKING

DESCRIPTION: COMPOSITE DECKING BY AZEK, 5.5" PLANKS IN SLATE GRAY, HARVEST COLLECTION.



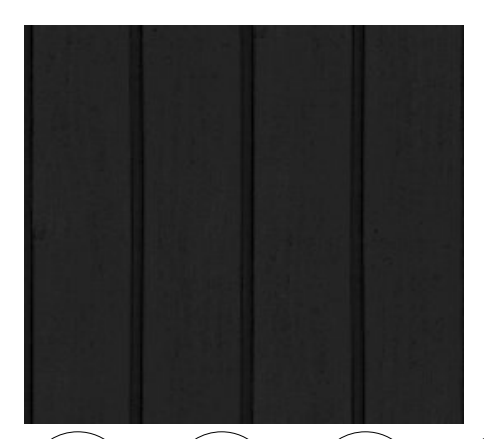
MR-01 EXTERIOR METAL RAILINGS

NOTE: 1/4" BAR STOCK METAL RAILINGS, TYPICAL FOR ALL EXTERIOR RAILINGS, POWDER-COATED BLACK



C-01 CAST IN PLACE CONCRETE

DESCRIPTION: BOARD-FORM CONCRETE
FOUNDATION, BASEMENT & RETAINING WALLS ONLY



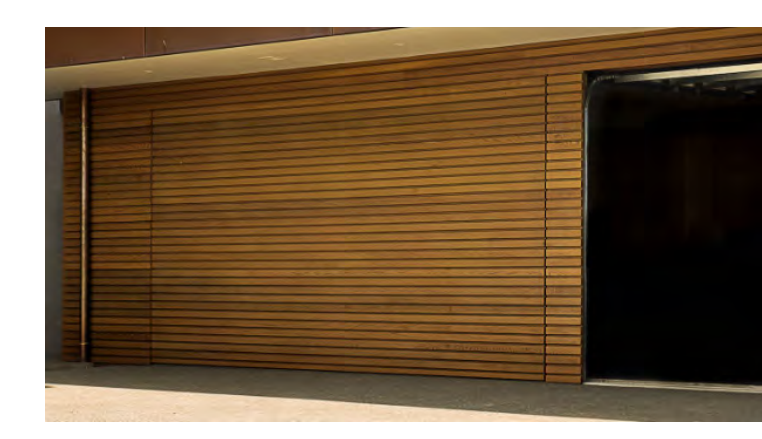
SD-01 BORAL SIDING

SIZE: 1X6
DESCRIPTION: BORAL SHIPLAP SIDING - VERTICAL INSTALL
SPECIFICATION: PAINTED



FRONT DOOR

DESCRIPTION: BLACK METAL W/ GLASS



GARAGE DOOR

DESCRIPTION: PANEL READY - FLUSH, ZENDOORS OR SIMILAR
WD-01 APPLIED TO DOOR

DOMAN
LOT 3, Mountain Creek Subdivision
692 Vasquez Road
Winter Park, CO 80482

ISSUANCE: DATE
05.29.2024

REVISION	DATE
1 PLANNING COMMISSION	12/31/2021
2 PLANNING COMMISSION	3/3/2022
3 ISSUED FOR BUILDING PERMIT REVISIONS	4/06/2022
4	07/10/2024

SHEET TITLE:
MATERIALS & 3D VIEWS

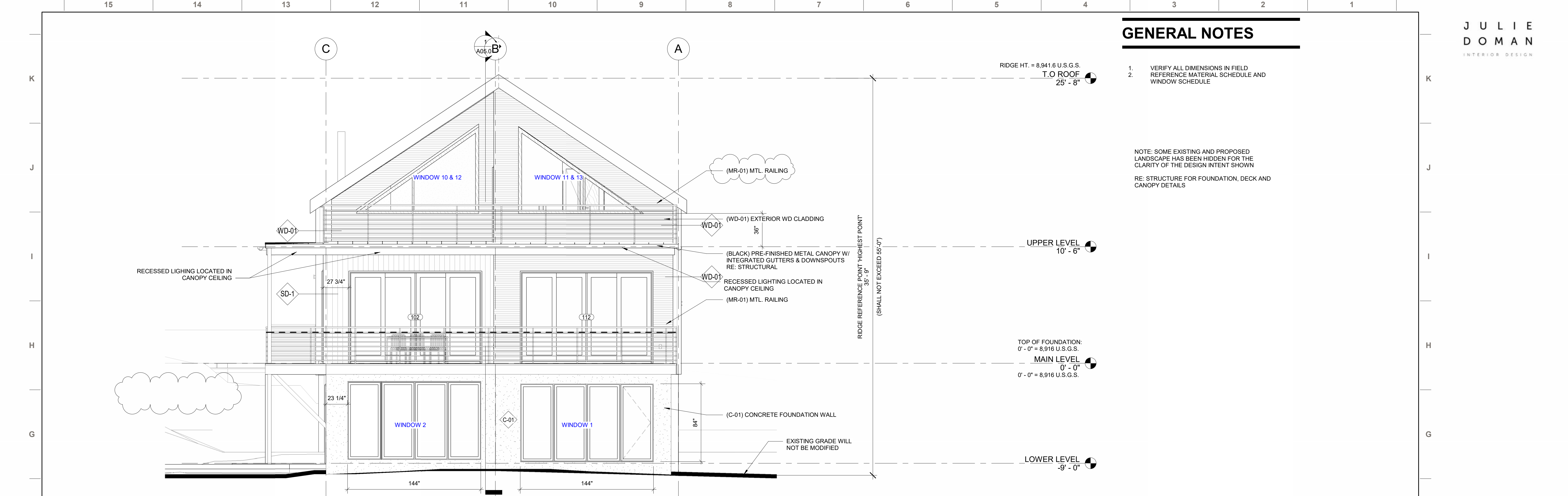
SHEET NUMBER:
A00.01

GENERAL NOTES

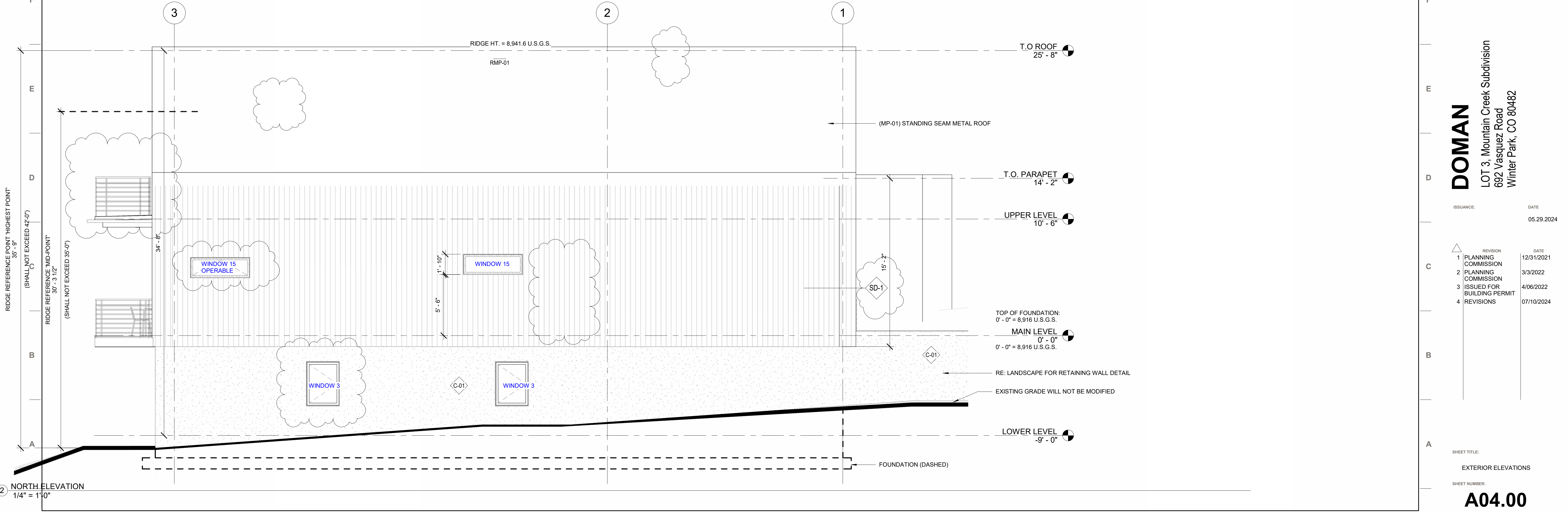
1. VERIFY ALL DIMENSIONS IN FIELD
2. REFERENCE MATERIAL SCHEDULE AND WINDOW SCHEDULE

NOTE: SOME EXISTING AND PROPOSED LANDSCAPE HAS BEEN HIDDEN FOR THE CLARITY OF THE DESIGN INTENT SHOWN

RE: STRUCTURE FOR FOUNDATION, DECK AND CANOPY DETAILS



1 EAST ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"

DOMAN
LOT 3, Mountain Creek Subdivision
692 Vasquez Road
Winter Park, CO 80482

ISSUANCE: DATE
05.29.2024

REVISION	DATE
1 PLANNING COMMISSION	12/31/2021
2 PLANNING COMMISSION	3/3/2022
3 ISSUED FOR BUILDING PERMIT	4/06/2022
4 REVISIONS	07/10/2024

SHEET TITLE:
EXTERIOR ELEVATIONS

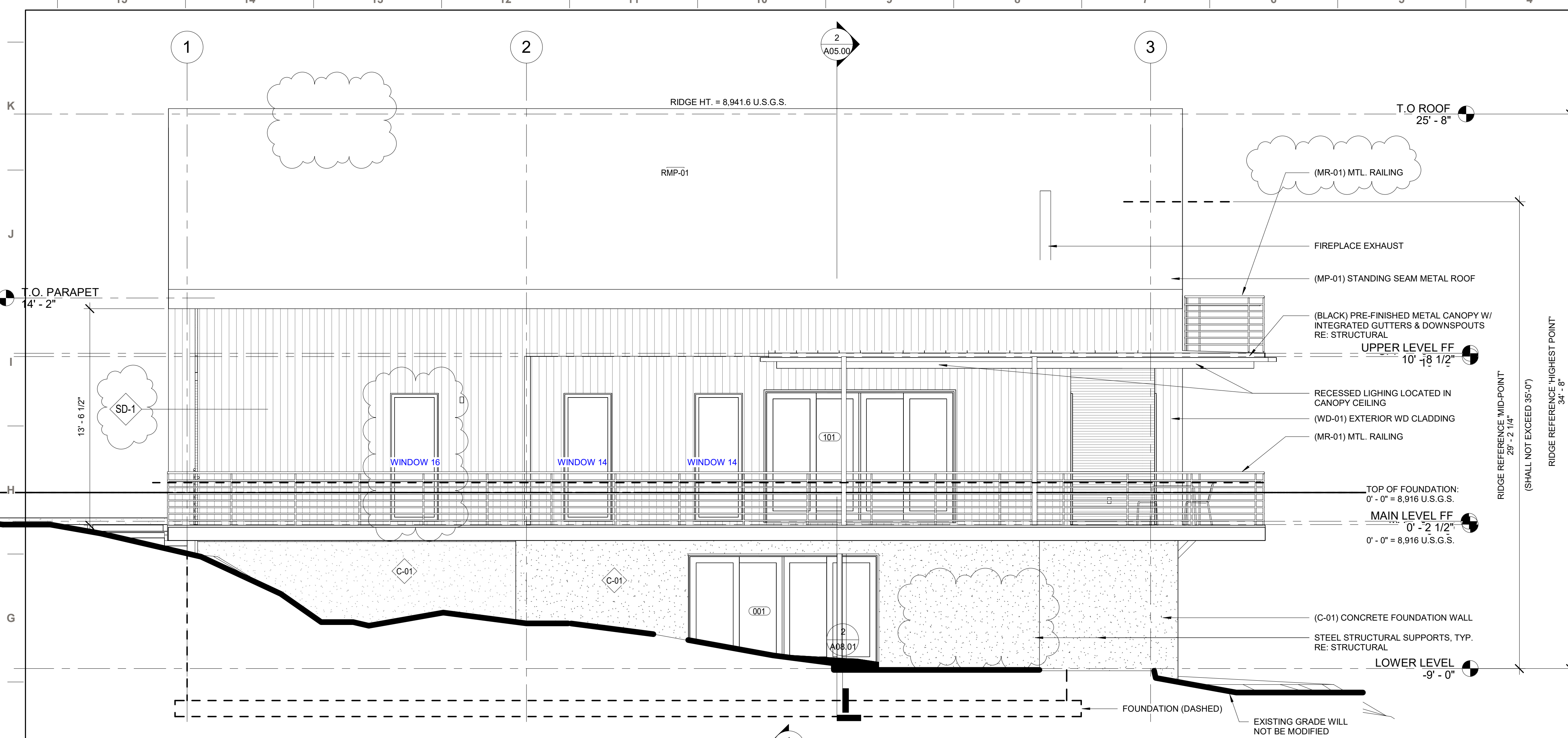
SHEET NUMBER:

A04.00

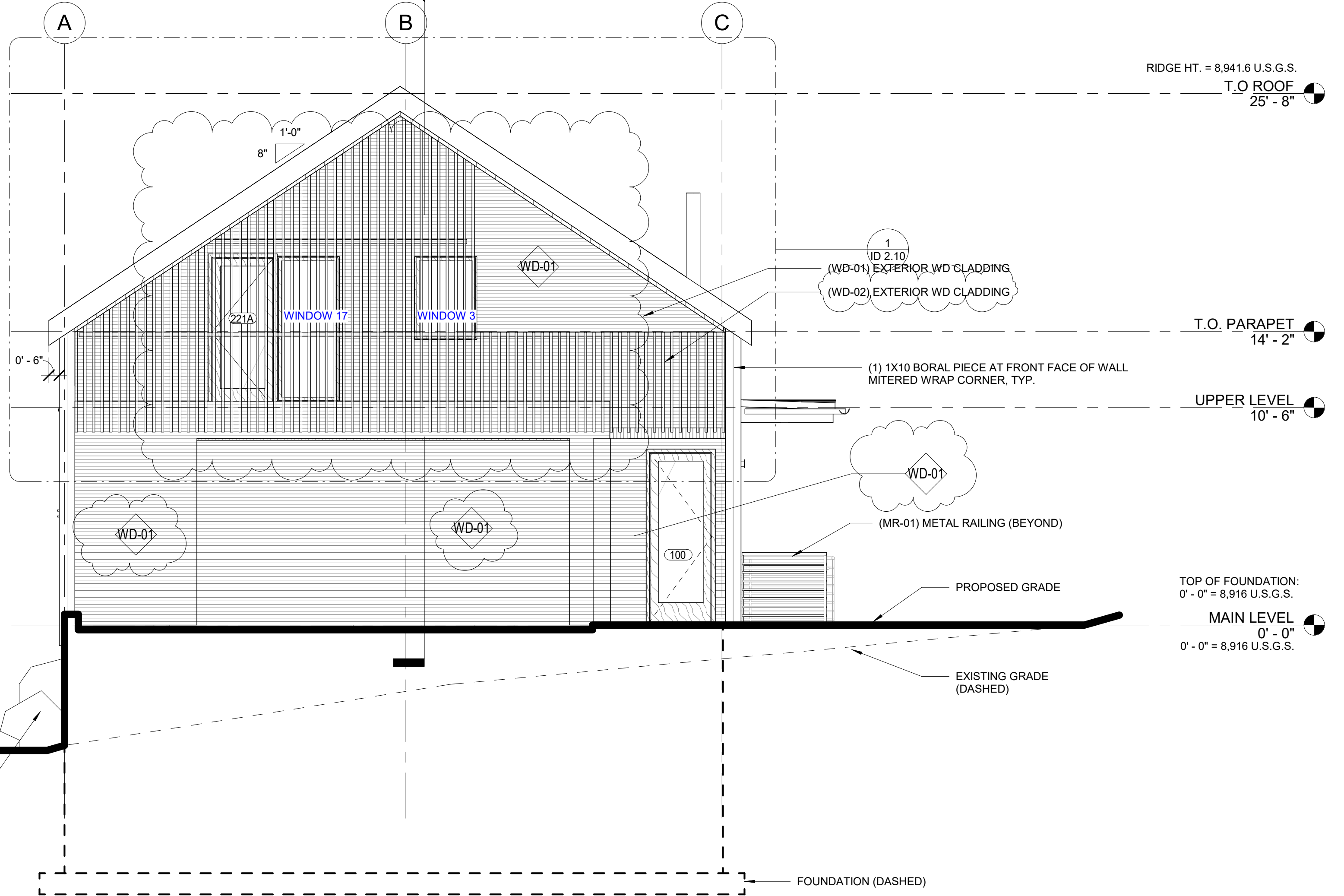
GENERAL NOTES

1. VERIFY ALL DIMENSIONS IN FIELD
2. REFERENCE MATERIAL SCHEDULE AND WINDOW SCHEDULE

NOTE: SOME EXISTING AND PROPOSED LANDSCAPE HAS BEEN HIDDEN FOR THE CLARITY OF THE DESIGN INTENT SHOWN
RE: STRUCTURE FOR FOUNDATION, DECK AND CANOPY DETAILS



1 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

DOMAN
LOT 3, Mountain Creek Subdivision
692 Vasquez Road
Winter Park, CO 80482

ISSUANCE: DATE
05.29.2024

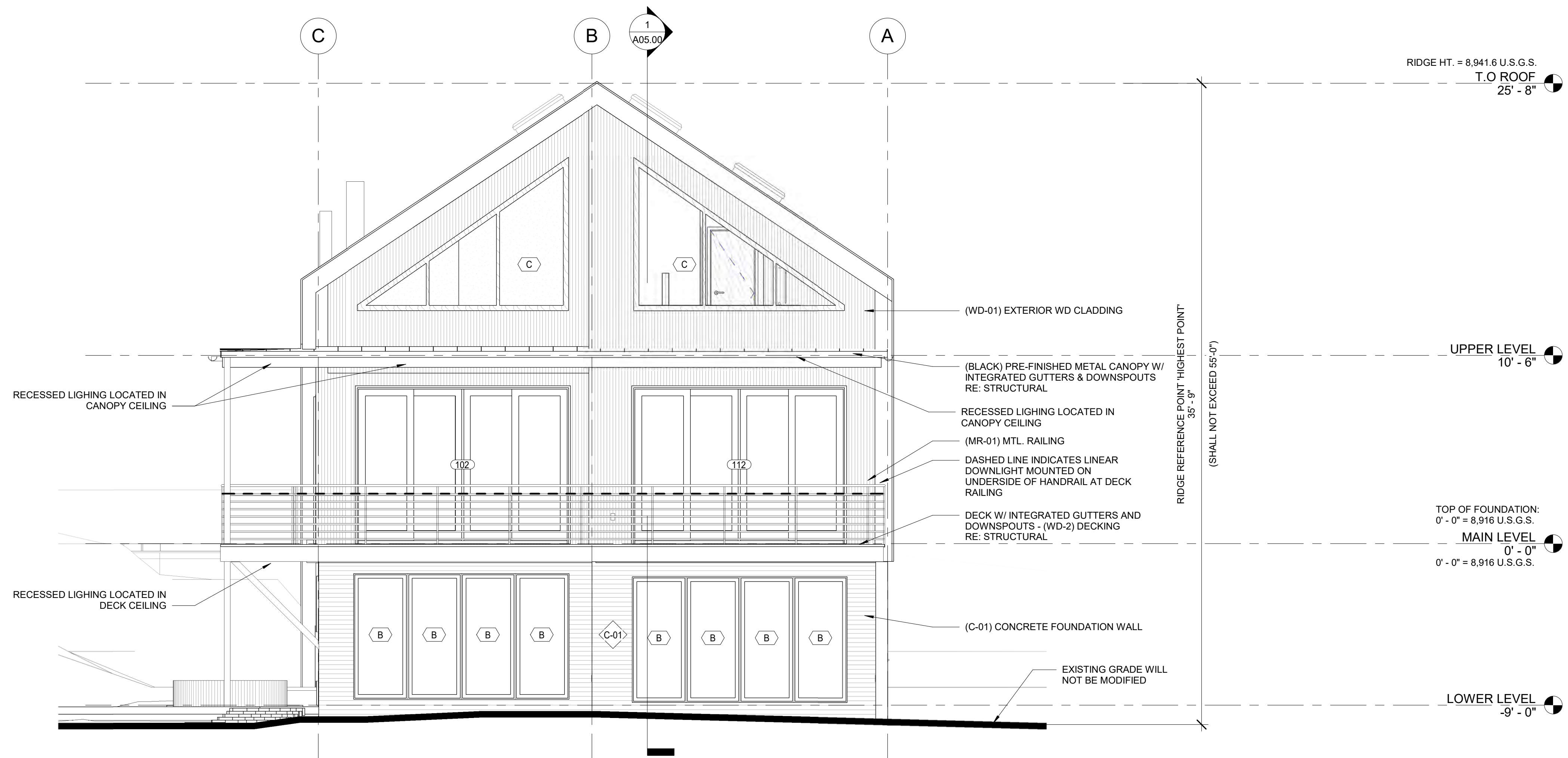
REVISION	DATE
1 PLANNING COMMISSION	12/31/2021
2 PLANNING COMMISSION	3/3/2022
3 ISSUED FOR BUILDING PERMIT	4/06/2022
4 REVISIONS	07/10/2024

SHEET TITLE:
EXTERIOR ELEVATIONS

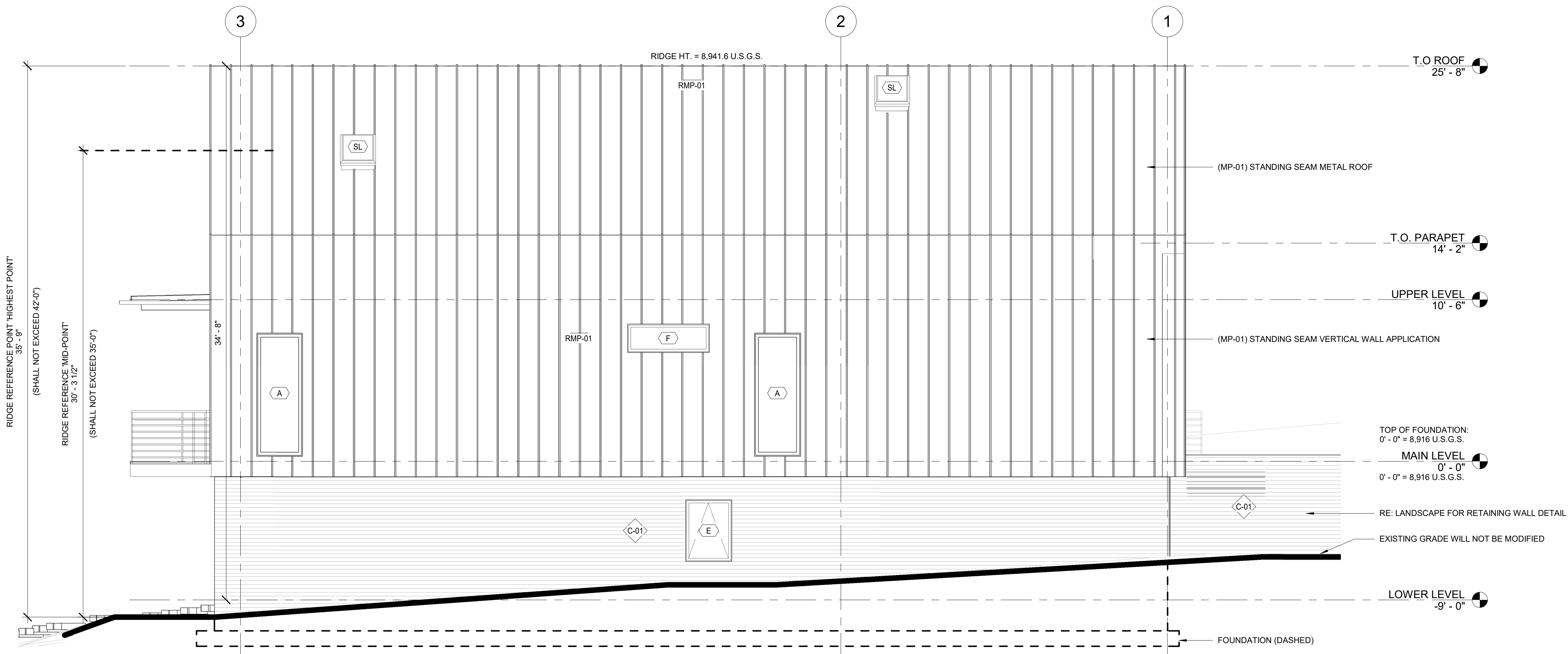
SHEET NUMBER:

A04.01

Original Elevations



1 EAST ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"

GENERAL NOTES

1. VERIFY ALL DIMENSIONS IN FIELD
2. REFERENCE MATERIAL SCHEDULE AND WINDOW SCHEDULE

NOTE: SOME EXISTING AND PROPOSED LANDSCAPE HAS BEEN HIDDEN FOR THE CLARITY OF THE DESIGN INTENT SHOWN

RE: STRUCTURE FOR FOUNDATION, DECK AND CANOPY DETAILS



ARCHITECT
BARI ARCHITECTURE
2921 WEST 38TH AVENUE
#312
DENVER, CO 80211
720-675-9611

INTERIOR DESIGNER
JULIE DOMAN INTERIOR DESIGN
(248) 561-4071

STRUCTURAL ENGINEER
APEX ENGINEERS, INC.
2707 LAWRENCE STREET
UNIT 19
DENVER, CO 80205
720-588-3222

LANDSCAPE ARCHITECT
R DESIGN
1200 BANNOCK STREET
DENVER, CO 80204
720-588-3222

NOT FOR CONSTRUCTION
PROGRESS SET ONLY

PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF COLORADO, LICENSE NUMBER ARC.00402549, EXPIRATION DATE 10/31/2023

No.	Description	Date
1	PLANNING COMMISSION	12/31/2021
2	PLANNING COMMISSION	3/3/2022

692 Vasquez Road
LOT 3, Mountain Creek Subdivision
692 Vasquez Road
Winter Park, CO 80482

EXTERIOR ELEVATIONS

Project number 20018
Date 04/06/2022

A04.00

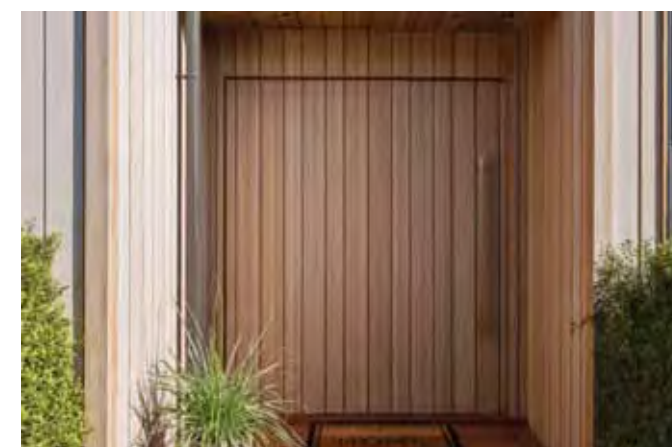
Scale 1/4" = 1'-0"

Original Material Board



MP-01 STANDING SEAM METAL ROOF

SIZE: 16"
 DESCRIPTION: STANDING SEAM METAL PANEL
 SPECIFICATION: INSTALLED IN ROOF AND VERTICAL WALL APPLICATIONS



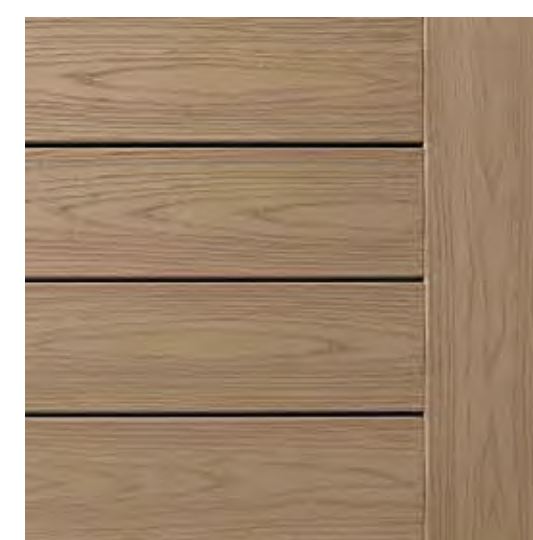
WD-01 EXTERIOR CLADDING: REAL WOOD

DESCRIPTION: S100-X WOOD PROTECTION ON ABODO® VULCAN CLADDING BY RESAWN TIMBER CO



WD-02 EXTERIOR CLADDING: REAL WOOD, TEXTURED

DESCRIPTION: S100-X WOOD PROTECTION ON ABODO® VULCAN CLADDING BY RESAWN TIMBER CO - TEXTURED PATTERN "IMAGE IS FOR TEXTURE PATTERN ONLY, NOT COLOR"



WD-03 EXTERIOR DECKING

DESCRIPTION: COMPOSITE DECKING BY AZEK, 5.5" PLANKS IN SLATE GRAY, HARVEST COLLECTION.



ARCHITECT
 BARI ARCHITECTURE
 2921 WEST 38TH AVENUE
 #312
 DENVER, CO 80211
 720-675-9611

INTERIOR DESIGNER
 JULIE DOMAN INTERIOR DESIGN
 (248) 561-4071

STRUCTURAL ENGINEER
 APEX ENGINEERS, INC.
 2701 LAWRENCE STREET
 UNIT 19
 DENVER, CO 80205
 720-588-3222

LANDSCAPE ARCHITECT
 R DESIGN
 1200 BANNOCK STREET
 DENVER, CO 80204
 720-588-3222

NOT FOR
 CONSTRUCTION
 PROGRESS SET ONLY

PROFESSIONAL CERTIFICATION:
 I CERTIFY THAT THESE DOCUMENTS WERE
 PREPARED OR APPROVED BY ME, AND THAT I AM A
 DULY LICENSED ARCHITECT UNDER THE LAWS OF
 THE STATE OF COLORADO, LICENSE NUMBER
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No.	Description	Date
1	PLANNING COMMISSION	12/31/2021
2	PLANNING COMMISSION	3/3/2022

692 Vasquez Road

LOT 3, Mountain Creek Subdivision
 692 Vasquez Road
 Winter Park, CO 80482

MATERIALS & 3D
 VIEWS

Project number 20018
 Date 04/06/2022

A00.01

Scale



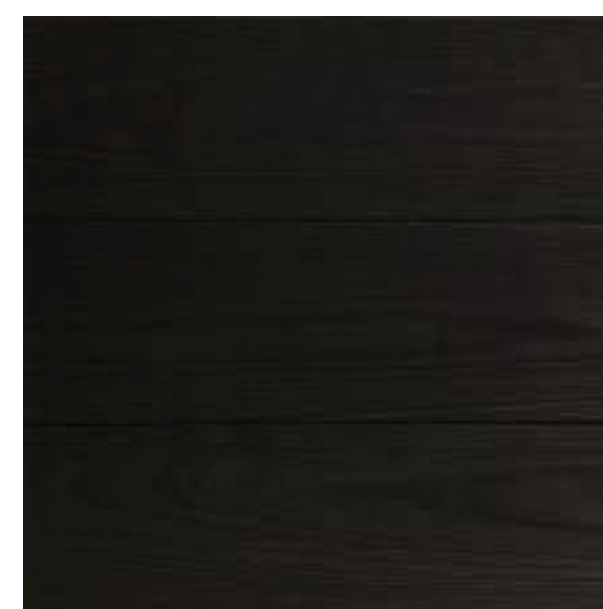
MR-01 EXTERIOR METAL RAILINGS

NOTE: 1/4" BAR STOCK METAL RAILINGS, TYPICAL FOR ALL EXTERIOR RAILINGS. POWDER-COATED BLACK.



C-01 CAST IN PLACE CONCRETE

DESCRIPTION: BOARD-FORM CONCRETE FOUNDATION, BASEMENT & RETAINING WALLS ONLY



WD-04 ENTRY SIDING

DESCRIPTION: CHARRED CYPRESS - EXTERIOR CLADDING AS T&G RESAWN TIMBER CO.



FRONT DOOR

DESCRIPTION: BLACK METAL W/ FROSTED GLASS



GARAGE DOOR

DESCRIPTION: OVERHEAD DOOR ENVY™ MODEL 9980 IN BLACK

MEMO

TO Planning Commission
FROM James Shockey, Community Development Director
DATE August 13, 2024
RE Encroaching Retaining Walls – Lots 32-36, Rendezvous Filing No. 1, Subdivision Exemption No. 3 (PLN24-063)

Property Owner: Arrowhead Winter Park Investors, LLC

Applicant: Jeff Vogel of Vogel and Associates

Location: Lots 32-36, 5 - 57 Scenic Trail (the "Property")

Architects: Kephart and Michael Noda of Neo Studio

Zoning:

R-2, P-D (Multiple Family Residential, Planned Development) (Rendezvous Final Development Plan (FDP), 1st Amendment, Reception No. 2020007456), Planning Area ("PA") 3

Authority:

Pursuant to § 3-A-7(H)(4) of the Winter Park Unified Development Code (the "UDC") the following architectural elements and structures are not subject to the setback requirements of this UDC.

- a) Fences and walls including trellises and arbors that meet the requirements of Sec. 2-B-3-D, *Fences and Walls*; and
- b) Retaining walls that meet the requirements of Sec. 2-B-4(F), *Retaining Walls*.**

Pursuant to UDC § 2-B-4, the Planning Commission may permit retaining walls to encroach into required setbacks in the following circumstances:

- a) It is shown that the wall cannot be located outside the setback due to structural issues;
- b) They are an appropriate engineering solution needed to mitigate risk to life and property;
- c) They are necessary to retain soils and stabilize [sites](#); or
- d) Their use is part of an approved landscape plan, [erosion control plan](#), slope stability plan, or stormwater management plan.

Setbacks:

Several retaining walls encroach into required setbacks:

1. Lot 32: One (1) within the side yard setback and one (1) within the rear setback.
2. Lot 33: One (1) within the side yard setback.
3. Lot 34: Two (2) within the side yard setback.
4. Lot 35: One (1) within the side yard setback.
5. Lot 36: One (1) within the side yard setback.

The Planning Commission may approve retaining wall encroachments given they conform with § 2-B-4(F), Retaining Walls.

Staff Recommendation:

Staff recommends approval of the retaining wall design as shown on the site plan as the applicant has demonstrated the site meets the requirements in UDC § 2-B-4(F), Retaining Walls with the following condition:

- Applicant shall submit a separate Building Permit Application for all retaining walls on the Properties.

Required Permits:

- ✓ Building Permit



VOGEL & ASSOCIATES

Integrated Planning with Innovative Solutions

July 12, 2024

Mr. James Shockey, Town Planner
Town of Winter Park
50 Vasquez Road
P.O. Box 3327
Winter Park, Colorado 80482

**Re: Scenic Trail
Retaining Wall Setback Encroachment Justification**

Dear James,

The Rendezvous, Filing 1, Scenic Trail Administrative Site Plan proposes retaining walls between specific homes as required to retain grade. These proposed walls are integrated with the proposed buildings and the site topography.

Given the topography of the site, retaining walls will be required to provide slope stability. Providing slope stability and erosion control between the homes will require an integrated retaining wall system. This integrated system will reinforce slope stability and provide a unified appearance.

On behalf of Rendezvous, this request is for the Town of Winter Park to permit the construction of the walls within the building setbacks. Upon your review, we will be available to meet and provide additional information as required.

We appreciate your assistance and look forward to working with you further on this project.

Sincerely,

Vogel & Associates, LLC

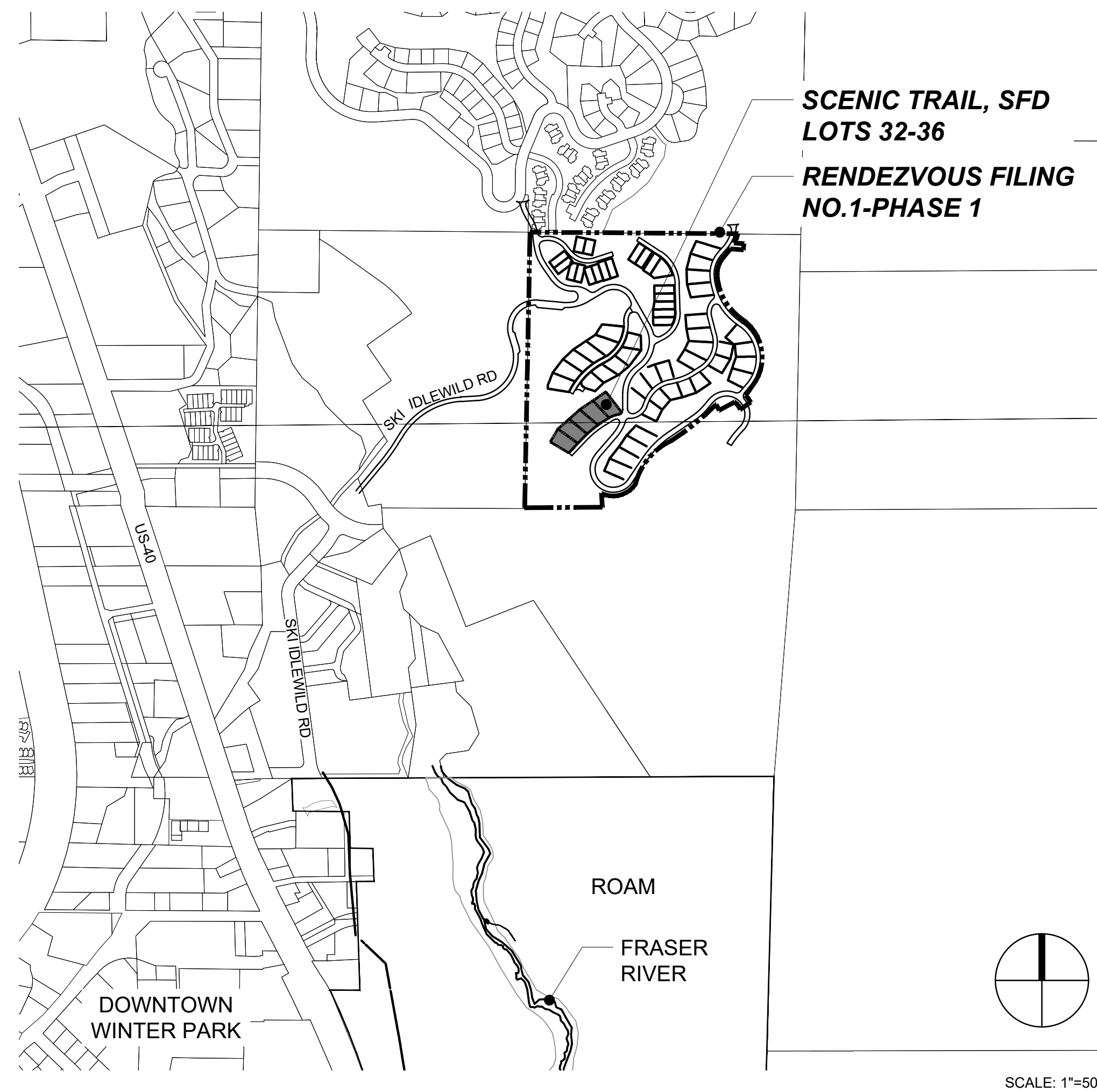
Jeffery Vogel, AICP

Principal

RENDEZVOUS FILING 1- SCENIC TRAIL

SINGLE FAMILY DETACHED LOTS 32-36 ADMINISTRATIVE SITE PLAN APPLICATION

VICINITY MAP



LEGAL DESCRIPTION

PARCEL A, LOTS 32 THROUGH 36, INCLUSIVE, SUBDIVISION EXEMPTION NO. 3, RENDEZVOUS AT WINTER PARK, FILING NO. 1, RECORDED OCTOBER 27, 2023, UNDER RECEPTION NO. 2023007413, COUNTY OF GRAND, STATE OF COLORADO.

ZONING & SETBACKS & NOTES

ZONING - RENDEZVOUS FDP PD-R2

PLANNING AREA 6

FRONT- 10' SETBACK
SIDE- 5' SETBACK
REAR- 10' SETBACK

NOTES:

- 1) ALL FRONT AND SIDE LOADED GARAGE CABIN OPTIONS SHALL INCLUDE A DRIVEWAY THAT IS MEASURED 20'-0" FROM THE RIGHT OF WAY OR PRIVATE ACCESS EASEMENT.
- 2) EACH LOT/DEVELOPMENT WILL SATISFY THE REQUIRED PARKING REQUIREMENTS PER THE ROADWAY REPORT.
- 3) HOMES ADJACENT TO OR ACROSS FROM ONE ANOTHER WILL NOT HAVE THE SAME COLOR PALETTE/ MATERIAL OPTION. SEE ELEVATIONS FOR COLOR/MATERIAL OPTIONS.

BUILDING HEIGHT

PLANNING AREA 6:

MAXIMUM BUILDING HEIGHT- 40'

PROPOSED

LOT 32 LARGE DOWNHILL SFD - 31'-5 1/2"
LOT 33 SMALL DOWNHILL SFD - 37'-0"
LOT 34 LARGE DOWNHILL SFD - 34'-4"
LOT 35 SMALL DOWNHILL SFD - 31'-1"
LOT 36 SMALL DOWNHILL SFD - 34'-9"

BUILDING COVERAGE

SCENIC TRAIL SDF - SITE AREA

USE	AREA SQ.FT.	AREA ACRES	% OF TOTAL
LOTS			
LOT 32	8,134	0.19	17.4%
LOT 33	8,849	0.20	9.4%
LOT 34	7,499	0.17	7.9%
LOT 35	7,852	0.18	8.3%
LOT 36	7,260	0.17	7.7%
SUBTOTAL	39,594	0.91	84.7%
ASPHALT (1)	7,134	0.16	15.3%
LANDSCAPE AREA (2)	N/A		
WALKS	N/A		
SUBTOTAL	46,728	1.07	100.0%

NOTES:

- 1) ASPHALT AREA INCLUDES SCENIC TRAIL AND TRASH ENCLOSURE HARDSCAPE.
- 2) LANDSCAPE AREA IS AREA OUTSIDE OF LOT LINES. SEE L1 FOR INDIVIDUAL LOT CALCULATIONS.

SHEET INDEX

SITE PLAN	
COVER SHEET	C
OVERALL SITE PLAN	S1
SITE PLAN	S2
GRADING PLAN	S3
RETAINING WALL EXHIBIT	S4
LANDSCAPE	
TYPICAL LANDSCAPE PLAN	L1
LANDSCAPE DETAILS	L2
ARCHITECTURAL ELEVATIONS & MATERIALS	
LARGE DOWNHILL OP 1 LOT 32	L32A
LARGE DOWNHILL OP 1 LOT 32	L32B
SMALL DOWNHILL OP 1 LOT 33	L33A
SMALL DOWNHILL OP 1 LOT 33	L33B
LARGE DOWNHILL OP 2 LOT 34	L34A
LARGE DOWNHILL OP 2 LOT 34	L34B
SMALL DOWNHILL OP 2 LOT 35	L35A
SMALL DOWNHILL OP 2 LOT 35	L35B
SMALL DOWNHILL OP 1 LOT 36	L36A
SMALL DOWNHILL OP 1 LOT 36	L36B

DEVELOPER

ARROWHEAD WINTER PARK INVESTORS, LLC.
5291 E. YALE AVE
DENVER, CO 80222
PHONE: 970-726-4500

ARCHITECTS

NEO STUDIO
MICHAEL NODA - REGISTERED ARCHITECT
3560 WALNUT ST. UNIT A
DENVER, CO 80205
PHONE: 303-758-3800

KEPHART
CONTACT:
2555 WALNUT ST
DENVER, CO 80205
PHONE: 303-832-4474

PLANNER

VOGEL & ASSOCIATES
165 S. UNION BLVD., SUITE 440
LAKEWOOD, CO 80228
CONTACT: JEFF VOGEL
PHONE: 303-893-4288

CIVIL ENGINEER

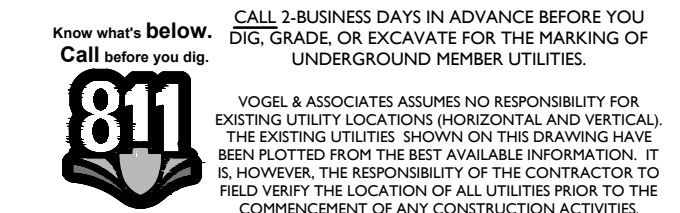
TOPKNOT ENGINEERING (TKE)
TONY KREMPIN
998 COUNTY ROAD 553 (POB 2225)
GRANBY, CO 80446
PHONE: 970-281-5280

SURVEYOR

TIM SHENK LAND SURVEYING, INC.
TIMOTHY R. SHENK
BOX 1670. GRANBY, CO 80446
PHONE: 970-887-1046

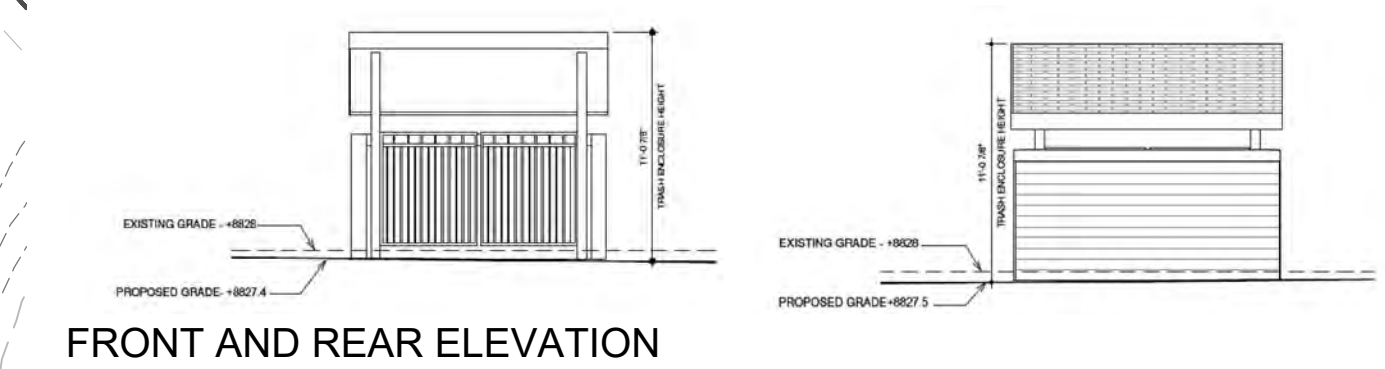
LANDSCAPE ARCHITECT

VOGEL & ASSOCIATES
165 S. UNION BLVD., SUITE 440
LAKEWOOD, CO 80228
CONTACT: JEFF VOGEL
PHONE: 303-893-4288

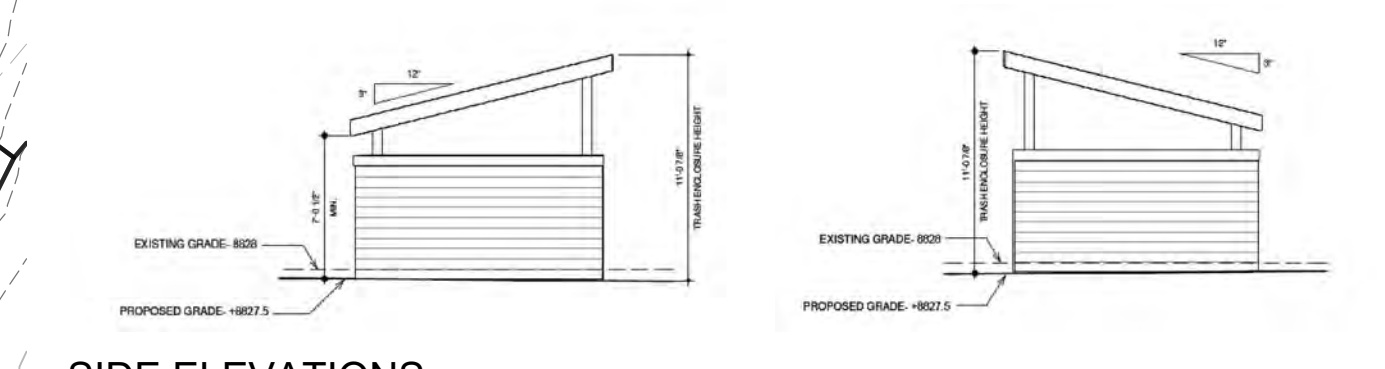




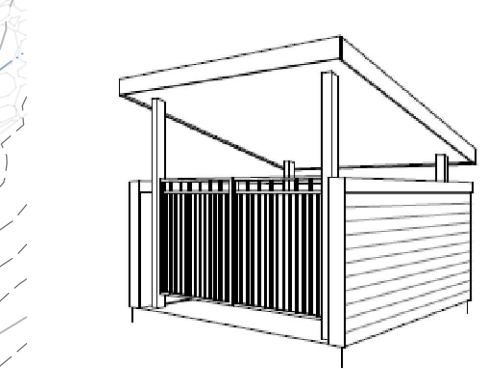
TRASH ENCLOSURE ELEVATION - DWGS BY ARCH, SEE TRASH ENCLOSURE ELEVATIONS, SEE ELEVATIONS



FRONT AND REAR ELEVATION



SIDE ELEVATIONS



PERSPECTIVE

LEGEND

- LANDSCAPE AREA
- SNOW STORAGE
- ASPHALT

SNOW STORAGE

- REQUIRED:**
 ASPHALT : 7,134 SQ. FT.
 25% = 1,784 SQ. FT SNOW STORAGE
- PROVIDED:**
 25% = 2,072 SQ. FT. SNOW STORAGE

--- SITE PLAN APPLICATION BOUNDARY

LANDSCAPE NOTES

1. TRACT I TO BE REVEGETATED WITH THE NATIVE GRASS PER THE CONSTRUCTIONS DOCUMENTS APPROVED WITH THE FILING 1 PLAT
2. SEE L1 FOR TYPICAL LOT LANDSCAPING REQUIREMENTS

CABIN TYPE LEGEND

- LOT 32 (SFD DETACHED GARAGE) - LARGE DOWNHILL
- LOT 33 (SFD ATTACHED GARAGE) - SMALL DOWNHILL
- LOT 34 (SFD DETACHED GARAGE) - LARGE DOWNHILL
- LOT 35 (SFD ATTACHED GARAGE) - SMALL DOWNHILL
- LOT 36 (SFD ATTACHED GARAGE) - SMALL DOWNHILL

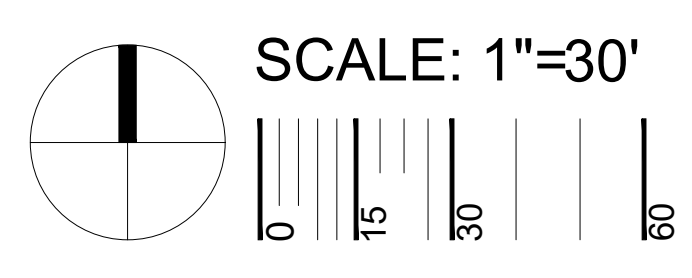
NOTES:

1. REFER TO COVER SHEET FOR BUILDING HEIGHTS AND SEE ARCHITECTURAL FLOORPLANS FOR CABIN OPTION TYPES
2. RESIDENTIAL FOOTPRINTS ILLUSTRATED ON LOTS 32-36 ARE PRELIMINARY AND ARE SUBJECT TO CHANGE. FINAL RESIDENTIAL FOOTPRINTS WILL BE ILLUSTRATED ON THE BUILDING PERMIT SITE PLAN.

PARKING CALCULATIONS

LOT #	USE	CABINS	REQUIRED	PROVIDED		TOTAL
				DETACHED GARAGE	ATTACHED GARAGE	
LOT 32	RESIDENTIAL	1	2	2		2
LOT 33	RESIDENTIAL	1	2	2		2
LOT 34	RESIDENTIAL	1	2	2		2
LOT 35	RESIDENTIAL	1	2		2	2
LOT 36	RESIDENTIAL	1	2	2		2
TOTAL		5	10	8	2	10

*PARKING CALCULATIONS: SINGLE FAMILY RESIDENTIAL = 2 SPACES / DWELLING UNIT
 ** DRIVEWAYS ARE 20' MIN. ADDITIONAL PARKING IS FEASIBLE ON ALL DRIVEWAYS



Know what's below.
811
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.
 VOGEL & ASSOCIATES ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL). THE EXISTING UTILITIES SHOWN ON THE DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

RENDEZVOUS FILING 1
SCENIC TRAIL - ADMINISTRATIVE SITE PLAN
 WINTER PARK, CO 80482



RETAINING WALL
TYP, SEE CIVIL

13' UTILITY EASEMENT

TRASH/RECYCLING
RECEPTACLES, SEE
ELEVATIONS

LOT #	LANDSCAPE AREA	ASPHALT/HARDSCAPE	SNOW STORAGE REQUIRED	SNOW STORAGE PROVIDED
32	4,380	1,158	290	304
33	6,011	474	119	132
34	3,845	1,077	269	303
35	4,998	492	123	133
36	4,428	550	138	163

- NOTES:
 1) ASPHALT = PARKING (DRIVEWAY AND WALKS)
 2) SNOW STORAGE REQUIREMENTS = 25% OF HARDSCAPE

LEGEND

- LANDSCAPE AREA
- SNOW STORAGE
- ASPHALT DRIVEWAY/FRONT WALKS

SCALE: 1"=20'

811
 Know what's below. Call before you dig.
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.
 VOGEL & ASSOCIATES ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL). THE EXISTING UTILITIES SHOWN ON THE DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

DOCUMENT SET ISSUE DATE
 SUBMITTAL SET 07/12/2024

DWN. BY:
 REVISIONS:

SITE PLAN

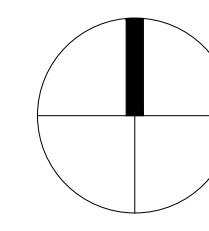
S2



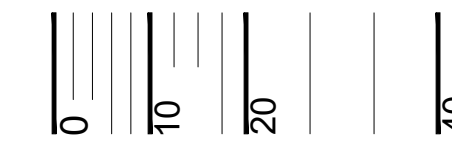
RENDEZVOUS FILING 1
SCENIC TRAIL - ADMINISTRATIVE SITE PLAN
 WINTER PARK, CO 80482


DOCUMENT SET ISSUE DATE
 SUBMITTAL SET 07/12/2024

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 REVISIONS:

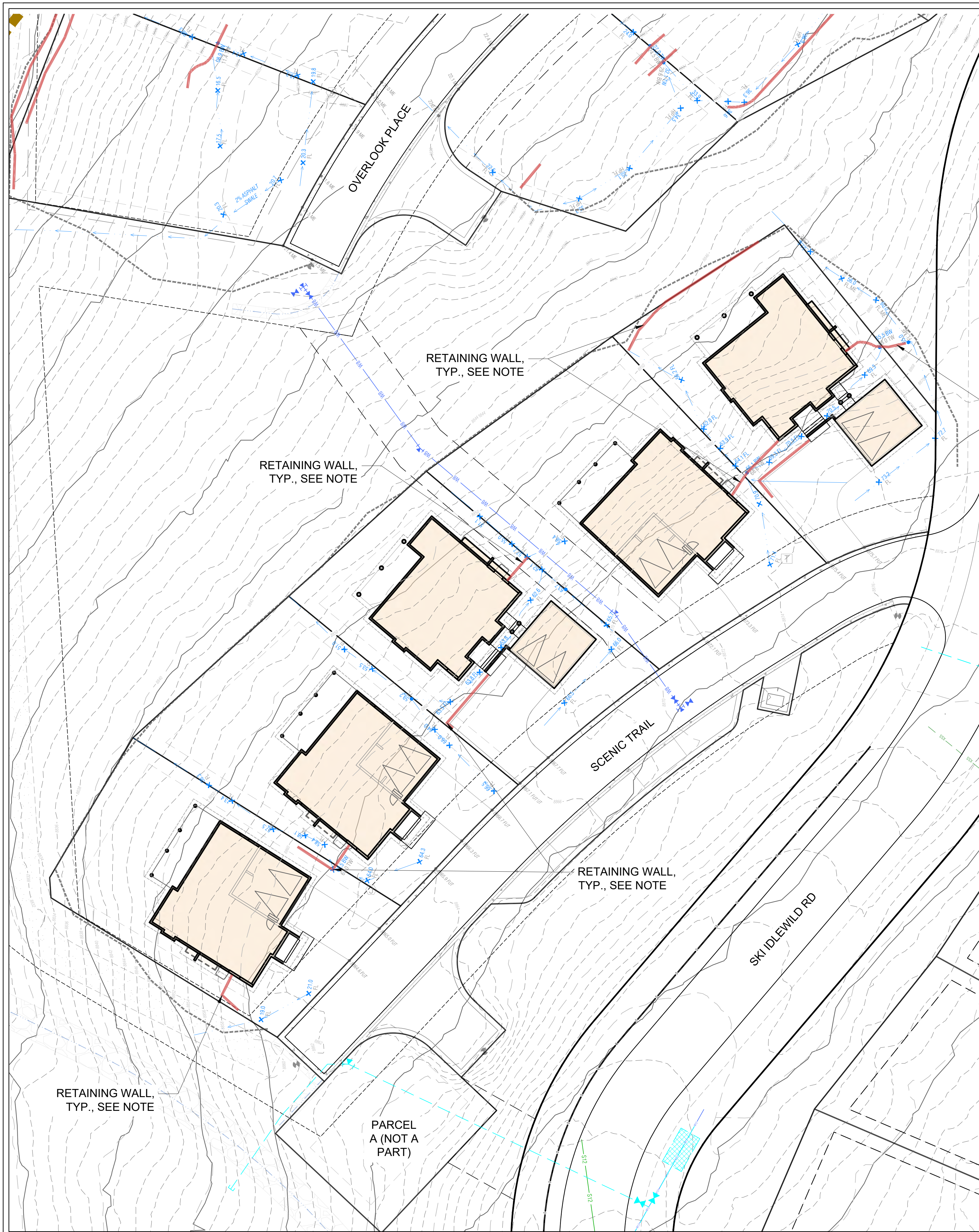


SCALE: 1"=20'




 Know what's below.
 Call before you dig.
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
 DIG, GRADE, OR EXCAVATE FOR THE MARKING OF
 UNDERGROUND MEMBER UTILITIES.
 VOGEL & ASSOCIATES ASSUMES NO RESPONSIBILITY FOR
 EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL).
 THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE
 BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT
 IS, HOWEVER, THE RESPONSIBILITY OF THE CONTRACTOR TO
 FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE
 COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

TYPICAL
 GRADING PLAN
S3



RETAINING WALL NOTES:

- 1) RETAINING WALLS ENCRUCH INTO SIDE YARD SETBACKS ON LOTS SFD LOTS 32-36. PER THE TOWP UDC SEC. 2-B-4 (F) RETAINING WALLS, THE ENCRUCHING RETAINING WALLS MUST CONFORM TO AT LEAST 1 OF THE 4 CRITERIA REQUIRED FOR A RETAINING WALL TO ENCRUCH INTO A REQUIRED YARD SETBACK.
 - a. It is shown that the wall cannot be located outside the setback due to structural issues;
 - b. They are an appropriate engineering solution needed to mitigate risk to life and property;
 - c. They are necessary to retain soils and stabilize sites; or
 - d. Their use is part of an approved landscape plan, erosion control plan, slope stability plan, or stormwater management plan.
- 2) THE RETAINING WALLS SHOWN ON THIS SITE PLAN SUBMITTAL FOR LOTS 22 & 31 ARE NECESSARY TO RETAIN AND STABILIZE SOIL AND HAVE TO BE CONSTRUCTED AS A CONNECTED WALL IN ORDER TO RETAIN THE AMOUNT OF SOIL EFFECTIVELY.
- 3) THE RETAINING WALL ENCRUCHMENT IS REQUIRED TO STABILIZE THE SLOPE PER THE GRADING PLAN
- 4) THE AVERAGE EXISTING SLOPE IS 15%.

RETAINING WALL,
TYP., SEE NOTE

RETAINING WALL,
TYP., SEE NOTE

RETAINING WALL,
TYP., SEE NOTE

RETAINING WALL,
TYP., SEE NOTE

RETAINING WALL,
TYP., SEE NOTE

PARCEL A (NOT A PART)

SCALE: 1"=20'

Know what's below.
Call before you dig.
811

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

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DOCUMENT SET	ISSUE DATE
SUBMITTAL SET	07/12/2024

DWN. BY:
 REVISIONS:



MEMO

TO Planning Commission

FROM Shelia Booth, AICP, CPS Contracted Planner

THROUGH James Shockey, AICP, Community Development Director

DATE August 13, 2024

RE PUBLIC HEARING: Major Site Plan and Minor Plat – Roam Beavers Lodge Community Amenity (PLN23-107 and PLN23-108)

Property Owner: Robert Fanch, Fraser River Development Company

Applicant: Jeff Vogel, Vogel & Associates, LLC.

Architect: Michael Noda, Neo Studio

Location: Northeast of Roam Way and Highway 40 intersection.

Legal Description: Parcel B And Parcel C of Roam Filing No.1., A Part of the East Half of Section 33, Township 1 South, Range 75 West of the Sixth Principal Meridian, Town of Winter Park, County of Grand, State of Colorado.

Zoning:

P-D (Planned Development) with underlying zoning of D-C (Destination Center). Governed by Roam FDP, Reception No. 2018004495. 1st Amendment at Reception No. 2019007767; 2nd Amendment at Reception No. 2019010345; and 3rd Amendment at Reception No. 2024000453. The Property is within Planning Area ("PA") 8.

Authority:

Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Planning Commission shall review and recommend or approve applications as shown in Table 5-B-3, Development Review Procedures Summary Table.

Applicable Provisions of the Unified Development Code (UDC):

UDC § 5-D-2 Classifications, B. Minor Subdivision. Such subdivision is a subdivision containing less than five lots. Proposed minor subdivisions shall require minor plat processing, and approval in accordance with Sec. 5-D-3, Minor Plat.

UDC § 5-E-1 Site Plan, A. Applicability. A site plan shall be required prior to any development activity in the Town unless exempted by Sec. 5-E-1(A)(1).

Minor Plat Procedure & Approval Criteria:

UDC § 5-D-3(E)(5): Planning Commission Action. After proper public notice, the Planning Commission shall:

- a. Receive a written recommendation from the DRC regarding the minor plat;
- b. Hold a public hearing prior to taking action on the minor plat; and
- c. By majority vote, approve or deny the minor plat as outlined in Sec. 5-A-3(C), Procedures.

UDC § 5-D-3-F.: Approval Criteria. The minor plat shall be evaluated and may be approved in accordance with the following criteria:

1. Comprehensive Plan. Conformance with the goals, objectives, and policies of the Comprehensive Plan;
2. This UDC. Conformance with the standards of this UDC;
3. Water Supply. The subdivider has provided evidence that provision has been made for a water supply that is sufficient in terms of quantity, quality, and dependability for the type of subdivision proposed;
4. Sewage System. The subdivider has provided evidence that provision has been made for a public sewage system and, if other methods of sewage disposal are proposed, adequate evidence that such system shall comply with State and local laws and regulations;
5. Natural Resources. The subdivider has provided evidence to show that all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, as well as the protection of natural resources and unique landforms, have been identified and the proposed uses of these areas are compatible with such conditions;
6. Drainage. The subdivider has provided adequate drainage improvements;
7. Historical or Cultural Resources. Significant cultural, archeologic, natural, and historical resources, and unique landforms have been protected; and
8. Public Services. Necessary services, including fire and police protection, recreation, utilities, open space, and transportation systems are available to serve the proposed subdivision.

Major Site Plan Procedure & Approval Criteria:

UDC § 5-E-1 G. 2. e.: *Planning Commission Action*. After agency and DRC comments have been resolved and proper public notice posted, the Planning Commission shall:

1. By majority vote, approve, approve with conditions, or deny the site plan as outlined in Sec 5-A-3(C), *Procedures*.
2. Hold a public hearing prior to taking action on the proposed site plan; and
3. Receive a written recommendation from the Director regarding the proposed site plan.

UDC § 5-E-1 H. Approval Criteria. The site plan shall be evaluated and may be approved in accordance with the following criteria:

1. Comprehensive Plan. Conformance with the Comprehensive Plan;
2. This UDC. Conformance with the standards of this UDC; and
3. Design Guidelines. Conformance with the Design Guidelines in Appendix A.

This report includes comments from Town staff that should be considered as a part of the application decision.

§ 5-B-8 Public Notice Requirements:

This application has had proper public notification pursuant to § 5-B-8 of the UDC. A Newspaper Publication (PUB) was published in the Middle Park Times on July 31, 2024, providing notification of the hearing and requesting comments. A Surrounding Property Owners Mailing (ML) was sent to property owners within 300' of the property on July 27, 2024. A Property Posting (PO) was posted on July 29, 2024.

No public comments have been received as of August 7, 2024.

Project Overview:

The property is governed by the Roam Final Development Plan (FDP) (Reception No. 2018004495), the Roam FDP, 2nd Amendment (Ordinance No. 527, Series 2019), and the Roam FDP, Amendment No. 3 (Ordinance No. 613, Series 2023) approved in November 2023. The proposed community amenity falls under Planning Area 8 and connects to the existing Beaver Lodge Road. The community amenity is located in Lot 1 of the proposed minor plat. A breakdown of land use is provided on Sheet 1 of the Minor Plat.

The proposed community amenity center, which is regulated by the Roam FDP, is classified as an “Outdoor recreational” use and includes uses incidental to the adjacent Roam residential neighborhood. The Roam Beavers Lodge is approximately 12,900 square feet (sq.ft.) of community amenity space, including a 5,577 sq. ft. amenity building. The indoor amenities include a gym, game room, conference room business office, restrooms, and a non-commercial kitchen amongst other storage and multipurpose rooms. The outdoor amenities include a pool, outdoor kitchen, fire pit, and a fitness spa and yoga lawn. This amenity center will replace the existing Beavers Lodge building and will have a similar footprint as the existing structure. Residents can access Beavers Lodge via a new parking lot and sidewalk, trail, and bus options.

Variances:

For the Major Site Plan application (PLN23-107), JVA noted the development requires a variance for stormwater retention. A variance request dated July 26, 2024, has been submitted and is under review. JVA anticipates approval of stormwater detention upon approval of the variance request.

In addition, two administrative waivers were approved for the project. One allowed parking in the side and front setback and waived the requirement for a loading space. The second reduced land use transition zone standards as provided in the Landscape Design Regulations and Guidelines based on site constraints.

Homeowner and Master Association Review.

Unsatisfactory. Roam Design Review Committee has not provided a letter of approval.

- The Applicant shall provide a letter from the HOA stating they have reviewed and approved the development prior to final approval of the site plan.

Density:

N/A. No dwellings units are proposed.

Access:

Satisfactory. Access to the subdivision will be provided by a paved private roadway from the existing roundabout at Beavers Lodge Road. The development will be supported by a shared access road and includes parking for the proposed and future developments. Direct access to Lot 1 is provided from a 24’ shared access easement as shown on Sheet 2 of the Minor Plat. The property owner will maintain Lot 1, the proposed amenity space, and Tract A, which is slated for future development. There is existing emergency access which connects to Hwy 40, east of the proposed amenity area. The Applicant has coordinated with CDOT to submit an access permit for the proposed emergency access and off-site improvements.

Transit:

Satisfactory: A transit stop is located east of the proposed development on Highway 40. No additional transit infrastructure is required for this plat or site plan.

Pedestrian Access:

Satisfactory: Sidewalk and trail improvements exist west of the proposed development with the Roam Filing No. 2 and Roam Filing No. 3 residential subdivisions, and along the Roam Way right-of-way. Per UDC Sec. 3-H-8, the applicant has provided additional striping for a pedestrian crosswalk at the entrance coming from the US 40 roadway connection. A multi-modal exhibit has been provided by the applicant that further illustrates the pedestrian connections.

Utilities:

Satisfactory. As mentioned, outstanding agency comments have not been addressed. The following utility reports and documents were submitted for review:

1. Master Drainage Report for Roam Beavers Lodge Community Amenity in Winter Park (March 2024)
2. GCWSD Exhibit dated July 29, 2024
3. Roam Phase I Community Amenity Stormwater Detention Variance Request Letter (July 26, 2024).

Sanitary Sewer and Water:

The project will access an existing sanitary sewer line at one point within Glade Way and a separate 18" sanitary sewer line from Beavers Lodge Road to Tract A. An 8" water line also ties into an existing line in Highway 40 and extends into the development. The Town Engineer and Grand County Water & Sanitation District #1 (GCWSD#1) reviewed the Construction Plans and Minor Plat for conformance to engineering standards and have outstanding comments.

Storm Sewer & Drainage: Storm sewer, drainage outfalls and use of water quality ponds associated with the Master Drainage Report for Roam Community Amenity in Winter Park Phase 1 are proposed throughout the development. The Town Engineer has reviewed the Construction Plans and Minor Plat for conformance to the Town's engineering standards. As stated in this report under "Variances", the applicant requested approval of an administrative variance with the Minor Plat to waive requirements for stormwater detention.

- Per JVA letter dated June 24, 2024, a Geotechnical report is required to be submitted for the subject property.

Wetlands:

Satisfactory. There is a jurisdictional wetland within the developed area that is permitted through a U.S. Army Corps of Engineers permit.

Construction Plans: ([View Construction Plans here.](#))

Not Satisfactory. The applicant resubmitted the Construction Plans for the proposed development (current date 2024-07-29) including sanitary sewer plans, water plans, storm sewer, utilities, drive plans and profiles, fire turning exhibit and grading plans. The review agencies have not had the opportunity to review the plans and are required to submit comments by August 15, 2024.

- Applicant shall address all outstanding comments from review agencies for the construction plans dated July 29, 2024 prior to final approval of construction documents by the Town.

Dimensional Standards:

Satisfactory. The Roam FDP, PA-8 Development Standards are listed below.

Lot	Min. Area (SF/Ac.)	Min. Width (ft)	Min. Depth (ft)	Front Setback	Side Setback	Rear Setback	Building Height
PA-8	N/A	N/A	N/A	5 ft.	0 ft.	10 ft.	55 ft.

Setbacks:

Satisfactory: The proposed front, side and rear setbacks are compliant with the Roam FDP and UDC. The rear setback is reduced to 7-ft as permitted by UDC Table 3-A-7, for unenclosed porches, decks, terraces, hot tubs, or pools without roofs.

Lot Area:

Satisfactory: The FDP does not designate minimum lot sizes for nonresidential uses in PA 8.

Building Height:

Satisfactory. The Roam FDP does not have a maximum height requirement for nonresidential structures in Planning Area 8. According to the UDC, the D-C zoning district has a maximum midpoint building height limited to 55'. The proposed building's highest point is 45.14 feet.

Building Coverage:

Satisfactory: Per the original Roam FDP there is not a maximum building coverage for PA-8 but it does include a maximum commercial use area. PA-8 does have a maximum Floor Area Ratio of 0.75 and the proposed development is compliant with this requirement. However, the D-C standards establish a maximum 85% building coverage. All lots are below the maximum building coverage as noted in the below table.

Area	Lots Size (SF)	Building Coverage (SF)	Max Permitted Building Coverage	Actual Max Building Coverage
Lot 1	128,176	5,577	85%	4.4%
Tract A	130,381	N/A	85%	N/A
Outlot A	117,435	N/A	85%	N/A

Parking:

Partially Satisfactory. The Site Plan provides 51 surface parking spaces, including 2 ADA parking spaces. The proposed use does not have an explicit requirement for parking, so as required by Winter Park Standards and Specifications (WPSS), Section 3.9.3, the parking will need to be approved by the Town Council.

The Applicant provided a parking exhibit with examples of three similar developments, two in Colorado and one in Mexico, which were approved and constructed with less required parking spaces. One example was The Summit Sky Ranch in the Town of Silverthorne. Staff contacted the Silverthorne Planning Department to inquire about the parking ratio applied to the development. The Summit Sky Ranch amenity center was approved at a parking ratio of 1 parking space per 500 sq. ft. of building area, or about 20 required parking spaces for the proposed development. Staff is supportive of the Applicant's proposed parking, and staff recommends the Planning Commission provide a favorable recommendation of the parking to Town Council. Council will review the parking plan in conformance with WPSS Section 3.9.3. as required through the Roam FDP.

- The Applicant shall submit a parking analysis that complies with the requirements of the Winter Park Standards and Specifications Section 3.9.3.

Bufferyards and Revegetation:

Partially satisfactory. The Roam FDP is a vested document that references the previous landscape regulations, the 1997 Landscape Design Regulations and Guidelines. These regulations entail four Land Use Transition Zones (LTZs) with each type requiring a specific quantity of trees and shrubs. Given the site constraints associated with US 40, Roam Way, the 20' utility easement and the wetlands/pond located to the east, it is not viable to accommodate all the required trees outlined in the LTZ requirements. The applicant's request for an administrative waiver of all LTZ requirements was approved. The applicant proposes providing more mature deciduous and evergreen trees, in terms of caliper and height respectively, than required by the UDC.

The Applicant submitted a Tree Protection Plan for the site. Originally, grading and construction of pickleball courts required many trees to be removed from the site. When the site was redesigned to remove the outdoor courts, the existing trees were still shown to be removed. Staff has requested that the Applicant provide justification for the continued removal of the existing trees over 4" caliper or update the Tree Protection Plan to show their protection.

- The Tree Protection Plan and Landscape Plan shall be updated to save trees over 4" caliper per the UDC and to improve the land use transition boundaries or the Applicant shall provide justification for their removal.

Building Elevations:

Partially Satisfactory. Overall, the proposed architectural design is compliant with the Winter Park Design Guidelines and Roam FDP; however, there are inconsistencies between the elevation drawings, site plan, and renderings that the applicant shall address prior to final approval. The proposed renderings include overhang on windows, but the Elevation does not show any proposed overhangs or otherwise annotate that they are provided. The Applicant will need to clarify on elevation plans and renderings if roof overhangs are provided. The proposed renderings include a shed-roofed structure along the north elevation. The elevation sheets and site plan do not include this structure. The Applicant will need to clarify on elevation plans, site plan, and renderings if the shed-roof structure attached to the north façade is provided. The retaining wall south of the proposed amenity building does not step with grade and is not built at 4-foot stepping intervals. The wall should be redesigned to align with the natural topography south of the proposed building, in compliance with the Winter Park Design Guidelines. Furthermore, if the retaining wall will not be stepped at 4-ft intervals, a waiver shall be requested from the Planning Director. On the site plan, connected to the base floor of the east facade appears to be an unenclosed patio with a set of stairs leading up to it and a door connecting it to the interior. However, on the renderings this space is empty and no door connecting to the interior is shown and the door is not shown on elevation plans. Applicant shall clarify on the renderings and site plan what is proposed for the exterior area.

- The Applicant shall address the inconsistencies between the elevation drawings, site plan, and renderings and make the required corrections per the redlined renderings, site plan and elevation drawings.
- The retaining wall south of the proposed amenity building should be redesigned to align with the natural topography south of the proposed building, in compliance with the Winter Park Design Guidelines. If the retaining wall cannot be stepped at 4-ft height intervals, a waiver shall be requested from the Planning Director.

Accessory Dwelling Unit (ADU):

N/A. No ADUs are proposed.

Floorplans:

N/A. Submittal of plans will be required upon building permit issuance.

Material and Color:

Partially Satisfactory. The material and color of the roof, siding material, windows, doors, base, and foundation for the community amenity building are provided and are overall compliant with the Roam FDP and Winter Park Design Guidelines. The materials and exterior amenity features are also provided; however, there are some inconsistencies for the proposed exterior community amenity. On the site plan, adjacent to the wetland pond on the north side there is a proposed wood terrace. However, the renderings show a material similar to stone or concrete.

- The Applicant shall annotate the correct material on the site plan and make the required corrections as identified in the redlined site plan, renderings and elevations.

Outdoor Lighting:

Partially satisfactory. Three (3) fixtures are proposed, two of which contain the International Dark Sky Association (IDA) approval stamp (UDC, § 3-K-3(A)(1)). Type S2, Outdoor Terrace Nested Lantern does not contain the International Dark Sky Association (IDA) stamp. All lighting fixtures shall be compliant with IDA standards. The Outdoor Lighting Tabulation on Major Site Plan Application Form contains proposed lighting but excludes details on Type S1 lighting fixture and must be revised to reflect the new fixture.

Fixture Name	Proposed # of Fixtures	Proposed Lumens per Fixture	Proposed CCT
Types S1 Hammerton Pendant Mounted Lantern	1	400	3000K
Type S2 Hammerton Studio Terrace Nested Lantern	20	400	3000K
Type S3 &S4 Hammerton Pendant Mounted Wall and Post Ranch Sconce.	23	400	3000K

- Applicant shall revise Outdoor Lighting Tabulation on Major Site Plan Application Form to reflect the new fixture.
- Applicant shall replace the Type S2 fixture with another lighting fixture type that is compliant with the IDA standards.
- To improve traffic safety at the entrance of the emergency access ramp, staff requests that one (1) “Type S4” post light is provided before the crosswalk which is not shown on photometric plan.

Trash Enclosures:

Satisfactory. One (1) common trash enclosure is provided for community amenity space on the east side of the drop-off traffic circle. Elevations are compliant with the UDC and Roam FDP.

Snow Storage:

Satisfactory. Snow storage is calculated for the entirety of PA-8 and Roam amenity shared parking lot. This includes all hardscapes including parking and pedestrian walks. The development is designed to provide snow storage along the shared access easement as noted on the Site Plan. Per the UDC Section 3-H-5-A, Snow Storage/ Table 3-H-5-1 Snow Storage Standards, the minimum storage area required is 25%. The Site Plan shows a Proposed Paved Area of 53,259 SF requiring a minimum storage area of 13,314 SF at 25%. The Site Plan proposes 16,927 SF of snow storage with the largest area at the terminus of the main drive aisle in Tract A. The Applicant also continues to work with the Town's Public Works Department to identify a larger snow storage area for street plowing deposits.

Grading and Drainage:

Satisfactory: The Master Drainage Report for Roam Community Amenity of Winter Park was included with the most recent submittal, dated July 2024. As described above, this site complies with Town and Mile High Standards. The report from TKE Civil and Structural Engineering was used as the basis of design for offsite flows and basins tributary to the site. The rational method was used to determine peak flows and the Mile High spreadsheet forms were used to size the inlets for runoff produced by the site. Based on recommendation of the drainage report, an administrative variance request from stormwater drainage requirements of Section 8.1 of the Winter Park Standards and Specifications has been submitted, dated July 26, 2024.

5% Land Dedication:

Satisfactory: The recorded Annexation Agreement 4.3 states: *Subject to FRDC's performance of its obligations to make the dedications of Public Active Open Space described in the FDP, the Town may not impose any additional open space dedications or payments in lieu thereof for the Project.*

Furthermore, the FDP, Section 9, states: *In consideration of FRDC's conveyances of the Public Active Open Space, designation of Private Active Open Space and construction of public improvements in the Parks, all in accordance with the terms of this Section, no additional public open space dedications or payments in lieu thereof, of any kind, type or sort, shall be required with respect to any portion of the Project. Without limiting the generality of the foregoing, individual subdivision submissions to the Town will not be required to independently satisfy the five percent (5%) public open space requirements of Town Code.*

No land dedication is required in association with this minor plat.

School Impact Fee:

Satisfactory: Annexation Agreement 4.2 states FRDC shall pay applicable school impact fees or make required dedications in lieu thereof for any given Phase of the Project. The school impact fees shall be calculated and payable at the time of issuance of the first building permit within such Phase. The required School Impact Fees will be required to be submitted prior to issuance of the first building permit within the Minor Plat.

Development Improvements Agreement (DIA):

Not Satisfactory: A Development Improvement Agreement has not been submitted. An [Engineers' Estimate of Probable Cost \(EEOPC\)](#) was submitted and is currently under review. The DIA and EEOPC include improvements (water, sewer, roadway, landscaping, drainage/erosion control, etc.) associated with the proposed project guaranteed (120%). The DIA shall be approved prior to site disturbance.

Review Agency Comments: ([View agency comment letters here.](#))

- **CDOT**

On August 6, 2024, Brian Killian, Region 3 Access Program Manager stated there are no further comments. Applicant has submitted an access permit to convert Hwy 40 access to an emergency access.

 - Prior to final approval of the site plan and plat, CDOT shall issue an access permit to convert Hwy 40 access to an emergency access.

- **East Grand Fire Protection District No. 4**

On July 12, 2024, Assistant Fire Chief/Fire Marshal, Dennis Soles, provided a letter stating that all comments from their previous letter dated June 19, 2024, had been addressed and EGFPD does not have any further comments.

- **Grand County Water and Sanitation District #1 (GCWSD)**

On June 24, 2024, Cooper Karsh, Senior Engineer at JVA representing the District indicated a need for preliminary utility design and a requirement of preliminary acceptance of the sewer main prior to approval of the Site Plan by the District.

 - Applicant shall address to GCWSD's satisfaction, all comments in the June 24, 2024, letter.

- **JVA**

On June 24, 2024, Cooper Karsh, Senior Engineer at JVA representing the District indicated a requirement for a Geotechnical Report, Traffic Analysis, stormwater variance, CDOT review/approval of construction in Hwy 40 right-of-way, requirements for swimming pool compliance, relocation of snow storage drainage easement, compliance with WPSS for the drive connection at the roundabout, required signage, ADA compliance for curb, ramps and parking, and inclusion of existing contours and utilities on grading plans,.

 - Applicant shall address to JVA's satisfaction, all comments in the June 24, 2024, letter.

- **Mountain Parks Electric, Inc.**

On June 13, 2024, Jean Johnston, Right of Way Specialist, stated concerns with landscaping near facilities, proper facility separation and setbacks, a need for a color-coded overall utility plan, and inclusion of meters on the elevation drawings.

 - Applicant shall address to MPEI's satisfaction, all comments in the June 13, 2024, email.

- **Xcel Energy**

On August 1, Julie Gittins, Design Planner, stated revisions were needed to address plat notes, to show the new gas main on the GCWSD Exhibit as it relates to the utility easements and to modify plans to remove Gas lines from under a window/opening.

 - Applicant shall address to Xcel's satisfaction, all comments in the August 1, 2024, email.

As previously stated, there are outstanding comments from review agencies. Comments from remaining review agencies above are due August 15, 2024. Letters were sent to the following agencies, but comments have not yet been received.

- Comcast
- East Grand School District
- Grand County Assessor
- Lumen

Inspection:

Building Division staff have not performed a Pre-Disturbance inspection of the property.

Plat:

Satisfactory. Staff has reviewed Minor Plat for conformance with the Roam FDP and UDC. Applicant has adequately addressed all Planning Division comments dated January 29, 2024.

Staff Recommendation:

Staff finds the applicant has submitted all required materials within the timeframe required and all other materials comply with the conditions of § 5-D-3 and § 5-E-1 of the UDC and conform to all applicable policies and regulations of the UDC. Staff therefore recommends approval subject to the following conditions:

1. Applicant shall address all outstanding comments from review agencies for the construction plans dated July 29, 2024, prior to final approval of construction documents by the Town.
2. The Applicant shall provide a letter from the HOA stating they have reviewed and approved the development prior to final approval of the site plan.
3. The Applicant shall submit a parking analysis that complies with the requirements of UDC 3-H-3 and the Winter Park Standards and Specifications Section 3.9.3.
4. The Tree Protection Plan and Landscape Plan shall be updated to save trees over 4" caliper per the UDC and to improve the land use transition boundaries or the Applicant shall provide justification for their removal.
5. The Applicant shall address the inconsistencies between the elevation drawings, site plan, and renderings and make the required corrections per the redlined renderings, site plan and elevation drawings.
6. The retaining wall south of the proposed amenity building should be redesigned to align with the natural topography south of the proposed building, in compliance with the Winter Park Design Guidelines. If the retaining wall will not be stepped at 4-ft high intervals, a waiver shall be requested from the Planning Director.
7. The Applicant shall annotate the correct building materials on the site plan and make the required corrections as identified in the redlined site plan, renderings and elevations.
8. Applicant shall revise Outdoor Lighting Tabulation on Major Site Plan Application Form to reflect the new fixture.
9. Applicant shall revise Outdoor Lighting Tabulation on Major Site Plan Application Form to reflect the new fixture.
10. The Applicant shall replace the Type S2 fixture with another lighting fixture type that is compliant with the IDA standards.
11. To improve traffic safety at the entrance of the emergency access ramp, staff requests that one (1) "Type S4" post light is provided before the crosswalk which is not shown on photometric plan.

12. Applicant shall address to GCWSD's satisfaction, all comments in the June 24, 2024, letter.
13. Applicant shall address to JVA's satisfaction, all comments in the June 24, 2024, letter.
14. Applicant shall address to Xcel's satisfaction, all comments in the August 1, 2024, email.
15. Applicant shall address to MPEI's satisfaction, all comments in the June 13, 2024, email.

Sample Motion for Approval:

I move to approve of the Minor Plat (PLN23-107) and the Major Site Plan (PLN23-108) for Roam Community Amenity as it was determined the applications are in conformance with §§ 5-D-3 and 5-E-1 of the UDC with the staff conditions to be met and/or provided prior to any final approval or recording.

Sample Motion for Denial:

I move to deny the Minor Plat (PLN23-107) and the Major Site Plan (PLN23-108) for Roam Community Amenity as it was determined the applications are NOT in conformance with §§ 5-D-5 or 5-E-1 of the UDC *[insert explanation supported by the evidence here]*.



P.O. Box 3327
50 Vasquez Road, Winter Park, CO, 80482
Phone: 970-726-8081 Fax: 970-726-8084
wpgov.com

Land Use Review Application Form

Contact Information

Property Owner

Blake Johnson, Representative, President

Company

Roam Metropolitan District

Phone #

303 807-4381

Email Address

bjohnson@devilsthumbranch.com

Representative (i.e., the point of contact)

Jeff Vogel

Company

Vogel & Associates

Phone #

303-893-4288

Email Address

jvogel@vogelassoc.com

Billing Contact (where invoices should be directed)

Blake Johnson

Company

Roam Metropolitan District

Mailing Address

1500 Wynkoop St, Suite 200

Phone #

303 807-4381

Email Address

bjohnson@devilsthumbranch.com

City

Denver

State Zip

CO 80202

Site Description

Site Address

Tract B, Roam Filing No. 3 a replat of remainder of Parcel D, Roam Filing No. 2. A part of Section 33, Township 1 South, Range 75 West of the Sixth Principal Meridian, Town of Winter Park, County of Grand, State of Colorado.

Existing Zone Classification

Roam FDP D-C

Parcel Identification Number(s) (PIN)

Site Area (acres and sq. ft.)

97,780 SF (2.24 Ac)

Project Description

Project Name

Roam - Beavers Lodge Community Amenity

Brief description of the proposed project

The Roam Beavers Lodge is proposed to be constructed within Planning Area 8 where the existing Beavers Lodge is currently located. The intent is to demo the existing lodge and construct within the same general footprint for the proposed building. This building is located at the northeast corner of US HWY 40 and Roam Way. This will be an amenity center with no dwelling or lodging units. Please refer to the narrative for a list of amenities featured within the Lodge.

Required Documents

For an application to be considered complete and for Planning Division staff to begin review and schedule any applicable public hearings, this Land Use Review Application Form must be fully completed and all required attachments included. Staff will review the application for completeness and notify the representative and/or owner whether the application has been deemed complete.

Certifications

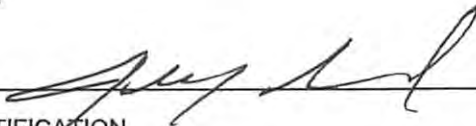
REPRESENTATIVE CERTIFICATION

By signing this application, I attest that I am acting with the knowledge and consent of all owners of the property that is the subject of this application, and that I have been designated to act as the representative for the project described in this land use application. I further certify that all information submitted with this application is true and accurate to the best of my knowledge.

Representative

Date

Jeff Vogel



10.30.23

OWNER CERTIFICATION

I hereby certify that I am the legal owner of record of the property that is the subject of this application. I authorize the representative listed on this application, if any, to communicate directly with Town officials and to submit documentation and information regarding this application on my behalf.

Owner

Date



10.30.2023

In addition to the base fees the applicant is required to pay the cost of any referral agency reviews, public notices, hearings, and record keeping as outlined within § 5-B-6, Application Fees, in the UDC.

Development Improvements Dedications, Agreements, and Guarantees (Article 4.B)	Site Development and Permit Decisions (Article 5.E)
<input type="checkbox"/> Development Improvements Agreements (DIA)	<input checked="" type="checkbox"/> Major Site Plan*
<input type="checkbox"/> Public Improvement Cost-Recovery Agreement	<input type="checkbox"/> Minor Site Plan
Standardized Development Review Procedures (Article 5.B)	<input type="checkbox"/> Administrative Site Plan
<input type="checkbox"/> Pre-Application Conference	<input type="checkbox"/> Special Use Permit (Including High-Impact Short-Term Rentals)*
<input type="checkbox"/> Renewal of Approvals	<input type="checkbox"/> Limited Use Authorization
<input type="checkbox"/> Vested Rights	<input type="checkbox"/> Temporary Use Permit
Ordinance and Zoning Amendment Decisions (Article 5.C)	<input type="checkbox"/> Floodplain Development Permit
<input type="checkbox"/> Text Amendment	<input type="checkbox"/> Lighting by Special Permit
<input type="checkbox"/> Rezoning	<input type="checkbox"/> Parking Reductions and Alternative Parking Plan Permit
Rezoning to Planned Development: <input type="checkbox"/> Preliminary Development Plan* <input type="checkbox"/> Final Development Plan* <input type="checkbox"/> Amended Final Development Plan*	<input type="checkbox"/> Street Renaming
<input type="checkbox"/> Annexation*	Appeal, Variance, and Interpretation Decisions (Article 5.F)
Subdivision and Platting Decisions (Article 5.D)	<input type="checkbox"/> Appeal
<input type="checkbox"/> Exemption Plat	<input type="checkbox"/> Appeal of Administrative Decisions
<input checked="" type="checkbox"/> Minor Plat*	<input type="checkbox"/> Variance*
<input type="checkbox"/> Preliminary Plat*	<input type="checkbox"/> Written Interpretation
<input type="checkbox"/> Final Plat*	
<input type="checkbox"/> Resubdivision*	
<input type="checkbox"/> Waiver*	
<input type="checkbox"/> Vacation of Plat, Street, Right of Way, and Easement*	
<input type="checkbox"/> Condominium Plat	
Table Notes: *Pre-Application Conference required	

Instructions for Submitting the Land Use Review Application Form

Definitions

- Words in the singular include the plural and words in the plural include the singular.
- APPLICATION refers to the official submittal to the Town's Planning Division for review of the proposed land use development identified in the Land Use Review Application Form. The application includes the form, all materials submitted for review of the project, including those documents required by the Unified Development Code (the "UDC") and any additional information provided.
- PROJECT refers to the land use development identified on this Form and application materials.
- PROPERTY refers to the land that is being proposed for development as described in this Form and application materials.

General Notes

If information will not fit in the space provided,

A. CONTACT INFORMATION

1. Provide contact information for all owners of any property that is the subject of the application. Submit a separate sheet for the additional owners if information will not fit in space provided.
2. Provide contact information for all persons, firms or businesses that are authorized by the owners identified in Section A(1) to work on the land use application, including, but not limited to, discussing the project, submitting application materials, and attending meeting and hearings.
3. Provide contact and mailing information for the person that should receive all invoices for the project. If the Billing Contact changes at any time, contact the Planning Division immediately to update this information.

B. SITE DESCRIPTION

Parcel identification numbers (PINs) and address information may be found at the Grand County Property Viewer. Current zoning may be found on the Town of Winter Park's website.

APPLICATION TYPE

- C. Select the land use application type that is applicable to the project. If there are multiple land use application types being submitted to run concurrently, select all that apply. The land use application types will be identified during the Pre-Application Conference (if required).

PROJECT DESCRIPTION

- D. Select a project name that will be referenced throughout the project and a description of what the project entails. If you need more space for the project description, attach a separate sheet.

REQUIRED ITEMS

- E. Required documents will be discussed during the Pre-Application Conference with the Planning Division, if required. If any documents are missing, the acceptance of the application may be delayed until the submittal is complete.

F. CERTIFICATIONS

Representative Certification. Provide the signature of all authorized representatives in this section. Owner Certification. Provide the signature of all owners of properties included in the application in this section.

For any other questions, contact the Planning Division at permits@wpgov.com



VOGEL & ASSOCIATES
Integrated Planning with Innovative Solutions

November 10, 2023

Mr. James Shockey, Town Planner
Town of Winter Park
50 Vasquez Road
P.O. Box 3327
Winter Park, Colorado 80482

**Re: Roam - Community Amenity
Major Site Plan Application**

Dear James,

I am pleased to submit on behalf of the Fraser River Development Company, the Major Site Plan Application for the Roam community amenity center. This proposed project is located at the northeast corner of US HWY 40 and Roam Way.

Outlined below is a summary of the project and the respective documents included with this submittal.

The Roam community amenity is proposed to be constructed within Planning Area 8 where the existing Beavers Lodge is currently located. The intent is to demo. the existing lodge and construct within the same general footprint for the proposed building. This building is located at the northeast corner of US HWY 40 and Roam Way.

Access to the lots will be provided via the proposed private road within Planning Area 8 development which connects to the existing round-a-about on Beavers Lodge Road. There will also be a gated emergency vehicle access point via the existing ramp along US HWY 40. This facility is to service as a Roam community amenity. Residents will access the amenity via sidewalk, trails, bus and automobile. All parking requirements have been achieved utilizing a portion of the southernmost parking lot that is proposed to be located within Planning Area 8 (PA-8).

A preliminary site plan, schematic architectural plans, floor plans, elevations and sections have been developed for the proposed community amenity. The amenity is proposed to be approximately 9,936 sf of conditioned space and approximately 1,639 sf of non-conditional patio/attached deck space. The entirety of the Lodge will be an amenity center with no dwelling or lodging units. Below is a list of proposed amenities featured within the Lodge.

Lodge Amenities:

- Fitness/Gym (with stretching terrace)
- Stair/Elevator
- Skate storage
- Mechanical storage
- Game room
- Conference room
- Business office
- Kitchen (Non-commercial kitchen)
- Multi-purpose room
- Outdoor terrace
- Common Area
- Office
- Mens and Women's restrooms

Outdoor Community Amenities

- Community Pool and Spa
- Outdoor pavilion
- Multi-use passive open space
- Fire pit
- Pedestrian circulation
- Fitness Spa and Yoga Lawn

A. Project Name: Roam – Beavers Lodge Community Amenity

B. Street Address: Tract B, Roam Filing No. 3 a replat of remainder of Parcel D, Roam Filing No. 2. A part of Section 33, Township 1 South, Range 75 West of the Sixth Principal Meridian, Town of Winter Park, County of Grand, State of Colorado.

C. Project Team:

Builder/Owner: Fraser River Development Company
1500 Wynkoop St, Suite 200
Denver, CO. 80202

Applicant: Jeff Vogel
Vogel & Associates
165 S. Union Boulevard., Suite 400
Lakewood, CO. 80228
(303) 893-428

Architect: PVD Project Management
And Design
Peter Van Dusen
2896 S. Gaylord St.
Denver, CO. 80210
(303) 246-5530

Civil Engineer: Core Consultants
David Forbes, Todd Wolma
3473 South Broadway
Englewood, CO. 80113
(303) 703-4444

D. Legal Description: PARCEL B AND PARCEL C OF ROAM FILING NO.1., A PART OF THE EAST HALF OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO.

E. Zoning District: Existing Zoning – ROAM FDP (D-C)

F. Lot Size: 97,780 SF (2.24 Ac)

G. Proposed Uses: Amenity Center (Indoor and Outdoor amenities, see list above)

H. Number of dwelling units: N/A (No proposed Dwelling units)

I. Number of bedrooms per dwelling unit: N/A

J. Size of residential and nonresidential space:

Residential Space: N/A

Nonresidential Space: 9,936 SF

K. Number of proposed off-street parking spaces: The proposed community center will serve Roam residents. Roam is designed as a multi-modal community that utilizes transit, vehicle circulation and an extensive pedestrian system to access planning areas including the proposed community amenity. As illustrated in the enclosed parking and circulation exhibit, the community amenity is located adjacent to an existing transit stop and is designed to include fifty one (51) surface parking spaces.

As discussed in the pre-application meeting, other community club amenities that have been constructed in other residential resort communities is included as comparable in terms of parking that has been provided. Some of these facilities include vehicle and pedestrian access while others have predominately automobile access only. As illustrated on the attached, the parking proposed for the Roam community amenity is commensurate with other similar facilities. Given the comprehensive pedestrian network and transit stop, residents will have multiple alternatives to access the amenity.

L. Construction Schedule:

Estimated Construction Start: September 2024

Estimated Construction Completion: May 2026

Upon review, we will be available to meet and discuss further.

Sincerely,

Vogel & Associates, LLC

Jeffery Vogel, AICP

Principal

MINOR PLAT
BEAVERS LODGE COMMUNITY AMENITY
A REPLAT OF TRACT A, TRACT B AND OUTLOT A, ROAM FILING NO. 3, RECORDED AT RECEPTION NUMBER 2023003456
PART OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO

DEDICATION

KNOW ALL MEN BY THESE PRESENTS: THAT FRASER RIVER DEVELOPMENT CO LLC, A COLORADO LIMITED LIABILITY COMPANY IS THE OWNER OF THAT REAL PROPERTY SITUATE IN THE TOWN OF WINTER PARK, GRAND COUNTY, COLORADO, MORE FULLY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND BEING TRACT A, TRACT B AND OUTLOT A, ROAM FILING NO. 3, A SUBDIVISION PLAT RECORDED JUNE 16, 2023, AT RECEPTION NO. 2023003456 IN THE RECORDS OF THE GRAND COUNTY CLERK AND RECORDER'S OFFICE, SITUATED IN SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO.

AREA = 375,992 SQ. FT., 8.632 ACRES, MORE OR LESS.

THAT HE HAS CAUSED SAID REAL PROPERTY TO BE LAID OUT AND SURVEYED AS BEAVERS LODGE COMMUNITY AMENITY, AND DOES HEREBY DEDICATE AND SET APART ALL THE STREETS, ALLEYS AND OTHER PUBLIC WAYS AND PLACES SHOWN ON THE ACCOMPANYING PLAT FOR THE USE OF THE PUBLIC FOREVER, AND DOES HEREBY GRANT TO THE TOWN OF WINTER PARK USE OF THOSE PORTIONS OF SAID REAL PROPERTY WHICH ARE INDICATED AS EASEMENTS ON THE ACCOMPANYING PLAT AS PERMANENT PUBLIC EASEMENTS. IN WITNESS WHEREOF, ROBERT C. FANCH AS MANAGER OF FRASER RIVER DEVELOPMENT CO LLC, A COLORADO LIMITED LIABILITY COMPANY HAS CAUSED HIS NAME TO BE HEREUNTO SUBSCRIBED THIS DAY OF _____, 20____.

ROBERT C. FANCH AS MANAGER OF
FRASER RIVER DEVELOPMENT CO LLC, A COLORADO LIMITED LIABILITY COMPANY

STATE OF COLORADO)
)SS
COUNTY OF GRAND)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS DAY OF _____, 20____, BY ROBERT C. FANCH AS MANAGER OF FRASER RIVER DEVELOPMENT COMPANY, LLC.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC _____

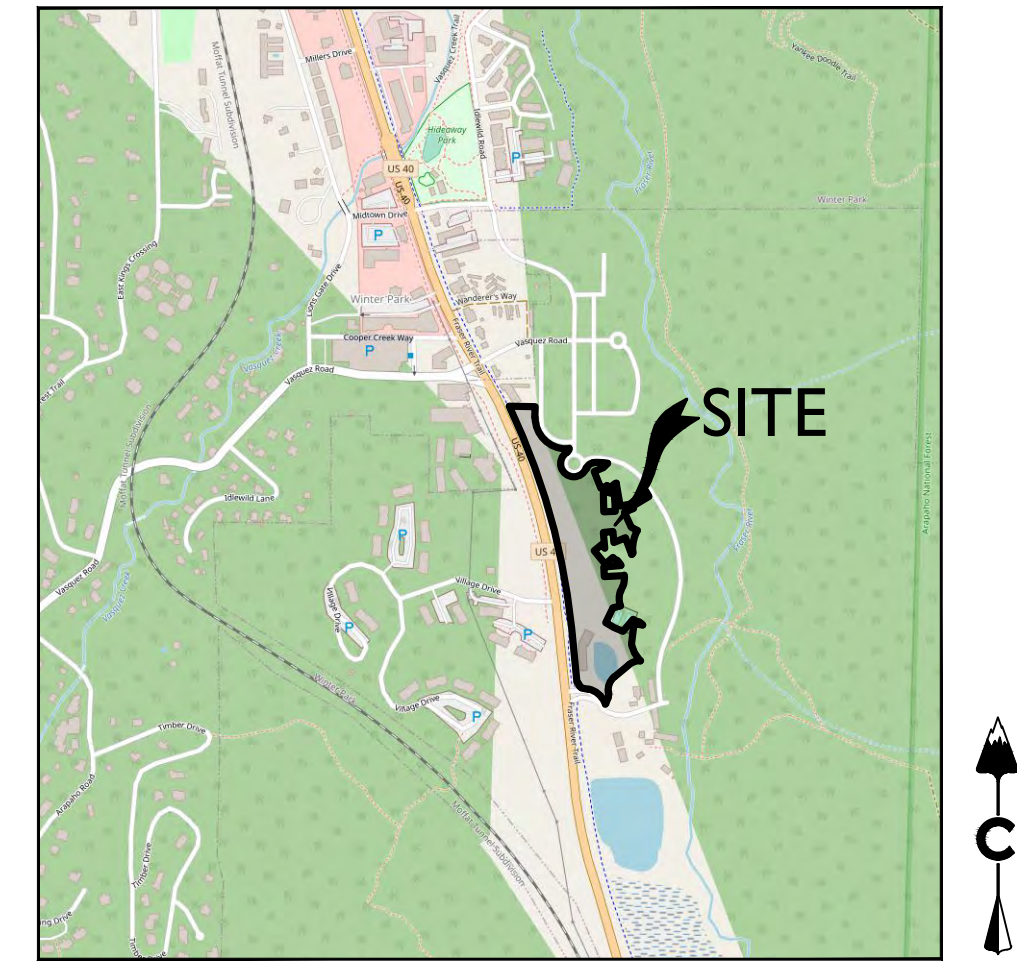
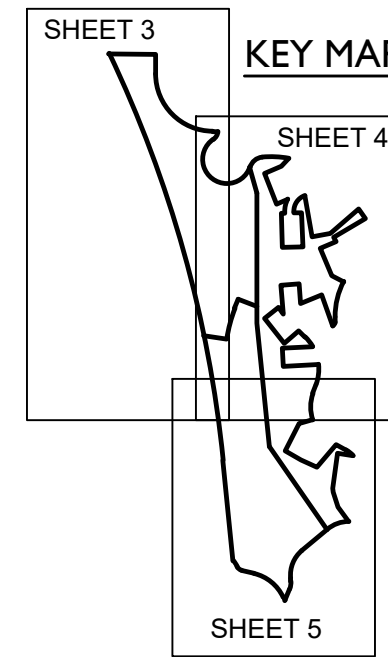
ESTOPPEL CERTIFICATE

WE, FRASER RIVER DEVELOPMENT COMPANY, LLC, THE OWNER OF THE PROPERTY INCLUDED IN BEAVERS LODGE COMMUNITY AMENITY, CERTIFY THAT THIS FINAL PLAT AND THE SUBDIVISION IMPROVEMENT AGREEMENT TO BE EXECUTED IN CONNECTION WITH THIS FINAL PLAT, IF REQUIRED, EMBODY THE ENTIRE AGREEMENT BETWEEN THE OWNER OF SAID PROPERTY AND THE TOWN WITH REGARD TO THE SUBDIVISION OF SAID PROPERTY, AND THAT THE OWNER IS NOT RELYING UPON ANY OTHER REPRESENTATIONS, WARRANTIES, UNDERSTANDINGS, OR AGREEMENTS IN CONNECTION WITH ANY MATTER ENCOMPASSED BY THIS PLAT OR THE SUBDIVISION IMPROVEMENT AGREEMENT IF REQUIRED, EXCEPT AS SET FORTH ON THIS PLAT OR IN SAID SUBDIVISION IMPROVEMENT AGREEMENT.

ROBERT C. FANCH AS MANAGER OF
FRASER RIVER DEVELOPMENT CO LLC, A COLORADO LIMITED LIABILITY COMPANY

SURVEY NOTES:

- 1.) BEARINGS SHOWN ON THE ACCOMPANYING PLAT ARE BASED ON THE NORTH LINE OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEING ASSUMED TO BEAR N 89° 55' 46" E, BETWEEN THE CENTER-NORTH SIXTEENTH CORNER OF SAID SECTION 33, MONUMENTED BY A 2-1/2" DIAMETER BRASS CAP STAMPED "PLS 34592 - 2023", AND THE NORTH SIXTEENTH CORNER COMMON TO SECTIONS 33 AND 34, MONUMENTED BY A 2-1/2" DIAMETER ALUMINUM CAP STAMPED "11415 - 1997", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.
- 2.) SET 18" LONG #5 REBAR WITH 1-1/4" OUTSIDE DIAMETER, ORANGE PLASTIC CAP MARKED "PLS 38818" AT ALL BOUNDARY CORNERS UNLESS OTHERWISE NOTED.
- 3.) THE EXTERIOR BOUNDARY, RECORDED EASEMENTS AND RIGHTS-OF-WAY, IF ANY, ARE SHOWN ON THE ACCOMPANYING PLAT AS DISCLOSED IN THE LAND TITLE GUARANTEE COMPANY COMMITMENT NUMBER RND60018553-4, WITH AN EFFECTIVE DATE OF 04/11/2024, AT 5:00 P.M. LANDS SHOWN HEREON MAY ALSO BE SUBJECT TO THE EXCEPTIONS CONTAINED IN SAID COMMITMENT NUMBER. OTHER INTERESTS OR EASEMENTS MAY EXIST. NO ADDITIONAL RESEARCH WAS COMPLETED BY CORE CONSULTANTS, INC.
- 4.) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT FLOOD INSURANCE RATE MAP NUMBERS 08049C0991C AND 08049C0992C, WITH AN EFFECTIVE DATE OF JANUARY 2, 2008, THE SUBJECT PROPERTY LIES WITHIN OTHER FLOOD AREAS-ZONE X, "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 ONE FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE." AND WITHIN OTHER AREAS-ZONE X, "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN." THE FEMA REGULATORY FLOODWAY WAS SCALED FROM THE MAP AND IS APPROXIMATED HEREON.
- 5.) THE PARCEL MAY BE SUBJECT TO RIGHTS, INTERESTS, AGREEMENTS, OBLIGATIONS, RIGHTS-OF-WAY OR EASEMENTS IN FAVOR OF ANY PERSON OR ENTITY BURDENING THE SUBJECT PROPERTY WHICH EXIST OR ARE CLAIMED TO EXIST WITH RESPECT TO: A) ANY IRRIGATION DITCH AND/OR LATERAL; (B) RESERVOIR AND/OR RESERVOIR RIGHTS; (C) SPRINGS AND/OR SPRING RIGHTS; (D) WELL AND/OR WELL RIGHTS; AND (E) THE WATER AND/OR WATER RIGHTS ASSOCIATED WITH THE FOREGOING WHICH MAY BE LOCATED UPON THE LAND OR ASSOCIATED WITH THE LAND.
- 6.) THE U.S. SURVEY FOOT WAS USED FOR ALL MEASUREMENTS ON THIS SURVEY. PURSUANT TO C.R.S. 38-52.103(2) METRIC CONVERSION IS: ONE METER EQUALS 3937/1200 FEET.
- 7.) FIELD MOBILIZATIONS WERE COMPLETED ON SEPTEMBER 14, 2023, SEPTEMBER 18 2023, AND APRIL 18, 2024. CONVENTIONAL AND GPS RTK MEASUREMENTS WERE UTILIZED TO COMPLETE THE FIELD WORK.
- 8.) LEGAL DESCRIPTION PREPARED BY DAVID J. BERGLUND, ON BEHALF OF CORE CONSULTANTS, INC. 3473 S. BROADWAY, ENGLEWOOD, CO 80113.
- 9.) WETLANDS LIMITS SHOWN HEREON ARE PROVIDED BY THE LAND PLANNER.
- 10.) ALL DIMENSIONS SHOWN HEREON ARE PER THE PLAT OF ROAM FILING NO. 3 RECORDED AT RECEPTION NUMBER 2023003456 AND AS MEASURED.
- 11.) THE TEMPORARY LANDSCAPE EASEMENT RECORDED MARCH 18, 2022 AT RECEPTION NO. 2022002407, DEPICTED HEREIN, DESCRIBES A TEMPORARY EASEMENT FOR ACCESS TO AND INSTALLATION, PLANTING, MAINTENANCE AND CARE OF TREES AND OTHER LANDSCAPING MATERIALS AND RELATED FACILITIES FOR A 2 YEAR PERIOD AFTER THE COMPANY HAS COMPLETED THE INITIAL INSTALLATION OF THE LANDSCAPE MATERIALS AND FACILITIES. THE INITIAL INSTALLATION DATE IS UNKNOWN TO THIS SURVEYOR. CONSEQUENTLY, THE TEMPORARY EASEMENT MAY STILL BE IN EFFECT AT THE TIME OF RECORDATION OF THIS PLAT.



LAND USE DEFINITIONS:

OSP: OPEN SPACE PRIVATE
 FD: FUTURE DEVELOPMENT
 D.E.: DRAINAGE EASEMENT
 U.E.: UTILITY EASEMENT
 S.S.E.: SNOW STORAGE EASEMENT
 COM: COMMERCIAL / RETAIL
 FRDC: FRASER RIVER DEVELOPMENT COMPANY
 METRO: ROAM METROPOLITAN DISTRICT

SHEET INDEX

SHEET 1	COVER, NOTES, SIGNATORY
SHEET 2	OVERALL
SHEET 3	DETAIL, SNOW STORAGE, TABLES
SHEET 4	DETAIL, SNOW STORAGE, TABLES
SHEET 5	DETAIL SNOW STORAGE

PLANNING AREA SUMMARY						
PLANNING AREA	USE	AREA (ACRES)	FDP APPROVED DENSITY (MAX RESIDENTIAL UNITS)	BEAVERS LODGE COMMUNITY AMENITY DENSITY (TOTAL RESIDENTIAL UNITS)	FDP APPROVED MAXIMUM COMMERCIAL AREA (SF)	BEAVERS LODGE COMMUNITY AMENITY COMMERCIAL AREA (SF)
PA - 8	MIXED USE	6.9	173	0	225,423	128,176

SUBDIVISION LAND AREA SUMMARY					
TYPE	AREA (SF)	AREA (AC)	LAND USE	OWNERSHIP	MAINTENANCE
LOT 1	128,176	2.943	COM	FRDC	PARCEL OWNER
OUTLOT A	117,435	2.696	OSP	METRO	METRO
TRACT A	130,381	2.993	FD	FRDC	PARCEL OWNER
TOTAL	375,992	8.632			

DEVELOPMENT NOTES:

- 1.) THE PURPOSE OF THIS PLAT IS TO RE-PLAT TRACT A, TRACT B AND OUTLOT A INTO LOT 1, OUTLOT A AND TRACT A AND TO DEVELOP LOT 1.
- 2.) THE GEOTECHNICAL REPORT REQUIRES THAT ALL STRUCTURES HAVE ENGINEERED FOUNDATIONS. A SITE SPECIFIC SOIL AND FOUNDATION REPORT IS REQUIRED TO BE PROVIDED WITH SUBMITTAL OF A BUILDING PERMIT APPLICATION TO THE TOWN OF WINTER PARK BUILDING DEPARTMENT THAT RECOMMENDS THE MOST APPROPRIATE FOUNDATION SYSTEM FOR EACH STRUCTURE. SUBSURFACE STRUCTURES AND IMPROVEMENTS SHALL COMPLY WITH GEOTECHNICAL REPORT INCLUDING GROUNDWATER RECOMMENDATIONS.
- 3.) PARKING REQUIREMENTS SHALL COMPLY WITH THE TOWN OF WINTER PARK STANDARDS AND SPECIFICATIONS FOR DESIGN AND CONSTRUCTION.
- 4.) LOT OWNERS ARE RESPONSIBLE FOR SNOW REMOVAL WITHIN THE PRIVATE STREETS. SNOW SHALL NOT BE PUSHED OR STORED ON PUBLIC RIGHT-OF-WAY. DURING MAJOR SNOW EVENTS, SNOW IS TO BE HAULED OUT. THE TOWN OF WINTER PARK SHALL BE RESPONSIBLE FOR SNOW REMOVAL WITHIN THE TERMS OUTLINED IN THE ROAM FINAL DEVELOPMENT PLAN SECTION 7.2.1.3.
- 5.) WILDLIFE WILL BE PROTECTED BY THE FOLLOWING MEASURES:
 A) ALL DOMESTIC DOGS WILL BE UNDER CONTROL OF THE OWNER WHEN OUTSIDE OF THE HOME;
 B) ALL DOGS WILL BE REQUIRED TO BE ON A LEASH;
 C) HIKE/BIKE TRAILS WILL BE SITED TO AVOID WILDLIFE AREAS TO THE EXTENT PRACTICABLE;
 D) ALL TRASH RECEPTACLES SHALL BE WILDLIFE PROOF CONTAINERS; AND
 E) ANY FENCING INSTALLED ON THIS SUBDIVISION SHALL CONFORM TO THE DESIGN CRITERIA OF THE COLORADO DIVISION OF WILDLIFE PUBLICATION TITLED "FENCING WITH WILDLIFE IN MIND."
- 6.) TO PROTECT AGAINST WILDFIRES AND ENHANCE FOREST HEALTH THE FOLLOWING WILDFIRE MITIGATION MEASURES ARE REQUIRED:
 A) WATER HYDRANTS WILL BE SITED AT APPROPRIATE DISTANCES;
 B) ALL DEAD VEGETATION LOCATED WITHIN 50' OF A STRUCTURE SHALL BE PRUNED OR REMOVED; AND
 C) UTILITIES WILL BE CONSTRUCTED UNDERGROUND.
- 7.) ALL WETLANDS OR AREAS SUSPECTED TO BE WETLANDS, TO BE PROTECTED FROM DAMAGE BY SNOW PLOWING, STORAGE, AND REMOVAL. ALL SEASONAL MARKINGS, OR OTHER PRACTICE TO ENSURE VEHICLES AND SNOW MOVING ACTIVITIES DO NOT AFFECT WETLAND VEGETATION OR SOILS.
- 8.) TO ENSURE STORM DRAINAGE FACILITIES FUNCTION AS THEY ARE DESIGNED TO, CONTINUED MAINTENANCE IS REQUIRED. THE ROAM METROPOLITAN DISTRICT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES, INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THE BEAVERS LODGE COMMUNITY AMENITY SUBDIVISION PLAT. SHOULD THE ROAM METROPOLITAN DISTRICT FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE PURPOSE OF OPERATIONS AND MAINTENANCE, ALL SUCH COSTS WILL BE ASSESSED TO THE ROAM METROPOLITAN DISTRICT.
- 9.) PER THIS PLAT, A BLANKET EASEMENT UPON, ACROSS, ABOVE, OVER, UNDER AND THROUGH THE SUBJECT PROPERTY IS GRANTED TO MOUNTAIN PARKS ELECTRIC, INC. FOR THE PURPOSE OF INGRESS TO AND EGRESS FROM, AND THE INSTALLATION, REPAIR, REPLACEMENT, OPERATION AND MAINTENANCE OF AN ELECTRIC DISTRIBUTION SYSTEM, INCLUDING ELECTRIC LINES AND ALL ASSOCIATED FACILITIES.
 WITH RESPECT TO THE ELECTRIC UTILITY EASEMENT GRANTED HEREBY, NO PART OF A STRUCTURE (INCLUDING DECKS, OVERHANGS, FOOTERS, ETC) SHALL BE ALLOWED CLOSER THAN TEN FEET (10') FROM ANY PRIMARY VOLTAGE POWER LINES OR WITHIN TEN FEET (10') AROUND ANY ABOVE GROUND EQUIPMENT. NO OTHER UTILITY LINE (WHETHER GAS, WATER, SEWER OR OTHER UTILITY) SHALL BE ALLOWED CLOSER THAN FIVE FEET (5') FROM ANY PRIMARY VOLTAGE POWER LINES OR WITHIN FIVE FEET (5') AROUND ANY ABOVE GROUND EQUIPMENT. NOT WITHSTANDING THE FOREGOING, UNDERGROUND COMMUNICATION FACILITIES SHALL NOT BE CLOSER THAN ONE FOOT (1') TO ANY POWER LINES AND ABOVE GROUND COMMUNICATION FACILITIES SHALL NOT BE CLOSER THAN TWO FEET (2') TO ANY ABOVE GROUND ELECTRIC FACILITIES. NO GRADE CHANGES (FILL OR CUT) IN EXCESS OF SIX INCHES (6") ARE PERMITTED WITHIN TEN FEET (10') OF ANY PRIMARY ELECTRIC LINE OR WITHIN FIVE FEET (5') OF ANY OTHER FACILITY, INCLUDING SECONDARY ELECTRIC LINES, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM MOUNTAIN PARKS ELECTRIC, INC. NO TREES OR BOULDERS MAY BE PLANTED OR PLACED WITHIN FIVE FEET (5') OF ANY POWER LINE OR ELECTRIC EQUIPMENT. ALL EQUIPMENT WILL HAVE A MINIMUM OF TEN FEET (10') OF CLEARANCE IN FRONT OF ANY OPENINGS OR EQUIPMENT DOORS.
- 10.) ALL BUILDINGS ON LOT 1 OF BEAVERS LODGE COMMUNITY AMENITY WILL BE PROTECTED BY AN NFPA 13R OR 13D AUTOMATIC FIRE SPRINKLER SYSTEM.
- 11.) OUTLOT A IS TO BE CONVEYED TO THE ROAM METROPOLITAN DISTRICT AS PRIVATE OPEN SPACE.
- 12.) TRACT A IS TO BE CONVEYED TO THE OWNER BEING FRASER RIVER DEVELOPMENT CO, LLC. AND IS FOR FUTURE DEVELOPMENT.
- 13.) PEDESTRIAN WALKS AND TRAILS ARE PERMITTED IN THE OUTLOTS AND SHALL BE CONSTRUCTED AS SHOWN ON THE SITE PLAN AND MAINTAINED BY THE METRO DISTRICT. SURETY SHALL BE REQUIRED AS PART OF THE DEVELOPMENT IMPROVEMENTS AGREEMENT.
- 14.) NO DISTURBANCE TO WETLANDS SHALL OCCUR WITHOUT APPROVAL FROM THE US ARMY CORPS OF ENGINEERS AND TOWN OF WINTER PARK.
- 15.) THE TRASH CONTAINER SHALL BE BEAR-PROOF AND LOCATED IN A SECURE ENCLOSURE.

PLANNER'S CERTIFICATE

I, JEFF VOGEL, BEING A QUALIFIED PROFESSIONAL ENGINEER OR PLANNER, CERTIFY THAT THIS PLAT OF BEAVERS LODGE COMMUNITY AMENITY HAS BEEN ENGINEERED, DESIGNED AND PLANNED IN ACCORDANCE WITH ALL APPLICABLE DESIGN STANDARDS AND OTHER REQUIREMENTS OF THE TOWN OF WINTER PARK UNIFIED DEVELOPMENT CODE.

JEFF VOGEL
VOGEL & ASSOCIATES, LLC.

PLANNING COMMISSION CERTIFICATE

APPROVED THIS DAY OF _____, 20____, BY THE TOWN OF WINTER PARK PLANNING COMMISSION, WINTER PARK, COLORADO.

DAVID BARKER
CHAIR

SURVEYOR'S CERTIFICATE

I, JEFFREY C. ANTON, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT OF BEAVERS LODGE COMMUNITY AMENITY TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE BY ME OR UNDER MY DIRECTION, AND THAT SAID PLAT COMPLIES WITH THE REQUIREMENTS OF TITLE 38, ARTICLE 51, COLORADO REVISED STATUTES, AND THAT THE MONUMENTS REQUIRED BY SAID STATUTE AND BY THE TOWN OF WINTER PARK UNIFIED DEVELOPMENT CODE HAVE BEEN PLACED ON THE GROUND. THIS PLAT IS A TRUE AND ACCURATE REPRESENTATION OF SAID SURVEY.

JEFFREY C. ANTON
COLORADO LICENSED
PROFESSIONAL LAND SURVEYOR
NUMBER 38818

FOR AND ON BEHALF OF CORE CONSULTANTS, INC.

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

COLORADO REVISED STATUTES 13-80-105(3)(a)

OWNER/DEVELOPER
FRASER RIVER DEVELOPMENT
COMPANY LLC
124 COUNTY RD 8317
TABERNASH, CO 80470

PLANNER/REPRESENTATIVE
VOGEL & ASSOCIATES, LLC.
475 W. 12TH AVE, SUITE E
DENVER, CO 80204
CONTACT: JEFF VOGEL

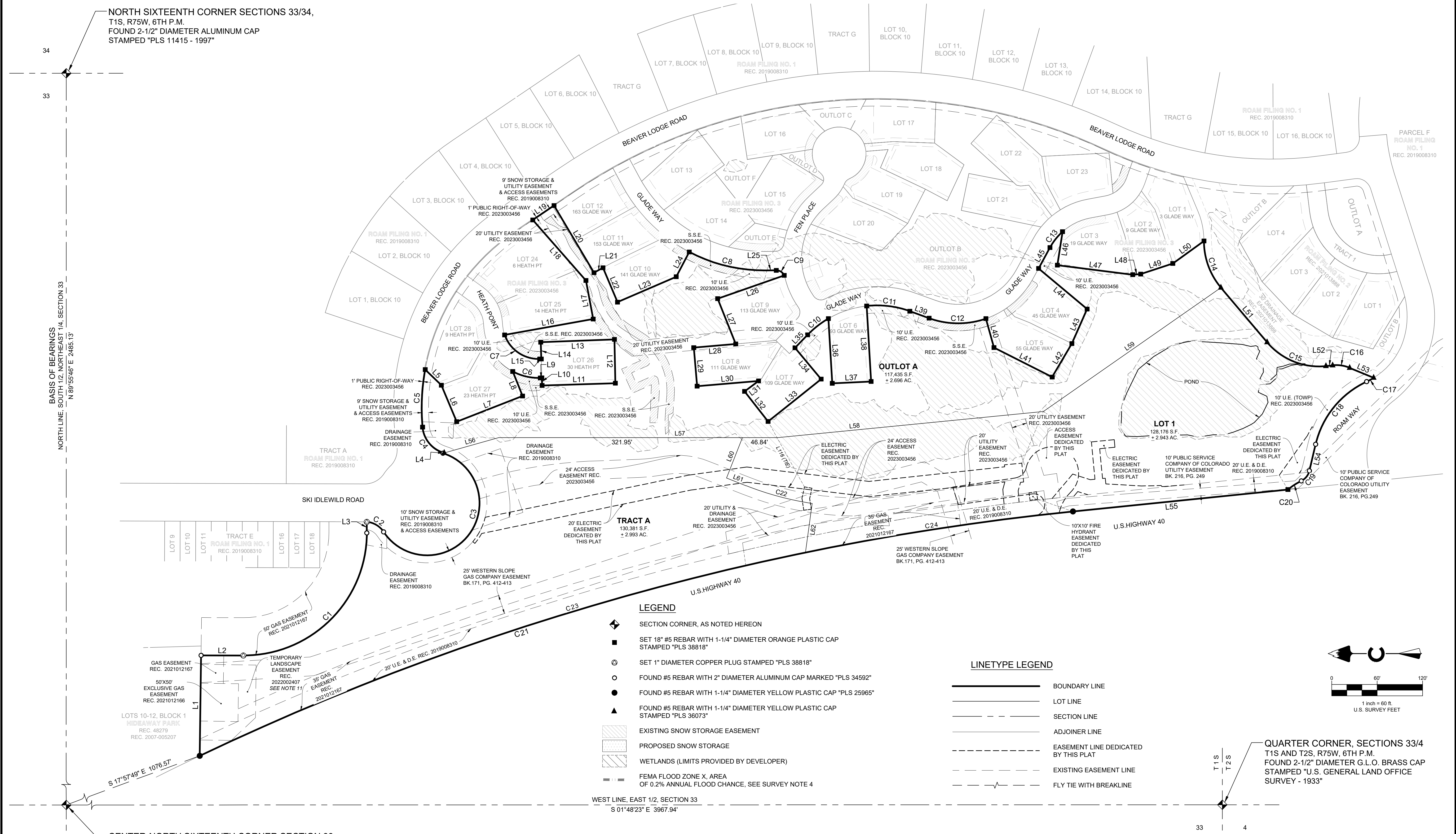
SURVEYOR / ENGINEER
CORE CONSULTANTS, INC.
3473 S. BROADWAY
ENGLEWOOD, CO 80113

DATE PREPARED
MAY 24, 2024



MINOR PLAT
BEAVERS LODGE COMMUNITY AMENITY
 A REPLAT OF TRACT A, TRACT B AND OUTLOT A, ROAM FILING NO. 3, RECORDED AT RECEPTION NUMBER 2023003456
 PART OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
 TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO

(OVERALL MINOR SITE PLAN)



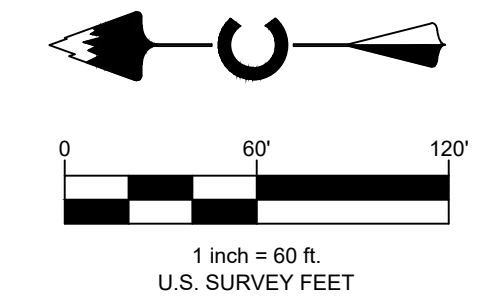
NORTH SIXTEENTH CORNER SECTIONS 33/34,
 T1S, R75W, 6TH P.M.
 FOUND 2-1/2" DIAMETER ALUMINUM CAP
 STAMPED "PLS 11415 - 1997"

BASIS OF BEARINGS
 NORTH LINE, SOUTH 1/2, NORTHEAST 1/4, SECTION 33
 N 89°55'46" E 2485.13'

CENTER-NORTH SIXTEENTH CORNER SECTION 33,
 T1S, R75W, 6TH P.M.
 FOUND 2-1/2" DIAMETER BRASS CAP
 STAMPED "PLS 34592 - 2022"

- LEGEND**
- ◆ SECTION CORNER, AS NOTED HEREON
 - SET 18" #5 REBAR WITH 1-1/4" DIAMETER ORANGE PLASTIC CAP STAMPED "PLS 38818"
 - ⊙ SET 1" DIAMETER COPPER PLUG STAMPED "PLS 38818"
 - FOUND #5 REBAR WITH 2" DIAMETER ALUMINUM CAP MARKED "PLS 34592"
 - FOUND #5 REBAR WITH 1-1/4" DIAMETER YELLOW PLASTIC CAP "PLS 25965"
 - ▲ FOUND #5 REBAR WITH 1-1/4" DIAMETER YELLOW PLASTIC CAP STAMPED "PLS 36073"
 - ▨ EXISTING SNOW STORAGE EASEMENT
 - ▩ PROPOSED SNOW STORAGE
 - ▧ WETLANDS (LIMITS PROVIDED BY DEVELOPER)
 - ▬ FEMA FLOOD ZONE X, AREA OF 0.2% ANNUAL FLOOD CHANCE, SEE SURVEY NOTE 4

- LINETYPE LEGEND**
- BOUNDARY LINE
 - LOT LINE
 - SECTION LINE
 - ADJOINER LINE
 - - - EASEMENT LINE DEDICATED BY THIS PLAT
 - - - EXISTING EASEMENT LINE
 - - - FLY TIE WITH BREAKLINE



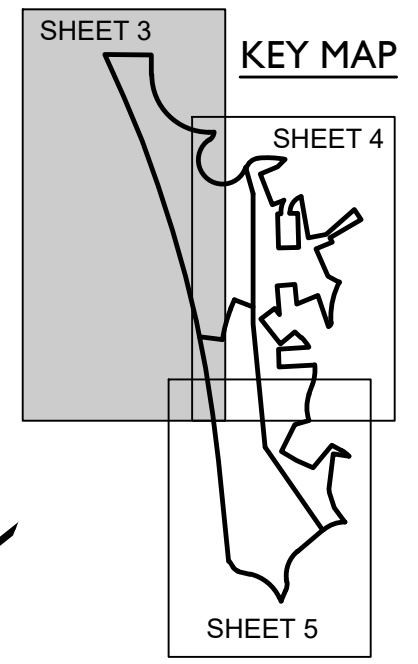
QUARTER CORNER, SECTIONS 33/4
 T1S AND T2S, R75W, 6TH P.M.
 FOUND 2-1/2" DIAMETER G.L.O. BRASS CAP
 STAMPED "U.S. GENERAL LAND OFFICE
 SURVEY - 1933"

WEST LINE, EAST 1/2, SECTION 33
 S 01°48'23" E 3967.94'

"THE OVERALL MINOR PLAT IS PROVIDED TO SHOW EXTENTS OF THE PLAT AREA, TO DOCUMENT REQUIRED ACCESS EASEMENTS, AND TO TIE THE PLAT TO A SURVEYED CORNER. ADDITIONAL RECORDED EASEMENTS AND PLAT DIMENSIONS ARE DETAILED ON SHEETS 3 AND 4."

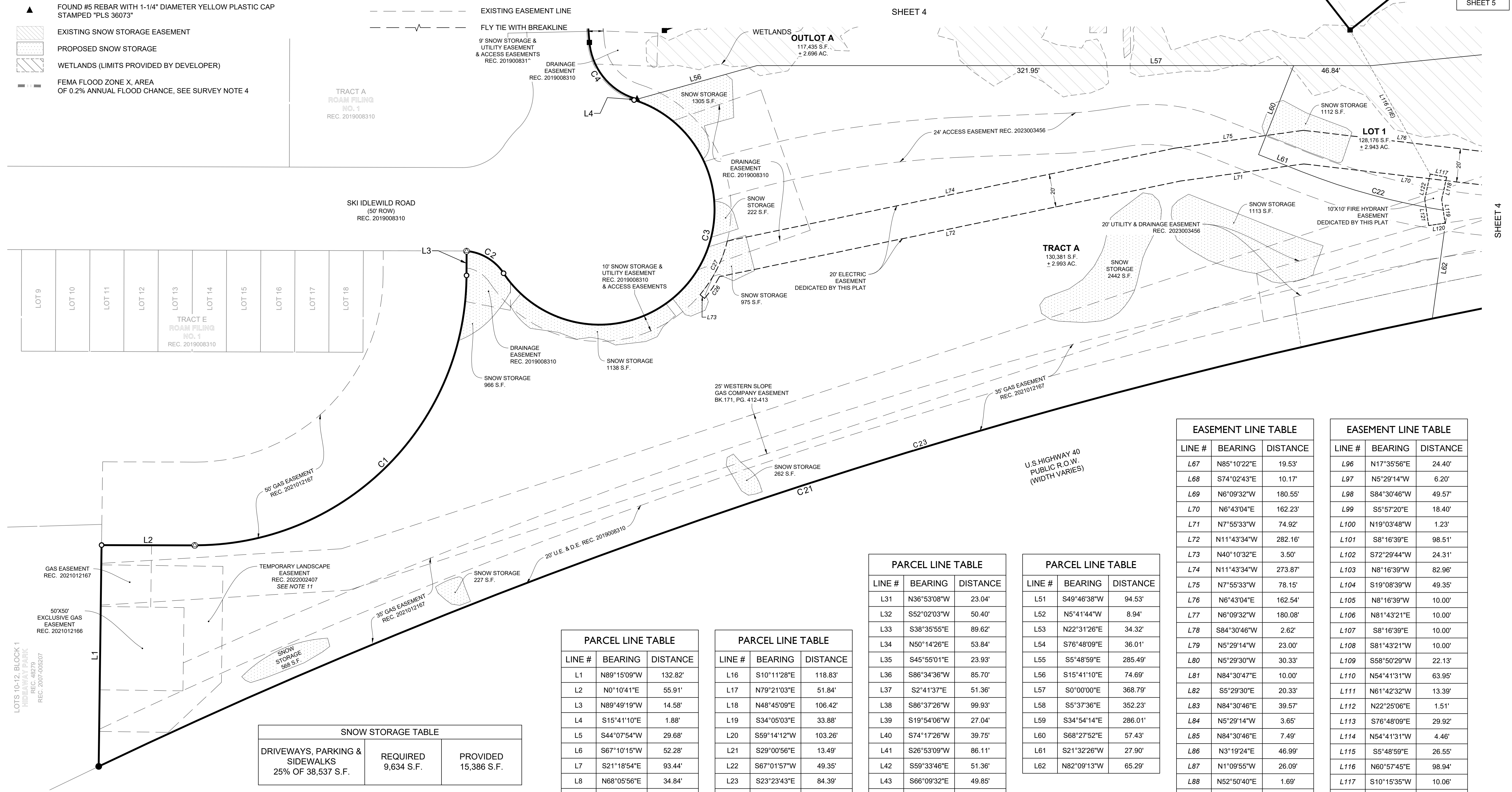
MINOR PLAT BEAVERS LODGE COMMUNITY AMENITY

A REPLAT OF TRACT A, TRACT B AND OUTLOT A, ROAM FILING NO. 3, RECORDED AT RECEPTION NUMBER 2023003456
PART OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO



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- BOUNDARY LINE
 - LOT LINE
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 - - - ADJOINER LINE
 - - - EASEMENT LINE DEDICATED BY THIS PLAT
 - - - EXISTING EASEMENT LINE
 - - - FLY TIE WITH BREAKLINE



LOTS 10-12, BLOCK 1
FILING NO. 1
REC. 2007-005207

SNOW STORAGE TABLE		
DRIVEWAYS, PARKING & SIDEWALKS	REQUIRED	PROVIDED
25% OF 38,537 S.F.	9,634 S.F.	15,386 S.F.

PARCEL LINE TABLE		
LINE #	BEARING	DISTANCE
L1	N89°15'09"W	132.82'
L2	N0°10'41"E	55.91'
L3	N89°49'19"W	14.58'
L4	S15°41'10"E	1.88'
L5	S44°07'54"W	29.68'
L6	S67°10'15"W	52.28'
L7	S21°18'54"E	93.44'
L8	N68°05'56"E	34.84'
L9	S1°45'51"E	2.09'
L10	S88°14'31"W	10.00'
L11	S1°45'29"E	96.84'
L12	N88°49'13"E	57.94'
L13	N2°10'25"W	97.43'
L14	S88°14'31"W	22.23'
L15	N1°45'51"W	2.09'

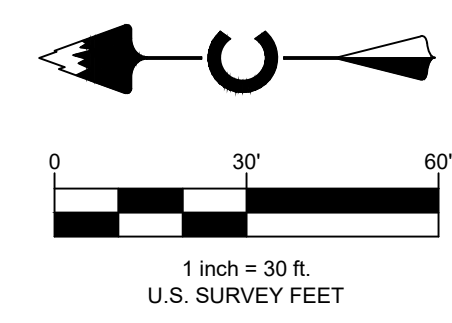
PARCEL LINE TABLE		
LINE #	BEARING	DISTANCE
L16	S10°11'28"E	118.83'
L17	N79°21'03"E	51.84'
L18	N48°45'09"E	106.42'
L19	S34°05'03"E	33.88'
L20	S59°14'12"W	103.26'
L21	S29°00'56"E	13.49'
L22	S67°01'57"W	49.35'
L23	S23°23'43"E	84.39'
L24	S62°16'52"E	37.07'
L25	S0°21'15"E	14.78'
L26	N19°14'30"W	93.17'
L27	S68°14'50"W	64.45'
L28	N4°59'46"W	55.62'
L29	S85°01'08"W	51.16'
L30	S4°53'34"E	81.43'

PARCEL LINE TABLE		
LINE #	BEARING	DISTANCE
L31	N36°53'08"W	23.04'
L32	S52°02'03"W	50.40'
L33	S38°35'55"E	89.62'
L34	N50°14'26"E	53.84'
L35	S45°55'01"E	23.93'
L36	S86°34'36"W	85.70'
L37	S2°41'37"E	51.36'
L38	S86°37'26"W	99.93'
L39	S19°54'06"W	27.04'
L40	S74°17'26"W	39.75'
L41	S26°53'09"W	86.11'
L42	S59°33'46"E	51.36'
L43	S66°09'32"E	49.85'
L44	N39°54'05"E	83.60'
L45	S61°27'51"E	31.49'
L46	N81°16'58"W	44.72'
L47	S7°13'32"W	100.33'
L48	S4°23'00"E	10.48'
L49	S18°21'04"E	44.71'
L50	S35°50'27"E	50.70'

PARCEL LINE TABLE		
LINE #	BEARING	DISTANCE
L51	S49°46'38"W	94.53'
L52	N5°41'44"W	8.94'
L53	N22°31'26"E	34.32'
L54	S76°48'09"E	36.01'
L55	S5°48'59"E	285.49'
L56	S15°41'10"E	74.69'
L57	S0°00'00"E	368.79'
L58	S5°37'36"E	352.23'
L59	S34°54'14"E	286.01'
L60	S68°27'52"E	57.43'
L61	S21°32'26"W	27.90'
L62	N82°09'13"W	65.29'

EASEMENT LINE TABLE		
LINE #	BEARING	DISTANCE
L67	N85°10'22"E	19.53'
L68	S74°02'43"E	10.17'
L69	N6°09'32"W	180.55'
L70	N6°43'04"E	162.23'
L71	N7°55'33"W	74.92'
L72	N11°43'34"W	282.16'
L73	N40°10'32"E	3.50'
L74	N11°43'34"W	273.87'
L75	N7°55'33"W	78.15'
L76	N6°43'04"E	162.54'
L77	N6°09'32"W	180.08'
L78	S84°30'46"W	2.62'
L79	N5°29'14"W	23.00'
L80	N5°29'30"W	30.33'
L81	N84°30'47"E	10.00'
L82	S5°29'30"E	20.33'
L83	N84°30'46"E	39.57'
L84	N5°29'14"W	3.65'
L85	N84°30'46"E	7.49'
L86	N3°19'24"E	46.99'
L87	N1°09'55"W	26.09'
L88	N52°50'40"E	1.69'
L89	N0°42'37"W	2.49'
L90	N4°31'32"W	26.94'
L91	S5°48'59"E	127.90'
L92	N17°35'56"E	13.84'
L93	N49°48'38"W	7.92'
L94	N5°48'59"W	3.36'
L95	N49°48'38"W	42.10'

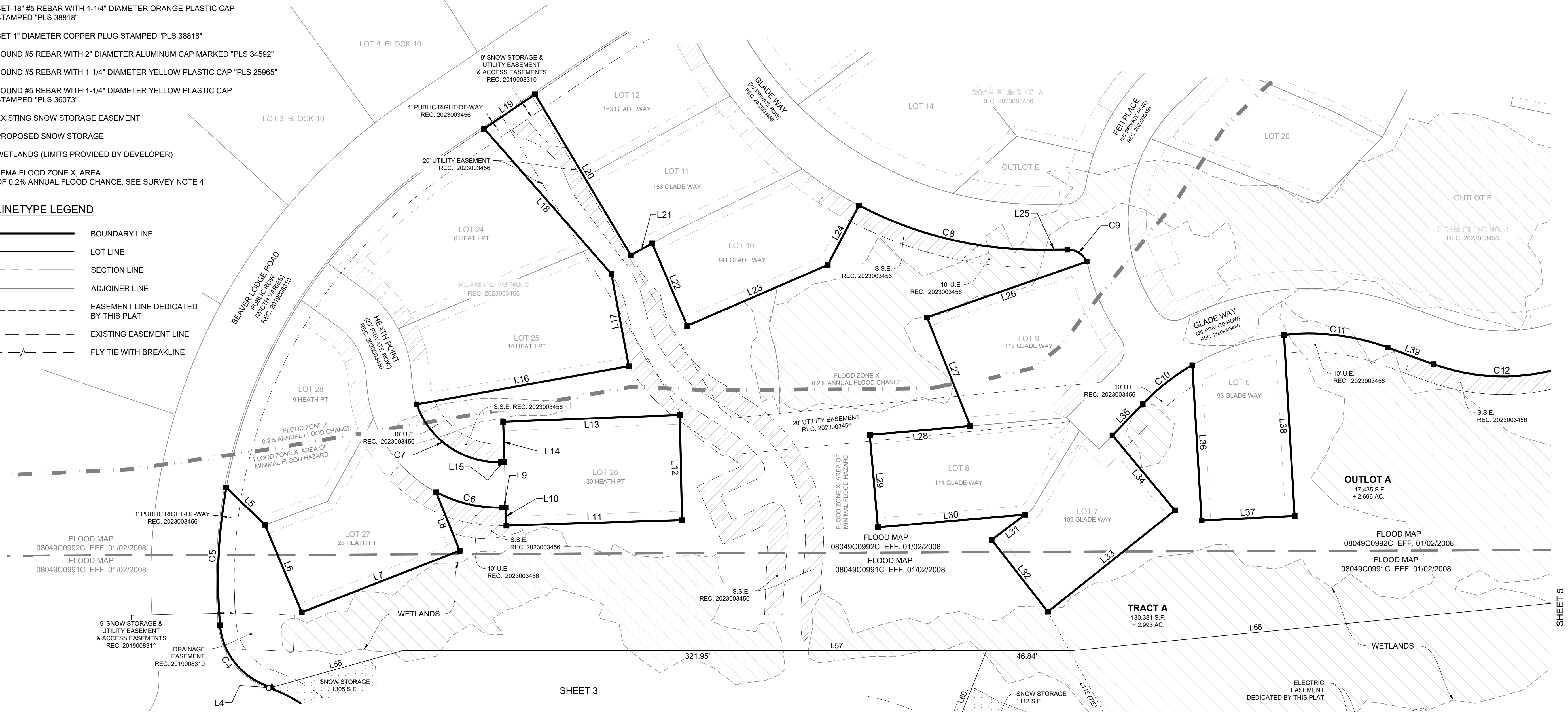
EASEMENT LINE TABLE		
LINE #	BEARING	DISTANCE
L96	N17°35'56"E	24.40'
L97	N5°29'14"W	6.20'
L98	S84°30'46"W	49.57'
L99	S5°57'20"E	18.40'
L100	N19°03'48"W	1.23'
L101	S8°16'39"E	98.51'
L102	S72°29'44"W	24.31'
L103	N8°16'39"W	82.96'
L104	S19°08'39"W	49.35'
L105	N8°16'39"W	10.00'
L106	N81°43'21"E	10.00'
L107	S8°16'39"E	10.00'
L108	S81°43'21"W	10.00'
L109	S58°50'29"W	22.13'
L110	N54°41'31"W	63.95'
L111	N61°42'32"W	13.39'
L112	N22°25'06"E	1.51'
L113	S76°48'09"E	29.92'
L114	N54°41'31"W	4.46'
L115	S5°48'59"E	26.55'
L116	N60°57'45"E	98.94'
L117	S10°15'35"W	10.06'
L118	N77°34'04"W	13.85'
L119	S81°43'21"W	14.28'
L120	N8°16'39"W	10.00'
L121	N81°43'21"E	16.08'
L122	S77°46'39"E	15.32'



MINOR PLAT
BEAVERS LODGE COMMUNITY AMENITY
 A REPLAT OF TRACT A, TRACT B AND OUTLOT A, ROAM FILING NO. 3, RECORDED AT RECEPTION NUMBER 2023003456
 PART OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
 TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO

- LEGEND**
- ◆ SECTION CORNER, AS NOTED HEREON
 - SET 18" #5 REBAR WITH 1-1/4" DIAMETER ORANGE PLASTIC CAP STAMPED "PLS 38818"
 - SET 1" DIAMETER COPPER PLUG STAMPED "PLS 38818"
 - FOUND #5 REBAR WITH 2" DIAMETER ALUMINUM CAP MARKED "PLS 34592"
 - FOUND #5 REBAR WITH 1-1/4" DIAMETER YELLOW PLASTIC CAP "PLS 25965"
 - ▲ FOUND #5 REBAR WITH 1-1/4" DIAMETER YELLOW PLASTIC CAP STAMPED "PLS 36073"
 - ▨ EXISTING SNOW STORAGE EASEMENT
 - ▨ PROPOSED SNOW STORAGE
 - ▨ WETLANDS (LIMITS PROVIDED BY DEVELOPER)
 - ▨ FEMA FLOOD ZONE X, AREA OF 0.2% ANNUAL FLOOD CHANCE, SEE SURVEY NOTE 4

- LINETYPE LEGEND**
- BOUNDARY LINE
 - LOT LINE
 - SECTION LINE
 - ADJOINER LINE
 - - - EASEMENT LINE DEDICATED BY THIS PLAT
 - - - EXISTING EASEMENT LINE
 - - - FLY TIE WITH BREAKLINE



PARCEL CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	255.25'	162.50'	90°00'00"	S44°49'19"E	229.81'
C2	26.73'	30.00'	51°02'48"	N30°55'08"E	25.85'
C3	263.63'	69.00'	218°54'55"	S53°00'55"E	130.12'
C4	47.38'	39.00'	69°36'38"	N50°00'59"E	44.52'
C5	76.34'	281.00'	15°33'59"	S87°23'43"E	76.11'
C6	37.77'	72.48'	29°51'26"	S13°09'52"W	37.34'
C7	60.15'	47.50'	72°33'00"	N34°31'04"E	56.21'
C8	104.12'	212.50'	28°04'23"	S13°40'56"W	103.08'
C9	13.22'	11.50'	65°50'58"	S32°34'14"W	12.50'
C10	34.86'	127.50'	15°39'57"	S38°05'03"E	34.75'
C11	58.01'	127.50'	26°04'14"	S6°51'59"W	57.52'
C12	76.44'	112.50'	38°55'52"	S0°26'10"W	74.98'
C13	26.80'	77.50'	19°48'54"	S51°33'24"E	26.67'
C14	67.03'	95.00'	40°25'42"	S69°59'29"W	65.65'
C15	87.14'	90.00'	55°28'22"	S22°02'27"W	83.77'
C16	22.90'	46.50'	28°13'10"	S8°24'51"W	22.67'
C17	10.59'	92.00'	6°35'32"	S28°12'40"E	10.58'
C18	110.48'	122.00'	51°53'15"	S50°51'32"E	106.75'
C19	17.65'	20.00'	50°34'29"	S51°30'55"E	17.09'
C20	21.07'	90.50'	13°20'14"	S32°53'47"E	21.02'

PARCEL CURVE TABLE

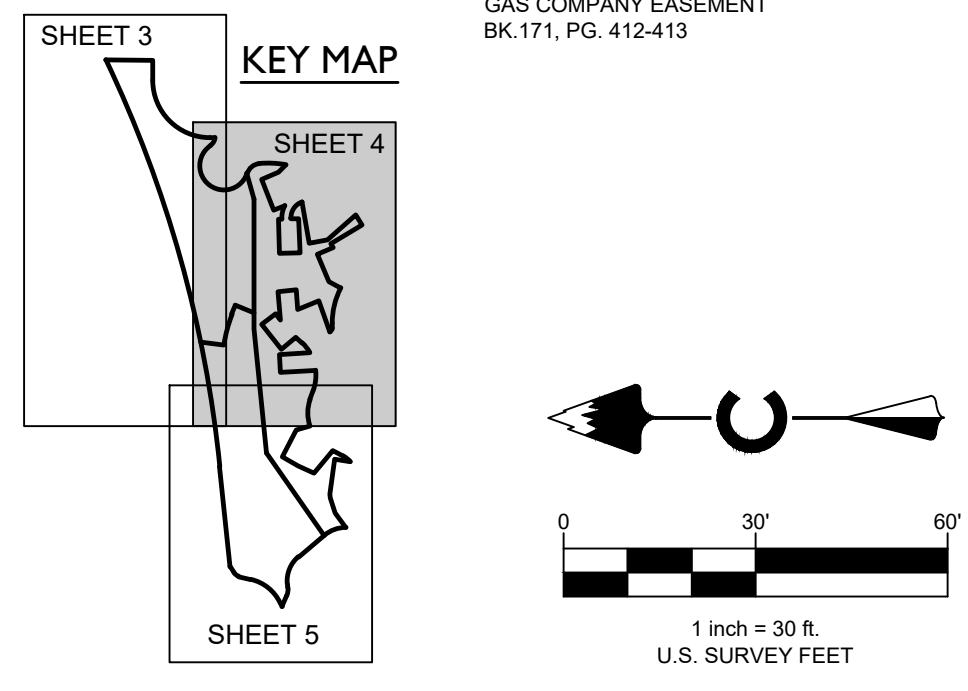
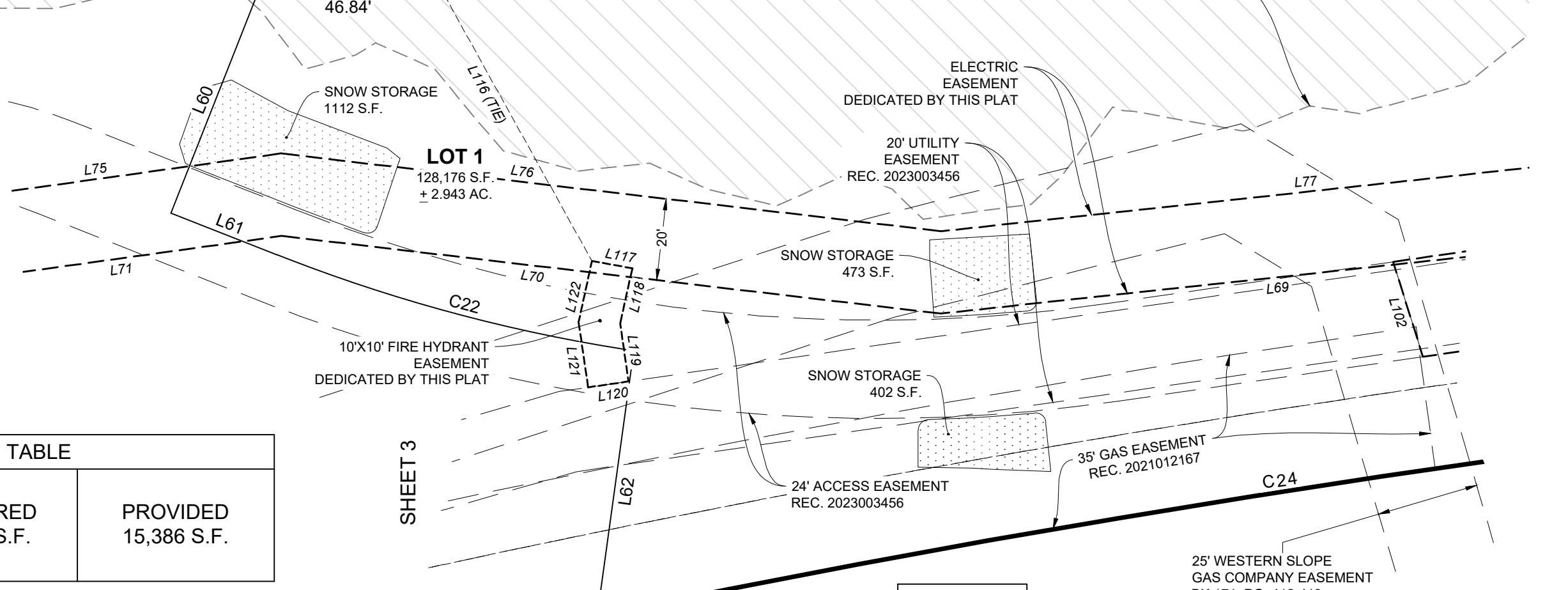
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C21	1203.54'	3503.59'	19°40'55"	S15°38'46"E	1197.63'
C22	90.52'	400.00'	12°58'00"	S15°03'26"W	90.33'
C23	846.01'	3503.59'	13°50'07"	S18°34'10"E	843.96'
C24	357.53'	3503.59'	5°50'49"	S8°43'42"E	357.37'

EASEMENT CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C25	20.02'	3523.58'	0°19'32"	N7°05'49"W	20.02'
C26	15.87'	81.50'	11°09'28"	N55°24'12"W	15.85'
C27	36.44'	79.00'	26°25'33"	S63°02'14"E	36.11'
C28	25.53'	3523.58'	0°24'54"	N6°00'46"W	25.53'
C29	30.06'	3503.59'	0°29'30"	S6°21'06"E	30.06'
C30	42.82'	14.50'	169°12'51"	S76°19'47"W	28.87'
C31	22.44'	18.06'	71°12'41"	N43°56'25"W	21.02'
C32	129.92'	35.00'	212°40'55"	N30°02'31"E	67.17'
C33	27.83'	50.00'	31°53'41"	S59°33'52"E	27.48'
C34	3.53'	25.00'	8°06'05"	S71°27'40"E	3.53'
C35	21.24'	132.00'	9°13'15"	S72°11'32"E	21.22'
C36	5.52'	64.00'	4°56'40"	S74°19'50"E	5.52'
C37	2.58'	32.00'	4°37'16"	S69°32'52"E	2.58'

SNOW STORAGE TABLE

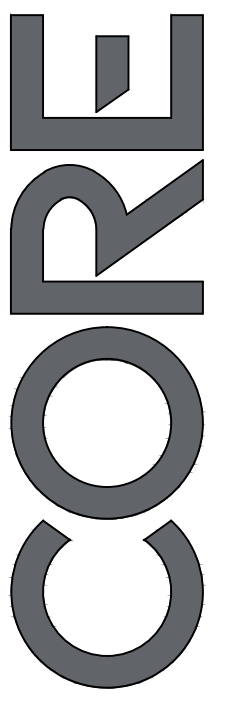
DRIVEWAYS, PARKING & SIDEWALKS	REQUIRED	PROVIDED
25% OF 38,537 S.F.	9,634 S.F.	15,386 S.F.



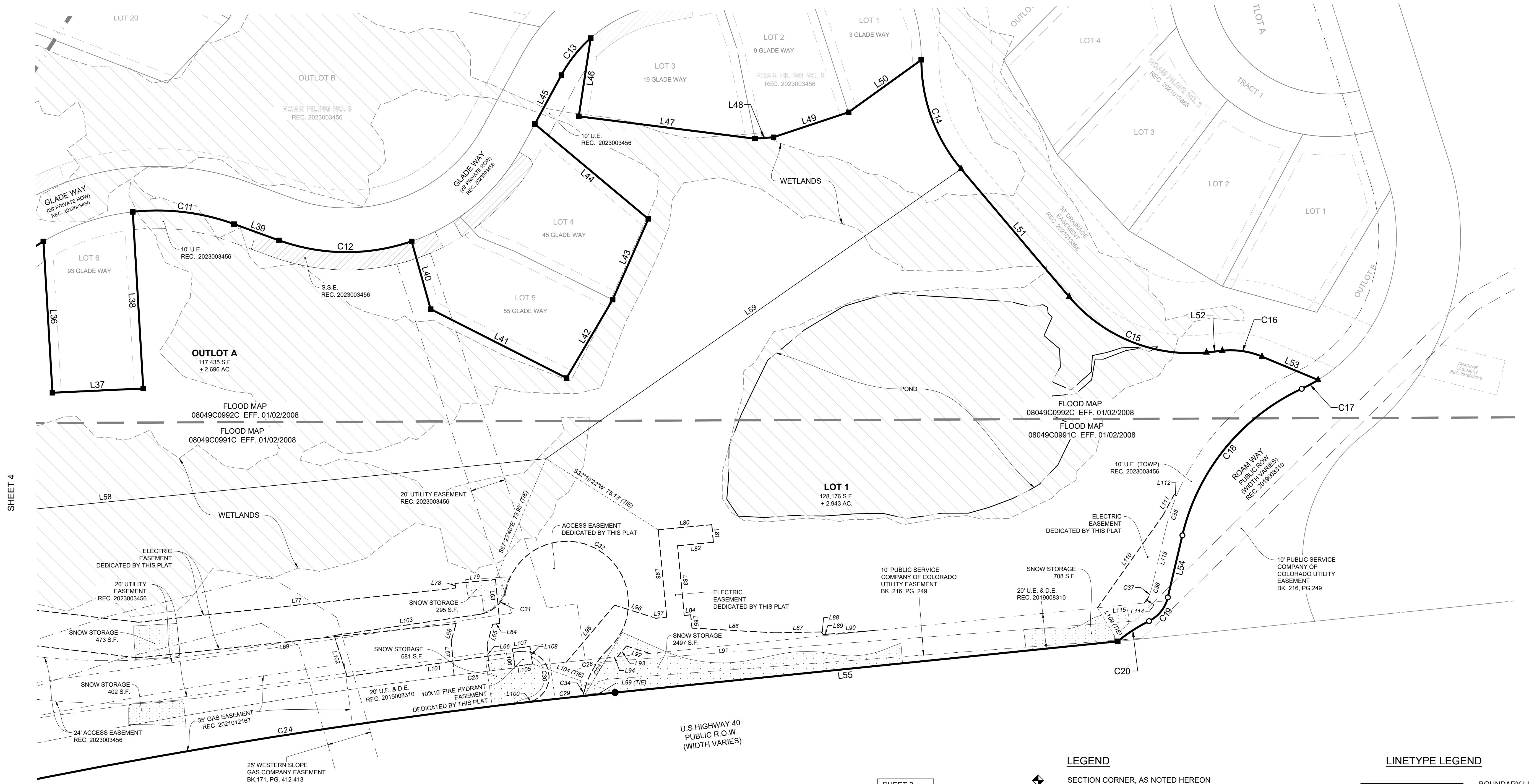
MINOR PLAT
BEAVERS LODGE COMMUNITY AMENITY
 A REPLAT OF TRACT A, TRACT B AND OUTLOT A, ROAM FILING NO. 3, RECORDED AT RECEPTION NUMBER 2023003456
 PART OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
 TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO

LAND DEVELOPMENT
 ENERGY
 PUBLIC INFRASTRUCTURE

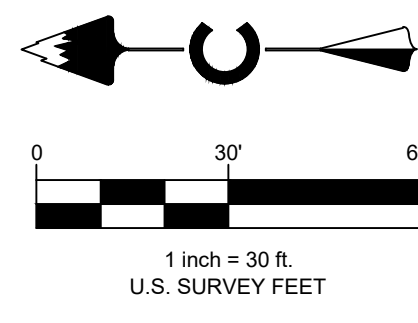
CORE CONSULTANTS, INC.
 3473 SOUTH BROADWAY
 ENGLEWOOD, CO 80113
 303.703.4444
 LIVE.YOUR.CORE.COM



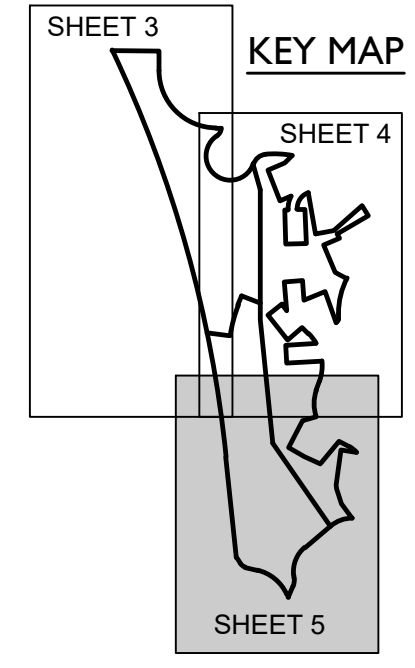
MINOR PLAT
 BEAVERS LODGE COMMUNITY AMENITY



SHEET 4



SNOW STORAGE TABLE		
DRIVEWAYS, PARKING & SIDEWALKS 25% OF 38,537 S.F.	REQUIRED 9,634 S.F.	PROVIDED 15,386 S.F.



- | LEGEND | LINETYPE LEGEND |
|--|--|
| ◆ SECTION CORNER, AS NOTED HEREON | — BOUNDARY LINE |
| ■ SET 18" #5 REBAR WITH 1-1/4" DIAMETER ORANGE PLASTIC CAP STAMPED "PLS 38818" | — LOT LINE |
| ⊙ SET 1" DIAMETER COPPER PLUG STAMPED "PLS 38818" | — SECTION LINE |
| ○ FOUND #5 REBAR WITH 2" DIAMETER ALUMINUM CAP MARKED "PLS 34592" | — ADJOINER LINE |
| ● FOUND #5 REBAR WITH 1-1/4" DIAMETER YELLOW PLASTIC CAP "PLS 25965" | - - - EASEMENT LINE DEDICATED BY THIS PLAT |
| ▲ FOUND #5 REBAR WITH 1-1/4" DIAMETER YELLOW PLASTIC CAP STAMPED "PLS 36073" | - - - EXISTING EASEMENT LINE |
| ▨ EXISTING SNOW STORAGE EASEMENT | - - - FLY TIE WITH BREAKLINE |
| ▩ PROPOSED SNOW STORAGE | |
| ▧ WETLANDS (LIMITS PROVIDED BY DEVELOPER) | |
| — FEMA FLOOD ZONE X, AREA OF 0.2% ANNUAL FLOOD CHANCE, SEE SURVEY NOTE 4 | |

1ST SUBMITTAL 11/8/23
 REV. 1: 4/16/2024
 2ND SUBMITTAL 5/24/24

DATE: 07/29/24
 CAD: C.T.
 QA/QC: JCA

JOB NO. 23-067

SHEET 5 OF 5

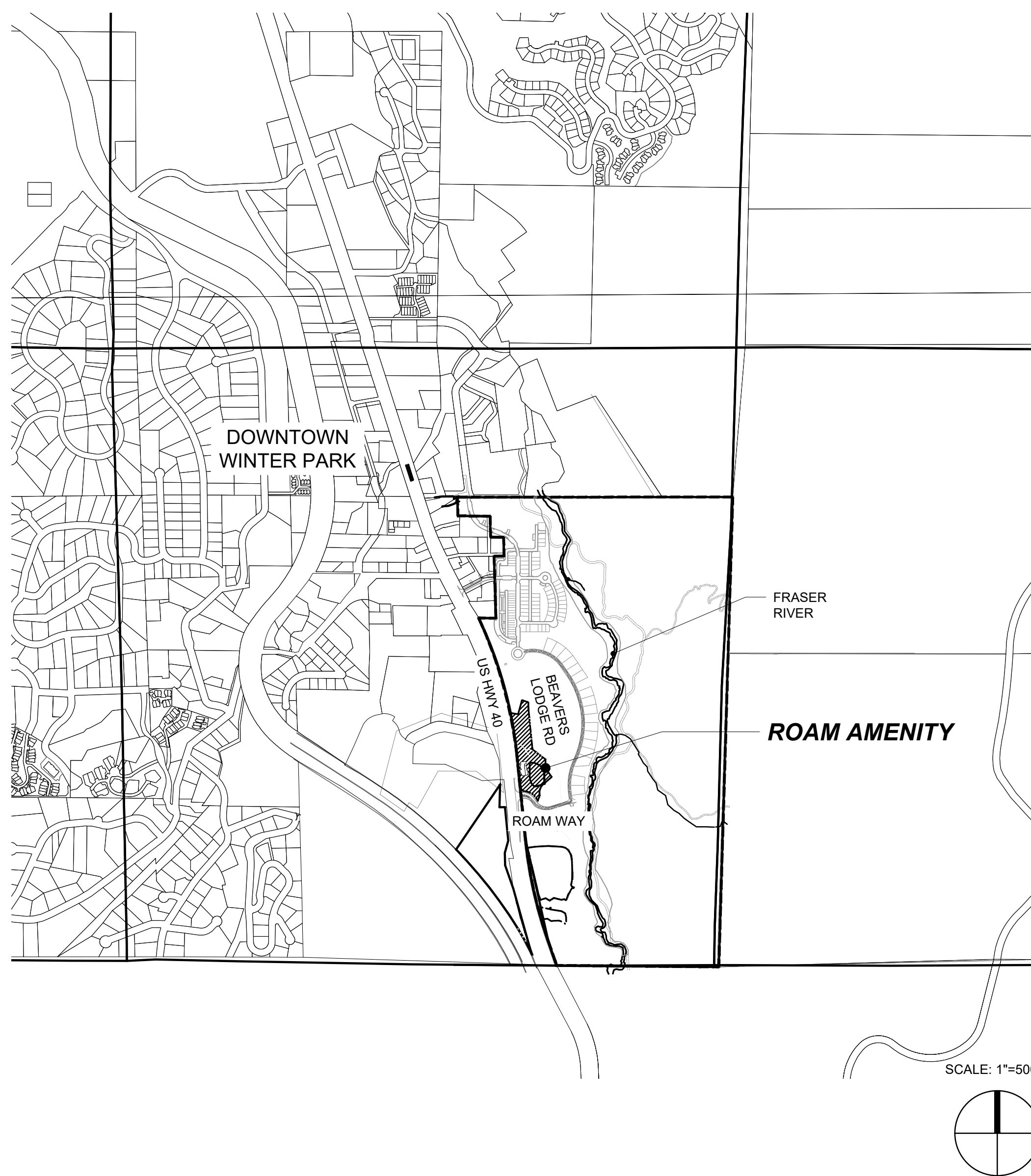
ROAM - COMMUNITY AMENITY

MAJOR SITE PLANNING APPLICATION

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CONTEXT PLAN	S1
EXISTING CONDITIONS	S2
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LANDSCAPE	
LANDSCAPING PLAN	L1
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ARCHITECTURAL ELEVATIONS & MATERIALS	
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EXTERIOR ELEVATIONS	A2.2
AMENITY FEATURES ELEVATION + DETAILS	A2.3
LIGHTING	
PHOTOMETRIC PLAN	1

VICINITY MAP



LEGAL DESCRIPTION

TRACT B, ROAM FILING NO. 3 A REPLAT OF REMAINDER OF PARCEL D, ROAM FILING NO. 2. A PART OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO.

ZONING & SETBACKS

ZONING - ROAM FINAL DEVELOPMENT PLAN PLANNING AREA 8
 USE: MIXED-USE

FRONT- 5' SETBACK
 SIDE- 0' SETBACK
 REAR- 10' SETBACK (SEE NOTES ON S3 & S4)

BUILDING COVERAGE

SITE AREA

USE	AREA SQ.FT.	% OF TOTAL
PARCEL (ROAM AMENITY)	131,485	100.0%
BUILDING LL (GSF)	5,577	4.2%
LANDSCAPE AREA	43,624	33.2%
HARDSCAPE	53,259	40.5%

NOTES:
 1) OTHER AREAS NOT INCLUDED IN SITE CALUATIONS INCLUDE DELINATED WETLANDS AND EXISTING POND.

BUILDING HEIGHT

MAX ALLOWED 55'

PROPOSED		
ROAM COMMUNITY AMENITY-	TOP OF ENTRY GABLE:	34' - 5 3/8"
	TOP OF ROOF PEAK:	36' - 7 3/4"
	TOP OF CHIMNEY:	39' - 7 3/4"

DEVELOPER

ROAM METROPOLITAN DISTRICT
 1500 WYNKOOP ST., SUITE 200
 DENVER, CO 80202
 PHONE: 303-893-4288

ARCHITECT

PVD PROJECT MANAGEMENT AND DESIGN
 PETER VAN DUSEN
 2896 S. GAYLORD ST.
 DENVER, CO 80201
 PHONE: 303-246-5530

PLANNER

VOGEL & ASSOCIATES
 165 S. UNION BOULEVARD., SUITE 400
 LAKEWOOD, CO 80228
 CONTACT: JEFF VOGEL
 PHONE: 303-893-4288

CIVIL ENGINEER

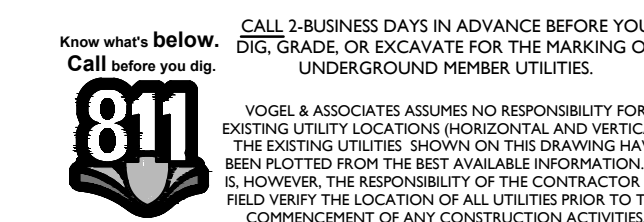
CORE CONSULTANTS
 DAVID FORBES, TODD WOLMA
 3473 SOUTH BROADWAY
 ENGLEWOOD, CO. 80113
 PHONE: 303-703-4444

SURVEYOR

CORE CONSULTANTS
 DAVID FORBES, TODD WOLMA
 3473 SOUTH BROADWAY
 ENGLEWOOD, CO. 80113
 PHONE: 303-703-4444

LANDSCAPE ARCHITECT

VOGEL & ASSOCIATES
 165 S. UNION BOULEVARD., SUITE 400
 LAKEWOOD, CO 80228
 CONTACT: JEFF VOGEL
 PHONE: 303-893-4288

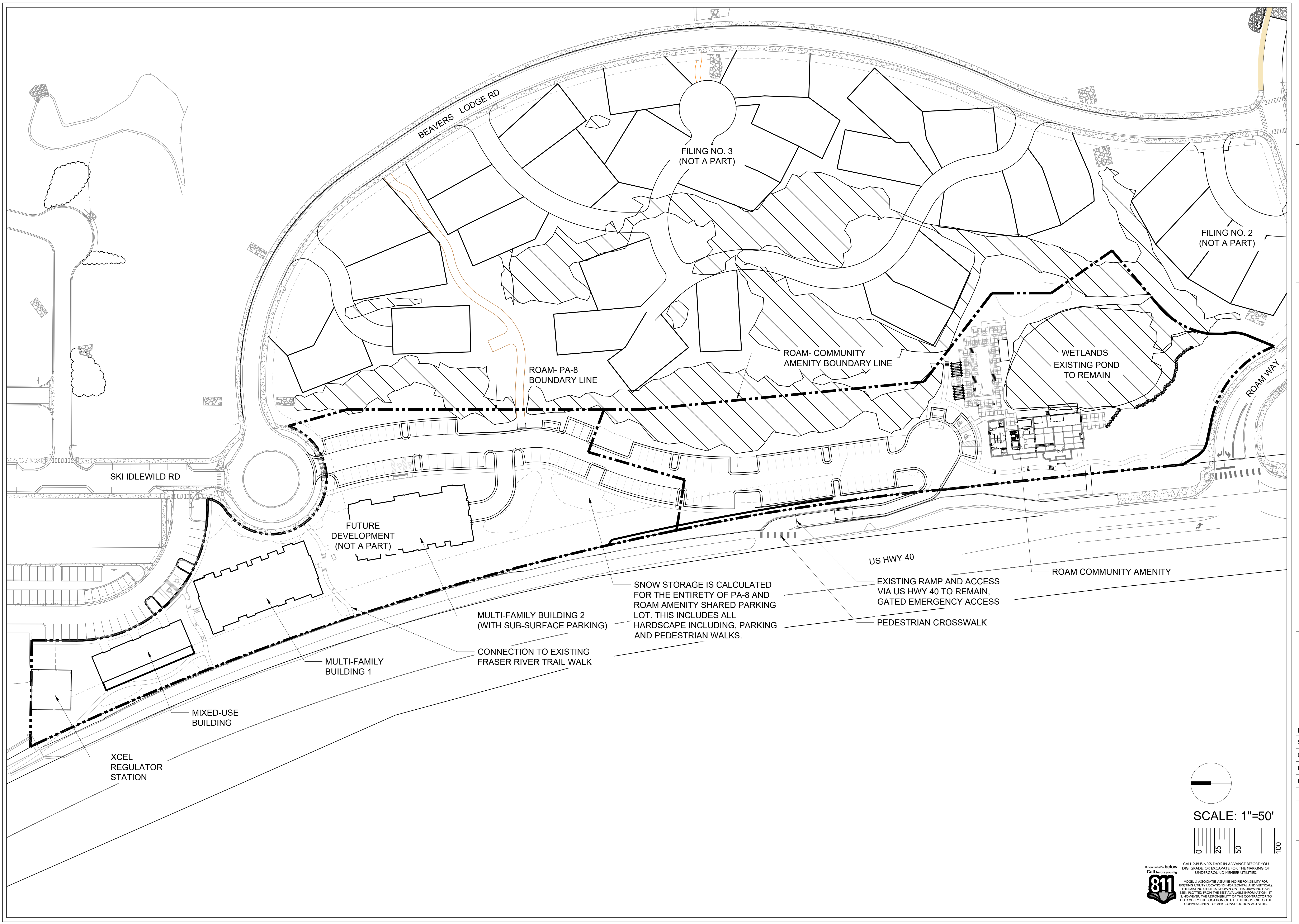


ROAM - COMMUNITY AMENITY
 WINTER PARK, CO 80482

DOCUMENT SET	ISSUE DATE
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CONSTRUCTION SET	
DWN. BY:	MT
REVISIONS:	
	01/18/2023
	05/31/2024
	07/15/2024

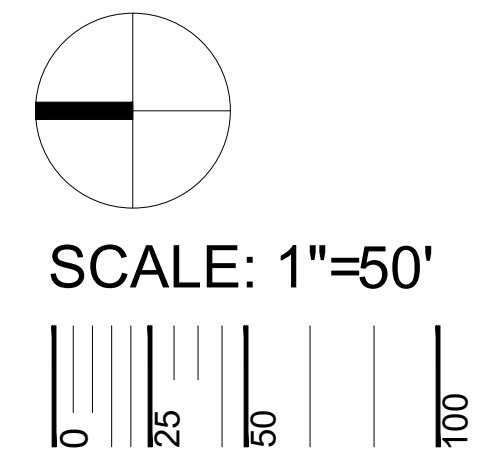
COVER SHEET

C



ROAM - COMMUNITY AMENITY
 WINTER PARK, CO 80482

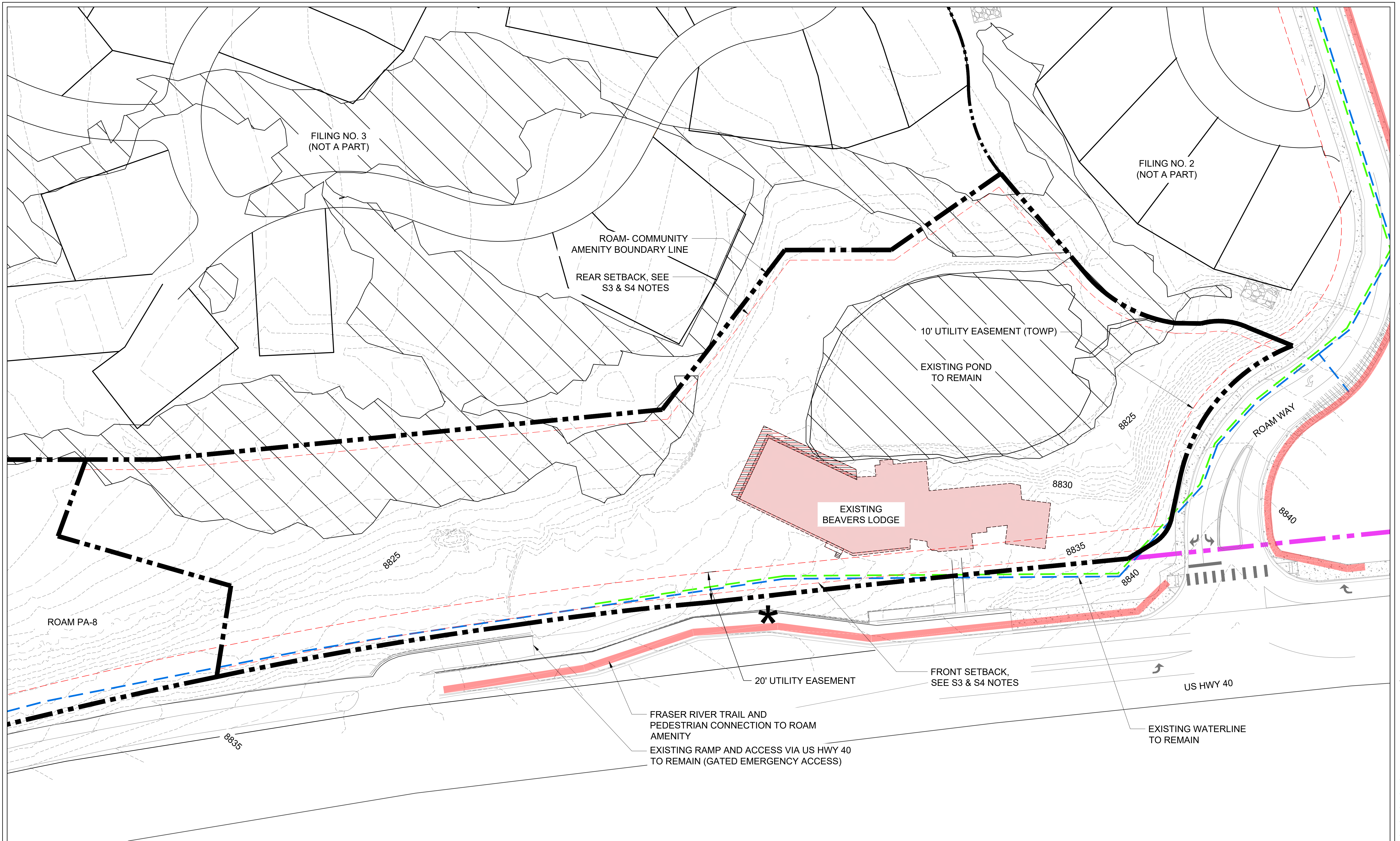
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SUBMITTAL SET	11/10/2023
CONSTRUCTION SET	
DWN. BY:	MT
REVISIONS:	
	01/18/2023
	05/31/2024
	07/15/2024



Know what's below.
Call before you dig.
811
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.
 VOGEL & ASSOCIATES ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL). THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

CONTEXT PLAN

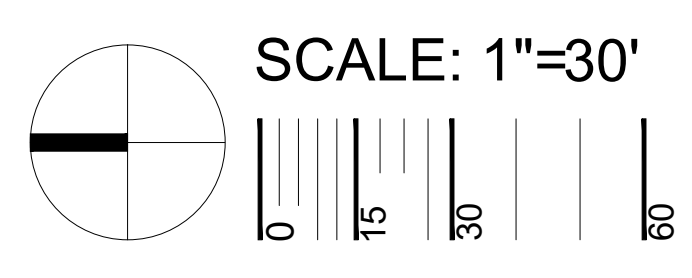
S1



PROTECTION NOTES/GENERAL SITE PLAN NOTES:

1. NO DISTURBANCE, GRADING, OR REMOVAL OF SIGNIFICANT NATURAL FEATURES AND VEGETATION WILL OCCUR BEYOND THE "LIMIT OF DISTURBANCE" LINE, AS SHOWN ON THIS PLAN.
2. THE "LIMIT OF DISTURBANCE" LINE SHALL BE DELINEATED PRIOR TO CONSTRUCTION WITH FLAGS, ROPING, FOUR FOOT (4') TALL ORANGE CONSTRUCTION FENCING, OR OTHER ACCEPTABLE MEANS.
3. ALL AREA OUTSIDE OF PARCEL LINES ARE NOT PART OF THIS MAJOR SITE PLAN APPLICATION. CALCULATIONS FOR SNOW STORAGE, LANDSCAPE, ETC. ARE FROM WITHIN THE PARCEL LINES ONLY

LEGEND	
	WETLANDS
	APPROX. LOCATION OF EXISTING TRANSIT STOP
	FRASER RIVER TRAIL/ PEDESTRIAN CONNECTION TO ROAM AMENITY
	EXISTING 20' UTILITY EASEMENT TO REMAIN
	EXISTING WATER LINE (ZONE 1 AND ZONE 2)



CALL 811 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

VOGEL & ASSOCIATES ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL). THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

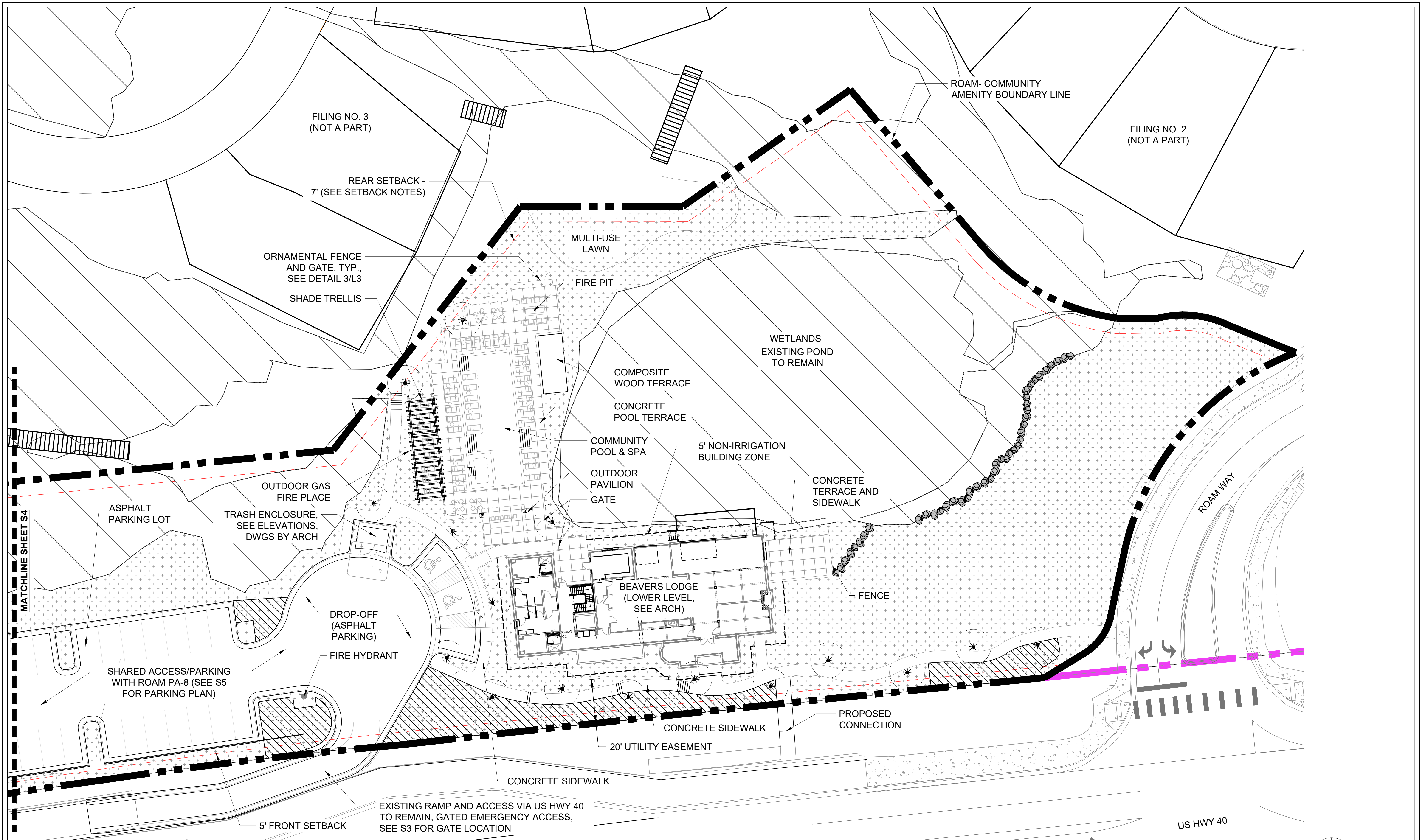
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DWN. BY:	MT
REVISIONS:	
	01/18/2023
	05/31/2024
	07/15/2024

ROAM - COMMUNITY AMENITY
 WINTER PARK, CO 80482

DOCUMENT SET	ISSUE DATE
SUBMITTAL SET	11/10/2023
CONSTRUCTION SET	
DWN. BY:	MT
REVISIONS:	
	01/18/2023
	05/31/2024
	07/15/2024

SITE PLAN

S3



- LEGEND**
- LANDSCAPE AREA: 43,624 SF (DOES NOT INCLUDE ROCK MULCH AREA)
 - ROCK MULCH
 - PROPOSED HARDSCAPE: 53,259 SF (PARKING AREAS AND PEDESTRIAN WALKWAYS FOR ALL OF PA-8 AND ROAM AMENITY)
 - SNOW STORAGE
 - WETLANDS
 - PEDESTRIAN LIGHT

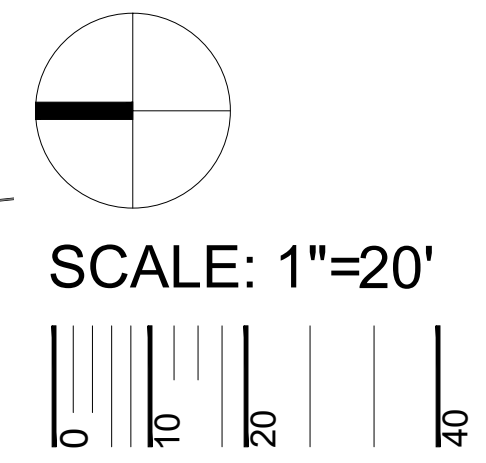
SNOW STORAGE - SEC. 3-H-5 PARKING DESIGN STANDARDS

- SNOW STORAGE PROVIDED FOR ALL HARDSCAPE AREAS INCLUDING THE SHARED PARKING LOT FOR PA-8 WHICH EXTENDS TO THE EXISTING BEAVERS LODGE ROAD. THE SNOW STORAGE AREAS ARE ALSO SHOWN ON THE CIVIL DRAWINGS.

MINIMUM REQUIRED AREA: 1 SF PER 4 SF OF PAVED AREA (25%)
 PROPOSED PAVED CONCRETE: 53,259 SF
 REQUIRED SNOW STORAGE (25%) = 13,314 SF
 PROPOSED SNOW STORAGE = 16,927 SF

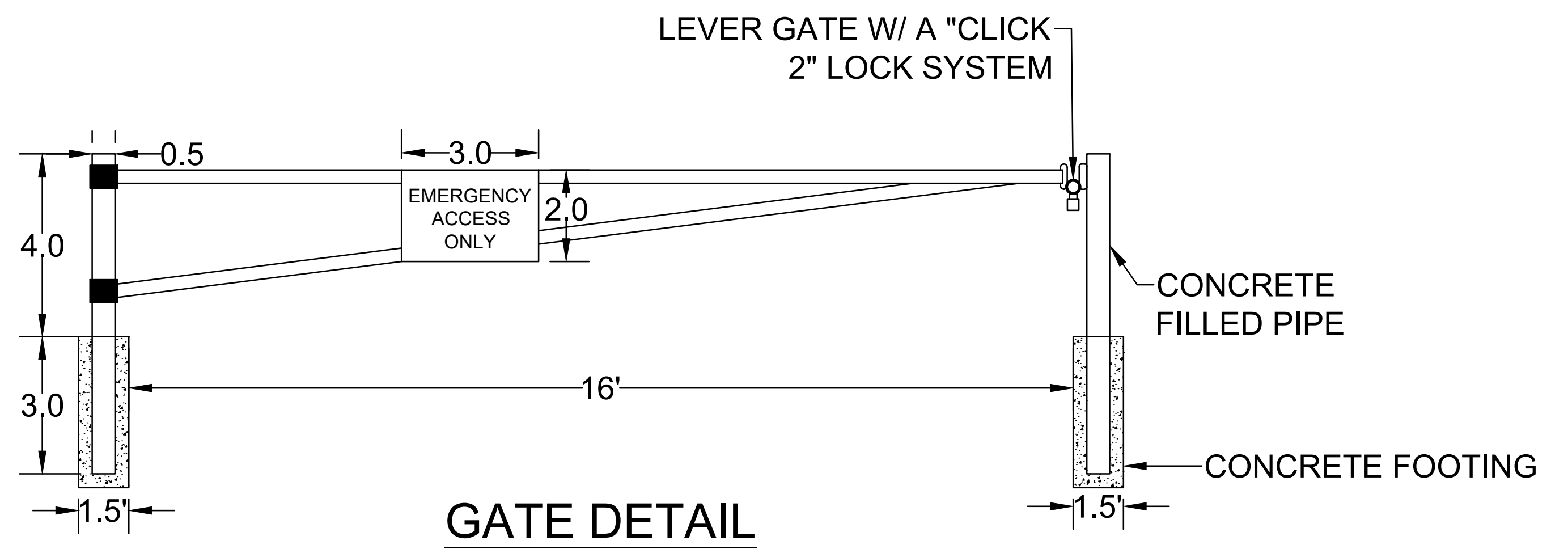
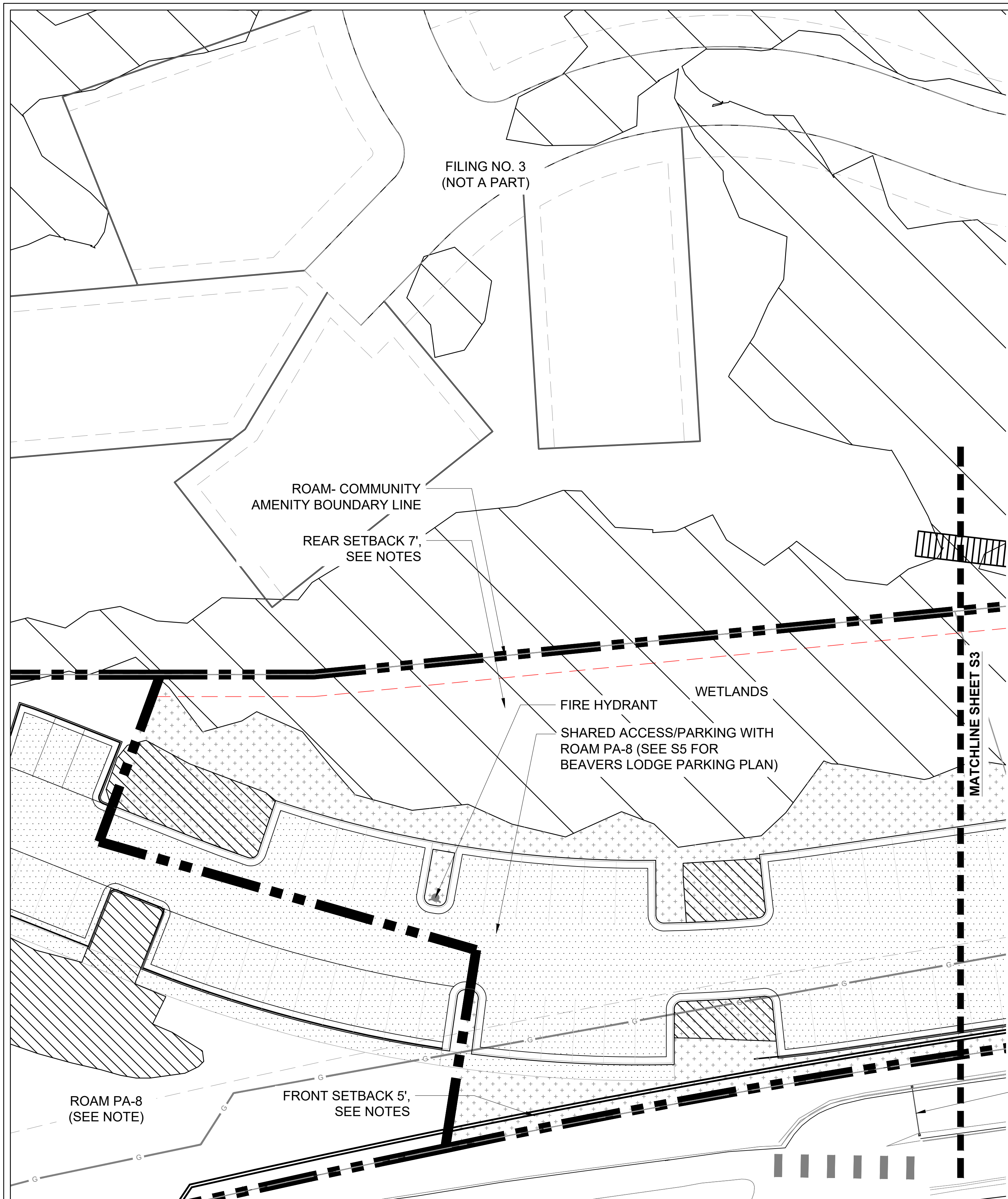
SETBACK NOTES:

- 1) PER ROAM FDP SETBACKS ARE:
 5' FRONT, 0' SIDE AND 10' REAR (NOTE 1.1)
 1.1) A 3' SETBACK REDUCTION IS ALLOWED FOR ENCLOSED DECKS, PORCHES, POOLS AND HOT TUBS PER TABLE 3-A-7. WITH THIS REDUCTION THE REAR SETBACK IS 7'.



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

VOGEL & ASSOCIATES ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL). THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.



LEGEND

	LANDSCAPE AREA: 43,624 SF (DOES NOT INCLUDE ROCK MULCH AREA)
	ROCK MULCH
	PROPOSED HARDSCAPE: 53,259 SF (PARKING AREAS AND PEDESTRIAN WALKWAYS FOR ALL OF PA-8 AND ROAM AMENITY)
	SNOW STORAGE
	WETLANDS
	PEDESTRIAN LIGHT

SNOW STORAGE - SEC. 3-H-5 PARKING DESIGN STANDARDS

- SNOW STORAGE PROVIDED FOR ALL HARDSCAPE AREAS INCLUDING THE SHARED PARKING LOT FOR PA-8 WHICH EXTENDS TO THE EXISTING BEAVERS LODGE ROAD. THE SNOW STORAGE AREAS ARE ALSO SHOWN ON THE CIVIL DRAWINGS.

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SETBACK NOTES:

- PER ROAM FDP SETBACKS ARE:
 5' FRONT, 0' SIDE AND 10' REAR (NOTE 1.1)
 1.1) A 3' SETBACK REDUCTION IS ALLOWED FOR ENCLOSED DECKS, PORCHES, POOLS AND HOT TUBS PER TABLE 3-A-7. WITH THIS REDUCTION THE REAR SETBACK IS 7'.

PA-8 NOTES

- Snow storage has been calculated for the entirety of the shared parking lot for PA-8 and Roam Amenity.
- Snow storage areas have been located to avoid impacts to the wetlands.

DOCUMENT SET ISSUE DATE
 SUBMITTAL SET 11/10/2023
 CONSTRUCTION SET

DWN. BY: MT

REVISIONS:
 01/18/2023
 05/31/2024
 07/15/2024

SCALE: 1"=20'

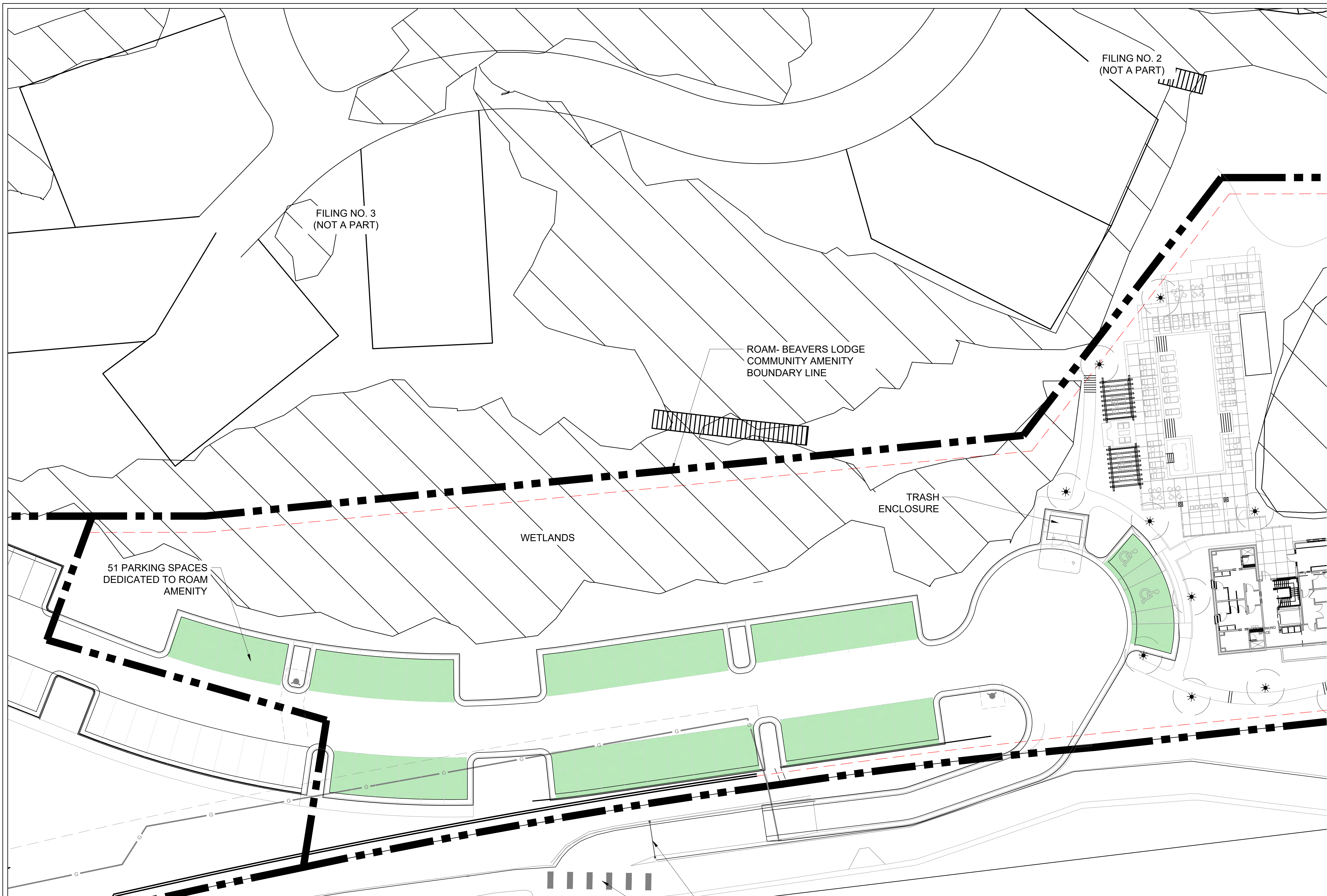
811
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ROAM - COMMUNITY AMENITY
 WINTER PARK, CO 80482

DOCUMENT SET	ISSUE DATE
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SITE PLAN
 PARKING PLAN

S5



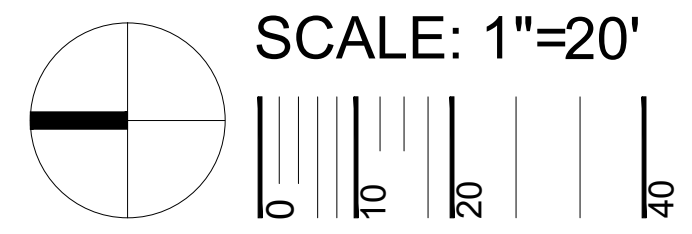
PARKING NOTES:

1. THE PROPOSED COMMUNITY CENTER WILL SERVE ROAM RESIDENTS. ROAM IS DESIGNED AS A MULTI-MODAL COMMUNITY THAT UTILIZES TRANSIT, VEHICLE CIRCULATION AND AN EXTENSIVE PEDESTRIAN SYSTEM TO ACCESS PLANNING AREAS INCLUDING THE PROPOSED COMMUNITY AMENITY. AS ILLUSTRATED ABOVE, THE COMMUNITY AMENITY IS LOCATED ADJACENT TO AN EXISTING TRANSIT STOP AND IS DESIGNED TO INCLUDE FIFTY ONE (51) SURFACE PARKING SPACES. THIS INCLUDES 2 ADA PARKING SPACES.
2. AS DISCUSSED IN THE PRE-APPLICATION MEETING, OTHER COMMUNITY CLUB AMENITIES THAT HAVE BEEN CONSTRUCTED IN OTHER RESIDENTIAL RESORT COMMUNITIES IS INCLUDED AS COMPARABLE IN TERMS OF PARKING THAT HAS BEEN PROVIDED. SOME OF THESE FACILITIES INCLUDE VEHICLE AND PEDESTRIAN ACCESS WHILE OTHERS HAVING PREDOMINATELY AUTOMOBILE ACCESS ONLY. AS ILLUSTRATED ON THE ATTACHED, THE PARKING PROPOSED FOR THE ROAM COMMUNITY AMENITY IS COMMENSURATE WITH OTHER SIMILAR FACILITIES. GIVEN THE COMPREHENSIVE PEDESTRIAN NETWORK AND TRANSIT STOP, RESIDENTS WILL HAVE MULTIPLE ALTERNATIVES TO ACCESS THE AMENITY.

LEGEND

ROAM AMENITY
 (51 SPACES PROVIDED, 2 ADA)

EXISTING RAMP AND ACCESS VIA
 US HWY 40 TO REMAIN
 PEDESTRIAN CROSSWALK



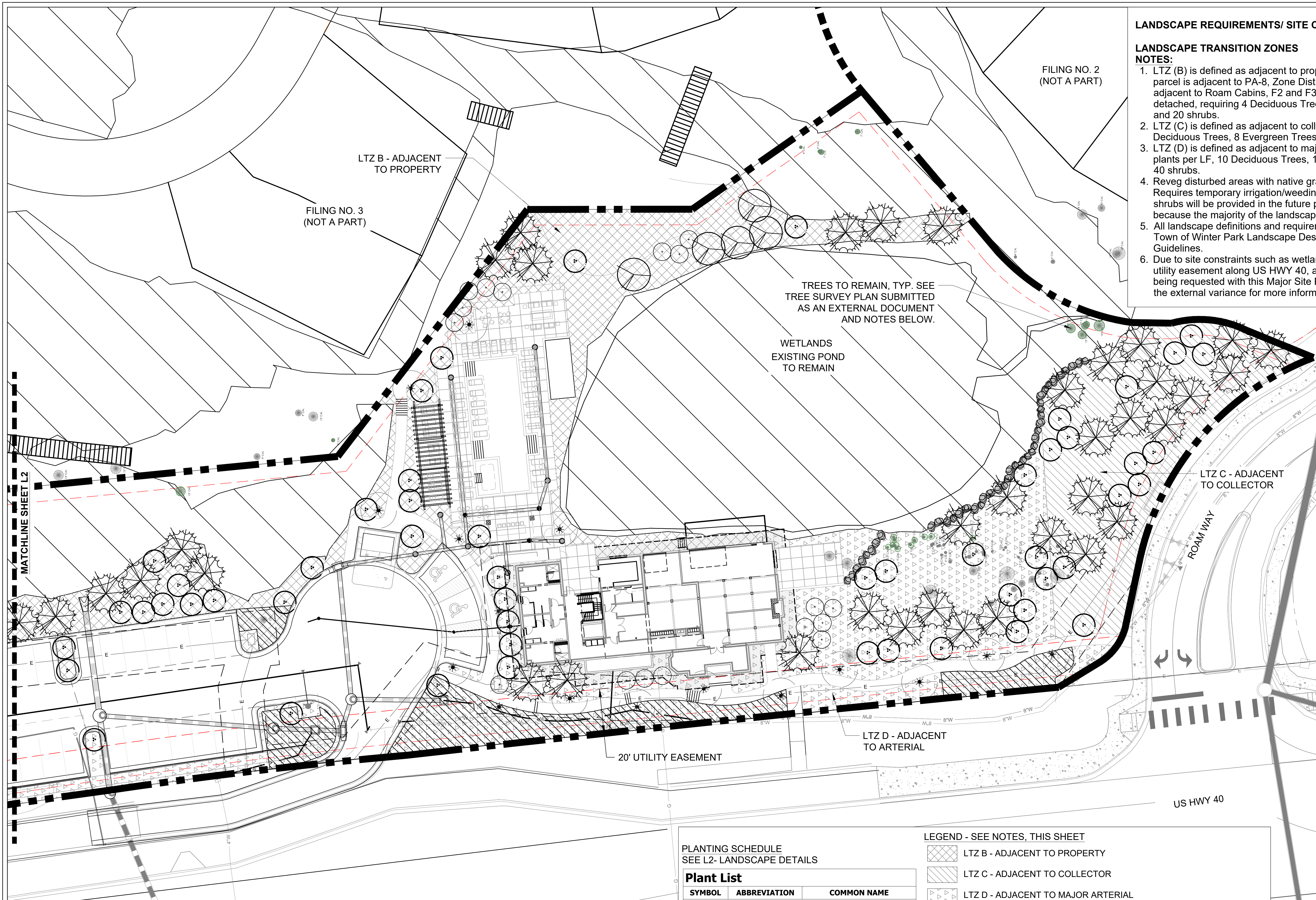
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 COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

LANDSCAPE REQUIREMENTS/ SITE CALCULATIONS

LANDSCAPE TRANSITION ZONES

NOTES:

1. LTZ (B) is defined as adjacent to property. Beavers Lodge parcel is adjacent to PA-8, Zone District D-C, MF, and also adjacent to Roam Cabins, F2 and F3, Zone District D-C, SF detached, requiring 4 Deciduous Trees, 4 Evergreen Trees and 20 shrubs.
2. LTZ (C) is defined as adjacent to collector street, requiring 8 Deciduous Trees, 8 Evergreen Trees and 30 shrubs.
3. LTZ (D) is defined as adjacent to major Arterial, requiring 100 plants per LF, 10 Deciduous Trees, 10 Evergreen Trees and 40 shrubs.
4. Reveg disturbed areas with native grass/wildflower seed mix. Requires temporary irrigation/weeding to establish. Required shrubs will be provided in the future phases Design Review because the majority of the landscape will not be irrigated.
5. All landscape definitions and requirements are based on The Town of Winter Park Landscape Design Regulations and Guidelines.
6. Due to site constraints such as wetlands and the existing utility easement along US HWY 40, a landscape variance is being requested with this Major Site Plan Application. Refer to the external variance for more information.



LANDSCAPE AREAS	LINEAR FEET	AREA (SQUARE FEET)	TOTAL NUMBER OF TREES REQUIRED	TOTAL SHRUBS REQUIRED	PROPOSED TREES (1)			PROPOSED SHRUBS		
					DECIDUOUS TREES	EVERGREEN TREES	PERCENTAGE OF EVERGREEN TREES	DECIDUOUS SHRUBS	EVERGREEN SHRUBS	PERCENTAGE OF EVERGREEN SHRUBS
Adjacent to Property - LTZ B	954	17,261	76	191	36	22	37.9%	55	25	31.3%
Adjacent to Collector - LTZ C	158	8,248	25	47	13	14	51.9%	35	20	36.4%
Adjacent to Major Arterial Street - LTZ D	634	18,115	127	254	31	11	26.2%	85	40	32.0%
TOTAL	1,588	43,624	228	492	80	47	37.0%	175	85	32.7%

Notes:
 1) Landscape Variance has been submitted as an external document with this Major Site Plan Submittal, see narrative.

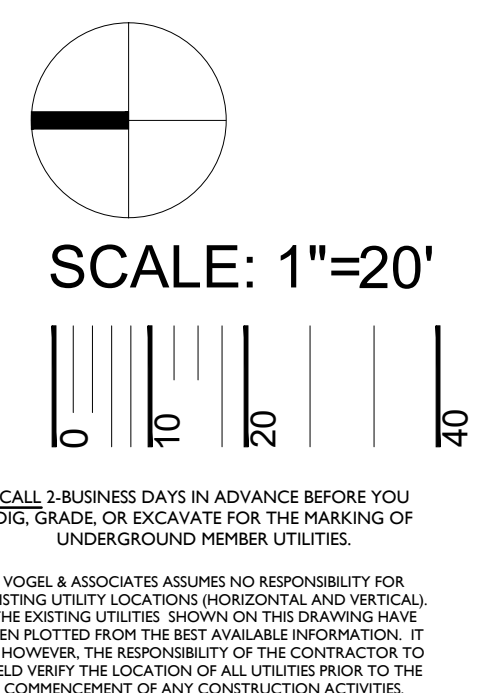
PLANTING SCHEDULE
 SEE L2- LANDSCAPE DETAILS

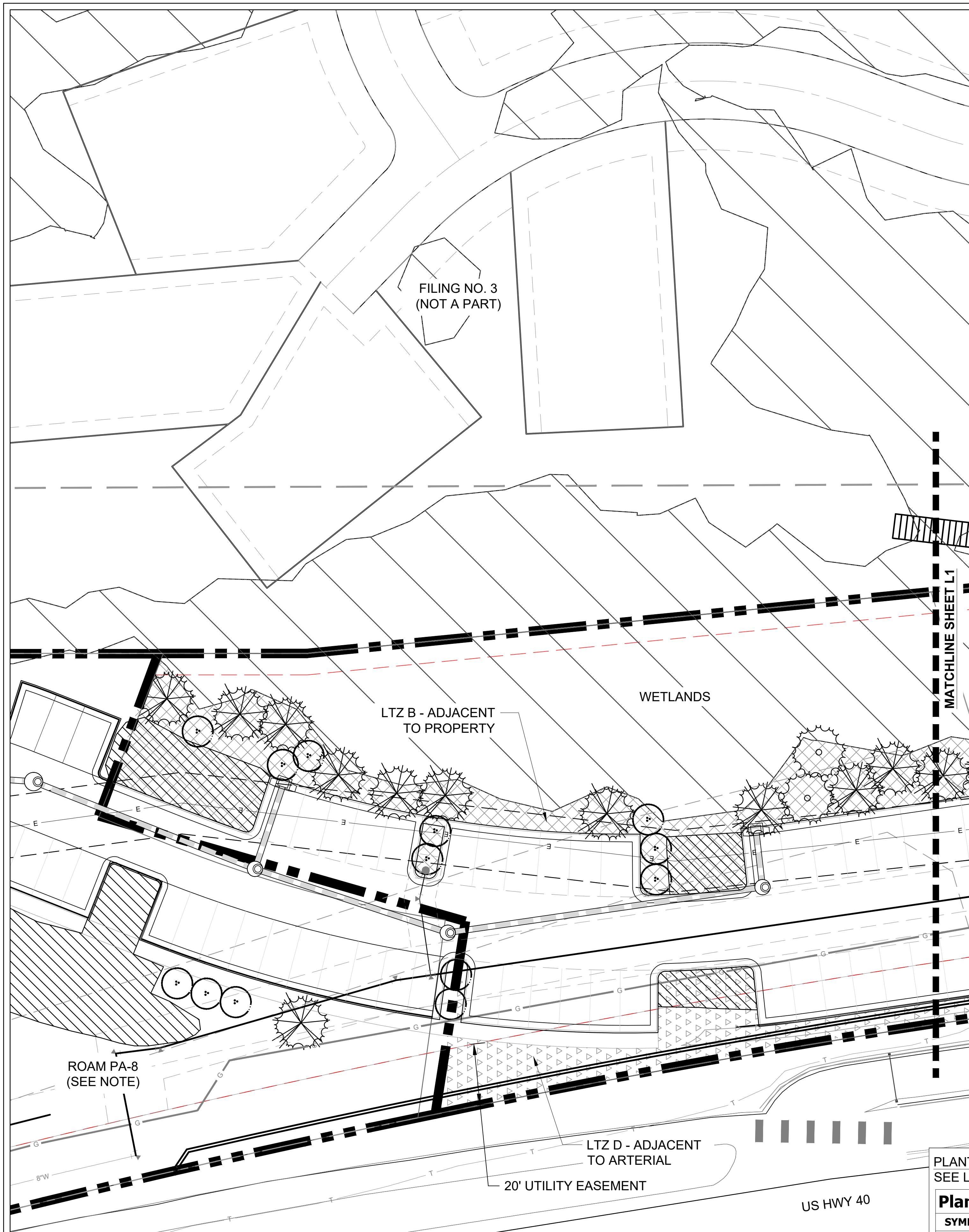
Plant List

SYMBOL	ABBREVIATION	COMMON NAME
DECIDUOUS TREES		
⊙	ASP	ASPEN CLUMP
⊙	AG	AMUR MAPLE/GINNALA MAPLE
⊙	CRC	CANADA RED CHOKECHERRY
EVERGREEN TREES		
⊙	ES	ENGLEMAN SPRUCE

LEGEND - SEE NOTES, THIS SHEET

- LTZ B - ADJACENT TO PROPERTY
 - LTZ C - ADJACENT TO COLLECTOR
 - LTZ D - ADJACENT TO MAJOR ARTERIAL
 - ROCK MULCH (INCLUDES A 5' NON-IRRIGATION ZONE BUILDING ZONE): 1,536 SF
 - SNOW STORAGE - SEE S2 FOR CALCULATIONS
 - WETLANDS
 - TREES TO REMAIN, SEE TREE PLAN (EXTERNAL DOC.)
- NOTES: ORANGE CONSTRUCTION FENCE SHALL BE LOCATED AROUND THE DRIP LINE OF EXISTING TREES THAT ARE TO BE PRESERVED.





FILING NO. 3
(NOT A PART)

LTZ B - ADJACENT
TO PROPERTY

WETLANDS

MATCHLINE SHEET L1

ROAM PA-8
(SEE NOTE)

LTZ D - ADJACENT
TO ARTERIAL

20' UTILITY EASEMENT

US HWY 40

PA-8 NOTES
 1. Snow storage has been calculated for the entirety of the shared parking lot for PA-8 and Roam Amenity.
 2. Snow storage areas have been located to avoid impacts to the wetlands.

LANDSCAPE REQUIREMENTS/ SITE CALCULATIONS

LANDSCAPE TRANSITION ZONES NOTES:
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TOTAL	1,588	43,624	228	492	80	47	37.0%	175	85	32.7%

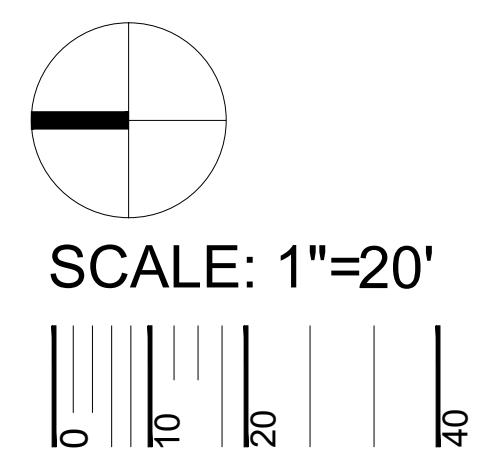
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PLANTING SCHEDULE
 SEE L2- LANDSCAPE DETAILS

Plant List		
SYMBOL	ABBREVIATION	COMMON NAME
DECIDUOUS TREES		
(Symbol)	ASP	ASPEN CLUMP
(Symbol)	AG	AMUR MAPLE/GINNALA MAPLE
(Symbol)	CRC	CANADA RED CHOKECHERRY
EVERGREEN TREES		
(Symbol)	ES	ENGLEMAN SPRUCE

LEGEND - SEE NOTES, THIS SHEET

- (Symbol) LTZ B - ADJACENT TO PROPERTY
- (Symbol) LTZ D - ADJACENT TO MAJOR ARTERIAL
- (Symbol) SNOW STORAGE - SEE S2 FOR CALCULATIONS
- (Symbol) WETLANDS



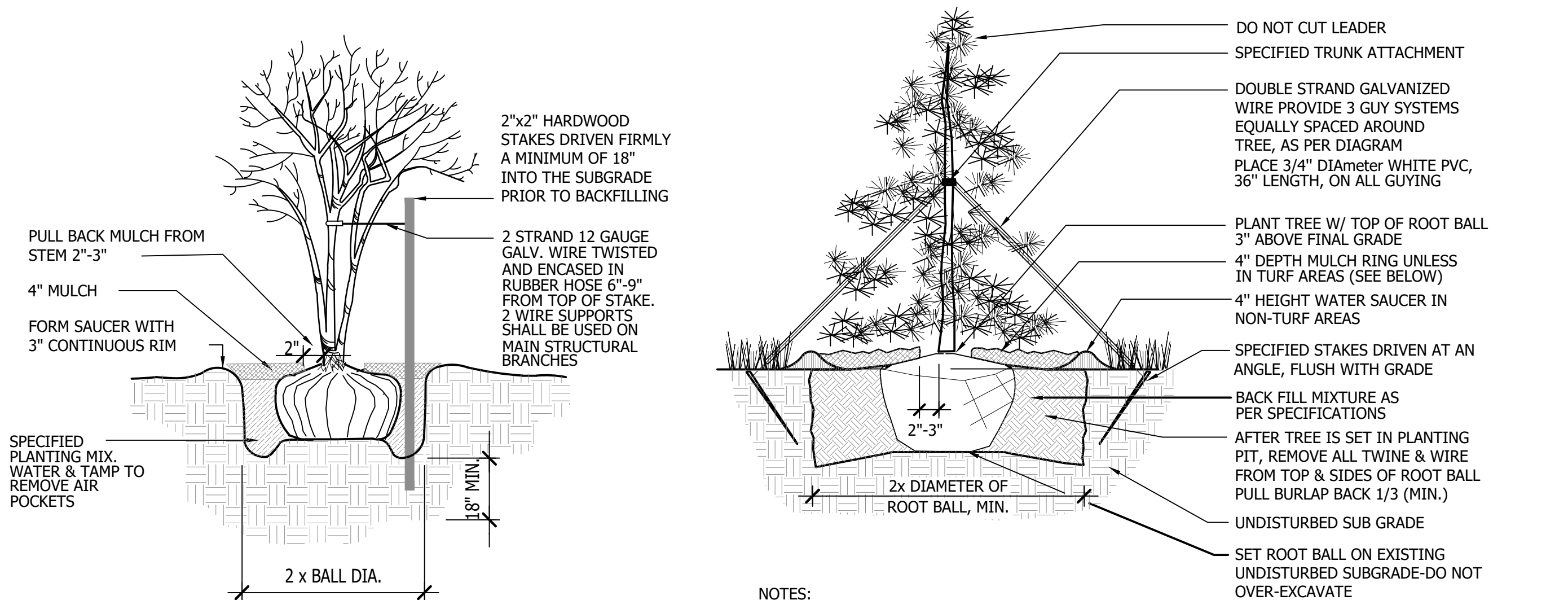
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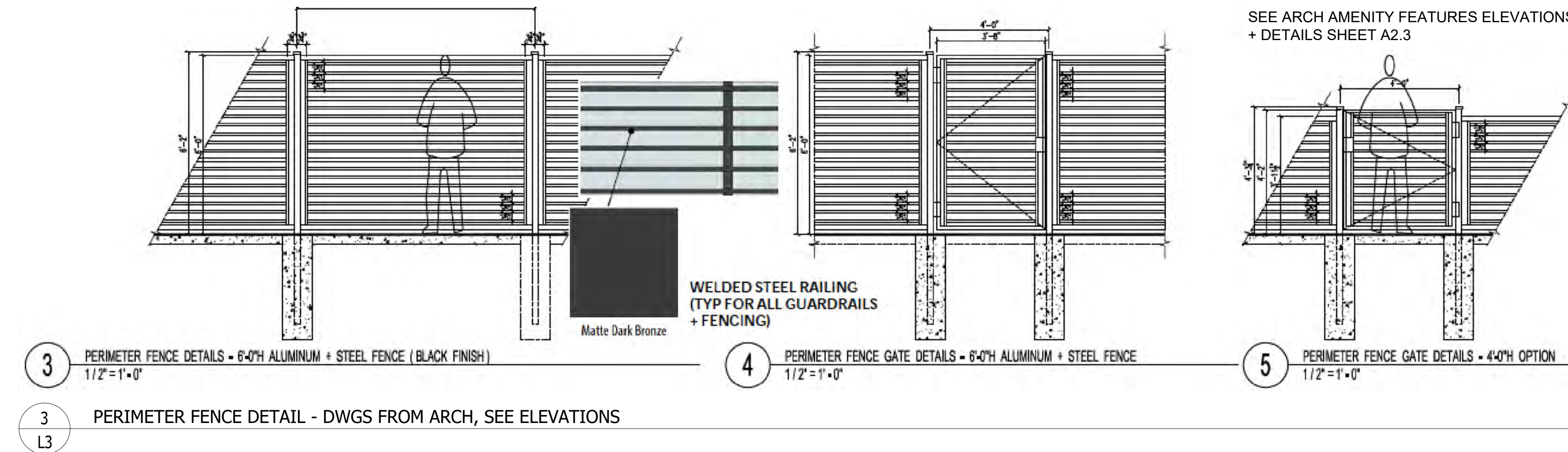
LANDSCAPE AND
 REVEGETATION PLAN

PLANTING NOTES

- LANDSCAPE PLAN AND DETAILS TO BE USED IN CONJUNCTION WITH THE CIVIL PLANS TO FORM COMPLETE INFORMATION REGARDING SITE WORK.
- CONTRACTOR TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO BEFORE DIGGING, INCLUDING BUT NOT LIMITED TO, TRENCHING AND SHRUB AND TREE PLANNING PITS. IF UTILITIES OCCUR AT LOCATIONS OF PROPOSED SHRUBS OR WITHIN EIGHT (8) FEET OF PROPOSED TREES, THE CONTRACTOR SHALL REPORT SUCH CONDITIONS TO THE OWNER'S REPRESENTATIVE. DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR IS THE RESPONSIBILITY OF THE CONTRACTOR.
- INSTALL FIR FIBER MULCH RING AROUND TREES AS SHOWN ON PLANTING DETAILS BELOW.
- NATIVE GRASS AREAS SHALL BE PREPARED WITH ASPEN RICH COMPOST OR AN APPROVED EQUAL AT A RATE OF 3 CUBIC YARDS PER 1,000 SQUARE FEET. THIS PREPARATION SHALL BE THOROUGHLY INCORPORATED INTO THE TOP 6" OF SOIL.
- ALL TREES, AND OTHER PLANT MATERIALS ARE TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO DELIVERY AND AGAIN AFTER DELIVERY TO SITE. ANY PLANT NOT MEETING APPROVAL MAY BE REJECTED AT ANY TIME PRIOR TO FINAL ACCEPTANCE.
- ALL PLANT MATERIAL LOCATIONS ARE TO BE STAKED BY THE CONTRACTOR FOR REVIEW BY THE OWNER'S REPRESENTATIVE. ALL ADJUSTMENTS SHALL BE MADE BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT DIG PLANT PITS UNTIL LOCATIONS ARE APPROVED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO EXISTING UTILITIES, WALLS AND/OR OTHER EXISTING STRUCTURES THAT IS A RESULT OF HIS WORK. THE REPAIR OF SUCH DAMAGE WILL BE AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO CONFIRM ALL PLANT QUANTITIES AS SHOWN ON THE LANDSCAPE PLANS.
- ALL AREAS DISTURBED BY GRADING OR CONSTRUCTION ACTIVITIES AND NOT INDICATED TO BE SURFACED OTHERWISE SHALL BE SEEDED WITH THE SPECIFIED NATIVE SEED MIX.
- THE CONTRACTOR SHALL HAVE ALL GRADING APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANT MATERIAL AND NATIVE SEED
- THE CONTRACTOR SHALL PROTECT ALL EXISTING VEGETATION TO REMAIN DURING CONSTRUCTION.
- SEE CIVIL EROSION CONTROL PLAN.
- ALL TREES TO BE DEEP WATERED BY HAND OR TRUCK AT TIME OF PLANTING AND CONTINUE UNTIL IRRIGATION SYSTEM IS OPERATING.
- ALL TREES WILL BE IRRIGATED WITH TEMPORARY DRIP IRRIGATION SYSTEM FOR TWO GROWING SEASONS.
- SHRUB BEDS TO INCLUDE 4" OF FIR FIBER MULCH OR AS SPECIFIED BY THE OWNERS REPRESENTATIVE.
- ALL FIR FIBER MULCH MUST BE TREATED WITH FLAME STOP II, PER MANUFACTURES INSTRUCTIONS.
MANUFACTURER:
FLAME STOP INC.
924 BLUE MOUND ROAD
FT.WORTH, TX 76131
1-877-397-7867
WWW.FLAMESTOP.COM
- ALL PLANT MATERIAL TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM THAT UTILIZES SMART WATER TECHNOLOGY. SHRUBS AND GROUNDCOVERS TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION DRIP SYSTEM. NATIVE SEED AREAS EXCEPT AS NOTED WILL NOT BE IRRIGATED.
- FILTER FABRIC TO BE INSTALLED UNDER ALL GRAVEL AND CRUSHER FINES TRAIL PER MANUFACTURES INSTRUCTIONS.
- SOIL AMENDMENT FOR ALL SOD AREAS SHALL BE A MINIMUM OF THREE (3) CUBIC YARDS OF ORGANIC MATTER PER ONE-THOUSAND SQUARE FEET. THIS SOIL AMENDMENT SHALL BE ROTO-TILLED TO A DEPTH OF SIX (6) INCHES. CLASS I OR CLASS II COMPOST IS REQUIRED. INSTALLING CONTRACTOR IS TO PROVIDE SUBMITTAL FROM SUPPLIERS FOR SOD AND NATIVE SEED MIX AT TIME OF LANDSCAPE INSPECTION.
- ALL BASE INFORMATION WAS PROVIDED BY CORE CONSULTANTS.

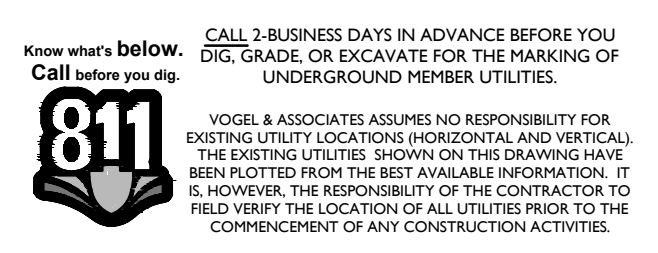


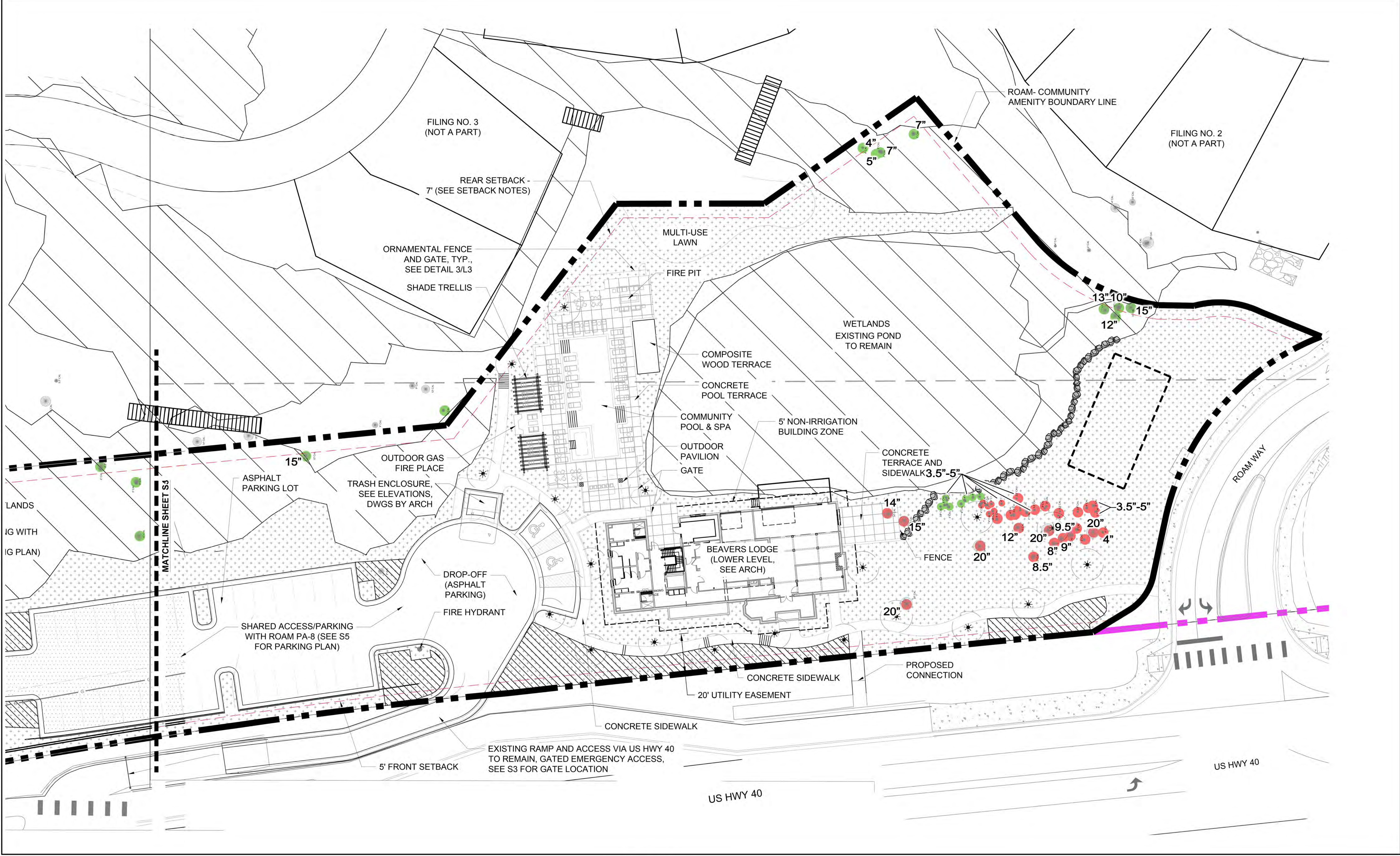
- NOTES:**
- PULL MULCH BACK 2" TO 3" FROM TRUNK OF TREE
 - INSTALL SPECIFIED MULCH TO DRIP LINE OF TREE WHERE PLANTED IN LAWN AREAS. MULCH TO BE 2" DEEP IN LAWN AREAS.
 - DO NOT PROVIDE WATER BASIN IN IRRIGATED LAWN AREAS.
- 1 MULTI-TRUNK ASPEN TREE STAKING**
NOT TO SCALE
- 2 EVERGREEN TREE PLANTING**
NOT TO SCALE



SYMBOL	ABBREVIATION	COMMON NAME	BOTANICAL NAME	SIZE
DECIDUOUS TREES				
⊙	ASP	ASPEN CLUMP	POPULUS TREMULOIDES	3" CAL.
⊙	AG	AMUR MAPLE/GINNALA MAPLE	ACER GINNALA	3" CAL.
⊙	CRC	CANADA RED CHOKECHERRY	PRUNUS VIRGINIANA MELANOCARPA	3" CAL.
EVERGREEN TREES				
⊙	ES	ENGLEMAN SPRUCE	PICEA ENGELMANNII	8'-10' HT
EVERGREEN SHRUBS				
⊙	MP	SLOW MOUND MUGO PINE	PINUS MUGO 'SLOWMOUND'	5 GAL.
⊙	DBS	DWARF BLUE SPRUCE	PICEA PUNGENS 'GLOBOSA'	5 GAL.
⊙	DGS	DWARF GREEN SPRUCE	PICEA PUNGENS	5 GAL.
DECIDUOUS SHRUBS				
⊙	AC	ALPINE CURRANT	RIBES ALPINUM	5 GAL.
⊙	JP	JACKMAN POTENTILLA	POTENTILLA FRUTICOSA 'JACKMANNII'	5 GAL.
⊙	MSB	MOUNTAIN SNOWBERRY	SYMPHORICARPUS OREOPHILUS A. GRAY	5 GAL.
⊙	MN	MOUNTAIN NINEBARK	PHYSOCARPUS OPULIFOLIUS 'SEWARD'	5 GAL.
⊙	PLP	PURPLE LEAF PLUM	PRUNUS X CISTENA	5 GAL.
⊙	SWN	SUMMER WINE NINEBARK	PHYSOCARPUS OPULIFOLIUS 'SEWARD'	5 GAL.
ORNAMENTAL GRASSES				
⊙	BAG	BLUE AVENA GRASS	HELICOTRICHON SEMPERVIRENS	1 GAL.
PERENNIALS				
⊙	BES	BLACK EYE SUSAN	RUDBECKIA FULGIDA 'GOLDSRUM'	1 GAL.
⊙	BP	BRIDGE'S PENSTEMON	PENSTEMON ROSTRIFLORUS	1 GAL.
⊙	SD	SHASTA DAISY	LEUCANTHEMUM X SUPERBUM	1 GAL.
⊙	MNS	MAY NIGHT SALVIA	SALVIA NEMOROSA 'MAY NIGHT'	1 GAL.
⊙	RS	RED SALVIA	SALVIA NEMOROSA 'ROSE QUEEN'	1 GAL.
⊙	SWS	SNOW WHITE SALVIA	SALVIA NEMOROSA 'SNOW HILL'	1 GAL.
⊙	EL	ENGLISH LAVENDER	LAVENDULA ANGUSTIFOLIA 'HIDCOTE'	1 GAL.
GROUNDCOVER				
⊙	KK	BEARBERRY/ KINNINNICK	ARTOSTAPHYLOS UVA-URSI	30" O.C.

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ROAM BEAVERS LODGE
 WINTER PARK TREE SURVEY EXHIBIT

LEGEND

- TREES TO BE PRESERVED
 (ORANGE CONSTRUCTION FENCE SHALL BE LOCATED AROUND THE DRIP LINE OF EXISTING TREES THAT ARE TO BE PRESERVED)
- TREES TO BE REMOVED

JULY 15, 2024

SCALE: 1"=20'

VOGEL & ASSOCIATES Land Planning ♦ Landscape Architecture ♦ Development Consulting
 475 W. 12th Avenue - Suite E - Denver, Colorado 80204-3688 - (303) 893-4288



CORDILLERA TRAILHEAD CLUB -
 PARKING PROVIDED: 14 STRIPED DESIGNATED PARKING SPACES + OVER FLOW PARKING - 12 SPACES
 Cordillera near Vail, CO



SUMMIT SKY RANCH-
 PARKING PROVIDED: 24 STRIPED DESIGNATED PARKING SPACES
 Silverthorne, CO

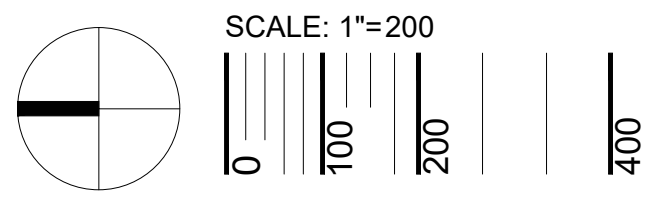


CLUB ESPIRITU-
 PARKING PROVIDED: 16 STANDARD PARKING SPACES
 San Jose del Cabo, Mexico



LEGEND

- PRIMARY RD.
- PEDESTRIAN CIRCULATION
- PROPERTY LINE
- * APPROX. LOCATION OF TRANSIT STOPS



ROAM - BEAVERS LODGE
WINTER PARK, CO 80482

DOCUMENT SET	ISSUE DATE
SUBMITTAL SET	11/XX/2023
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REVISIONS:	



1 SITE LIGHTING PLAN
SCALE: 1" = 10'-0" NORTH

BEAVER'S LODGE
ROAM COMMUNITY CLUBHOUSE
US HWY 40 | WINTER PARK, CO 80482

DOCUMENT SET	ISSUE DATE
	7/12/2024
DWN. BY:	DMK
REVISIONS:	

SITE LIGHTING
PHOTOMETRIC PLAN

HAMMERTONSTUDIO™ OUTDOOR | TERRACE PENDANT PRODUCT #: OPB0072-01 L2

All dimensions are shown in inches unless otherwise stated.

Overall Height, Site Adjustable in 3" Increments: 28.6" - 82.6"

Mounting Method: Mounts Directly To J-Box

PRODUCT DESCRIPTION

A classic look that suits a broad range of transitional and traditional architectural styles, this oversized pendant design features a metal outer frame with seeded glass and an interior diffuser in hand blown glass. It is offered with a choice of incandescent and AC LED lamping, but note that **only the AC LED option is IDA Dark Sky compliant.**

The Terrace Nested Lantern Pendant is offered in three AAMA 2604-rated finishes and includes a lifetime warranty to the original purchaser.

SCAN FOR MORE INFORMATION

PRODUCT SPECIFICATION

Construction: Aluminum Body With Glass Panes and Blown Glass
 Finish Options: **AC SB TB**
 Glass Types: **CS**
 Suspension Method: Ceiling Mount
 Weight(lbs.): 25
 UL Rating: Wet
 Top Diffuser: Closed Metal
 Bottom Diffuser: Closed Glass
 Light Source: LED
 Electrical Qty: 1
 Wattage (Watts): 4.5
 Voltage (Volts): 120
 Source Lumens: 400
 Dimming: ELV to 1%
 CCT: 3000K
 Driver Quantity & Location: 0
 CRI: 93+
 Power Factor: >0.9

Rev © 11/7/2022

GENERAL NOTES:
 Visit studio.hammerton.com to read about our Lifetime Limited Warranty.
 All Hammerton fixtures are handcrafted by artists. Subtle imperfections reflect the mark of the artisan and should be expected in any handcrafted product. Dimensions may vary up to 1/8".
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 Hammerton Inc. 217 Wright Brothers Dr. Salt Lake City, UT 84116 (801)973-8095 | studio.hammerton.com | info@hammerton.com

1 TYPE S1
NOT TO SCALE

HAMMERTONSTUDIO™ OUTDOOR | TERRACE NESTED LANTERN PRODUCT #: ODB0072-03 L2

All dimensions are shown in inches unless otherwise stated.

Mounting Method: Mounts To Building Structure

PRODUCT DESCRIPTION

A classic look that suits a broad range of transitional and traditional architectural styles, this oversized sconce design features a metal outer frame with seeded glass and an interior diffuser in hand blown glass. It is offered with a choice of incandescent and AC LED lamping.

The Terrace Nested Lantern Sconce is offered in three AAMA 2604-rated finishes and includes a lifetime warranty to the original purchaser.

SCAN FOR MORE INFORMATION

PRODUCT SPECIFICATION

Construction: Aluminum Body With Blown Glass and Glass Panes
 Finish Options: **AC SB TB**
 Glass Types: **CS**
 Suspension Method: Wall Mount
 Weight(lbs.): 30
 UL Rating: Wet
 Top Diffuser: Closed Metal
 Bottom Diffuser: Closed Glass
 Light Source: LED
 Electrical Qty: 1
 Wattage (Watts): 4.5
 Voltage (Volts): 120
 Source Lumens: 400
 Dimming: ELV to 1%
 CCT: 3000K
 Driver Quantity & Location: 0
 CRI: 93+
 Power Factor: >0.9

Rev © 6/21/2021

GENERAL NOTES:
 Visit studio.hammerton.com to read about our Lifetime Limited Warranty.
 All Hammerton fixtures are handcrafted by artists. Subtle imperfections reflect the mark of the artisan and should be expected in any handcrafted product. Dimensions may vary up to 1/8".
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2 TYPE S2
NOT TO SCALE

HAMMERTONSTUDIO™ OUTDOOR | RANCH SCONCE PRODUCT #: ODB0074-01 L2

All dimensions are shown in inches unless otherwise stated.

Mounting Method: J-Box Wall Mount

PRODUCT DESCRIPTION

A timeless vintage look makes the Ranch Sconce suit many of today's most popular architectural styles. AC LED lamping minimizes energy consumption and fixture maintenance. Choose from three AAMA 2604-rated all-climate finishes.

The Ranch Sconce is certified as Dark Sky Compliant by the International Dark Sky Association (IDA), and it includes a lifetime warranty to the original purchaser.

SCAN FOR MORE INFORMATION

PRODUCT SPECIFICATION

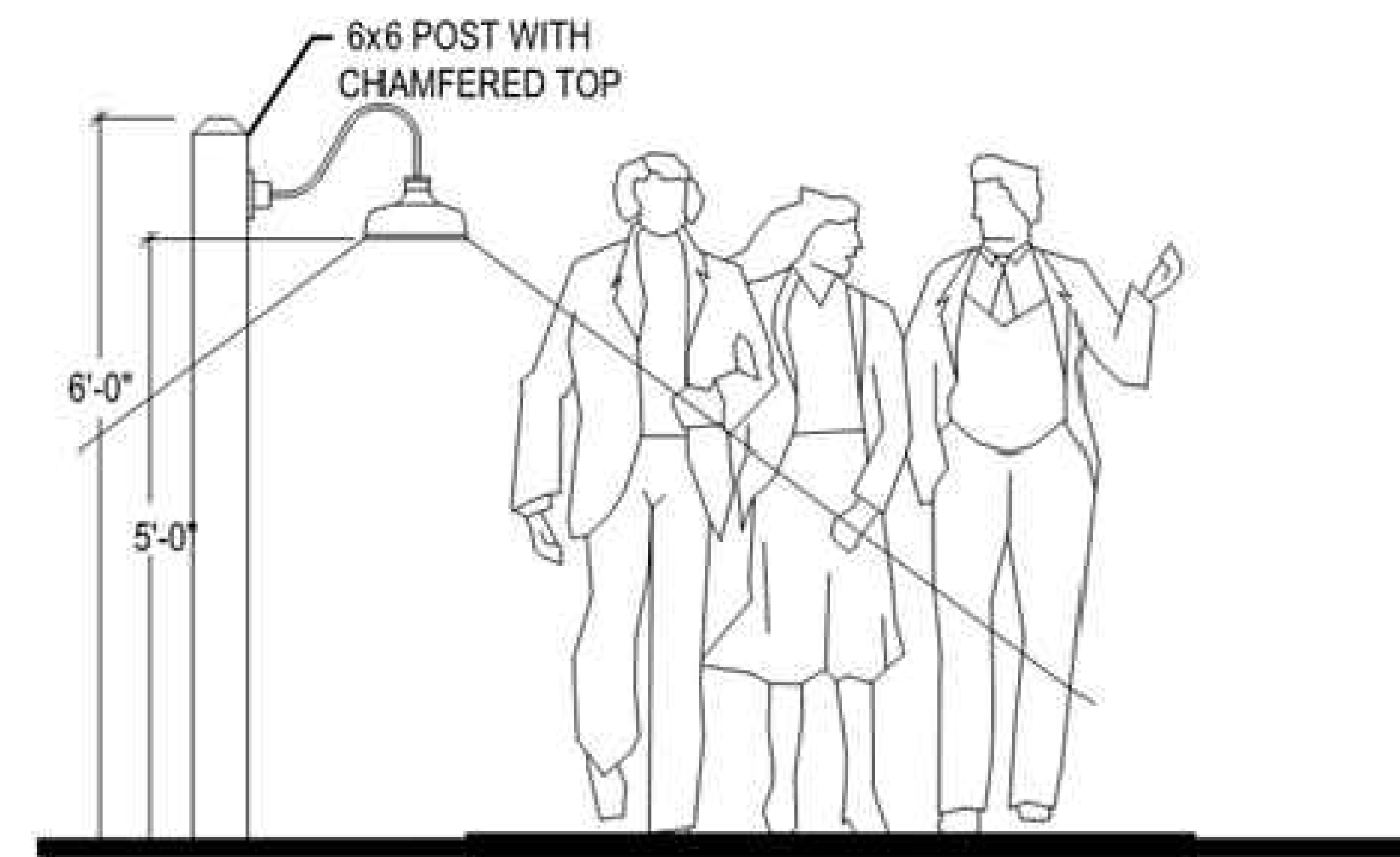
Construction: Aluminum Body With Blown Glass
 Finish Options: **AC SB TB**
 Glass Types: **F**
 Suspension Method: Wall Mount
 Weight(lbs.): 5
 UL Rating: Wet
 Top Diffuser: Closed
 Bottom Diffuser: Closed Glass
 Light Source: LED
 Electrical Qty: 1
 Wattage (Watts): 4.5
 Voltage (Volts): 120
 Source Lumens: 400
 Dimming: ELV to 1%
 CCT: 3000K
 Driver Quantity & Location: 0
 CRI: 93+
 Power Factor: >0.9

Rev © 6/21/2021

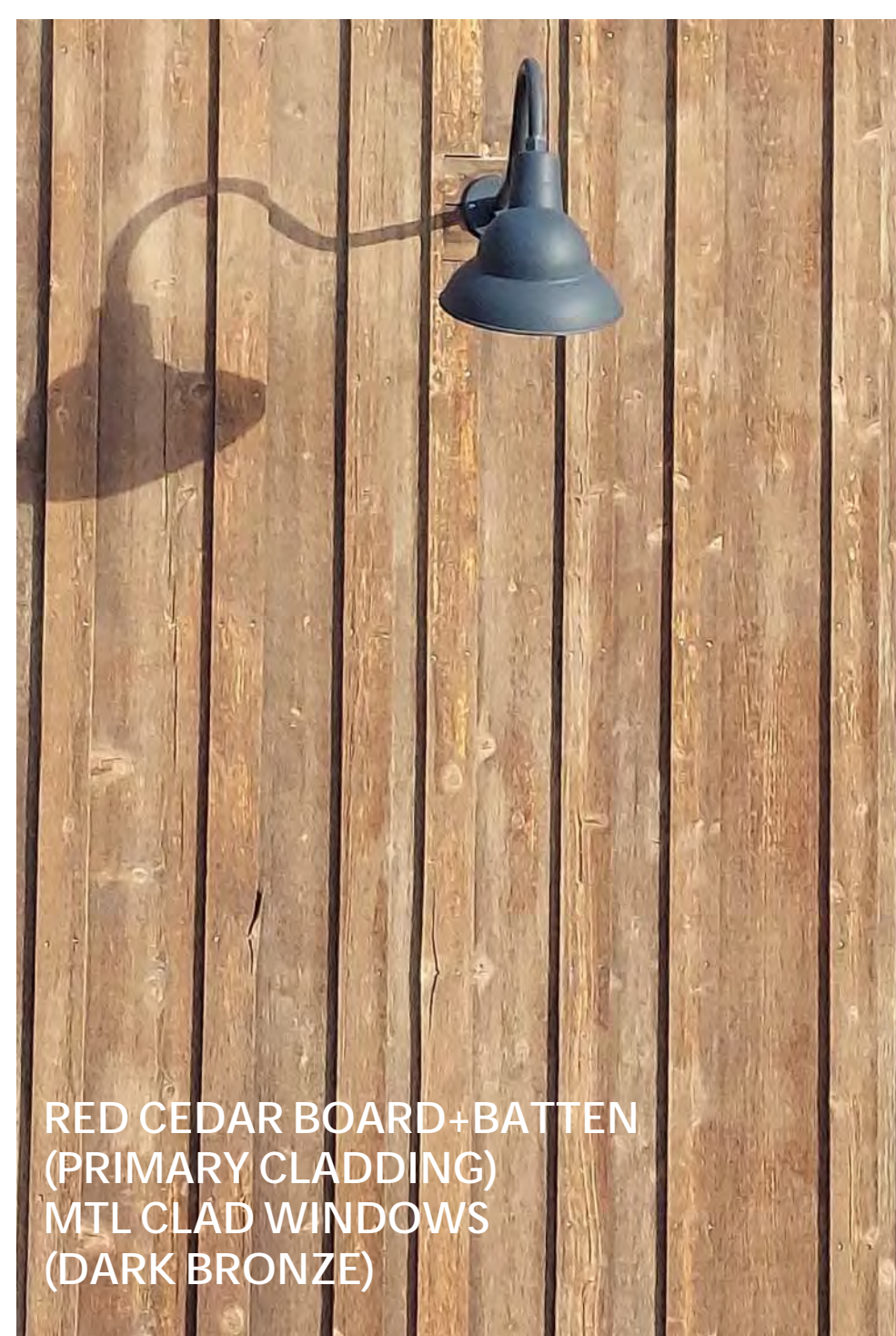
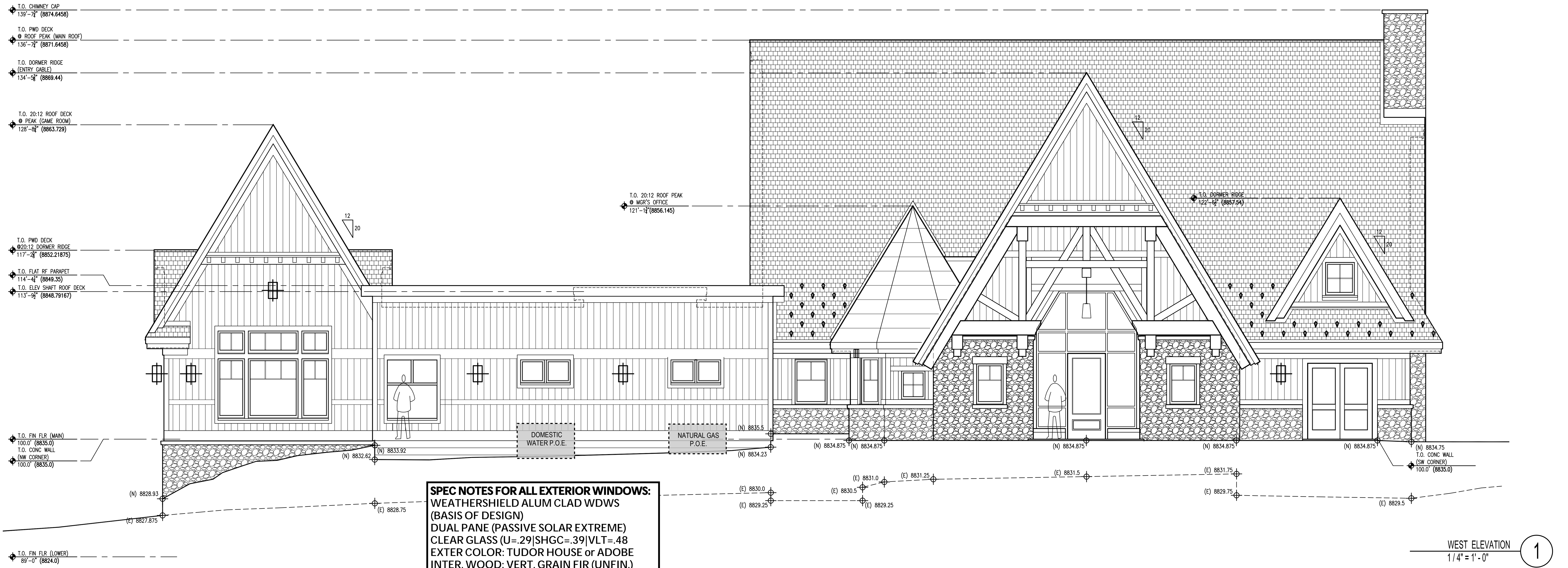
GENERAL NOTES:
 Visit studio.hammerton.com to read about our Lifetime Limited Warranty.
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3 TYPES S3 & S4
NOT TO SCALE

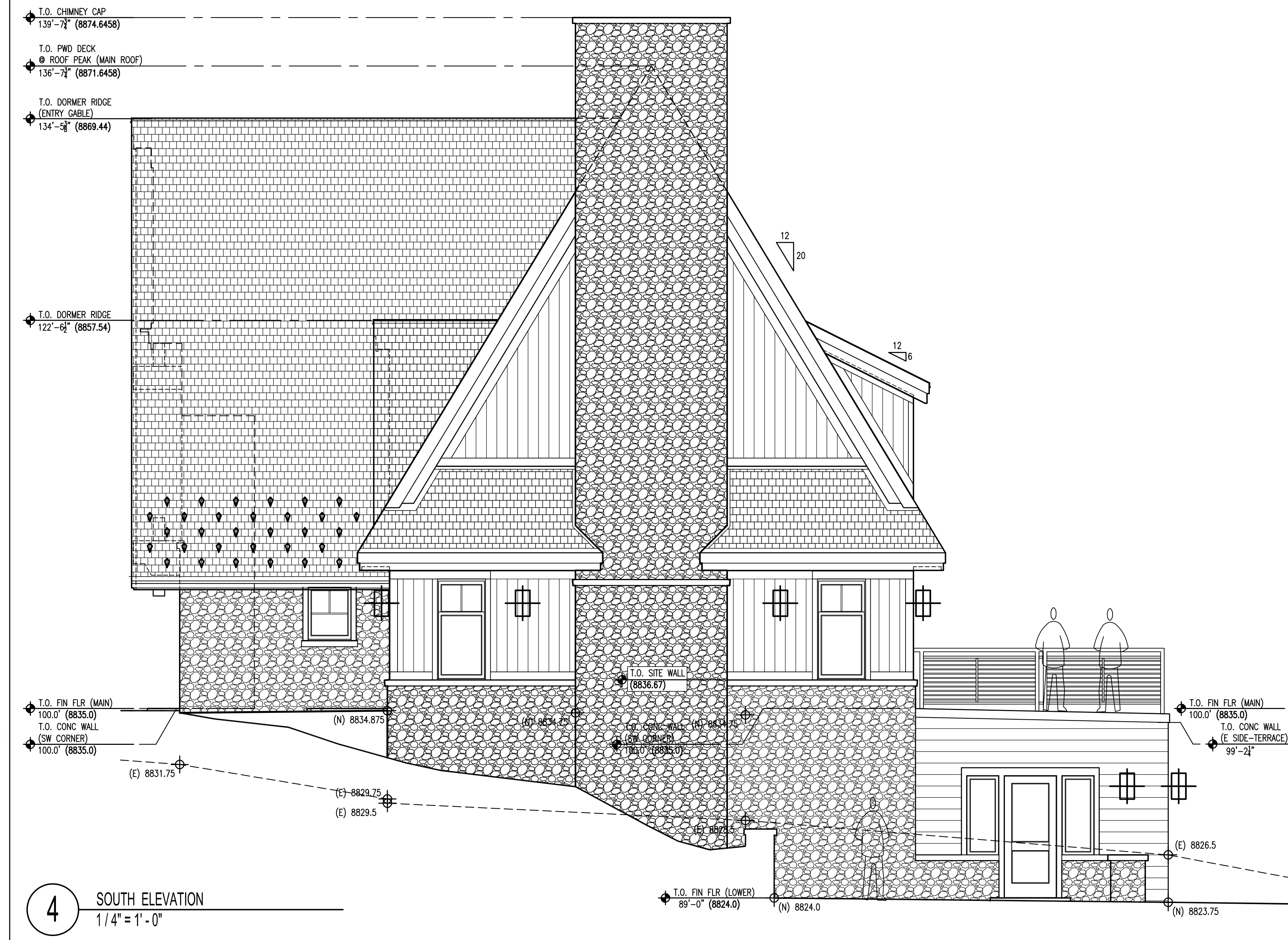
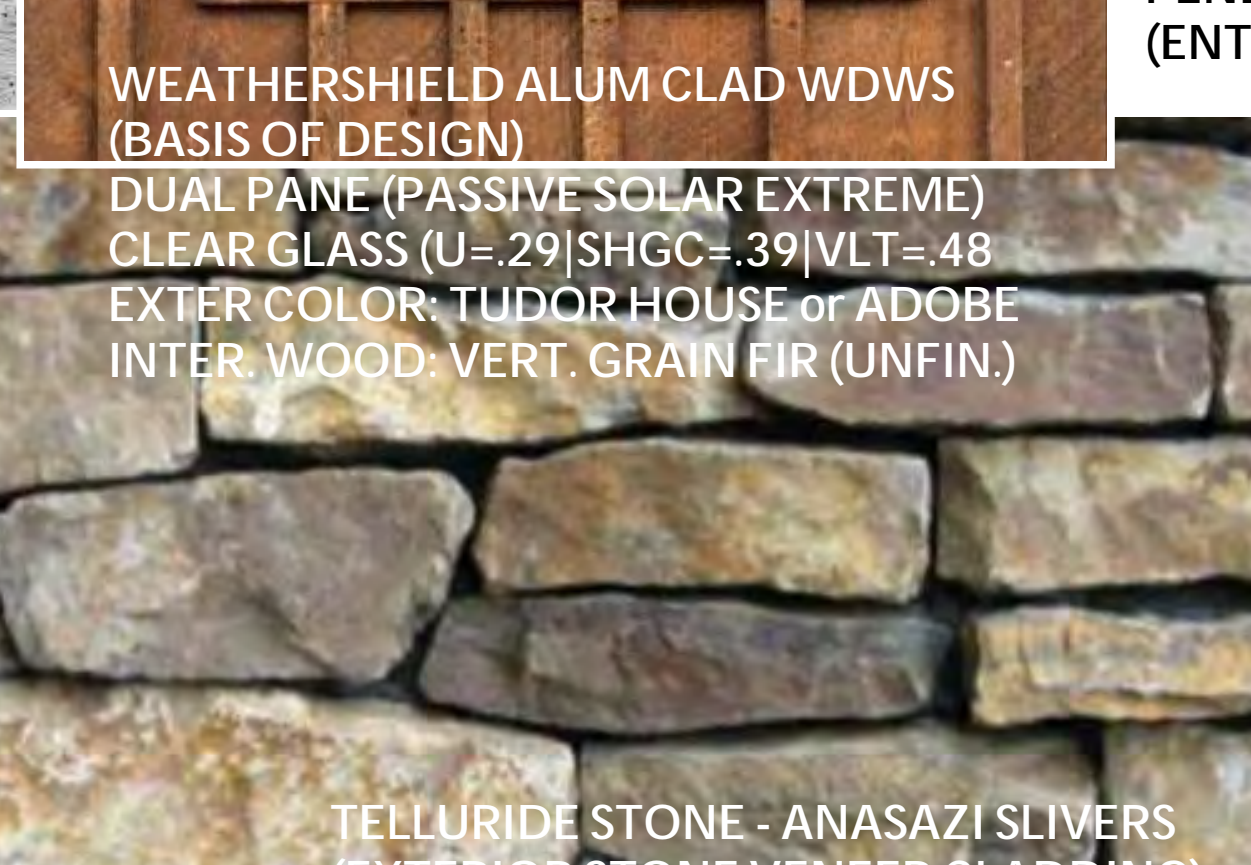
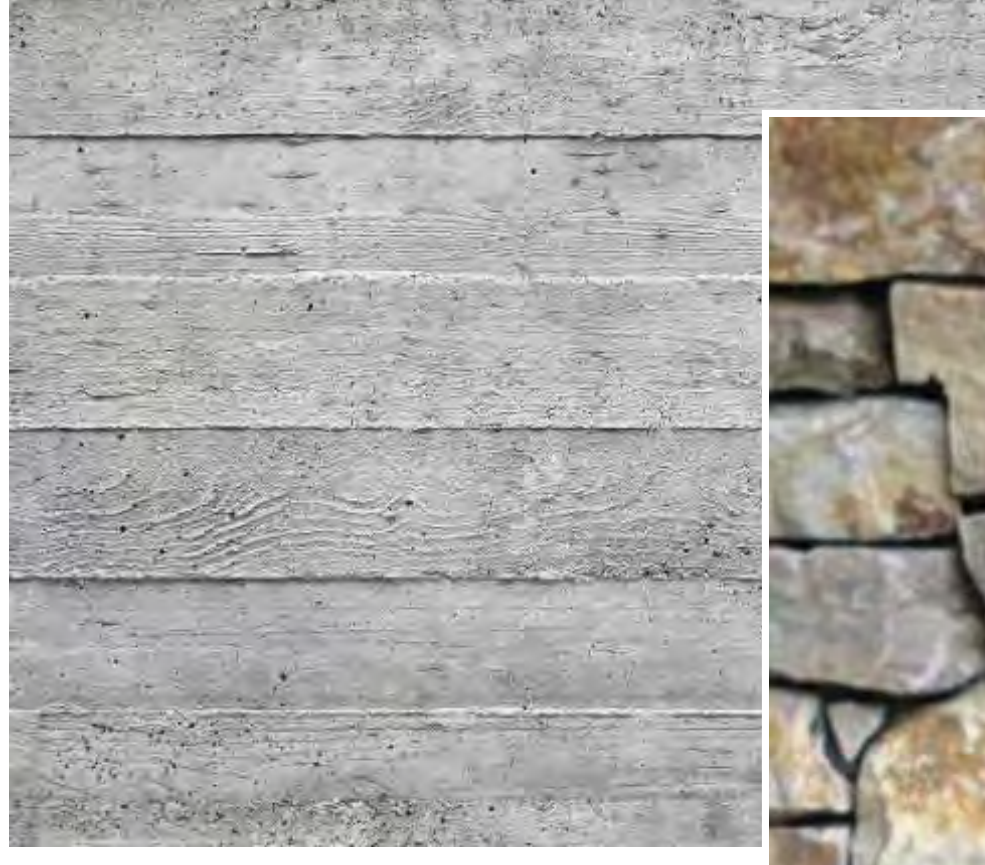
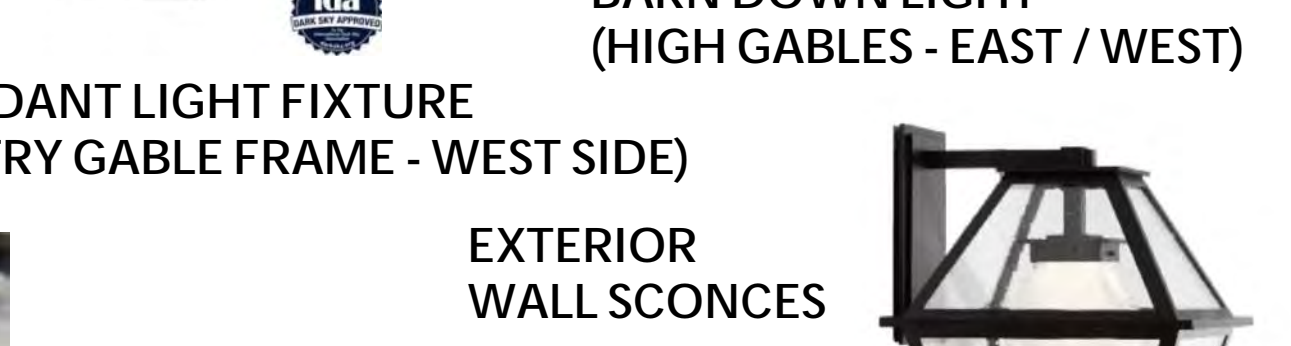
LIGHTING FIXTURE SCHEDULE								
KAZIN & ASSOCIATES, INC								
DESCRIPTION OF LUMINAIRE				BASIS OF DESIGN				
ID	DESCRIPTION	FINISH	MOUNTING INFORMATION	MANUFACTURER	MODEL NUMBER OR SERIES	DESIGN LOAD (VA)	LUMENS	VOLTAGE
S1	PENDANT MOUNTED DARK SKY RATED LED LANTERN	BLACK	PENDANT	HAMMERTON	OPB0072-01 L2	4.5	400	120
S2	PENDANT MOUNTED DARK SKY RATED LED LANTERN	BLACK	WALL	HAMMERTON	OPB0072-03 L2 WITH INTEGRATED LED LAMP FOR DARK SKY COMPLIANCE	4.5	400	120
S3	PENDANT MOUNTED DARK SKY RATED LED LANTERN	BLACK	WALL	HAMMERTON	OPB0074-01 L2	4.5	400	120
S4	PENDANT MOUNTED DARK SKY RATED LED LANTERN	BLACK	POST	HAMMERTON	OPB0074-01 L2	4.5	400	120
GENERAL LIGHTING NOTES								
1	FIXTURE SPECIFICATIONS REPRESENT THE ENGINEER'S UNDERSTANDING OF THE REQUIRED FIXTURES. FIXTURE SPECIFICATIONS SHALL BE REVIEWED AND APPROVED IN WRITING BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO ORDERING FIXTURES. NOTIFY ELECTRICAL ENGINEER OF ANY FIXTURE CHANGES PRIOR TO PURCHASING FIXTURES.							
2	PROVIDE HANGERS, ADAPTERS, INSTALLATION KITS, PARTS AND PIECES TO INSTALL THE SPECIFIED FIXTURE IN THE LOCATIONS SHOWN ON THE PLAN.							
3	PROVIDE COMPLETE LUMINAIRES INCLUDING LAMP(S) AND ALL SOCKETS, BALLASTS, DRIVERS, REFLECTORS, LENSES, HOUSINGS AND OTHER COMPONENTS REQUIRED TO POSITION, ENERGIZE AND PROTECT THE LAMP AND DISTRIBUTE THE LIGHT.							
4	UNLESS SPECIFICALLY INDICATED TO BE EXCLUDED, PROVIDE ALL REQUIRED CONDUIT, BOXES, WIRING, CONNECTORS, HARDWARE, SUPPORTS, TRIMS, ACCESSORIES, ETC. AS NECESSARY FOR A COMPLETE OPERATING SYSTEM.							



4 TYPED S4 MOUNTING DETAIL
NOT TO SCALE



BOARD-FORMED CONCRETE FINISH (8" FORMS)
(BELOW EAST TERRACE & MAIN LEVEL RESTROOMS - WEST SIDE)



ROAM COMMUNITY CLUBHOUSE
US HWY 40 | WINTER PARK, CO 80482

DOCUMENT SET	ISSUE DATE
PROGRESS:	05/31/2024
DWN. BY:	PVD
REVISIONS:	
1. S.D.P. SBMTL #1:	09/27/2023
2. S.D.P. SBMTL #2:	05/30/2024
3. S.D.P. SBMTL #3:	07/12/2024

EXTERIOR ELEVATIONS
A2.1

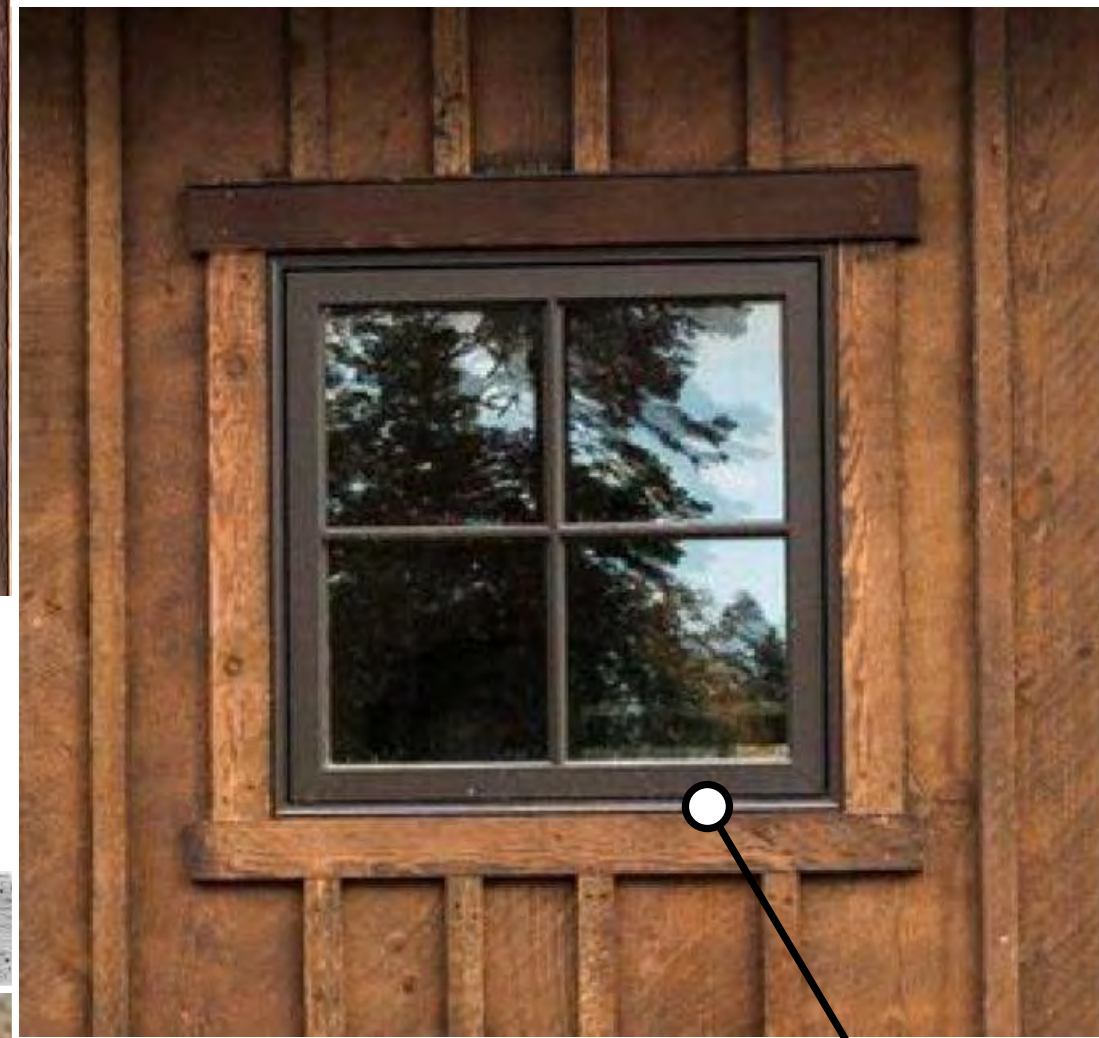


RED CEDAR BOARD+BATTEN
(PRIMARY CLADDING)
MTL CLAD WINDOWS
(DARK BRONZE)

BOARD-FORMED
CONCRETE FINISH (8" FORMS)
(BELOW EAST TERRACE &
MAIN LEVEL RESTROOMS - WEST SIDE)



OWENS CORNING
ASPHALT SHINGLES (MAIN ROOF)
COLOR: WILLIAMSBURG SLATE



STANDING SEAM METAL ROOFING
(ABOVE MGR'S OFFICE)
(COLOR: MATTE MED. BRONZE)



BARN DOWN LIGHT
(HIGH GABLES - EAST / WEST)

PENDANT LIGHT FIXTURE
(ENTRY GABLE FRAME - WEST SIDE)

EXTERIOR
WALL SCONCES



WELDED STEEL HANDRAILS
(COLOR: DARK BRONZE)
(SOUTH RETAINING WALL &
EAST TERRACE)



TELLURIDE STONE - ANASAZI SLIVERS
(EXTERIOR STONE VENEER CLADDING)

SPEC NOTES FOR ALL EXTERIOR WINDOWS:
WEATHERSHIELD ALUM CLAD WDW'S
(BASIS OF DESIGN)
DUAL PANE (PASSIVE SOLAR EXTREME)
CLEAR GLASS (U=.29|SHGC=.39|VLT=.48
EXTER COLOR: TUDOR HOUSE or ADOBE
INTER. WOOD: VERT. GRAIN FIR (UNFIN.)
EXTER. TRIM: 1x4 (JAMBS/APRON); 1x6
HEAD:
2x PRESSURE TREATED SILL w/ ALUM CAP TO
MATCH WDW'S EXTER. ALUM. CLADDING.

T.O. CHIMNEY CAP
139'-7" (8874.6458)
T.O. PWD DECK
ROOF PEAK (MAIN ROOF)
136'-7" (8871.6458)

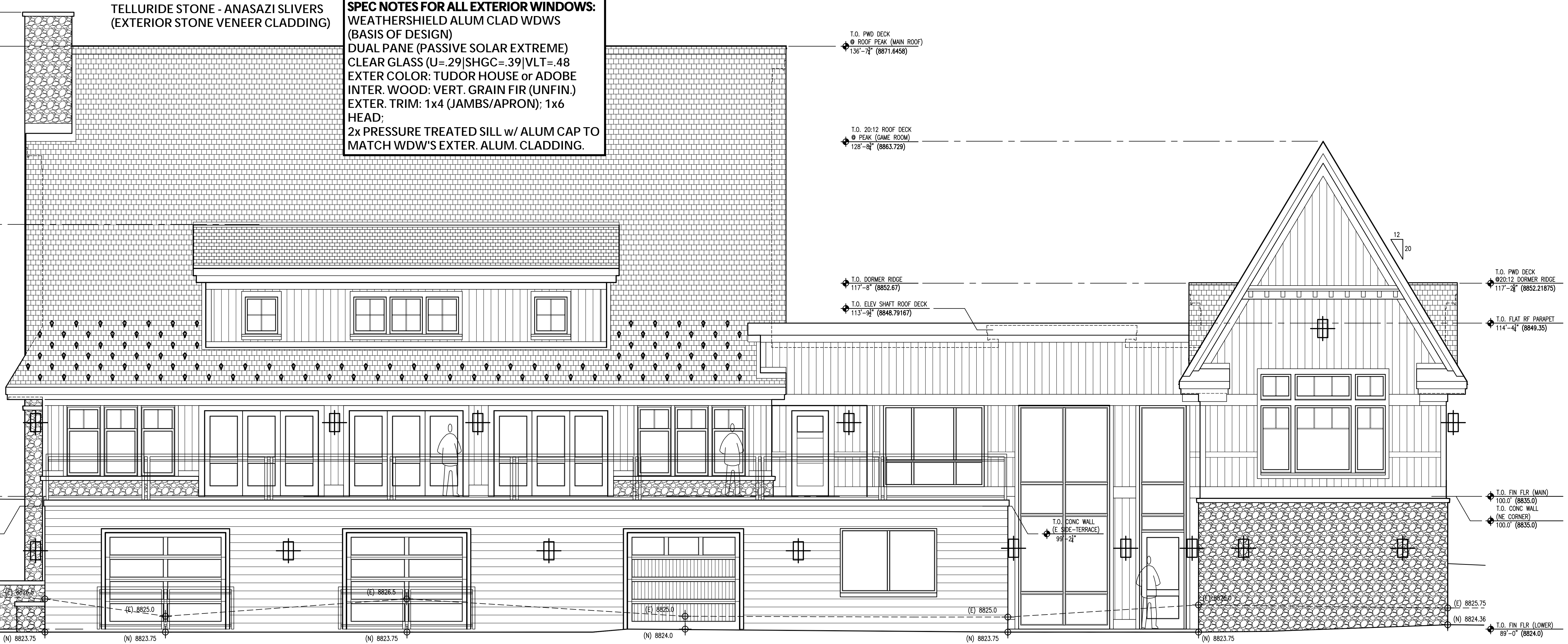
DORMER VALLEY
122'-0" (8857.54)

T.O. FIN. FLR (MAIN)
100.0' (8835.0)
T.O. CONC WALL
(SE CORNER)
100.0' (8835.0)

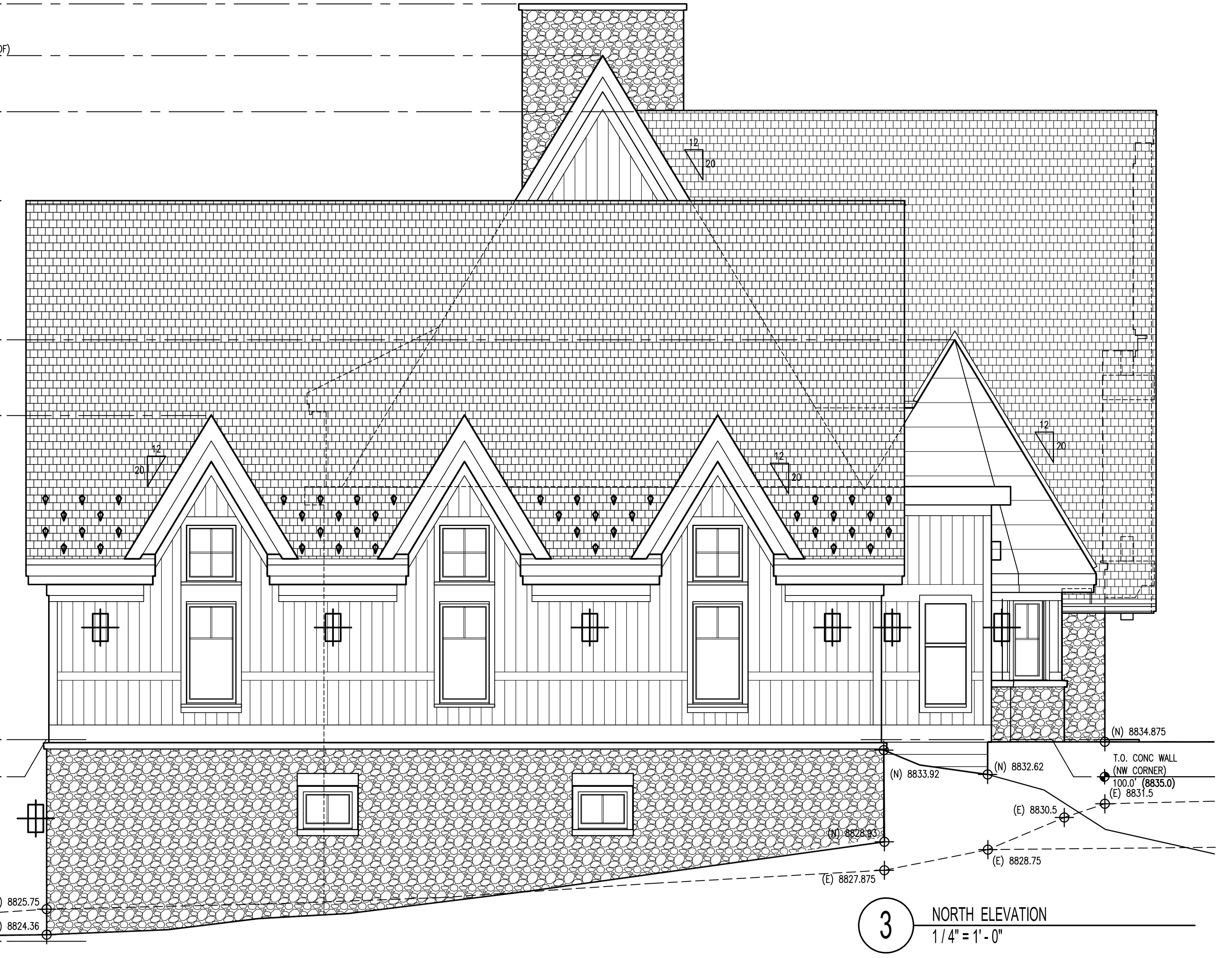
T.O. SITE WALL
93'-0" (8828.0)

T.O. FIN. FLR (LOWER)
89'-0" (8824.0)

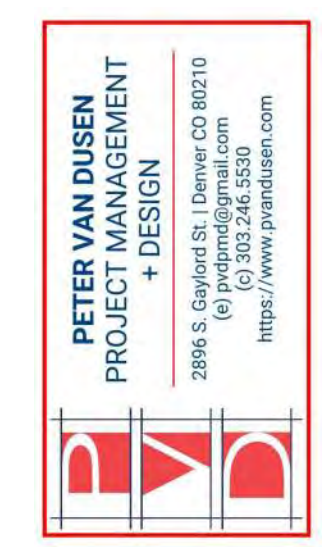
2 EAST ELEVATION
1/4" = 1'-0"



T.O. CHIMNEY CAP
139'-7" (8874.6458)
T.O. PWD DECK
ROOF PEAK (MAIN ROOF)
136'-7" (8871.6458)
T.O. DORMER RIDGE
(ENTRY GABLE)
134'-3" (8869.44)
T.O. 20-12 ROOF DECK
PEAK (GAME ROOM)
128'-8" (8863.729)
T.O. 20-12 ROOF PEAK
MGR'S OFFICE
121'-1" (8856.145)
T.O. PWD DECK
20-12 DORMER RIDGE
117'-2" (8852.21875)
T.O. FIN. FLR (MAIN)
100.0' (8835.0)
T.O. CONC WALL
(NE CORNER)
100.0' (8835.0)
T.O. FIN. FLR (LOWER)
89'-0" (8824.0)
T.O. PWD DECK
ROOF PEAK (MAIN ROOF)
136'-7" (8871.6458)
T.O. 20-12 ROOF DECK
PEAK (GAME ROOM)
128'-8" (8863.729)
T.O. DORMER RIDGE
20-12 DORMER RIDGE
117'-8" (8852.67)
T.O. ELEV SHAFT ROOF DECK
113'-9" (8848.79167)



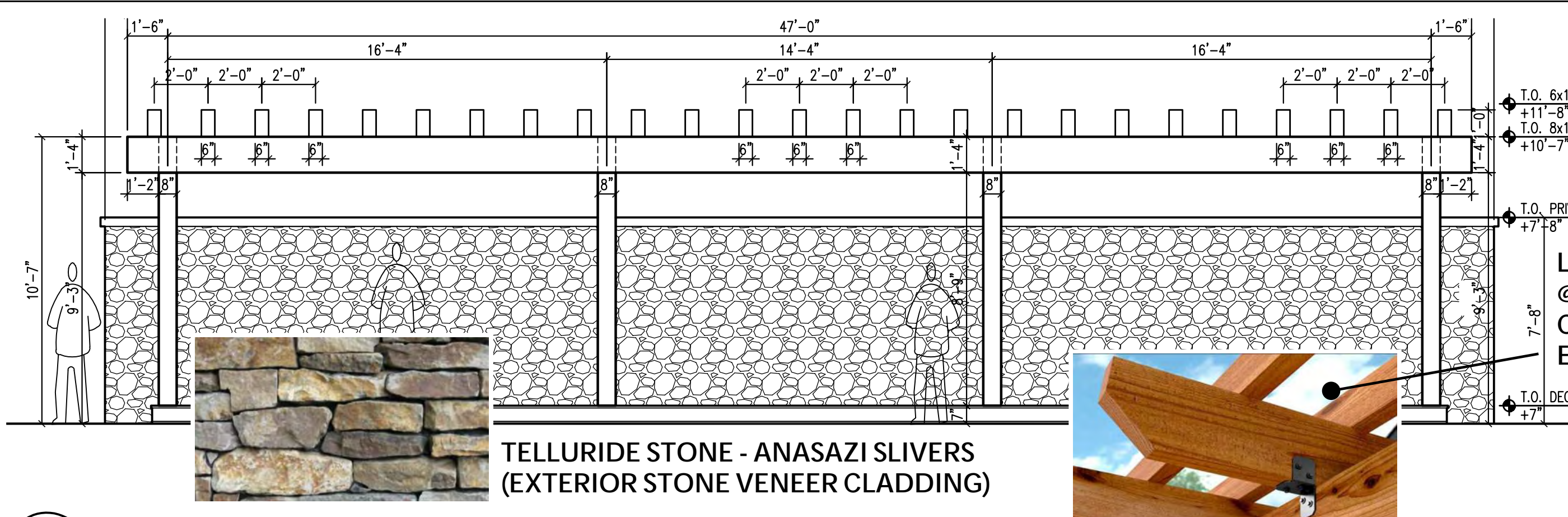
3 NORTH ELEVATION
1/4" = 1'-0"



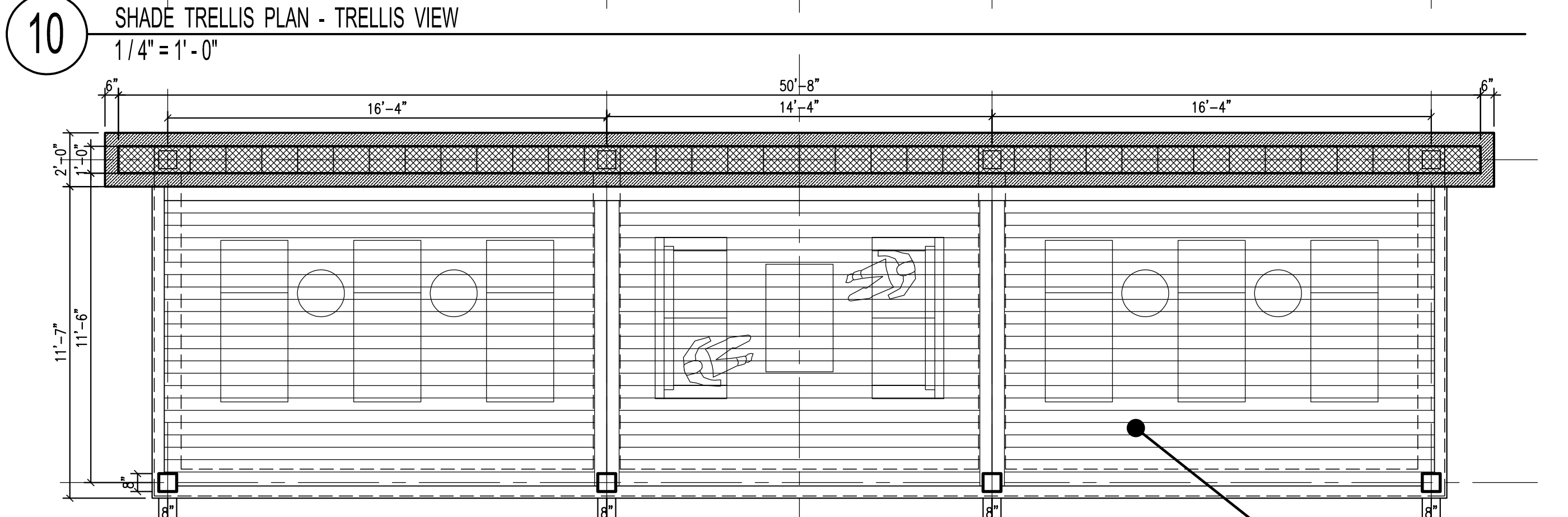
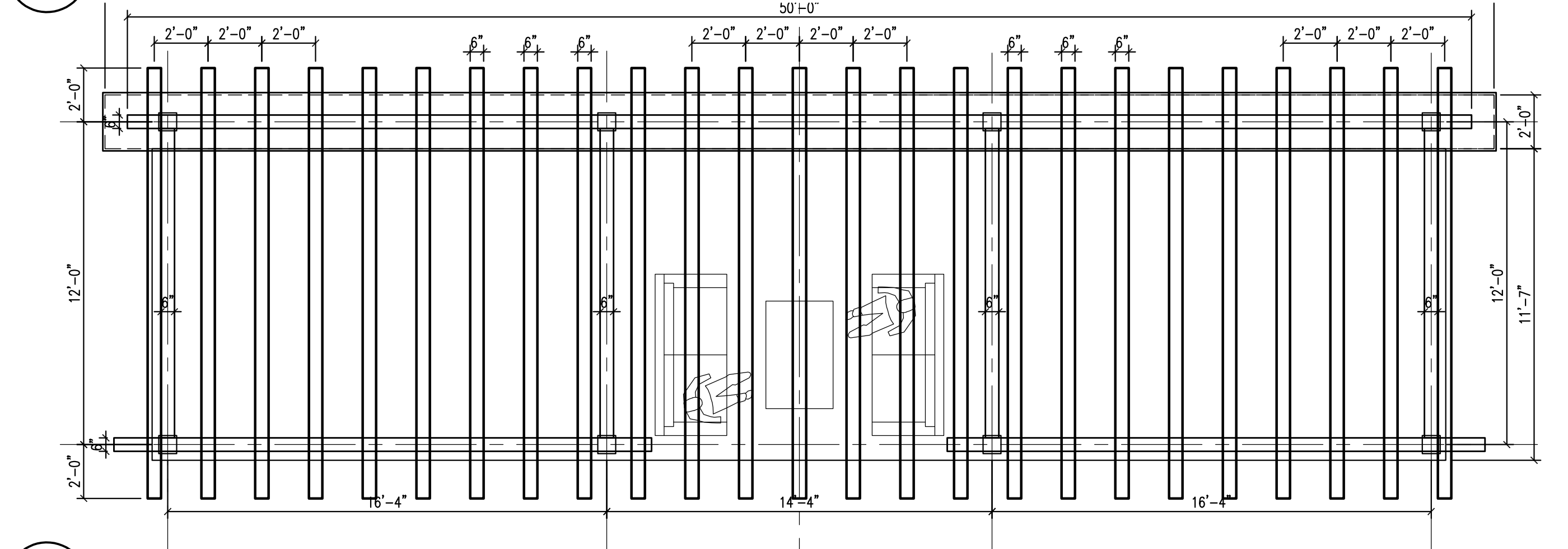
ROAM COMMUNITY CLUBHOUSE
US HWY 40 | WINTER PARK, CO 80482

DOCUMENT SET	ISSUE DATE
PROGRESS:	05 / 31 / 2024
DWN. BY:	PVD
REVISIONS:	
1. SDP SBMTL #1:	09 / 27 / 2023
2. SDP SBMTL #2:	05 / 30 / 2024
3. SDP SBMTL #3:	07 / 12 / 2024

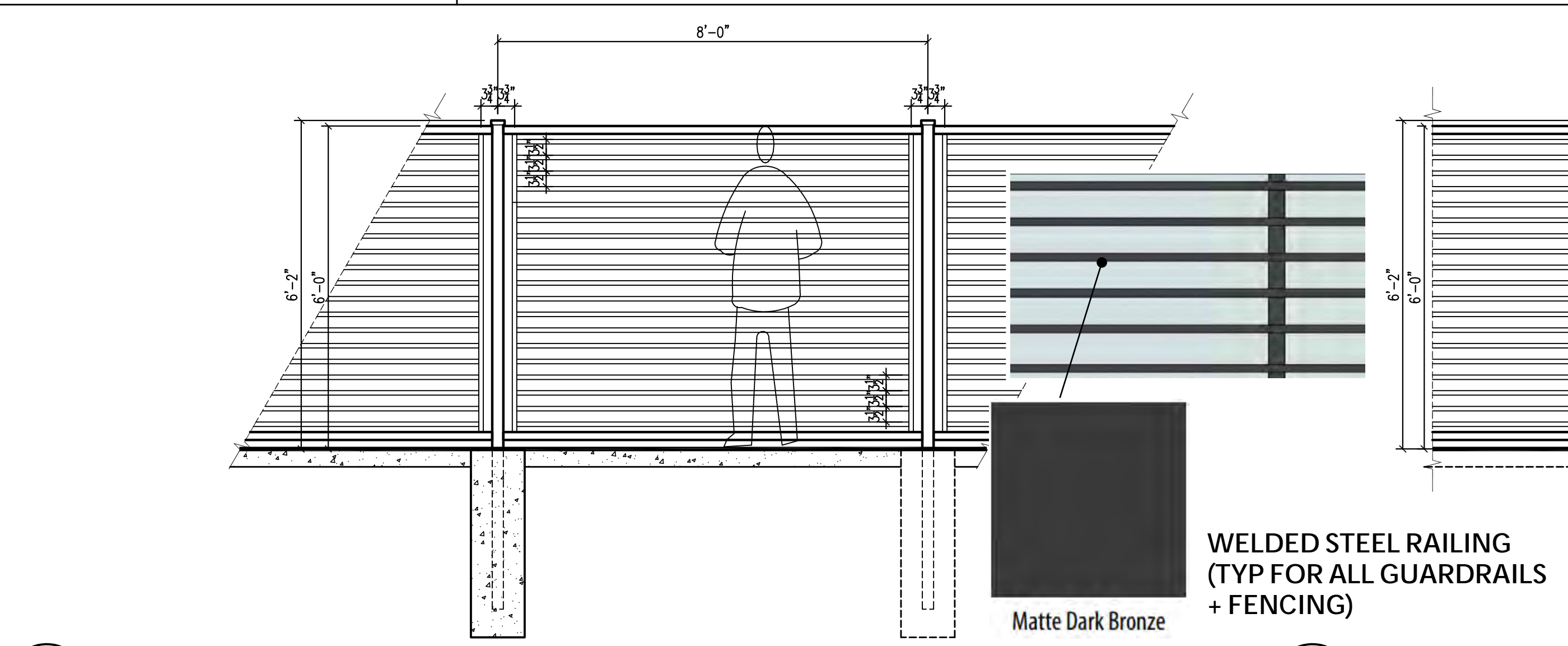
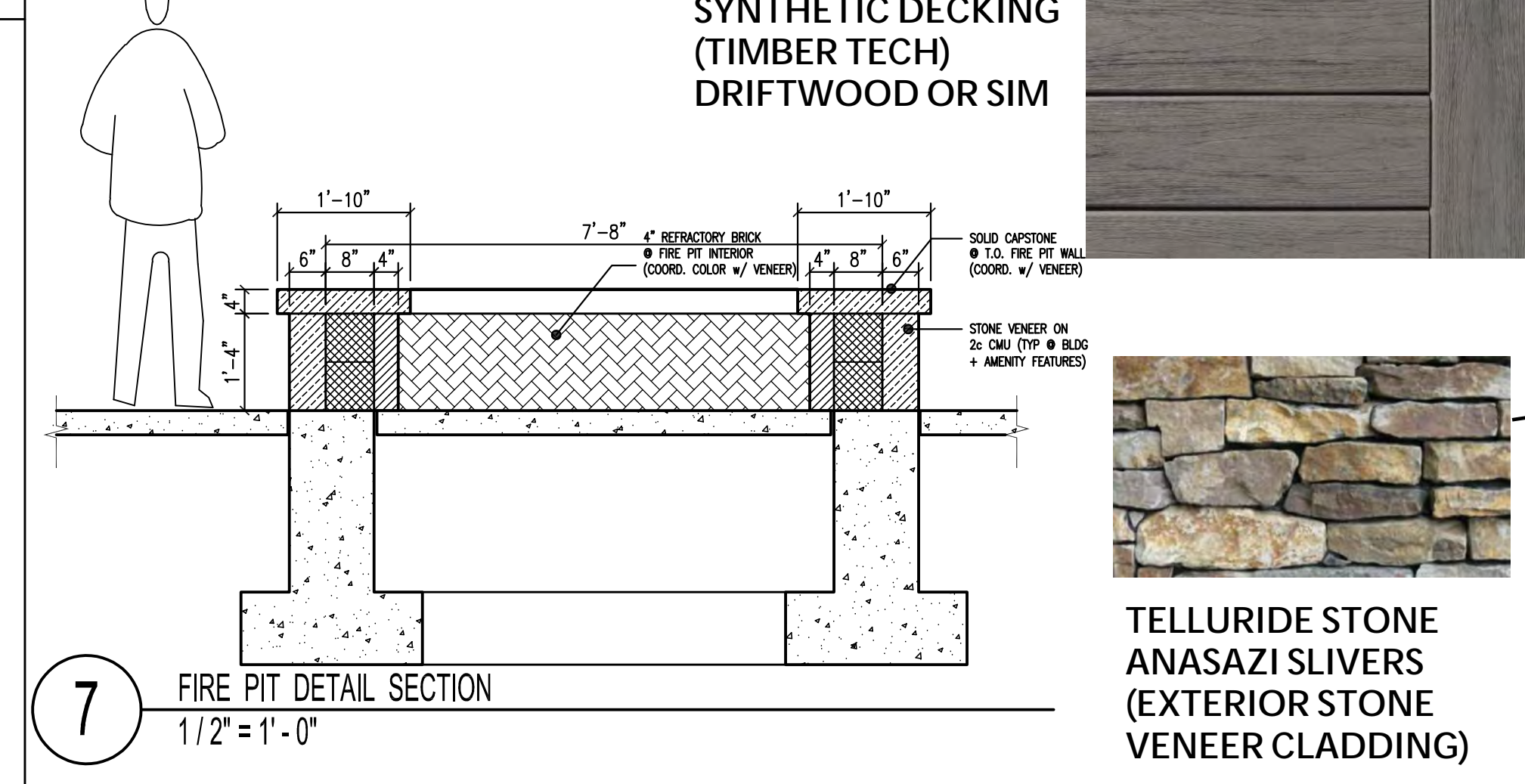
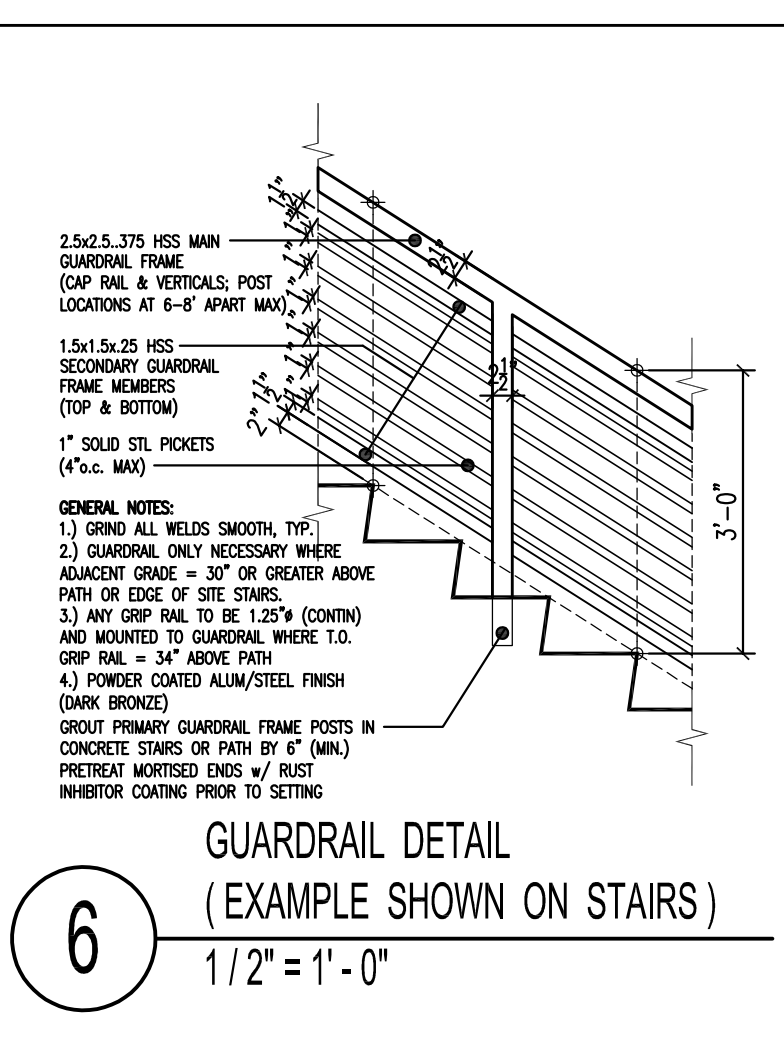
EXTERIOR
ELEVATIONS
A2.2



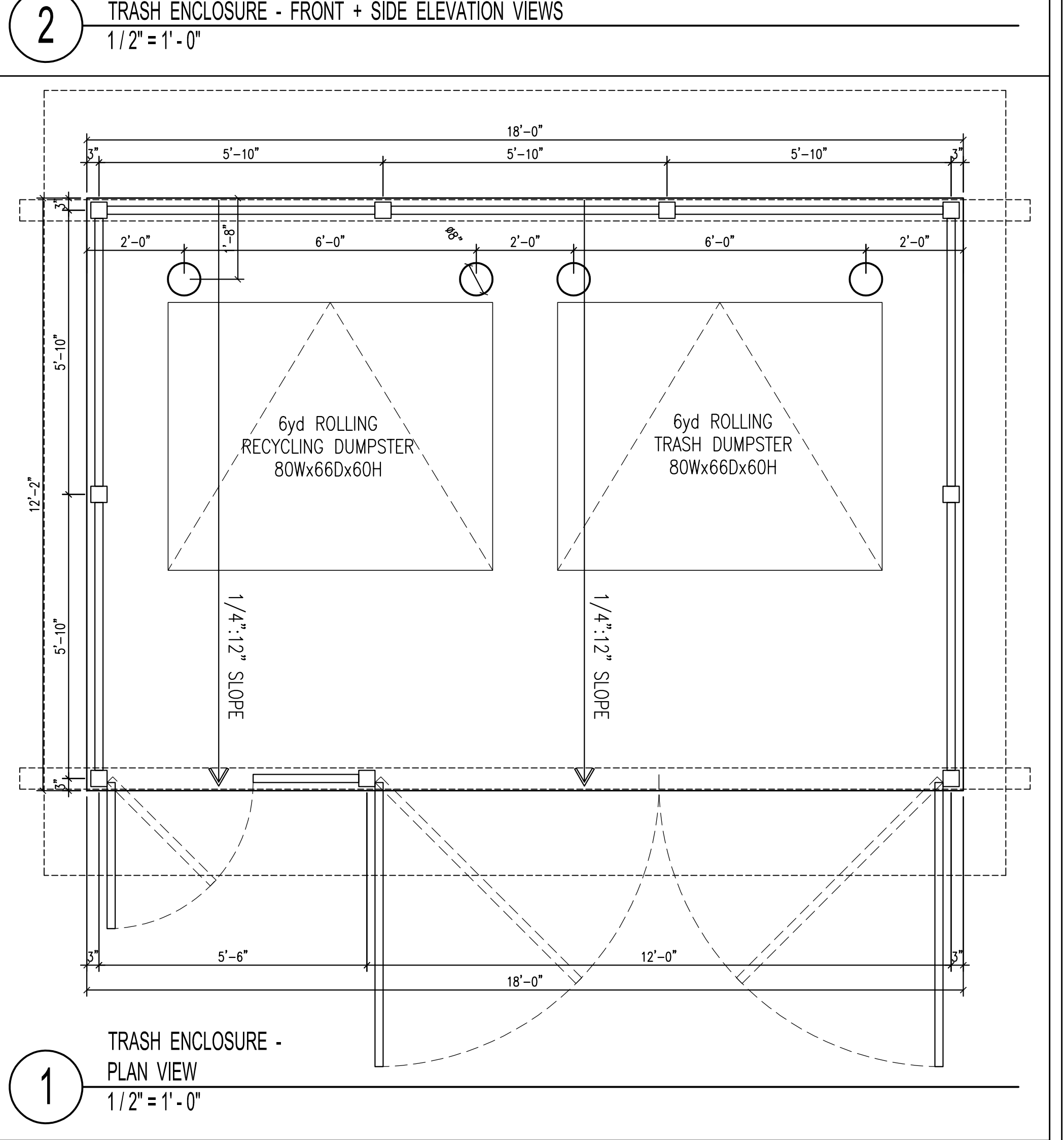
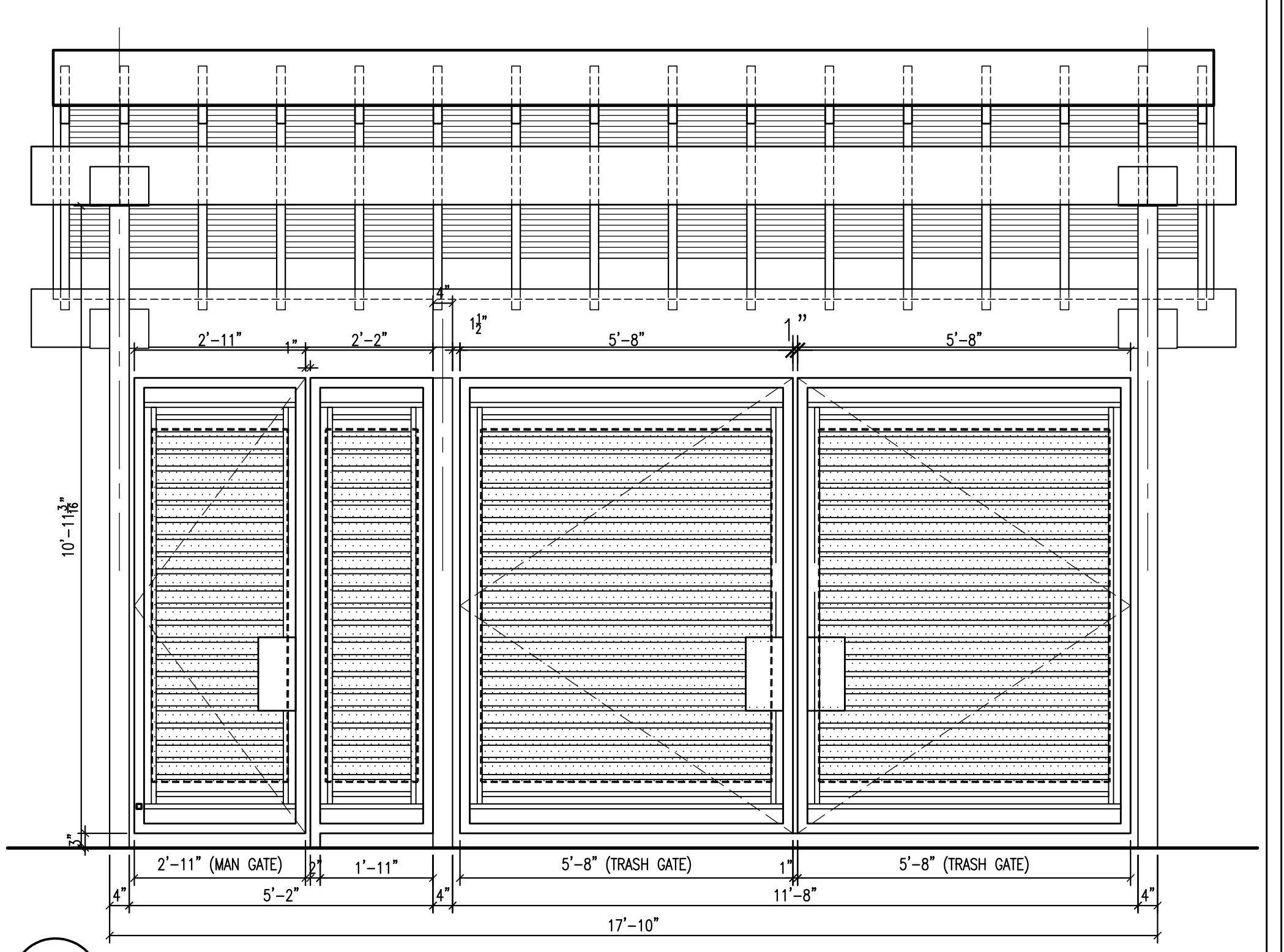
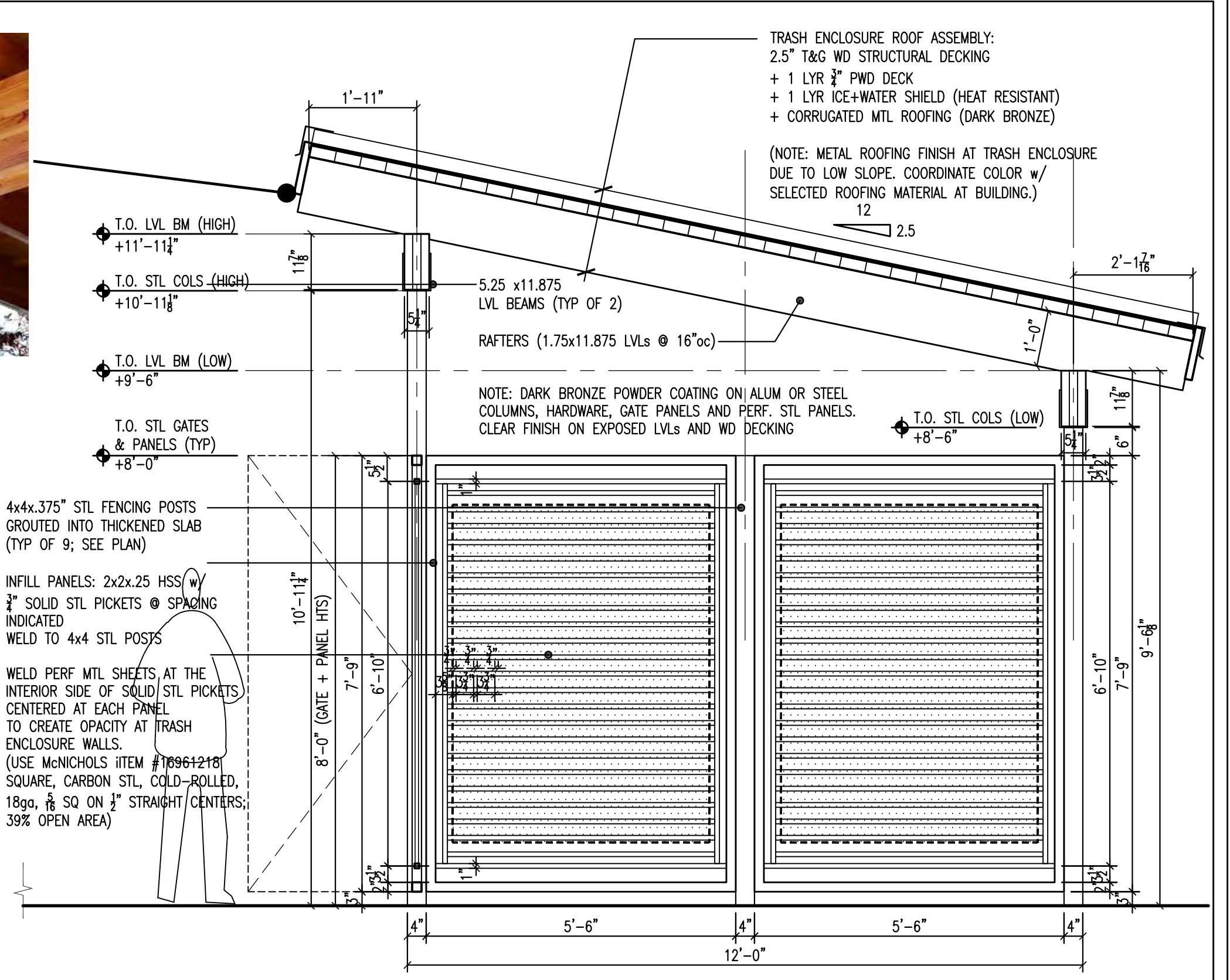
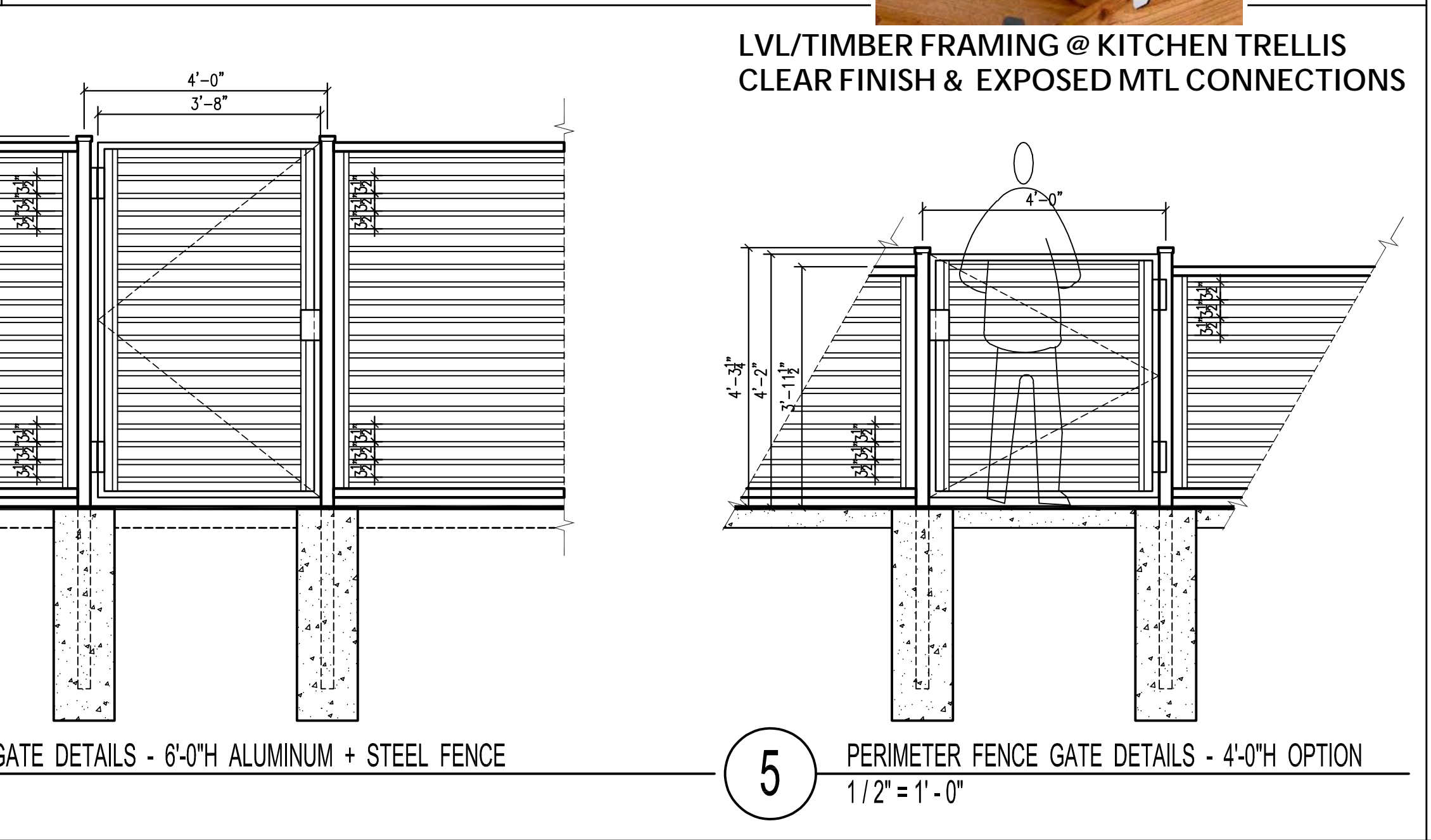
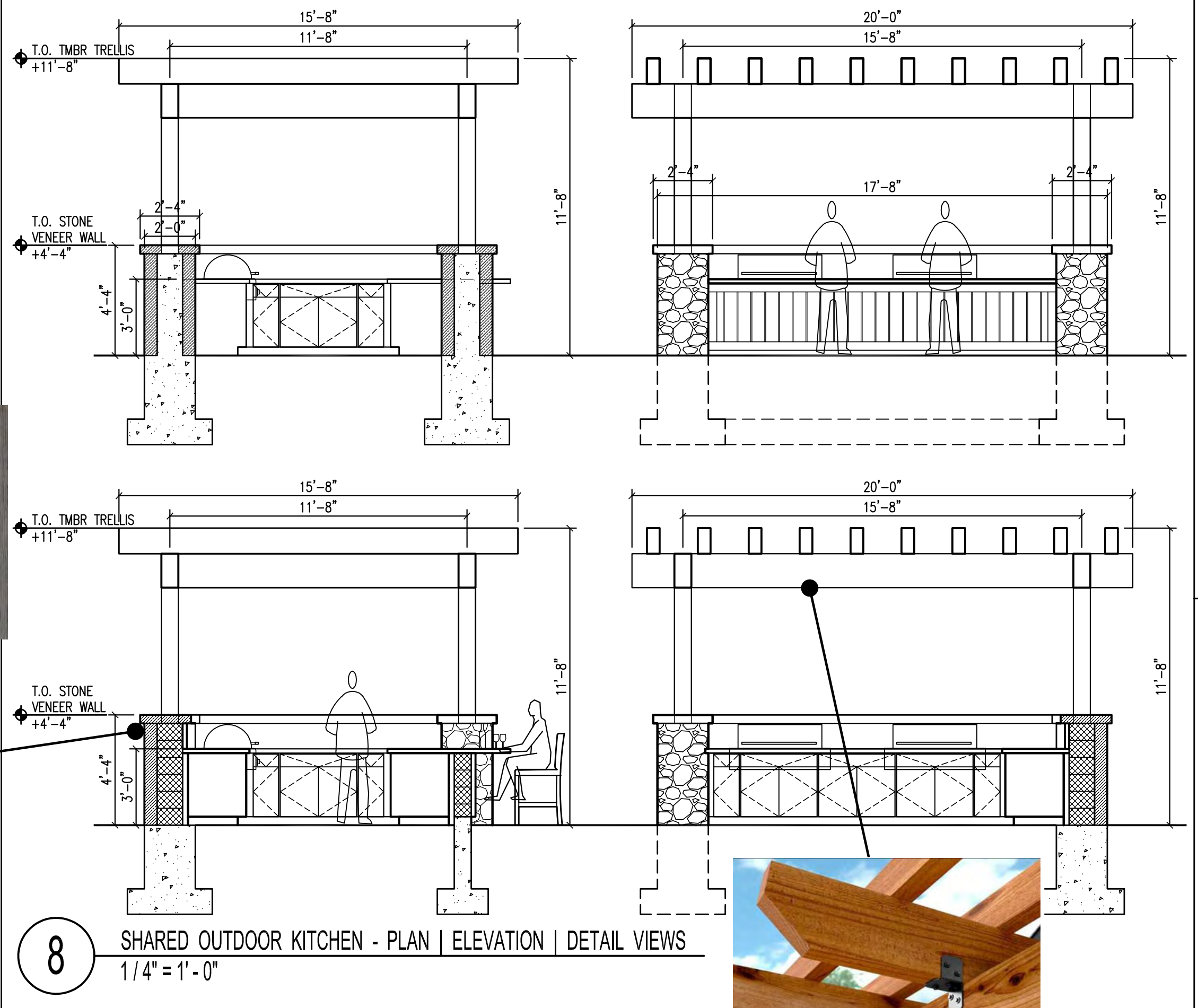
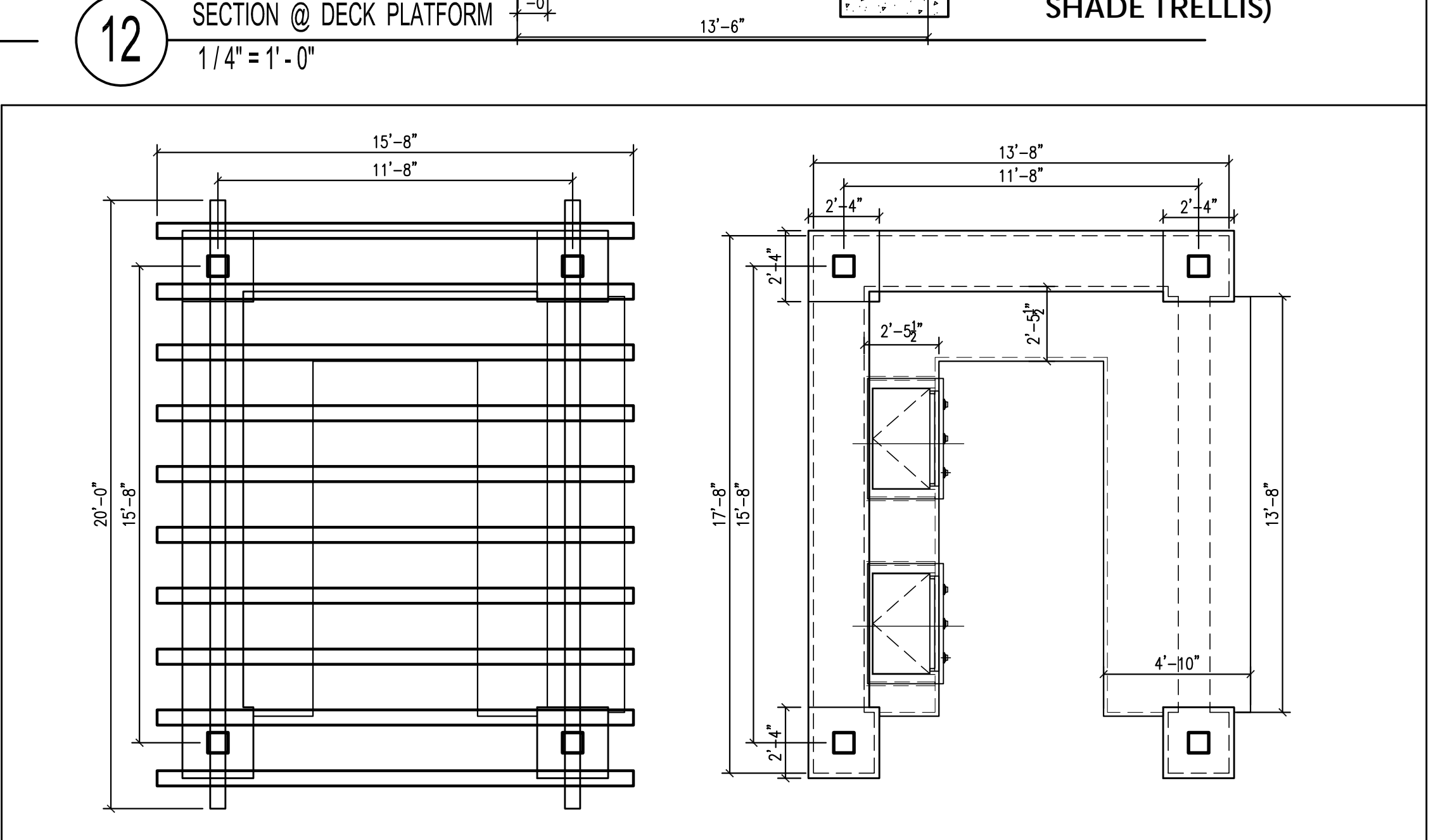
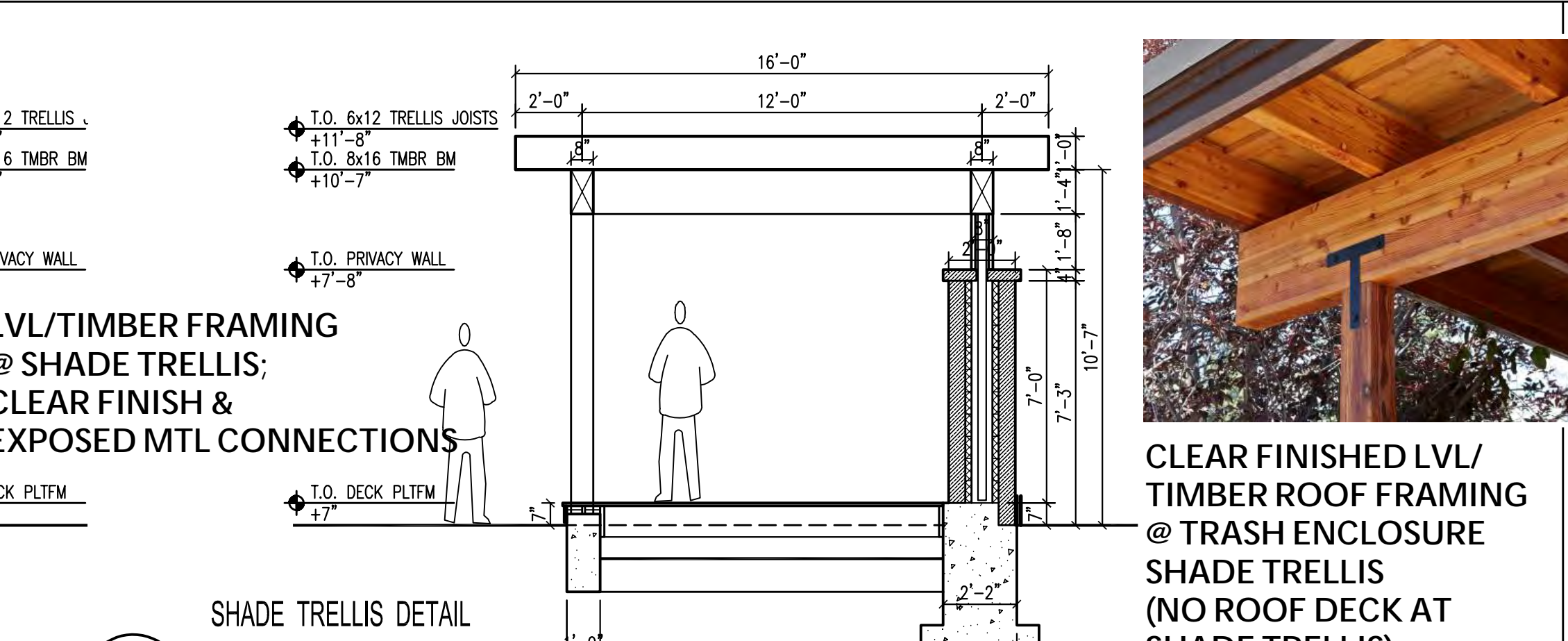
11 SHADE TRELLIS ELEVATION VIEW
1/4" = 1'-0"



6 GUARDRAIL DETAIL
(EXAMPLE SHOWN ON STAIRS)
1/2" = 1'-0"



3 PERIMETER FENCE DETAILS - 6'-0"H ALUMINUM + STEEL FENCE (BLACK FINISH)
1/2" = 1'-0"



DOCUMENT SET	ISSUE DATE
AMENITY FEATURES:	09 / 27 / 2023
DWN. BY:	PVD
REVISIONS:	
1. SGP SBMTL #1:	09 / 27 / 2023
2. SGP SBMTL #2:	05 / 24 / 2024
3. SGP SBMTL #3:	07 / 12 / 2024















MEMO

TO Planning Commission
FROM James Shockey, AICP, Community Development Director
DATE April 9, 2024
RE Exemption Plat – 2 Alpine Way – Amended Lot 54, Alpine Timbers II (PLN24-065)

Property Owner: The William Hardardt Trust

Applicant: Judith Hardardt

Location: 2 Alpine Way (Lots 54 & 55, Alpine Timbers II) (the "Property")

Zoning: R-2 (Multiple Family Residential)

Title Commitment:
Satisfactory.

Authority:

The applicant seeks approval of an exemption plat application. In Title 7 of the Town Code (the "UDC"), Table 5-B-3 states that the Planning Commission shall have the authority to review and decide applications for an exemption plat.

Pursuant to § 5-D-1, Exemptions from Subdivision, of the UDC, the Planning Commission considers the division of land that is for the purpose of revising lot lines from those shown on a recorded plat and which creates no more than the recorded number of parcels and creating parcels for community facilities (including utility land acquisition) provided that the exemption conforms with the policies and regulations of this UDC. Exemption plat approval is required before building permit issuance.

The Planning Commission shall consider whether the application is in conformance with the requirements of the UDC. At a public meeting, the Planning Commission shall approve as submitted, disapprove, or approve with conditions, the exemption plat.

This report includes comments from Town staff that should be considered as a part of the application decision.

Applicable Provisions of the Unified Development Code (UDC):

§ 5-D-1, Exemptions from Subdivision:

The UDC allows the Planning Commission to exempt property from the subdivision process if one of eight (8) conditions are met. Staff has determined that this Subdivision Plat Exemption meets the requirements of § 5-D-1(B)(1)(b):

- b. Is for the purpose of revising lot lines from those shown on a recorded plat and which creates no more than the recorded number of parcels, subject to the following conditions:

1. Any lot or parcel created shall conform to the minimum requirements for area or dimension as established by this UDC;
2. If the lots of the original recorded plat were nonconforming, lots or parcels created shall not increase the existing nonconformity; and
3. Applicable law relating to amendment of recorded plats is complied with.

§ 5-D-1(F) gives guidance on determining which applications shall be approved:

F. Approval Criteria.

1. The Planning Commission shall approve only those applications which it finds to be in conformance with the conditions of this Section and with any applicable policies and regulations of this UDC.
2. If the Planning Commission's approval of an exemption is contingent upon the dedication of any areas for public use, the Planning Commission may accept the dedication document upon its approval of the exemption, after review of that document by the Town Attorney, and before recording the exemption with the Grand County Clerk and Recorder.

§ 5-D-1(G) gives guidance on determining which applications should be denied:

- G. Denial of Exemption Applications: If the Planning Commission denies an exemption application upon finding that the correction or amendment of an existing recorded subdivision plat would result in a plat which does not meet the standards and regulations of this UDC, the Planning Commission may require that the proposed exemption be submitted for full subdivision platting procedures.

The Exemption Plat process involves one meeting with the Planning Commission for approval; it does not require review or approval from Town Council.

Project Overview:

Applicant requests an exemption plat to remove the lot line and easement between Lots 54 and 55 that was platted via the Alpine Timbers II plat. The exemption plat would combine the two (2) lots into one (1) lot, "Amended Lot 54". The street address assigned to Lot 55 will remain (i.e., 2 Alpine Way). The 309 Kings Crossing Road (Lot 54) address will be nullified.

Plat:

Staff has prepared a red-lined copy of the exemption plat that will need to be corrected prior to recording.

Staff Recommendation:

Staff finds the applicant has submitted all required materials within the timeframe required and all other materials comply with the conditions of § 5-D-1 of the UDC and conform to all applicable policies and regulations of the UDC. Staff therefore recommends approval.

Sample Motion for Approval:

I move to approve Exemption Plat for Amended Lot 54, Alpine Timbers II (PLN24-065), finding it in conformance with § 5-D-1 of the UDC.

Sample Motion for Denial:

I move to deny Exemption Plat for Amended Lot 54, Alpine Timbers II (PLN24-065), finding the applicant has failed to meet the criteria required in § 5-D-1 of the UDC, specifically: ***[articulate specific reasons for denial for failure to conform with the UDC]***

Admin Use Only:

- lien holder(s) ratified and approved the plat
- digital file of the approved plat that meets Digital Plat Submittal Requirements
- certificate of taxes, shown to be paid in full from County Treasurer
- address plat submitted
- recording fees paid
- plat recorded. Insert date and reception number here: _____



P.O. Box 3327
50 Vasquez Road, Winter Park, CO, 80482
Phone: 970-726-8081 Fax: 970-726-8084
wpgov.com

Land Use Review Application Form

Contact Information

Property Owner

The William L Hardardt Trust

Representative (i.e., the point of contact)

Judith L Hardardt

Company

Company

Phone #

Email Address

Phone #

707 696 9498

Email Address

hardardtj@gmail.com

Billing Contact (where invoices should be directed)

Judith L Hardardt The William L Hardardt Trust

Company

Phone #

707 696 9498

Email Address

hardardtj@gmail.com

Mailing Address

PO Box 88

City

Winter Park

State

CO

Zip

80482

Site Description

Site Address

2 Alpine Lane Winter Park CO

Parcel Identification Number(s) (PIN)

158 728 303 034

Existing Zone Classification

Subd: Alpine Timbers II Lot 54, 55

Site Area (acres and sq. ft.)

0.57 + 0.63 AC 1.20 AC total

Project Description

Project Name

Replat of Lots 54+55 Alpine Timbers Winter Park CO

Brief description of the proposed project

Vacate Common Boundary Lots 54+55 with Adjacent Easements

Required Documents

For an application to be considered complete and for Planning Division staff to begin review and schedule any applicable public hearings, this Land Use Review Application Form must be fully completed and all required attachments included. Staff will review the application for completeness and notify the representative and/or owner whether the application has been deemed complete.

Certifications

REPRESENTATIVE CERTIFICATION

By signing this application, I attest that I am acting with the knowledge and consent of all owners of the property that is the subject of this application, and that I have been designated to act as the representative for the project described in this land use application. I further certify that all information submitted with this application is true and accurate to the best of my knowledge.

Representative

Date

[Signature]

[Date]

OWNER CERTIFICATION

I hereby certify that I am the legal owner of record of the property that is the subject of this application. I authorize the representative listed on this application, if any, to communicate directly with Town officials and to submit documentation and information regarding this application on my behalf.

Owner

Date

[Signature]

7/8/2024

In addition to the base fees the applicant is required to pay the cost of any referral agency reviews, public notices, hearings, and record keeping as outlined within § 5-B-6, Application Fees, in the UDC.

Development Improvements Dedications, Agreements, and Guarantees (Article 4.B)	Site Development and Permit Decisions (Article 5.E)
<input type="checkbox"/> Development Improvements Agreements (DIA)	<input type="checkbox"/> Major Site Plan*
<input type="checkbox"/> Public Improvement Cost-Recovery Agreement	<input type="checkbox"/> Minor Site Plan
Standardized Development Review Procedures (Article 5.B)	<input type="checkbox"/> Administrative Site Plan
<input type="checkbox"/> Pre-Application Conference	<input type="checkbox"/> Special Use Permit (Including High-Impact Short-Term Rentals)*
<input type="checkbox"/> Renewal of Approvals	<input type="checkbox"/> Limited Use Authorization
<input type="checkbox"/> Vested Rights	<input type="checkbox"/> Temporary Use Permit
Ordinance and Zoning Amendment Decisions (Article 5.C)	<input type="checkbox"/> Floodplain Development Permit
<input type="checkbox"/> Text Amendment	<input type="checkbox"/> Lighting by Special Permit
<input type="checkbox"/> Rezoning	<input type="checkbox"/> Parking Reductions and Alternative Parking Plan Permit
Rezoning to Planned Development: <input type="checkbox"/> Preliminary Development Plan* <input type="checkbox"/> Final Development Plan* <input type="checkbox"/> Amended Final Development Plan*	<input type="checkbox"/> Street Renaming
<input type="checkbox"/> Annexation*	Appeal, Variance, and Interpretation Decisions (Article 5.F)
Subdivision and Platting Decisions (Article 5.D)	<input type="checkbox"/> Appeal
<input checked="" type="checkbox"/> Exemption Plat	<input type="checkbox"/> Appeal of Administrative Decisions
<input type="checkbox"/> Minor Plat*	<input type="checkbox"/> Variance*
<input type="checkbox"/> Preliminary Plat*	<input type="checkbox"/> Written Interpretation
<input type="checkbox"/> Final Plat*	
<input type="checkbox"/> Resubdivision*	
<input type="checkbox"/> Waiver*	
<input type="checkbox"/> Vacation of Plat, Street, Right of Way, and Easement*	
<input type="checkbox"/> Condominium Plat	
Table Notes: *Pre-Application Conference required	

Dedication Certificate Know all men by these presents: That The William L. Hardardt Trust as the owner of that real property situated in the Town of Winter Park, Grand County, Colorado, more fully described as follows:

LOTS 54 & 55, ALPINE TIMBERS II, RECEPTION NO 270810

that they have owned said real property to be laid out and surveyed as AMENDED LOT 54, ALPINE TIMBERS II MINOR PLAT, and do hereby dedicate and set apart all the streets, alleys and other public ways and places shown on the accompanying plat for the use of the public forever, and do hereby grant to the Town of Winter Park use of those portions of said real property which are indicated as easements on the accompanying plat as permanent public easements.

In witness whereof, Judith Hardardt, an authorized representative of the William L. Hardardt Family Trust, has caused her name to be hereunto subscribed this ___ day of 20__.

By: Judith Hardardt
For: William L. Hardardt Family Trust

State of _____)
County of _____) SS

The foregoing instrument was acknowledged before me this ___ day of _____, 20__ by Judith Hardardt as authorized representative of William L. Hardardt Family Trust.

My Commission Expires: _____
NOTARY PUBLIC

Estoppel Certificate I, Judith Hardardt, the owner of the property included in Amended Lot 54 Alpine Timbers II Minor Plat, certify that this final plat and the subdivision improvement agreement to be executed in connection with this final plat, if required, embody the entire agreement between the owner of said property and the Town with regard to the subdivision of said property, and that the owner is not relying upon any other representations, warranties, understandings, or agreements in connection with any matter encompassed by this plat or the subdivision improvement agreement if required, except as set forth on this plat or in said subdivision improvement agreement.

By: Judith Hardardt

PLANNING COMMISSION CERTIFICATE

Approved by the Town of Winter Park Planning Commission, Grand County, Colorado

David Barker - Chairman
Planning Commission

SURVEYOR'S CERTIFICATE

I, Warren Dale Ward, a duly licensed land surveyor in the State of Colorado, do hereby certify that this Plat of AMENDED LOT 54, ALPINE TIMBERS II MINOR PLAT, truly and correctly represents the result of a survey made by me or under my direction, and that said Plat complies with the requirements of Title 38, Article 5, Colorado Revised Statutes, and that the monuments required by said statute and by the Winter Park Unified Development Code have been placed on the ground. This plat is a true and accurate representation of said survey.

Warren Dale Ward, Colorado PLS 25971

PLANNER'S CERTIFICATE

I, Warren Dale Ward, being a qualified professional engineer or planner certify that this plat of AMENDED LOT 54, ALPINE TIMBERS II MINOR PLAT has been engineered, designed, and planned in accordance with all applicable design standards and other requirements of the Town of Winter Park Unified Development Code.

Warren Dale Ward

AMENDED FINAL PLAT LOT 54
ALPINE TIMBERS II MINOR PLAT
2 Alpine Lane
A Replat of Lots 54 & 55
Alpine Timbers II
Town of Winter Park, Grand County, CO
Part of Sec. 28 & Sec. 33, Township
1 South, Range 75 West of the 6th PM

DOMINGUEZ, FRANK C.
PO BOX 374
WINTER PARK CO 80482

LOT 54
0.57 AC
VACATED

HARDART, JUDITH
THE WILLIAM L.
HARDART TRUST
PO BOX 88
WINTER PARK CO 80482

AMENDED LOT 54
1.20 AC. +/-

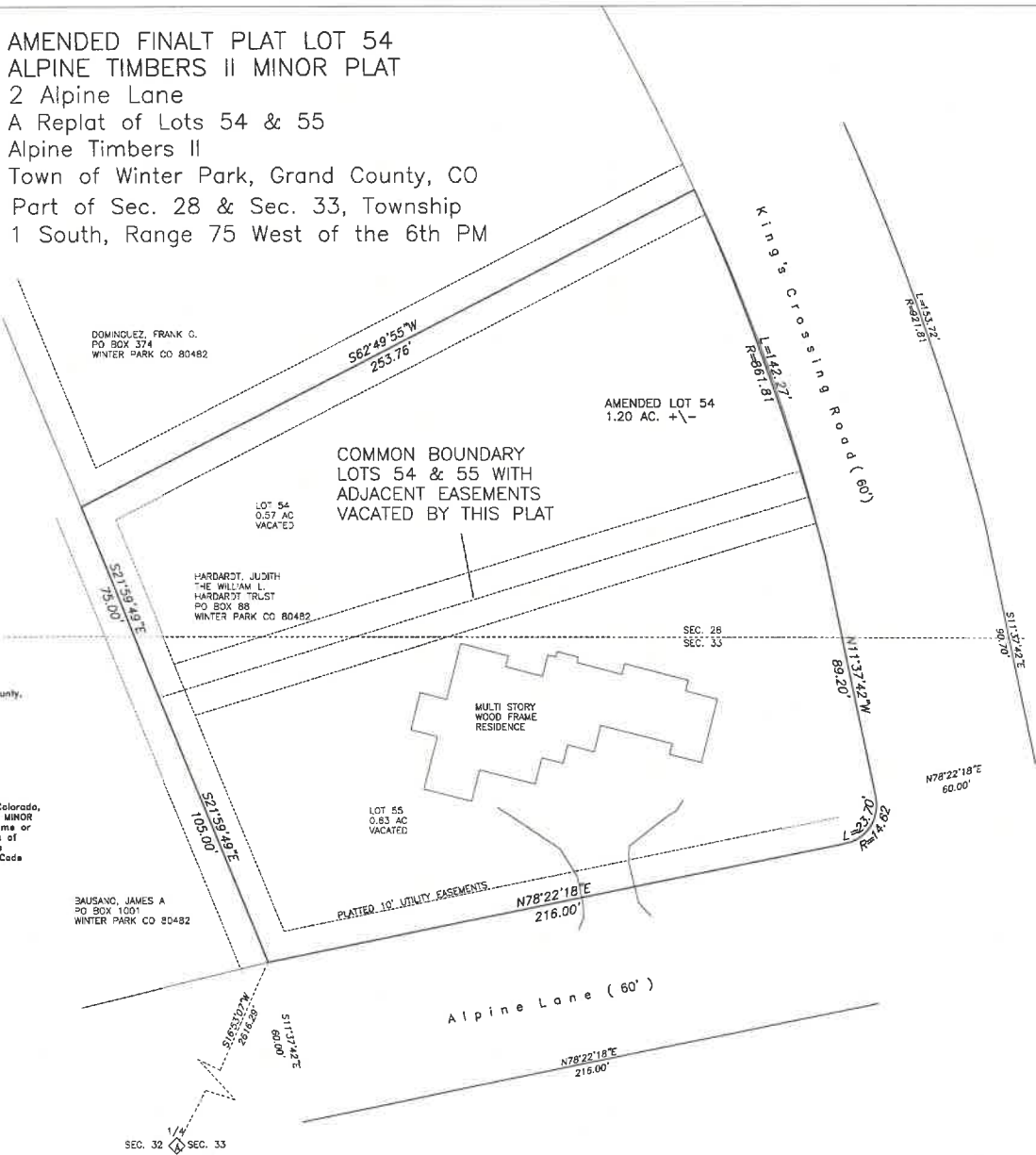
COMMON BOUNDARY
LOTS 54 & 55 WITH
ADJACENT EASEMENTS
VACATED BY THIS PLAT

MULTI STORY
WOOD FRAME
RESIDENCE

LOT 55
0.83 AC
VACATED

BAUSANO, JAMES A
PO BOX 1001
WINTER PARK CO 80482

SEC. 32 1/2 SEC. 33

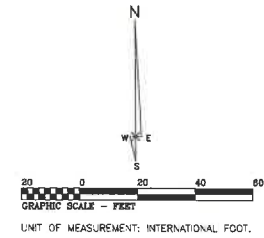


KEY:

- A. - EXISTANT PLS CORNER NOTED. FOUND 3-1/4" ALUMINUM CAPPED, 1/2" REBAR STAMPED PLS 25971.
- B. - FOUND 1/2" REBAR, APPARENT ORIGINAL MONUMENT.
- C. - FOUND ALUMINUM CAPPED, 1/2" REBAR STAMPED PLS 25971.
- D. - FOUND PLASTIC CAPPED REBAR STAMPED PLS 2457, APPARENT ORIGINAL MONUMENT.

NOTE:

- 1. Zoned R2, Multiple Family Residential
- 2. For title, reference is hereby made to Land Title Guarantee Company Commitment J60018975.
- 3. Applicant: Judith Hardardt, PO Box 88, Winter Park CO 80482
- 4. This Minor Plat vacates the lot lines between Lots 54 and 55 for a resultant Lot 54 Amended.



VICINITY MAP: 1:2000.00

Azimuth Survey Company
P.O. Box 653, Fraser, Colorado 80442
800-725-2734 p970-531-1120

AMENDED FINAL PLAT LOT 54
ALPINE TIMBERS II MINOR PLAT
2 Alpine Lane
A Replat of Lots 54 & 55
Alpine Timbers II
Town of Winter Park, Grand County, CO

DATE: 08-18-24
SCALE: 1" = 20' BY W 308 A48-56



MEMO

TO Planning Commission
FROM Brian P. Kelly, Senior Planner
THROUGH James Shockey, Community Development Director
DATE August 13, 2024
RE Amendment to UDC Sec. 7.7C (F) – Definition of “Family”

Background

Section 7.7C (F) of the Unified Development Code (the “UDC”) currently defines “family” as an individual or two (2) or more persons related by blood or marriage, or a group not exceeding eight (8) persons living and cooking together on the premises in a single dwelling unit.

Colorado House Bill 2024-1007 (“HB 1007”) prohibits counties, cities and counties, and municipalities from limiting the number of people who may live together in a single dwelling based on familial relationship. The act does allow for local governments to implement residential occupancy limits based only on:

- a. Demonstrated health and safety standards, such as international building code standards, fire code regulations, or Colorado department of public health and environment wastewater and water quality standards; or
- b. Local, state, federal, or political subdivision affordable housing program guidelines.

Analysis

Staff has reviewed the current UDC for compliance with HB 1007 and determined that the UDC does not conform to the HB 1007 without adopting a text amendment removing the restriction on maximum occupancy limits in a single dwelling unit in the definition of “Family”

Staff Recommendation

Staff recommends the Planning Commission recommend approval of the attached ordinance amending the definition of “Family” in UDC Section 7.7C(F).

**TOWN OF WINTER PARK
ORDINANCE NO. ____
SERIES OF 2024**

**AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF
WINTER PARK, COLORADO, AMENDING SECTION 7.7C(F) OF THE
UNIFIED DEVELOPMENT CODE**

WHEREAS, Colorado House Bill 2024-1007 ("HB 1007") prohibits local governments from setting a maximum occupancy limit on a single dwelling unless the limit is based on either a demonstrated health and safety standard or on governmental affordable housing program guidelines;

WHEREAS, Section 7.7C(F) of the Unified Development Code ("UDC") currently defines "family" as an individual or two (2) or more persons related by blood or marriage, or a group not exceeding eight (8) persons living and cooking together on the premises in a single dwelling unit;

WHEREAS, Town Council finds it necessary to adopt this ordinance amending Section 7.7C(F) of the UDC by removing the restriction on maximum occupancy limits in a single dwelling unit in the definition of "family" in conformance with HB 1007 and C.R.S. § 29-20-111;

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL FOR THE TOWN OF WINTER PARK, COLORADO, THAT:

Section 1. Section 7.7C(F) of the UDC is hereby repealed in its entirety and reenacted as follows:

7.7C(F): Definitions - Family

Family means one or more persons occupying a single dwelling unit and maintaining a common household.

INTRODUCED, APPROVED ON FIRST READING, AND ORDERED PUBLISHED IN FULL this ____ day of _____, 2024. A public hearing shall be held at the regular meeting of the Winter Park Town Council on the ____ day of _____, 2024 at 5:30 p.m., or as soon thereafter as possible, at the Winter Park Town Hall.

TOWN OF WINTER PARK

Nick Kutrumbos, Mayor

ATTEST:

Danielle Jardee, Town Clerk

READ, ADOPTED AND ORDERED PUBLISHED on second and final reading by a vote of _____ to _____ on the ___ day of _____, 2024.

TOWN OF WINTER PARK

Nick Kutrumbos, Mayor

ATTEST:

Danielle Jardee, Town Clerk



MEMO

To: Planning Commission
From: James Shockey, Community Development Director
Date: August 13, 2024
Re: Consideration to amend UDC Sec. 3-C-3-4, *Wetlands* (PLN23-075)

Overview:

The Unified Development Code (the "UDC") Sec. 5-C-1 states an amendment to the text of this UDC may be initiated by Town staff, a citizen of the Town, the Planning Commission, or by the Town Council. Town staff is requesting to amend UDC Sec. 3-C-3-4, *Wetlands* to establish wetland standards consistent with the federal standards that existed prior to *Sackett v. Environmental Protection Agency*, 598 U.S. 651 (2023).

Staff Analysis:

In March 2024, Planning Commission reviewed staff recommended amendments to the UDC that would establish a required setback from wetlands, require mitigation for wetland disturbance, and mitigation procedures for developing within or adjacent to wetland areas. The Commission provided a favorable recommendation of the amendments and sent a summary of their discussion to Council so they could understand the concerns raised at the meeting. Town Council considered the amendments via Ordinance 618, Series 2024. After several hearings, the Council voted to withdraw consideration of the amendments and requested staff draft regulations that would provide the same level of protection to the wetlands per *Sackett*.

Staff has been working with our legal counsel to draft language that will provide the level of protection requested by Council. Any wetland that is not under the jurisdiction of the U.S. Army Corps of Engineers of the Environmental Protection Agency will be considered wetlands of the Town and would be subject to the regulations established below.

Below is an overview of the proposed regulations, the full text can be found in the attached draft ordinance:

Disturbance of Wetlands

Wetland disturbance is prohibited unless a Wetland Disturbance Permit is issued by Town Council. If disturbance is proposed, a wetlands survey shall be submitted to the Town to determine the level of anticipated disturbance. If the disturbance/fill is greater than a 1/10 of an acre of wetlands and the Town Council determines there is no practicable alternative to disturbing/filling the wetland, a development project shall require compensatory mitigation.

Compensatory Mitigation

Compensatory mitigation may include restoring a degraded or drained wetland, creating a new wetland, enhancing an existing wetland, or preserving an existing wetland. A permittee is responsible for mitigation and may fulfill compensatory mitigation obligations through one of the following mechanisms:

1. Wetland mitigation banking in which the permittee purchases mitigation credits from wetland banks, depending on the number of credits required for the area of impacted wetland.
2. In-lieu fee program mitigation in which a third party collects mitigation funds from a large number of permittees and pools these financial resources to create a new mitigation wetland.
3. Permittee-responsible mitigation in which the permittee maintains responsibility for achievement of compensation obligations imposed under Section 404 of the CWA or alternative regulatory regimes. Permittees may opt to complete wetland compensation on their own or may contract an authorized agent or consultant to restore, establish, enhance, and/or preserve wetlands.

Actual Mitigation

If compensatory mitigation is not feasible, the Town Council may issue a Wetland Disturbance Permit requiring actual mitigation. When these compensatory mitigation methodologies are not suitable, a minimum acreage replacement ratio of 1:1 for actual mitigation shall be used.

Wetland Definition

The UDC currently defines a wetland as:

Wetland means those areas that are inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions. Examples of different wetland types include swamps, marshes, bogs, seeps, fens, carrs, sloughs, wet meadows, and similar areas.

Staff is recommending the definition be revised to state:

Wetland means 1) areas including lakes, rivers, streams, intermittent streams, ponds, sloughs areas of seasonal standing water, or 2) those areas that are inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal circumstances, do support a prevalence of vegetation typically adapted for life in saturated soil conditions, as such areas are specifically delineated as provided for in the 1987 edition of the Corps of Engineers Wetlands Delineation Manual. Wetlands generally include fens, swamps, marshes, bogs, and similar areas. Manmade lakes or ponds built for the purpose of detaining runoff are not considered wetlands in the context of the UDC. Wetlands do not need to have a connection to waters of the United States, as defined by 33 Code of Federal Regulations (CFR) parts 328 and 329 (as amended) or U.S. Environmental Protection Agency 40 CFR part 230 (as amended) to fall under Town jurisdiction.

In addition, a new definition will be added to the UDC:

Compensatory Mitigation means the restoration, reestablishment, rehabilitation, establishment, creation, enhancement, or preservation of state waters for the purpose of offsetting unavoidable adverse impacts that remain after all appropriate and practicable avoidance and minimization has been achieved.

§ 5-B-8 Public Notice Requirements:

This Text Amendment Application has had proper public notification pursuant to § 5-B-8 of the UDC. A Newspaper Publication (PUB) was published in the Middle Park Times on July 31 providing notification of the hearing and requesting comments.

No comments have been received as of August 7.

Staff Recommendation:

Staff recommends the Planning Commission provide a favorable recommendation to Town Council for approval of the ordinance as drafted.

**TOWN OF WINTER PARK
ORDINANCE NO.
SERIES OF 2024**

**AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF
WINTER PARK AMENDING TITLE 7, CHAPTER 3, ARTICLE 3C OF
THE WINTER PARK UNIFIED DEVELOPMENT CODE REGARDING
REGULATION OF WETLANDS**

WHEREAS, the Town Council wishes to amend the Unified Development Code (the "UDC") to align the Town's wetland standards with the federal standards that existed prior to *Sackett v. Environmental Protection Agency*, 598 U.S. 651 (2023);

WHEREAS, the Planning Commission reviewed the proposed amendments and recommended approval at a public hearing on August 13, 2024; and

WHEREAS, proper notice of the amendment was given pursuant to § 5-B-8 of the UDC.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL FOR THE TOWN OF WINTER PARK, COLORADO, THAT:

Section 1. UDC, Section 3-C-3, Water Quality, is hereby amended to read as follows:

B. Resource Mapping Criteria.

3. *Wetlands.* Wetlands shall be delineated according to the ~~most recent version~~ 1987 edition of the U.S. Army Corps of Engineers Wetland Delineation Manual.

Section 2. UDC, Subsec. 3-C-3-4, Wetlands, is hereby repealed in its entirety and replaced to read as follows:

A. Purpose and Intent. This Section establishes minimum acceptable standards for wetland development. The wetland regulations set forth in this section are intended to be consistent with and operate in conjunction with the standards that existed prior to the U.S. Supreme Court's decision in *Sackett v. Environmental Protection Agency*, 598 U.S. 651 (2023). This includes wetland mitigation standards previously set forth in Section 404 of the Federal Clean Water Act (CWA) prior to the *Sackett* decision and previously administered by the U.S. Army Corps of Engineers. The wetland disturbance provisions of this Code apply to any wetlands within Town boundaries notwithstanding any Federal jurisdictional determination on waters or wetlands within Winter Park by the U.S. Army Corps of Engineers of the U.S. Environmental Protection Agency.

B. Applicability. This section applies to all areas within the Town containing a wetland, as defined by this UDC.

C. Independent Survey Requirements. In light of the purpose and intent of this section, if there is any evidence that a site subject to disturbance may contain wetlands, as defined in Article 7.C of this UDC, the Town shall require the permittee to obtain and submit a wetlands survey by an independent third-party consultant specializing in wetlands delineations, as

recognized by the U.S. Army Corps of Engineers on its "Wetlands Delineation Consultants List," as may be amended. The expense of this wetlands survey shall be borne entirely by the permittee. The Town may also seek validation of the report through an independent third-party consultant retained by the Town.

D. Disturbance of Wetlands. No disturbances shall occur within a wetland, unless approved by any applicable state agency regulations that may be adopted as anticipated by House Bill 24-1379, or authorized by the Town Council's issuance of a Wetland Disturbance Permit as described in below. Any disturbance of wetlands requires issuance of a Wetland Disturbance Permit upon the satisfaction of either compensatory mitigation or actual mitigation, as described below.

1. **Compensatory Mitigation.** The Planning Commission may recommend to Town Council and Town Council may issue a Wetland Disturbance Permit when compensatory mitigation is deemed sufficient. If the Planning Commission or the Town Council determines there is no practicable alternative to the filling of a wetland, a development project shall require compensatory mitigation. Compensatory mitigation is required for projects that result in unavoidable impacts on more than 1/10 of an acre of wetlands. Mitigation may include restoring a degraded or drained wetland, creating a new wetland, enhancing an existing wetland, or preserving an existing wetland. A permittee is responsible for mitigation and may fulfill compensatory mitigation obligations through one of the following mechanisms: (1) Wetland mitigation banking in which the permittee purchases mitigation credits from wetland banks, depending on the number of credits required for the area of impacted wetland; (2) In-lieu fee program mitigation in which a third party collects mitigation funds from a large number of permittees and pools these financial resources to create a new mitigation wetland; and (3) Permittee-responsible mitigation in which the permittee maintains responsibility for achievement of compensation obligations imposed under Section 404 of the CWA or alternative regulatory regimes. Permittees may opt to complete wetland compensation on their own or may contract an authorized agent or consultant to restore, establish, enhance, and/or preserve wetlands.

2. **Actual Mitigation.** If compensatory mitigation is not feasible, the Planning Commission may recommend to Town Council and Town Council may issue a Wetland Disturbance Permit requiring actual mitigation. When these compensatory mitigation methodologies are not suitable, a minimum acreage replacement ratio of 1:1 for actual mitigation shall be used.

3. **Encroachment.** All mitigation measures apply to permanent encroachments; temporary encroachments do not trigger mitigation measures.

E. Compliance with Permit Requirements. Prior to final approval of a subdivision, site plan, building permit or grading permit, the permittee shall submit a plan to meet the standards set forth in this Section. If the site contains areas deemed a jurisdictional wetland by the U.S. Army Corps of Engineers, the permittee shall present evidence of compliance with Section 404 of the CWA. Areas that contain wetlands that are determined to be nonjurisdictional by the U.S. Army Corps of Engineers of the Environmental Protection Agency, per the CWA,

may still be considered wetlands of the Town. Moreover, if the site contains what are delineated as wetlands under the U.S. Army Corps of Engineers Wetlands Delineation Manual and the 2012 Supplement for Western Mountain and Vallets, attached hereto and incorporated herein as Appendix B, or areas that would meet the definition wetlands per these manuals, as determined by a third-party consultant specializing in wetlands, then those wetland areas are wetlands of the Town and subject to these regulations. Documentation and compliance with all potential wetland matters shall remain the sole and ongoing responsibility of the permittee, and any failure to maintain such compliance may lead to suspension or revocation of the Wetlands Disturbance Permit and any other approvals issued by the Town under this UDC.

F. Financial Guarantee. A development improvements agreement and associated financial guarantee to ensure the requirements of this Section are met shall be posted in accordance with Section 4-B-4, *Development Improvements Agreement* or as otherwise provided for in this UDC. The term of the financial guarantee for the period following installation shall be a minimum of two (2) growing seasons in order to ensure that successful, stable plant establishment is achieved for all wetland plantings.

G. Penalties. Documentation and compliance with the CWA and these UDC standards shall remain the sole and ongoing responsibility of the permittee, and any failure to maintain such compliance may lead to suspension or revocation of any approvals provided under this UDC.

Section 3. Appendix B is hereby appended to the UDC, as attached hereto, containing the U.S. Army Corps of Engineers 1987 Wetlands Delineation Manual and 2012 Supplement for Western Mountain and Valleys.

Section 4. The Wetland definition in Article 7.C of the UDC is hereby repealed and replaced with the following definition:

Wetland means 1) areas including lakes, rivers, streams, intermittent streams, ponds, sloughs areas of seasonal standing water, or 2) those areas that are inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal circumstances, do support a prevalence of vegetation typically adapted for life in saturated soil conditions, as such areas are specifically delineated as provided for in the 1987 edition of the Corps of Engineers Wetlands Delineation Manual. Wetlands generally include fens, swamps, marshes, bogs, and similar areas. Manmade lakes or ponds built for the purpose of detaining runoff are not considered wetlands in the context of the UDC. Wetlands do not need to have a connection to waters of the United States, as defined by 33 Code of Federal Regulations (CFR) parts 328 and 329 (as amended) or U.S. Environmental Protection Agency 40 CFR part 230 (as amended) to fall under Town jurisdiction.

Section 5. The definition of Compensatory Mitigation is hereby added to Article 7.C of the UDC and is defined as follows:

Compensatory Mitigation means the restoration, reestablishment, rehabilitation, establishment, creation, enhancement, or preservation of state waters for the purpose of offsetting unavoidable adverse impacts that remain after all appropriate and practicable avoidance and minimization has been achieved.

INTRODUCED, APPROVED ON FIRST READING, AND ORDERED PUBLISHED IN FULL this ___ day of _____, 2024. A public hearing shall be held at the regular meeting of the Winter Park Town Council on the ___ day of _____, 2024 at 5:30 p.m., or as soon thereafter as possible, at the Winter Park Town Hall.

TOWN OF WINTER PARK

Nick Kutrumbos, Mayor

ATTEST:

Danielle Jardee, Town Clerk

READ, ADOPTED AND ORDERED PUBLISHED on second and final reading by a vote of _____ to _____ on the ___ day of _____, 2024.

TOWN OF WINTER PARK

Nick Kutrumbos, Mayor

ATTEST:

Danielle Jardee, Town Clerk