



**TOWN OF WINTER PARK  
PLANNING COMMISSION**  
Tuesday, September 10, 2024 8:00 AM

**A G E N D A**

**I. Call to Order**

**II. Roll Call of Commission Members**

**III. Public Comment**

*This time is reserved for anyone from the public to speak about items not on the agenda. The Planning Commission is not prepared to decide on matters brought up during this time, but if warranted, will place them on a future agenda.*

**IV. Conflict of Interest**

**V. Consent Agenda:**

- a. Minutes – August 27, 2024
- b. Minor Site Plan - Riverwalk at Winter Park - Lot 18 – 135 Apres Way (PLN24-048)
- c. Minor Site Plan - Riverwalk at Winter Park - Riverfront Pavilion (PLN24-046) and Central Amenity Area and Entry Gates (PLN24-047)

**VI. General Business:**

- a) Election of Vice Chair
- b) Presentation of Community Development Department & UDC Audit
- c) PUBLIC HEARING: Major Site Plan – 1097 Winter Park Drive (PLN23-098)

**VII. Director's Report:**

*This time is reserved for specific items from staff requiring Commission direction and for relaying important information to the Commission.*

**VIII. Planning Commission Items of Discussion**

*This time is reserved for Commission discussion items that are not listed on the agenda.*

**Online Meeting Login Instructions – See next page**

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Passcode: 113389

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- +1 669 900 6833 US (San Jose)
- +1 564 217 2000 US
- +1 646 931 3860 US
- +1 689 278 1000 US
- +1 929 436 2866 US (New York)
- +1 301 715 8592 US (Washington DC)
- +1 305 224 1968 US
- +1 309 205 3325 US
- +1 312 626 6799 US (Chicago)
- +1 360 209 5623 US
- +1 386 347 5053 US
- +1 507 473 4847 US

Webinar ID: 817 2574 4995

Passcode: 113389

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**TOWN OF WINTER PARK  
PLANNING COMMISSION  
Tuesday, August 27, 2024 8:00 AM**

**MINUTES**

**DATE:** Tuesday, August 27, 2024

**MEETING:** Winter Park Planning Commission

**PLACE:** Town Hall Council Chambers and Zoom Meeting Call

**PRESENT:** Chair Dave Barker, Commissioners Doug Robbins, Chris Tagseth, Thomas McDonald and Angela McDonough are present. Also present are Community Development Director James Shockey, Senior Planner Brian Kelly, Planning Consultant Sheila Booth and Town Attorney Mr. Kunal Parikh.

**OTHERS**

**PRESENT:** None.

**I. Call to Order**

Chair Barker calls the meeting to order at 8:11 a.m.

**II. Roll Call of Commission Members**

All Commissioners are present today. Vice Chair Holzwarth and Commissioner Kish had their last Planning Commission meeting on August 13, 2024. Today is Commissioner Tagseth's last Planning Commission meeting.

**III. Public Comment**

No one comes forward.

**IV. Conflict of Interest**

Commissioner Thomas McDonald states that he is currently employed by the developer of 185 Vasquez Road and is recusing himself from this item of business.

**Consent Agenda:**

- a. Minutes – August 13, 2024

Commissioner Tagseth moves, and Commissioner McDonough seconds the motion approving the consent agenda. Motion carries 5,0.

**V. General Business:**

- a) PUBLIC HEARING: Preliminary Plat – The Landings Townhomes – Lot 2, Cullen Minor Plat – 185 Vasquez Road (PLN24-005)

AND

- b) PUBLIC HEARING: Major Site Plan – The Landings Townhomes – Lot 2, Cullen Minor Plat – 185 Vasquez Road (PLN23-095)

Planning Consultant Sheila Booth begins her presentation by outlining the background of these two planning applications. Consultant Booth displays the staff report on the screen as she describes the main items related to both the Preliminary Plat and the Major Site Plan. Staff is recommending approval of both the Preliminary Plat and the Major Site Plan.

The applicant, Mr. Jim Candy comes forward. Mr. Candy talks about the potential benefits this project will bring to the Town. Mr. Candy states that they have been in conversations with the community to improve this development.

Then, Mr. Michael Dire the architect of the project and part of the applicant's team comes forward. Mr. Dire describes the renderings of the project. Mr. Dire explains the road and access layouts, the materials, color scheme, architectural elements (siding, balconies, overhangs, etc.). Additionally, Mr. Dire goes over the different perspectives of the development.

Chair Baker opens the Public Hearing for both this Preliminary Plat and Item B, Major Site Plan. Mr. and Mrs. Vandelaar (115 Lions Gate Drive) come forward. They state that they are familiar with the challenges of developing in this area. Their main concern is the value of their property declining due to the increase of traffic through the public ROW adjacent to their home. The Vandelaars are willing to work with the developer on keep a reasonable level of privacy for their home.

Mr. Manuel Uzcathegui (183 Idlewild Lane) comes forward and talks about the environmental impact of this development. Mr. Uzcathegui mentions the construction elements such a concrete, noise levels, setbacks to Vasquez Creek including the high-water mark.

With no one else coming forward, Chair Barker closes the public hearing.

Mr. Dire comes forward and addresses the Vandelaars's concerns about access and traffic. Mr. Dire states that the project will improve the access in the public right-of-way that will be shared by three property owners. Regarding the high-water mark, this has been verified and the supporting documentation has been included in the applications.

The Commission then ask about the installation of hot tubs in some of the units. Mr. Dire replies that some of the decks will have hot tubs, and these decks will have the necessary connections to sanitary sewer, and the decks will be engineered to bear the loads.

Then, the Commission and Director Shockey have a conversation about the easements for access from Lions Gate Drive. The conversation includes the depth of the easements and the background of how this particular access came to be. The Town Attorney Mr. Kunal Parikh comes forward and clarifies questions from the Commission concerning the public right-of-way.

The meeting then goes over the water quality aspect. Director Shockey describes how similar developments have handled stormwater detention adjacent to the creek. Consultant Booth and Director Shockey then explain in more detail the stormwater system that the developer is proposing by showing the actual construction plans on the screen.

The Commission then inquires about the 30 ft. undisturbed area. The Commission would like to know if there is any plan to avoid the use of that area to install outdoor furniture or similar items. Director Shockey replies that there is a regulation in place to protect this area during and after construction.

One other topic mentioned is the installation of screens for hot tubs installed adjacent to Lions Gate Drive and Vasquez Road. The applicant, Mr. Dire comes forward and states hot tubs will only be installed on the second story decks adjacent to Lions Gate and Vasquez Road. They are allowed on the first level for the two buildings adjacent to the creek.

Commissioner Robbins moves, and Commissioner McDonough seconds the motion recommending approval of the Preliminary Plat and approving the Major Site Plan with staff conditions and the following two additional conditions - add a note to the site plan, preliminary plat and in the homeowners association documents stating hot tubs are not allowed on the first floor for Buildings A and D adjacent to Lions Gate Road and Vasquez Road and add the following note to the preliminary plat and the homeowners association documents - No improvements are allowed within the 30 foot Water Quality and Riparian

Buffer including benches, trails or landscaping. Motion carries 4,0.

**VI. Director's Report:**

Director Shockey informs the Commission that today is Commissioner Tagseth last day. Three new members will be attending the next Planning Commission meeting on September 10<sup>th</sup>, 2024.

Also, on September 10<sup>th</sup>, 2024, the Commission will elect a new Vice Chair.

**VII. Planning Commission Items of Discussion**

There being no further business to discuss, upon a motion regularly adopted, the meeting was adjourned at 9:40 a.m.

The next scheduled meeting of the Planning Commission will be Tuesday, September 10<sup>th</sup>, 2024, at 9:00 a.m.

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Irene Kilburn, Planning and Building Technician II



## MEMO

**TO** Planning Commission  
**FROM** James Shockey, Community Development Director  
**DATE** September 10, 2024  
**RE** Riverwalk at Winter Park, Lot 18 (PLN24-048)

**Property Owner:** Riverwalk, LLC

**Applicant:** Adam Casias, Studio 1

**Location:** West side of Apres Way, north of Ski Idlewild Road.

**Legal Description:** Lots 18, Riverwalk at Winter Park

**Architects:** Adam Casias, Studio 1

**Zoning:** R-2 (Multiple Family, Residential) (Riverwalk Final Development Plan (FDP))

**Authority:**

Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Director considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park and Minor Site Plan approval is required before building permit issuance.

**Variances:**

No Board of Adjustment (BOA) or administrative variance requests were requested with this application.

**Architecture:**

Satisfactory. One (1) new single-family detached dwelling unit (DU) is proposed on vacant unimproved land. The building utilizes a contemporary, pitched roof form with deep eaves with timber architectural features, and the building shape clearly identifies the entrance. The building has a V-shaped footprint with a two-car garage underneath a second-floor porch. Patios are located along each façade. The architecture is consistent with Mountain Town character seen throughout Winter Park. The proposed single family dwelling complies with Winter Park Design Guidelines.

**Title Commitment:**

Unsatisfactory. The submitted title commitment is dated October 23, 2023. A Title commitment shall not be more than six months older than the submittal date.

- The applicant shall provide an updated Title Commitment that is not older than 6 months from initial submittal date.

**Homeowner’s Association Review:**

Satisfactory. The applicant provided a letter from the HOA with blanket approval of all residential lots and improvements. The Roam Design Review Committee has provided a letter stating its approval of all elements of Riverwalk.

**Material and Color:**

Satisfactory. The material palette shows a stone veneer base, a combination of gabled standing seam metal roofing, and cedar lap siding visually dividing the stories. The roof has timber snow guards. The design primarily utilizes stone and natural wood colors with the exception of black metal features on the roof, roof caps, and patio metal railings. Use of materials is balanced and matches architectural character of the Town. Black metal-lined windows appear inset to visually strengthen the wall. The proposed design complies with Winter Park Design Guidelines.

**Outdoor Lighting:**

Unsatisfactory. One (1) type of exterior fixture is proposed with a total of 19 fixtures throughout the site. The fixture does not contain the International Dark Sky Association (IDA) approval stamp (UDC, § 3-K-3(A)(1)). Spec sheet from manufacturer states it is Dark Sky compliant but does not have the IDA stamp nor does the fixture appear on the IDA website. The applicant states the total lumens per fixture is 575 per fixture and there are 19 fixtures. According to sec. 3-K-5(A), the maximum lumens for a single family property is 5,100. Based on the provided lumen values, the proposed lighting exceeds the code requirement by 5,825 lumens

- The applicant shall provide a light fixture with the International Dark Sky Association stamp and reduce the total lumens on sight to 5,100 CCT or less.

	<b>Fixture Name</b>	<b>Proposed # of Fixtures</b>	<b>Proposed Lumens per Fixture</b>	<b>Proposed CCT</b>
<b>Lot 18</b>	<b>Hinkley Wall mount barn light</b>	19	575 per fixture	3000

**Accessory Dwelling Unit (ADU):**

N/A, not proposed. One ADU is permitted on each lot, according to the FDP.

**Site Plan:**

Unsatisfactory. Overall, the Site Plan for Lot 18 provides all information required for staff review; however, there are two additional items that must be clarified. First, a five-foot tall, three-rail fence is proposed on the western and northern property lines per the FDP but the site plan does not show the fence. Secondly, the Limit of Disturbance line extends beyond the property line.

- Applicant shall verify when the proposed fence approved with the FDP will be constructed, and if it will be constructed on the subject property.
- Provide clarity in site plan notes that adjacent properties that are under separate ownership will not be disturbed permanently nor temporarily during all phases of construction. Specifically, show that the limit of disturbance does not include any of the adjacent jurisdictional wetlands.

### **Floorplans:**

Unsatisfactory. There are three floors total. Floor plans do not indicate the square footage for individual rooms or entire floor. A roof plan was not included in the submittal. Notes indicate that the elevation documents contain additional information on the roof, but the elevation plans primarily outline materials.

- Applicant shall provide a roof plan as another sheet with the floor plans.
- Applicant shall provide square footage for each room in the floor plan or provide total square footage of each floor in the floor plan.

### **Building Elevations:**

Unsatisfactory. Elevation plan includes all materials required for review. As previously noted, the proposed building is compliant with the Winter Park Design Guidelines. Elevation markers do not provide enough information for staff to properly measure height.

- The Elevation plans shall be modified to accurately depict and measure building height from top of existing grade or top of exposed foundation.

### **Setbacks:**

Unsatisfactory. Some architectural features encroach into setback requirements, such as column and roof, but the FDP permits these items to extend up to 24-inches into required setback. The proposed hot tub and firepit are encroaching into the 10-foot rear setback and a step or similar structure appears to encroach 3-inches into the side setback.

- Identify the structure on the southside of the garage, it appears to be a step, but there is no door. The structure identified encroaches the 5-ft side setback approximately 3 inches.
- Applicant shall remove or relocate the fire pit and hot tub from the proposed location in the rear setback. Alternatively, the Applicant may seek a setback variance from the Board of Adjustment.
- The structure on the south side of the garage shall be modified to stay within the 5-ft setback.

### **Building Coverage:**

Unsatisfactory. The building coverage maximum is 40 percent (40%) as required by the R-2 zoning district and the approved FDP. Based on building coverage measurement standards found in Sec. 3-A-7, the proposed building coverage exceeds the maximum permitted 40 percent (40%) by approximately four percent (4%).

- Update the site plan to reduce total building coverage by approximately four percent (4%) to meet the 40 percent (40%) building coverage requirement.

### **Building Height:**

Unsatisfactory. The elevation plans accurately state the maximum height of 35-feet, per the Riverwalk FDP but the height appears to be measured from "concrete". As previously noted, the Elevation plan shall be updated so that building height may be accurately reviewed for compliance.

### **Parking:**

Unsatisfactory. All on-site parking as designed is permissible. The site includes a two-car garage and a driveway. All parking shall be located on-site in accordance with the requirements of the FDP. Construction parking is shown on the adjacent Trust property.

- Applicant shall provide confirmation that construction staging and parking are acceptable on

adjacent property, owned by the Wheeler Trust.

**Landscaping:**

Unsatisfactory. The FDP, states that lots in Riverwalk are required to follow the Town of Winter Park Landscape Design Regulations and Guidelines. Tree Removal and Protection plans are not required for single family minor site plans. According to the FDP, a Residential LTZ (B) is located along the northern property line. The landscape plan is not at a proper scale to effectively evaluate the buffer. The buffer yard details are included in the site plan application but indicate the total, instead of those specific to Lot 18. The overall buffer yard provided was approved with the FDP. The applicant shall update the Landscape Plan in compliance with the UDC and FDP.

- The landscape plan does not provide a landscaping plan specific to Lot 18. It only depicts the overall landscape plan approved with the FDP. Provide a Landscape Plan, scale of 1' = 20', for Lot 18 that includes the following:
  - a. Proposed species name.
  - b. Property lines labeled with required bufferyard types.
  - c. Structures, existing and proposed.
  - d. Landscaping, existing and proposed.
  - e. Hardscaping, existing and proposed.
  - f. Top-of-wall and bottom-of-wall elevations of all retaining walls and site walls.

**Snow Storage:**

Partially satisfactory. The FDP has an approved Snow Storage Plan; however this submittal does not include site specific snow storage locations. According to the approved snow storage plan, snow storage is located on the subject property. Provide snow storage locations and amounts on the Site Plan.

- Applicant shall provide a snow storage table that includes landscaped area, hardscape area, required snow storage, and provided snow storage.

Lot #	Landscape Area (SF)	Asphalt Hardscape (SF)	Snow Storage required (SF)	Snow Storage provided. (SF)
18				

**Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:**

Satisfactory. The overall grading and drainage plan and drainage report were approved with the FDP and the submitted plan has been stamped by professional engineer.

**Driveway:**

Unsatisfactory. The proposed driveway slope is 2.1 percent (2.1%) which is an acceptable slope; however, the driveway is too short. At midpoint it is approximately 18.5 feet in length. The length of the driveway, as shown on the FDP, is approximately 24-feet. The driveway does not meet the road at a perpendicular angle. The driveway at its shortest is 15-ft and at its longest is 21.5-ft.

- Applicant shall redesign driveway to be consistent with the approved FDP.

**Utility Review:**

N/A, the overall utility plan was approved with the FDP. Applicant has submitted a utility plan which shows sanitary sewer and water mains abutting the subject property. Utility easements are shown along eastern and northern property lines.

**Inspection:**

Building Division staff have not performed a Pre-Disturbance inspection of the property.

- No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

**Staff Recommendation:**

Staff approves the Minor Site Plan with the following conditions:

1. The applicant shall provide an update Title Commitment that is not older than 6 months from initial submittal date.
2. The applicant shall provide a light fixture with the International Dark Sky Association stamp, and reduce the total lumens on sight to 5,100 CCT or less.
3. Applicant shall verify when the proposed fence that approved with the FDP will be constructed, and if it will be constructed on the subject property.
4. Identify the structure on the southside of the garage and verify it is allowed in to encroach into the 5-ft side setback.
5. The Elevation plans shall be modified to accurately depict and measure building height from top of existing grade or top of exposed foundation.
6. Applicant shall remove or relocate the fire pit and hot tub from the proposed location in the rear setback or seek a setback variance from the Board of Adjustment. The structure on the south side of the garage shall be modified to stay with the 5-ft setback.
7. Limit of Disturbance line extends beyond the property line. Provide clarity in note that adjacent properties under separate ownership will not be disturbed permanently nor temporarily during all phases of construction. Specifically, show that the limit of disturbance does not include any of the adjacent jurisdictional wetlands.
8. Applicant shall provide a roof plan as another sheet with the floor plans.
9. Applicant shall provide the square footage for each room on the floor plan or provide total square footage of each floor in the floor plan.
10. Applicant shall provide confirmation that construction staging and parking are acceptable on adjacent property, owned by the Wheeler Trust.
11. Update the landscape plan to provide landscaping specific to Lot 18.
12. Update the site plan to provide a snow storage table that includes landscaped area, hardscape area, required snow storage, and provided snow storage specific to Lot 18.
13. Applicant shall redesign driveway to be compliant with the approved FDP.
14. Revise the site plan and site design to reduce total building coverage by approximately 4 percent (4%) to comply with maximum building coverage regulations.
15. No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

**Required Permits:**

- ✓ Building Permit
- ✓ Driveway Permit
- ✓ SFD/Duplex Deposit Agreement





P.O. Box 3327
50 Vasquez Road, Winter Park, CO, 80482
Phone: 970-726-8081 Fax: 970-726-8084
wpgov.com

Land Use Review Application Form

Contact Information

Property Owner

Riverwalk, LLC

Company: NASSAR DELVOPMENT, Phone #: 3037758522, Email Address: ZACH@NASSARDEVELOPMENT.COM

Mailing Address: 3000 Airport Drive, Suite 203, City: ERIE, State: CO, Zip: 80516

Billing Contact (where invoices should be directed)

Laurie Hurd

Company: NASSAR DELVOPMENT, Phone #: 3037758522, Email Address: accounting@nassardevelopment.com

Mailing Address: 3000 Airport Drive, Suite 203, City: ERIE, State: CO, Zip: 80516

Representative (i.e., the point of contact)

ADAM CASIAS

Company: STUDIO 1, Phone #: 9709489836, Email Address: ADAM@STUDIO1.COMPANY

Mailing Address: 255 SAINT PAUL STREET, City: DENVER, State: CO, Zip: 80206

# Site Description

Site Address

137 Apres Way

Parcel Identification Number(s) (PIN)

Existing Zone Classification

R-2 (MULTIPLE FAMILY RESIDENTIAL)

Site Area (acres and sq. ft.)

10579 SF

# Project Description

Project Name

LOT 18

Brief description of the proposed project

SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE

# Required Documents

For an application to be considered complete and for Planning Division staff to begin review and schedule any applicable public hearings, this Land Use Review Application Form must be fully completed and all required attachments included. Staff will review the application for completeness and notify the representative and/or owner whether the application has been deemed complete.

# Certifications

## REPRESENTATIVE CERTIFICATION

By signing this application, I attest that I am acting with the knowledge and consent of all owners of the property that is the subject of this application, and that I have been designated to act as the representative for the project described in this land use application. I further certify that all information submitted with this application is true and accurate to the best of my knowledge.

Representative

ADAM CASIAS

Date

2024.06.04

## OWNER CERTIFICATION

I hereby certify that I am the legal owner of record of the property that is the subject of this application. I authorize the representative listed on this application, if any, to communicate directly with Town officials and to submit documentation and information regarding this application on my behalf.

Owner

DAVID NASSAR

Date

2024.06.04

In addition to the base fees the applicant is required to pay the cost of any referral agency reviews, public notices, hearings, and record keeping as outlined within § 5-B-6, Application Fees, in the UDC.

<b>Development Improvements Dedications, Agreements, and Guarantees (Article 4.B)</b>	<b>Site Development and Permit Decisions (Article 5.E)</b>
<input type="checkbox"/> Development Improvements Agreements (DIA)	<input type="checkbox"/> Major Site Plan*
<input type="checkbox"/> Public Improvement Cost-Recovery Agreement	<input checked="" type="checkbox"/> Minor Site Plan
<b>Standardized Development Review Procedures (Article 5.B)</b>	<input type="checkbox"/> Administrative Site Plan
<input type="checkbox"/> Pre-Application Conference	<input type="checkbox"/> Special Use Permit (Including High-Impact Short-Term Rentals)*
<input type="checkbox"/> Renewal of Approvals	<input type="checkbox"/> Limited Use Authorization
<input type="checkbox"/> Vested Rights	<input type="checkbox"/> Temporary Use Permit
<b>Ordinance and Zoning Amendment Decisions (Article 5.C)</b>	<input type="checkbox"/> Floodplain Development Permit
<input type="checkbox"/> Text Amendment	<input type="checkbox"/> Lighting by Special Permit
<input type="checkbox"/> Rezoning	<input type="checkbox"/> Parking Reductions and Alternative Parking Plan Permit
Rezoning to Planned Development: <input type="checkbox"/> Preliminary Development Plan* <input type="checkbox"/> Final Development Plan* <input type="checkbox"/> Amended Final Development Plan*	<input type="checkbox"/> Street Renaming
<input type="checkbox"/> Annexation*	<b>Appeal, Variance, and Interpretation Decisions (Article 5.F)</b>
<b>Subdivision and Platting Decisions (Article 5.D)</b>	<input type="checkbox"/> Appeal
<input type="checkbox"/> Exemption Plat	<input type="checkbox"/> Appeal of Administrative Decisions
<input type="checkbox"/> Minor Plat*	<input type="checkbox"/> Variance*
<input type="checkbox"/> Preliminary Plat*	<input type="checkbox"/> Written Interpretation
<input type="checkbox"/> Final Plat*	
<input type="checkbox"/> Resubdivision*	
<input type="checkbox"/> Waiver*	
<input type="checkbox"/> Vacation of Plat, Street, Right of Way, and Easement*	
<input type="checkbox"/> Condominium Plat	
<b>Table Notes:</b> *Pre-Application Conference required	



River Walk by Nassar Development LLC  
River Walk Owners Association (ROA)  
3000 Airport Drive  
Unit 203  
Erie, CO 80516  
303-775-5502  
[roa@riverwalkwp.com](mailto:roa@riverwalkwp.com)

Narrative – pln24-048 137 Apres Way – Lot 18

- A. Project Name – Lot 18
- B. Street Address – 137 Apres Way
- C. Name - River Walk by Nassar Development LLC  
Address – 3000 Airport Drive, Unit 203 Erie, Colorado 80516  
email and telephone number - [david@nassardevelopment.com](mailto:david@nassardevelopment.com) , 303-775-5502  
applicant - River Walk by Nassar Development LLC  
HOA - River Walk Owners Association (ROA)  
project manager – Zach Nassar  
architecture – ADAM CASIAS, Studio 1  
engineer – David Mitchell, Front Range Structural Engineering  
surveyor - CORE CONSULTANTS, LLC  
and land planner - River Walk by Nassar Development LLC
- D. Legal description - A REPLAT OF TRACT F-1, IDLEWILD MINOR SUBDIVISION A PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE 6TH P.M.TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO
- E. Zoning district - R-2 (MULTIPLE FAMILY RESIDENTIAL)
- F. Lot size – 10579 SF
- G. All proposed uses – single family residence
- H. Number of dwelling units - 1
- I. Number of bedrooms per dwelling unit - 5
- J. Size of residential space – 7500 sf
- K. Number of proposed off-street parking spaces - 1
- L. Construction schedule indicating major milestones for project – Start Construction 09.01.2024



KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.00	DRAINAGE AND SNOW STORAGE EASEMENT
0.02	TRANSFORMER
0.03	PROPOSED DRIVEWAY
0.08	FIRE PIT
0.09	SNOW STORAGE
0.10	STORAGE AREAS FOR SOIL, CONSTRUCTION EQUIPMENT, AND OTHER MATERIALS
0.16	SIDEWALK
0.17	HOT TUB
1.01	GAS METER
1.03	ELECTRICAL METER



**BOULDER** david@nassardevelopment.com  
303.775.5502

**DENVER** zach@nassardevelopment.com  
303.775.8522

**ERIE** wes@nassardevelopment.com  
303.775.5523

**Consultant**

**Issue/Revisions Date No.**

**Project Information**

**Sheet Information**

Sheet Title: **SITE PLAN**

MINOR SITE PLAN APPLICATION 2024.08.19  
Sheet Number:

**A1.0**

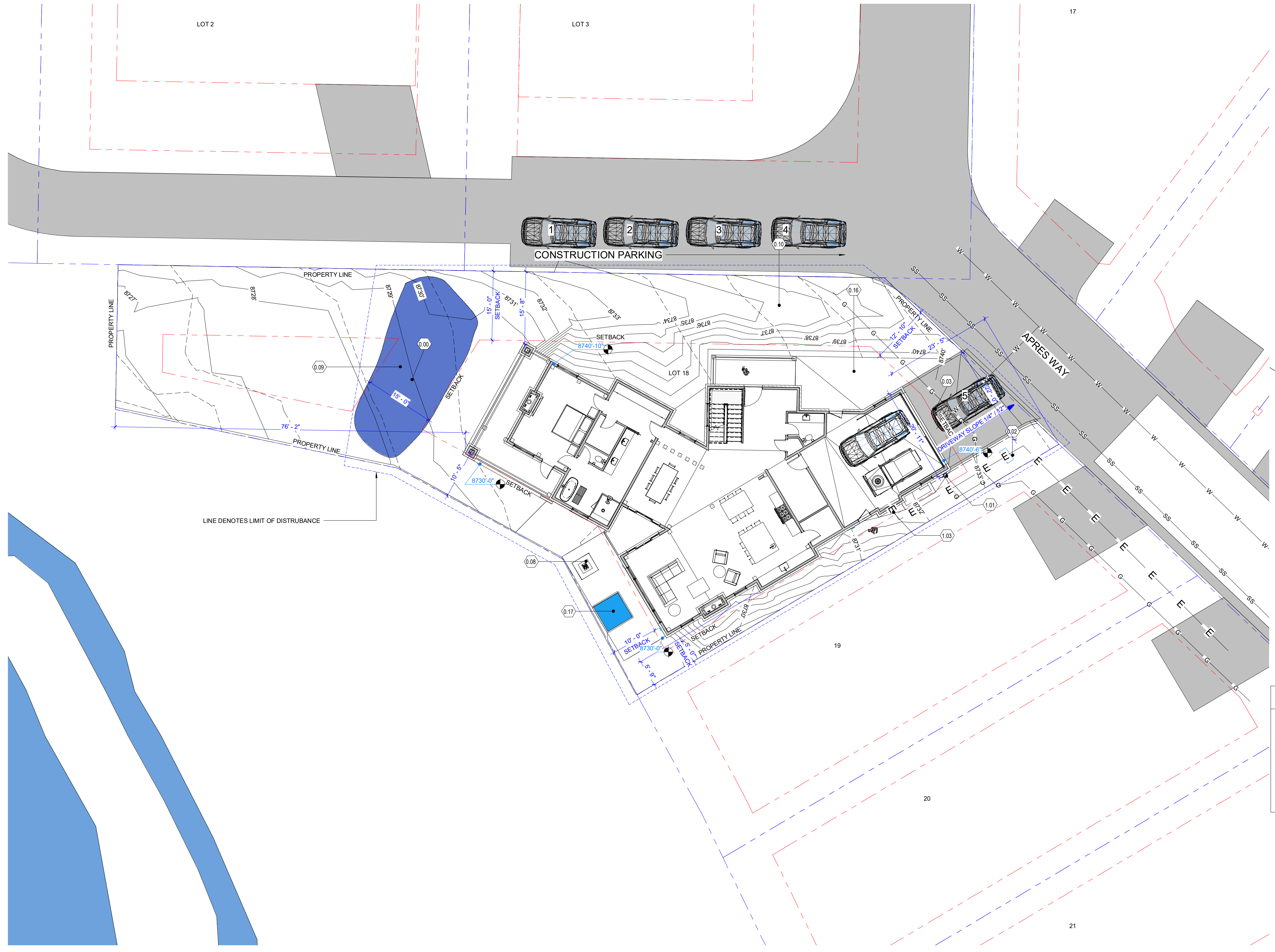
Nassar Project: 2024.037

- GENERAL SITE PLAN NOTES:**
- ALL DIMENSIONS TO FACE OF FOUNDATION WALL OR STRUCTURAL STRATA, UNLESS NOTED OTHERWISE.
  - VERIFY ALL SITE PARAMETERS: PROPERTY BOUNDARIES, EASEMENTS AND SETBACKS) PRIOR TO STAKING TO DEMOLITION AND CONSTRUCTION.
  - CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND TO ARRANGE PROPER DISCONTINUANCE AND/OR RELOCATION PRIOR TO DEMOLITION.
  - PROVIDE TREE AND SHRUB PROTECTION FOR EXISTING LANDSCAPING, ESPECIALLY FOR MATURE TREES MARKED TO BE SAVED.
  - PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING PERIMETER; 10% MINIMUM SLOPE FOR FIRST 10'. IT IS ESSENTIAL THAT SITE GRADING BE PROVIDED TO PREVENT INFILTRATION OF SURFACE WATER INTO THE FOUNDATION SYSTEM. REFER TO CIVIL DRAWINGS FOR GRADING AND DRAINAGE.
  - REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE, EXTERIOR LANDSCAPE LIGHTING AND IRRIGATION PLANS.
  - MECHANICALLY COMPACT ALL FILL AROUND THE BUILDING, INCLUDING THE BACKFILL. IMPROPER BACKFILL COMPACTION CAN CAUSE SETTLEMENT OF EXTERIOR SLABS SUCH AS WALKS, PATIOS AND DRIVEWAYS.
  - DISCHARGE ROOF DOWN SPOUTS AND ALL OTHER WATER COLLECTION SYSTEMS MINIMUM 5' BEYOND PERIMETER OF STRUCTURE. RE: CIVIL DRAWINGS FOR HARD-PIPED DRAINS. NO IRRIGATION WITHIN 5' OF THE FOUNDATION. AVOID HEAVY WATERING OF ANY FOUNDATION PLANTINGS.
  - PHOTOVOLTAIC SOLAR PANELS TO BE REVIEWED AND APPROVED UNDER SEPERATE PERMIT.
  - SITE WALLS UNDER SEPERATE PERMIT.

**2 LOT COVERAGE PLAN**  
1" = 30'-0"

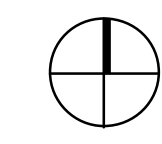
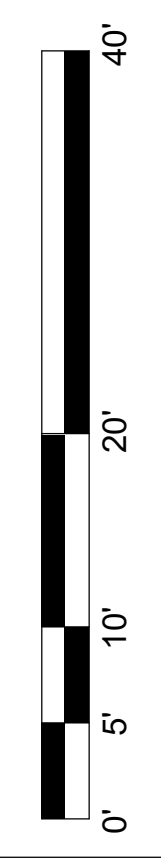
LOT COVERAGE	
BUILDING COVERAGE	4138 SF
TOTAL LOT AREA	10579 SF
TOTAL LOT COVERAGE	4138 / 10579 = 39%

- GENERAL PROTECTION NOTES:**
- NO DISTURBANCE, GRADING, OR REMOVAL OF SIGNIFICANT NATURAL FEATURES AND VEGETATION WILL OCCUR BEYOND THE "LIMIT OF DISTURBANCE" LINE, AS SHOWN ON THIS PLAN.
  - THE "LIMIT OF DISTURBANCE" LINE SHALL BE DELINEATED PRIOR TO CONSTRUCTION WITH FLAGS, ROPING, FOUR FOOT (4) TALL ORANGE CONSTRUCTION FENCING, OR OTHER ACCEPTABLE MEANS.



**1 SITE PLAN**  
1" = 10'-0"

SCALE: 1" = 10'-0"



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**TKE**  
CIVIL & STRUCTURAL  
ENGINEERING

P.O. Box 2205  
Boulder, Colorado 80546  
970.725.3316 | 970.200.2489



ISSUE/REVISION

1	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
2	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
3	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
4	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
5	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
6	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
7	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
8	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
9	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
10	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
11	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
12	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
13	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
14	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
15	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
16	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
17	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
18	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
19	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
20	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
21	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
22	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
23	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
24	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
25	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
26	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
27	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
28	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
29	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
30	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
31	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
32	08/14/2024	ISSUE/REVISION FOR FINAL PLAT
33	08/14/2024	ISSUE/REVISION FOR FINAL PLAT

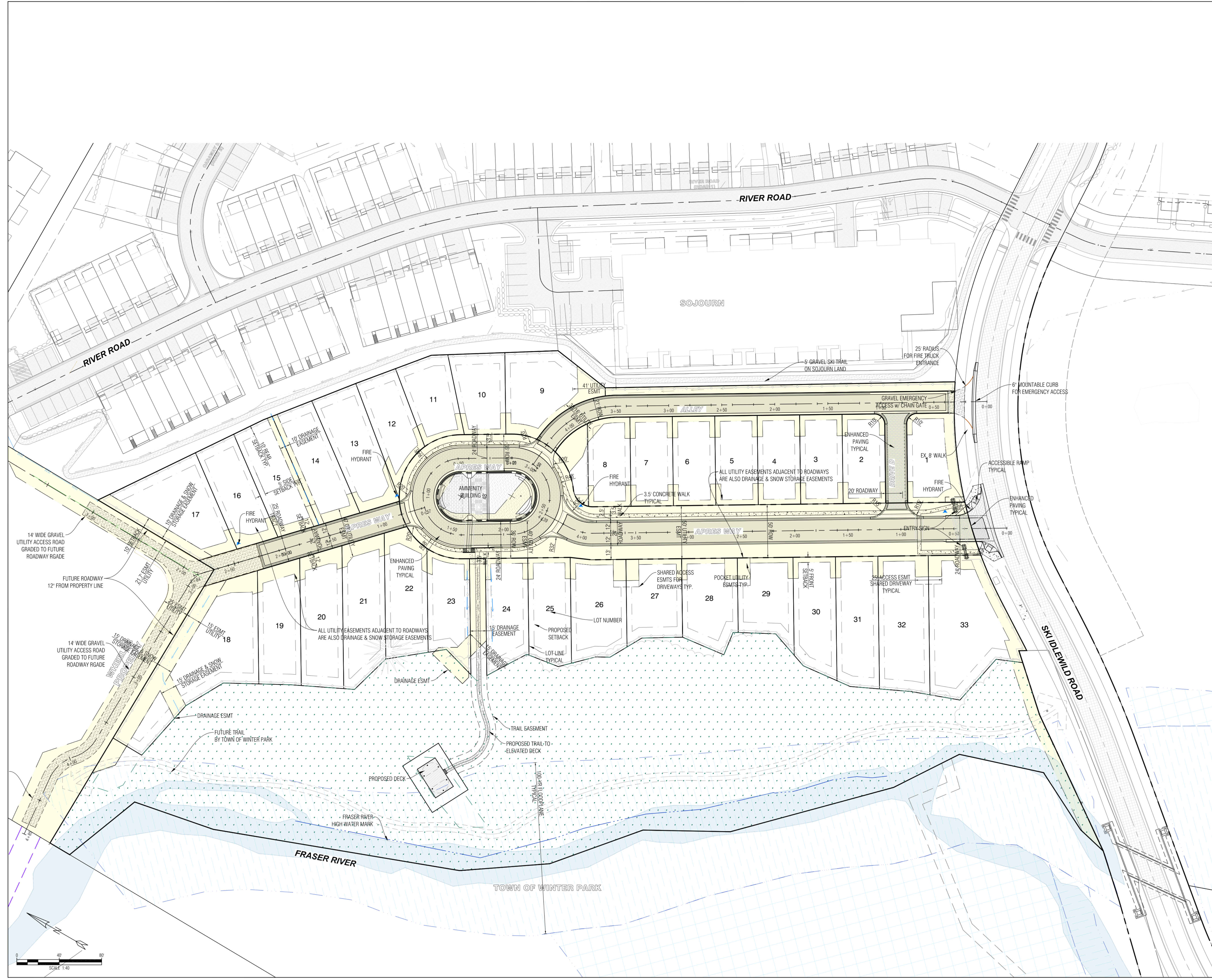
PROJECT: 22002

SITE PLAN

7 of 33

**SITE PLAN LEGEND**

BOUNDARY	---
PROP. RIGHT-OF-WAY LINE	---
PROP. ROAD CENTERLINE	---
ACCESS & UTILITY ESMT	---
PROP. ASPHALT PAVING	---
PROP. 6" VERT. CATCH CURB	---
PROP. 6" VERT. SPILL CURB	---
PROP. MOUNTABLE SPILL CURB	---
PROP. MOUNTABLE CATCH CURB	---
PROP. 2'-8" VALLEY PAN	---
PROP. 1.5' RIBBON CURB	---
PROP. RETAINING WALL	---
EX. ROAD CENTERLINE	---
EX. 1.5' RIBBON CURB	---



**1 SITE PLAN - CIVIL**  
1" = 20'-0"

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ISSUE/REVISION	DATE	DESCRIPTION
6	08-27-2023	RESUBMITTAL #3 FOR FINAL PLAT APPROVAL
5	08-08-2023	OFF UTILITY ADJUSTMENTS PER COMMENTS
4	07-28-2023	RESUBMITTAL #2 FOR PRELIMINARY PLAT
3	06-28-2023	RESUBMITTAL #1 FOR PRELIMINARY PLAT
2	2023-05-12	SUBMITTAL #2 FOR PRELIMINARY PLAT
1	2023-04-15	SUBMITTAL #1 FOR PRELIMINARY PLAT



RIVERWALK TRACT F  
WINTER PARK, COLORADO

137 APRES WAY  
RIVERWALK - LOT 18  
WINTER PARK, COLORADO 80482

PROJECT: 22002  
OVERALL UTILITY PLAN

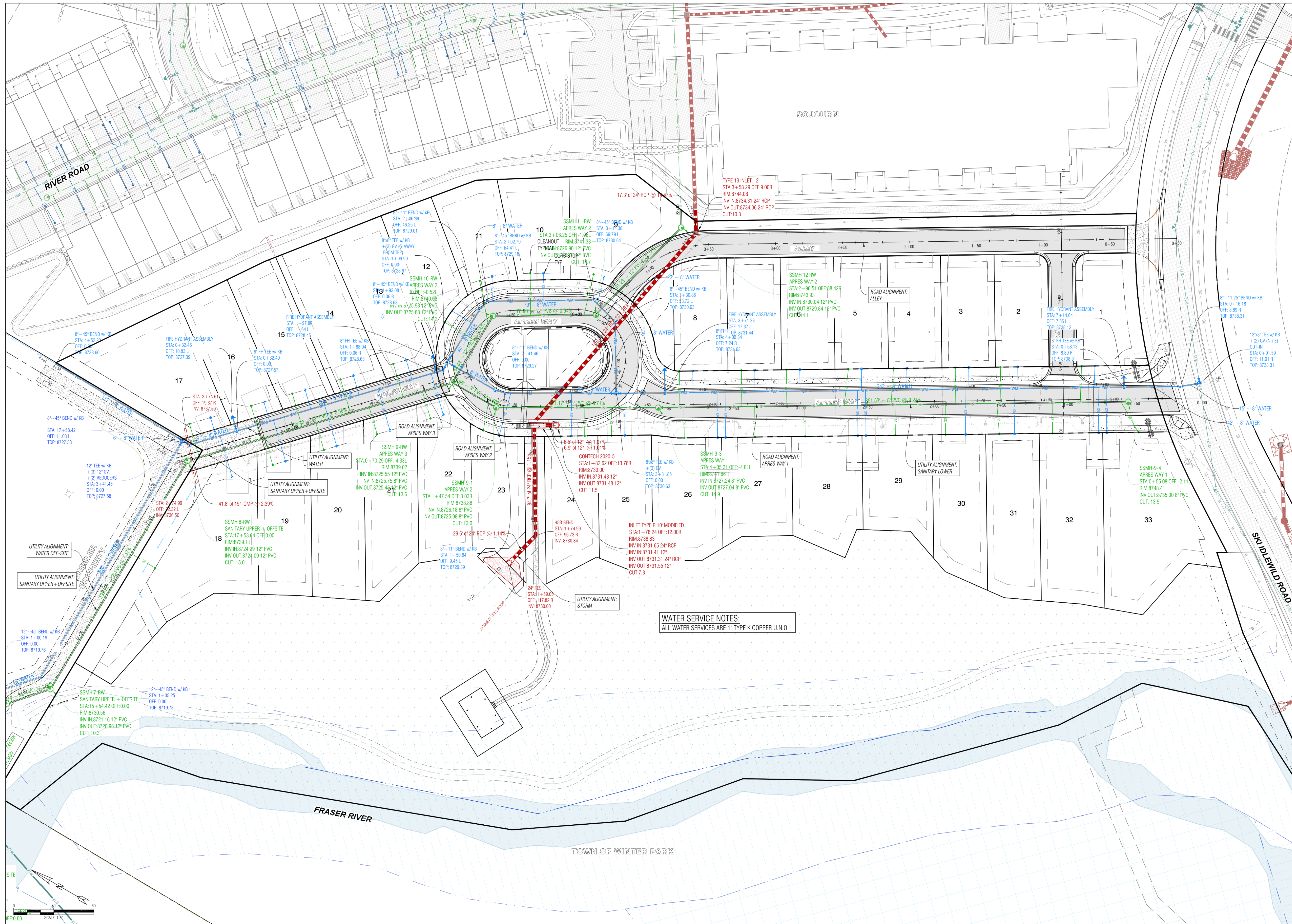
18 of 33

Sheet Information  
Sheet Title:  
OVERALL UTILITY PLAN

MINOR SITE  
PLAN  
APPLICATION 2024.08.19  
Sheet Number:

**C-4**

Nassar Project: 2024.037



**1 OVERALL UTILITY PLAN**  
1" = 20'-0"

SCALE: 1" = 20'-0"  
80'  
40'  
20'  
0'

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**siteworks**  
creativity for  
the built environment

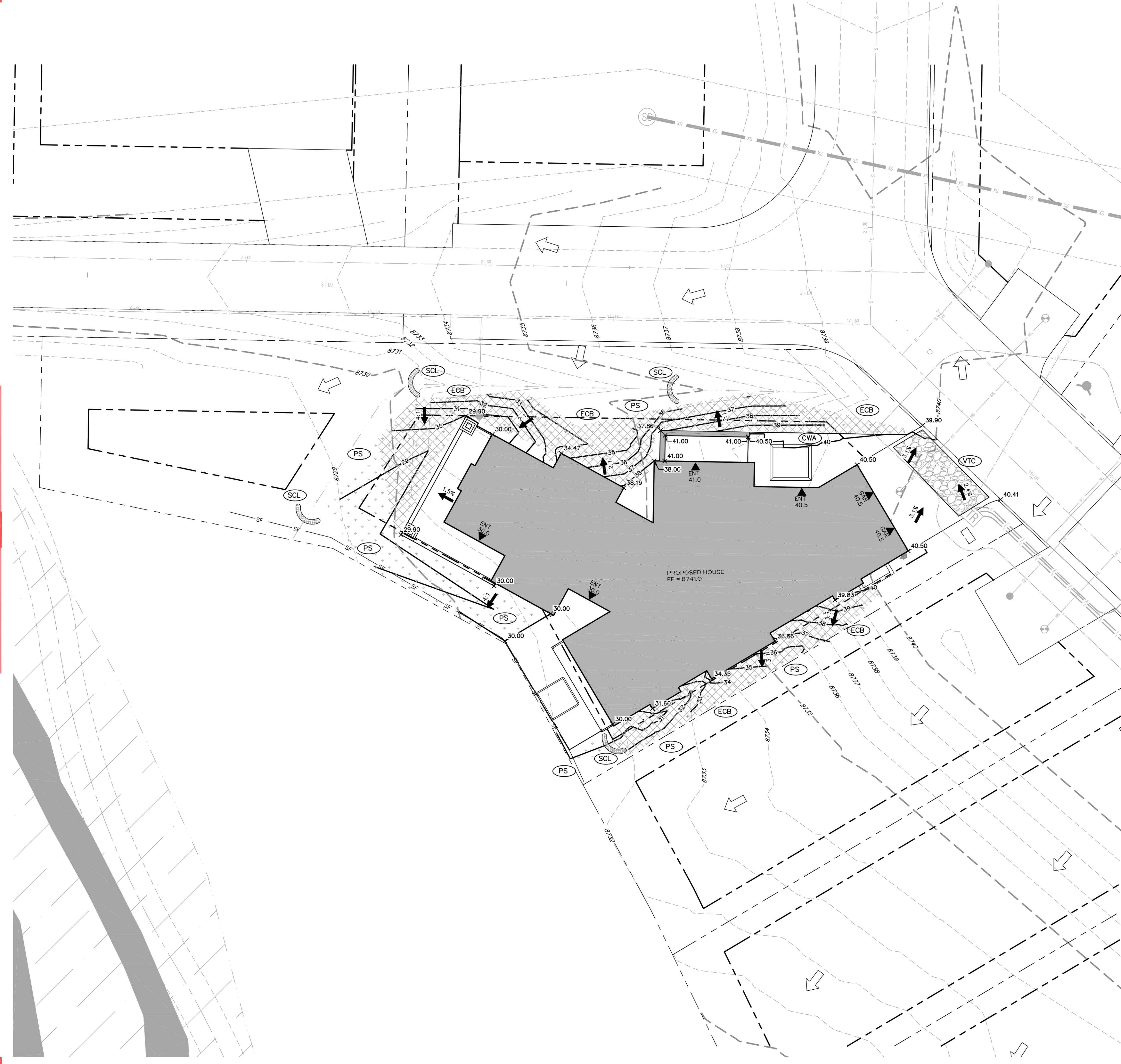
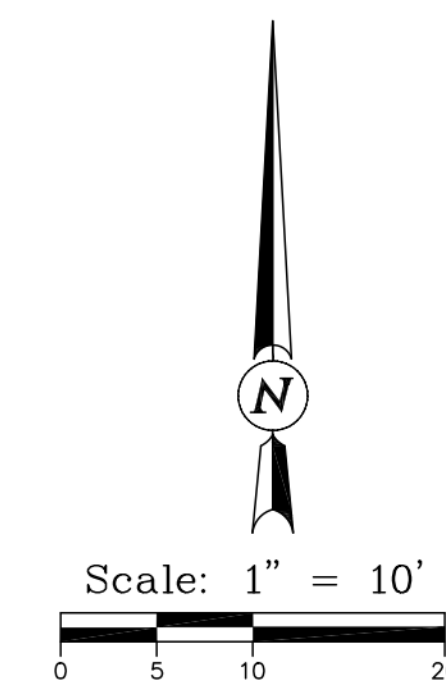


**LEGEND**

- 25 — PROPOSED CONTOUR  
ADD 5500 TO ALL CONTOURS
- - - 5505 - - - EXISTING CONTOUR
- POINT WHERE PROPOSED GRADE  
MEETS EXISTING GRADE
- x 25.8 PROPOSED SPOT ELEVATION  
ADD 5500 TO ALL SPOT ELEVATIONS
- y 25.8 EXISTING SPOT ELEVATION
- HISTORIC SHEET FLOW
- PROPOSED FLOW DIRECTION
- SF SILT FENCE
- VTC VEHICLE TRACKING CONTROL
- CWA CONCRETE WASHOUT AREA
- SCL SEDIMENT CONTROL LOG

**GRADING NOTES**

- GRADE AWAY FROM BUILDINGS AT A MINIMUM 10% SLOPE IN THE FIRST 10 FEET AT LANDSCAPE AREAS AND AT A MINIMUM 2% SLOPE IN THE FIRST 10 FEET AT IMPERVIOUS AREAS, EXCEPT AS NOTED.
- TOP OF FOUNDATION ELEVATION SHALL BE SET AT LEAST 8" ABOVE THE PROPOSED GRADING AT THE EXTERIOR OF THE FOUNDATION AREAS.
- THE FEMA FLOOD INSURANCE RATE MAP, PANEL 08049C091C, DATED JANUARY 01, 2008, INDICATES THAT THE PROPERTY IS LOCATED IN ZONE X (AREA OF MINIMAL FLOOD HAZARD).
- THE LOCATION OF THE ABOVE GROUND UTILITIES SHOWN HEREON ARE BASED ON THE CONSTRUCTION PLANS BY THE CIVIL AND STRUCTURAL ENGINEERING ON 07/08/2024. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON SAID PLANS AND INFORMATION PROVIDED BY OTHERS (WHICH MAY INCLUDE THE UTILITY OWNER OR UTILITY LOCATING SERVICES). SITEWORKS, LLC IS NOT RESPONSIBLE FOR UTILITY INFORMATION PROVIDED BY OTHERS. SITEWORKS, LLC RECOMMENDS THAT THE LOCATION OF THE UTILITIES BE FIELD VERIFIED PRIOR TO ANY DIGGING ON, OR ADJACENT TO THE SUBJECT PROPERTY.
- BENCHMARK INFORMATION: NOT PROVIDED.



Z:\SiteWorks\Projects - Documents\2022 Projects\22206 RiverWalk - Winter Park\07-Drawings\07-0103 - Lot Plans\22206C-1 Lot 18.dwg

SCALE: 1" = 10'-0"  
0' 5' 10' 20' 40'

**1 GRADING AND DRAINAGE PLAN - SITE**  
1" = 10'-0"

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**KEYNOTE LEGEND**

KEY VALUE	KEYNOTE TEXT
0.04	EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL, CLASS A ROOF ASSEMBLY
2.02	LUL LISTED - SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12 USA STANDARD GAUGE WIRE (0.1046 INCH (2.65 MM) HAVING OPENINGS NOT EXCEEDING 1/4 INCH (12.7 MM). THE NET FREE AREA OF THE SPARK ARRESTER SHALL NOT BE LESS THAN FOUR TIMES THE NET FREE AREA OF THE OUTLET OF THE CHIMNEY.
2.03	6" HORIZONTAL CEDAR WOOD SIDING - SEMI TRANSPARENT STAIN - CHARCOAL DARK GREY/TONE
2.04	THIN DEPTH NATURAL STONE VENEER - TELLURIDE GOLD BLEND
2.05	EXPOSED STEEL - MC CHANNEL WALL CAP - PAINTED BLACK COLOR
2.06	DECORATIVE CHIMNEY SHROUD - STEEL PAINTED BLACK COLOR
2.07	S4S WOOD HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE
2.08	SHEET METAL FLASHING DRIP EDGE - PATINA COPPER
2.09	ALUMINUM CLAD / RECLAIMED WOOD-OVERHEAD GARAGE DOOR, BLACK COLOR
2.10	ALUMINUM CLAD WINDOWS AND DOORS, BLACK COLOR
2.12	CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE
2.14	ARCHITECTURAL STEEL RAILING - PAINTED BLACK
2.15	HEAVY TIMBER - SNOW GUARDS
2.19	MC CHANNEL HEADER - PAINTED BLACK PATINA
3.00	HEAVY TIMBER HEADER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE



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**Consultant**

**Issue/Revisions Date No.**

**Project Information**

**Sheet Information**

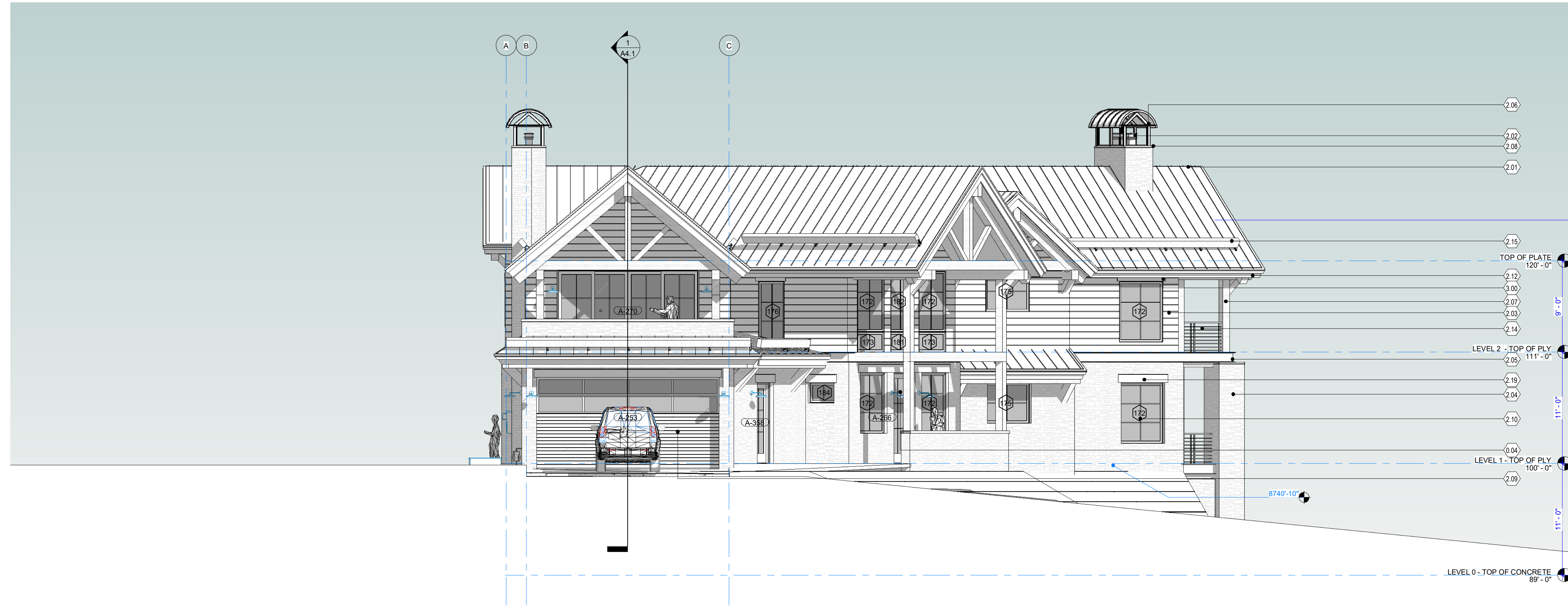
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**EXTERIOR ELEVATIONS**

MINOR SITE PLAN APPLICATION 2024.08.19  
Sheet Number:

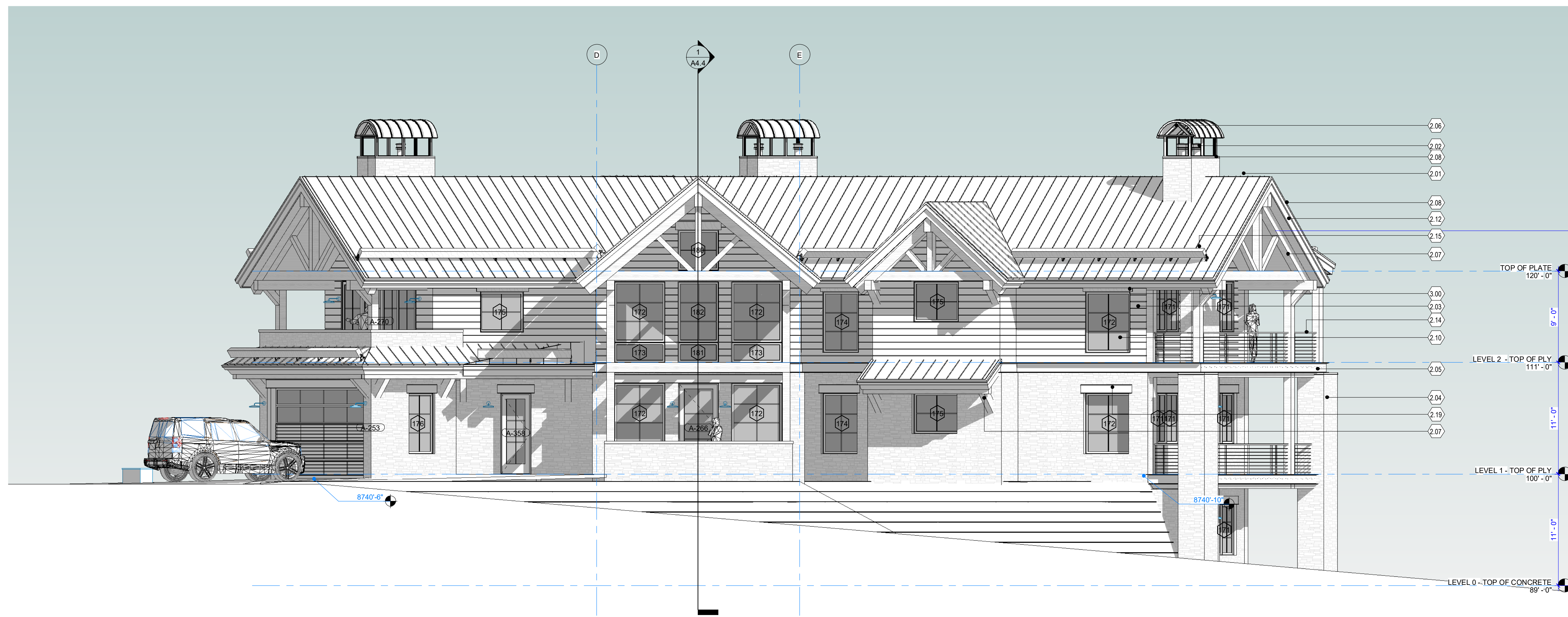
**A3.1**

Nassar Project: 2024.037



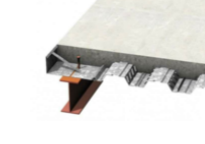
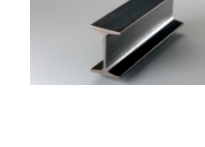

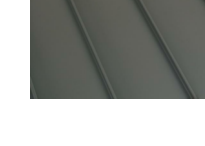

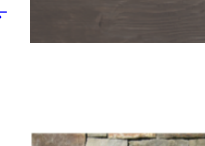





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**2 EAST ELEVATION**  
3/16" = 1'-0"



**1 NORTH ELEVATION**  
3/16" = 1'-0"

	0.04 - EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
	0.13 - 2X6 CEDAR WOOD SOFFIT - SEMI TRANSPARENT STAIN
	1.09 - CONCRETE PAN DECKING - CONCRETE
	2.05 - MC CHANNEL
	1.16 - NATURAL STONE CAP
	2.01 - STANDING SEAM METAL ROOFING - PATINA COPPER
	2.03 - 6" LAP SIDING
	2.04 - STONE VENEER - TELLURIDE GOLD BLEND
	2.07 - S4S HEAVY TIMBER - GREY SEMI-TRANSPARENT STAIN
	2.10 - METAL CLAD WINDOWS/DOORS- METAL CLAD BLACK DUAL GLAZING U-0.28, SHGC-0.30 CLAD WOOD CASING CONTINUOUS FOAM WEATHER STRIP ON FRAME
	2.12 - CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN
	2.14 - ARCHITECTURAL STEEL RAILING-PAINTED BLACK
	2.15 - HEAVY TIMBER - SNOW GUARDS
	2.19 - STEEL HEADER
	3.00 - HEAVY TIMBER HEADER

**MATERIAL LEGEND**

SCALE: 3/16" = 1'-0"  
21'-4"  
12"  
6"  
0' 2"

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**KEYNOTE LEGEND**

KEY VALUE	KEYNOTE TEXT
0.02	TRANSFORMER
0.04	EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
1.01	GAS METER
1.03	ELECTRICAL METER
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL, CLASS A ROOF ASSEMBLY
2.02	UL LISTED - SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12 USA STANDARD GAUGE WIRE (0.1045 INCH (2.69 MM) HAVING OPENINGS NOT EXCEEDING 1/4 INCH (12.7 MM). THE NET FREE AREA OF THE SPARK ARRESTER SHALL NOT BE LESS THAN FOUR TIMES THE NET FREE AREA OF THE OUTLET OF THE CHIMNEY.
2.03	6" HORIZONTAL CEDAR WOOD SIDING - SEMI TRANSPARENT STAIN - CHARCOAL DARK GREY/TONE
2.04	THIN DEPTH NATURAL STONE VENEER - TELLURIDE GOLD BLEND
2.05	EXPOSED STEEL - MC CHANNEL WALL CAP - PAINTED BLACK COLOR
2.07	S4S WOOD HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE
2.08	SHEET METAL FLASHING DRIP EDGE - PATINA COPPER
2.10	ALUMINUM CLAD WINDOWS AND DOORS, BLACK COLOR
2.12	CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE
2.14	ARCHITECTURAL STEEL RAILING - PAINTED BLACK
2.15	HEAVY TIMBER - SNOW GUARDS
2.19	MC CHANNEL HEADER - PAINTED BLACK PATINA
3.00	HEAVY TIMBER HEADER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE



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**Consultant**

**Issue/Revisions Date No.**

**Project Information**

**Sheet Information**

Sheet Title:  
**EXTERIOR ELEVATIONS**

MINOR SITE PLAN APPLICATION 2024.08.19  
Sheet Number:

**A3.2**

Nassar Project: 2024.037



**2 WEST ELEVATION**  
3/16" = 1'-0"



**1 SOUTH ELEVATION**  
3/16" = 1'-0"

	0.04 - EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
	0.13 - 2X6 CEDAR WOOD SOFFIT - SEMI TRANSPARENT STAIN
	1.09 - CONCRETE PAN DECKING - CONCRETE
	2.05 - MC CHANNEL
	1.16 - NATURAL STONE CAP
	2.01 - STANDING SEAM METAL ROOFING - PATINA COPPER
	2.03 - 6" LAP SIDING
	2.04 - STONE VENEER - TELLURIDE GOLD BLEND
	2.07 - S4S HEAVY TIMBER - GREY SEMI-TRANSPARENT STAIN
	2.10 - METAL CLAD WINDOWS/DOORS - METAL CLAD BLACK DUAL GLAZING U-0.28, SHGC-0.30 CLAD WOOD CASING CONTINUOUS FOAM WEATHER STRIP ON FRAME
	2.12 - CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN
	2.14 - ARCHITECTURAL STEEL RAILING-PAINTED BLACK
	2.15 - HEAVY TIMBER - SNOW GUARDS
	2.19 - STEEL HEADER
	3.00 - HEAVY TIMBER HEADER

**MATERIAL LEGEND**



**KEYNOTE LEGEND**

KEY VALUE	KEYNOTE TEXT
0.04	EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL CLASS A ROOF ASSEMBLY
2.02	UL LISTED - SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12 USA STANDARD GAUGE WIRE (0.1048 INCH) (2.66 MM) HAVING OPENINGS NOT EXCEEDING 1/4 INCH (12.7 MM). THE NET FREE AREA OF THE SPARK ARRESTER SHALL NOT BE LESS THAN FOUR TIMES THE NET FREE AREA OF THE OUTLET OF THE CHIMNEY.
2.03	6" HORIZONTAL CEDAR WOOD SIDING - SEMI TRANSPARENT STAIN - CHARCOAL DARK GREY/TONE
2.04	THIN DEPTH NATURAL STONE VENEER - TELLURIDE GOLD BLEND
2.05	EXPOSED STEEL - MC CHANNEL WALL CAP - PAINTED BLACK COLOR
2.06	DECORATIVE CHIMNEY SHROULD - STEEL PAINTED BLACK COLOR
2.07	S4S WOOD HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE
2.08	SHEET METAL FLASHING DRIP EDGE - PATINA COPPER
2.10	ALUMINUM CLAD WINDOWS AND DOORS - BLACK COLOR
2.12	CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE
2.14	ARCHITECTURAL STEEL RAILING - PAINTED BLACK
2.15	HEAVY TIMBER - SNOW GUARDS
2.19	MC CHANNEL HEADER - PAINTED BLACK PATINA
3.00	HEAVY TIMBER HEADER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE



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**Consultant**

**Issue/Revisions Date No.**

**Project Information**

**Sheet Information**

Sheet Title:  
**EXTERIOR ELEVATIONS**

MINOR SITE PLAN APPLICATION 2024.08.19  
Sheet Number:

**A3.3**

Nassar Project: 2024.037

**137 APRES WAY**  
RIVERWALK - LOT 18  
WINTER PARK, COLORADO 80482

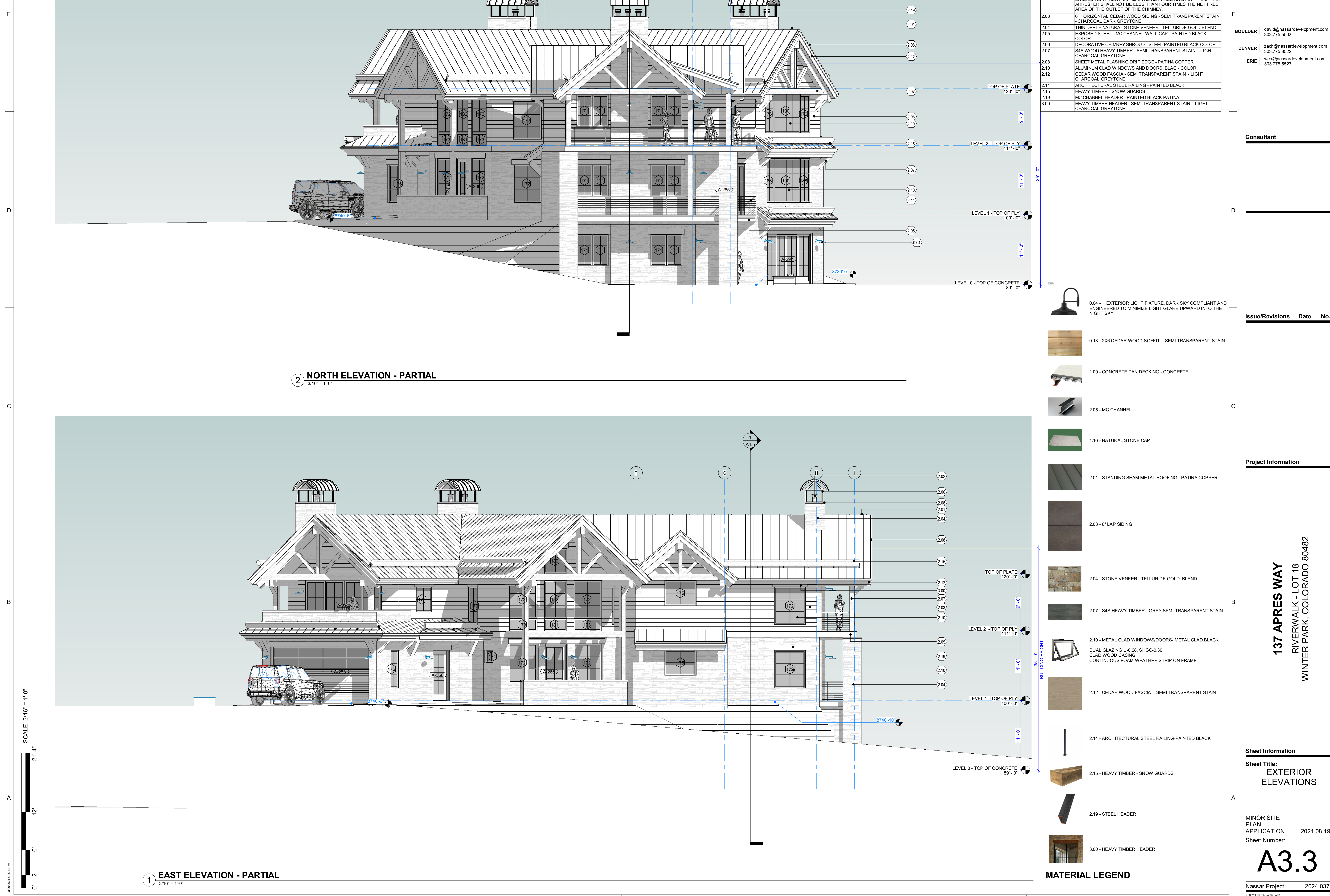
**2 NORTH ELEVATION - PARTIAL**  
3/16" = 1'-0"

**1 EAST ELEVATION - PARTIAL**  
3/16" = 1'-0"

**MATERIAL LEGEND**

- 0.04 - EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
- 0.13 - 2X6 CEDAR WOOD SOFFIT - SEMI TRANSPARENT STAIN
- 1.09 - CONCRETE PAN DECKING - CONCRETE
- 2.05 - MC CHANNEL
- 1.16 - NATURAL STONE CAP
- 2.01 - STANDING SEAM METAL ROOFING - PATINA COPPER
- 2.03 - 6" LAP SIDING
- 2.04 - STONE VENEER - TELLURIDE GOLD BLEND
- 2.07 - S4S HEAVY TIMBER - GREY SEMI-TRANSPARENT STAIN
- 2.10 - METAL CLAD WINDOWS/DOORS- METAL CLAD BLACK  
DUAL GLAZING U-0.28, SHGC-0.30  
CLAD WOOD CASING  
CONTINUOUS FOAM WEATHER STRIP ON FRAME
- 2.12 - CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN
- 2.14 - ARCHITECTURAL STEEL RAILING-PAINTED BLACK
- 2.15 - HEAVY TIMBER - SNOW GUARDS
- 2.19 - STEEL HEADER
- 3.00 - HEAVY TIMBER HEADER

SCALE: 3/16" = 1'-0"  
21'-4"  
12'  
6'  
0' 2"





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KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.04	EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL CLASS A ROOF ASSEMBLY
2.04	THIN DEPTH NATURAL STONE VENEER - TELLURIDE GOLD BLEND
2.07	S4S WOOD HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE
2.08	SHEET METAL FLASHING DRIP EDGE - PATINA COPPER
2.10	ALUMINUM CLAD WINDOWS AND DOORS, BLACK COLOR
2.12	CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE
2.15	HEAVY TIMBER - SNOW GUARDS
2.19	MC CHANNEL HEADER - PAINTED BLACK PATINA
3.00	HEAVY TIMBER HEADER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE



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Consultant

Issue/Revisions Date No.

Project Information

Sheet Information

Sheet Title:  
**EXTERIOR ELEVATIONS**

MINOR SITE PLAN APPLICATION 2024.08.19  
Sheet Number:

**137 APRES WAY**  
RIVERWALK - LOT 18  
WINTER PARK, COLORADO 80482

**A3.4**  
Nassar Project: 2024.037



	0.04 - EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
	0.13 - 2X6 CEDAR WOOD SOFFIT - SEMI TRANSPARENT STAIN
	1.09 - CONCRETE PAN DECKING - CONCRETE
	2.05 - MC CHANNEL
	1.16 - NATURAL STONE CAP
	2.01 - STANDING SEAM METAL ROOFING - PATINA COPPER
	2.03 - 6" LAP SIDING
	2.04 - STONE VENEER - TELLURIDE GOLD BLEND
	2.07 - S4S HEAVY TIMBER - GREY SEMI-TRANSPARENT STAIN
	2.10 - METAL CLAD WINDOWS/DOORS- METAL CLAD BLACK DUAL GLAZING U-0.28, SHGC-0.30 CLAD WOOD CASING CONTINUOUS FOAM WEATHER STRIP ON FRAME
	2.12 - CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN
	2.14 - ARCHITECTURAL STEEL RAILING-PAINTED BLACK
	2.15 - HEAVY TIMBER - SNOW GUARDS
	2.19 - STEEL HEADER
	3.00 - HEAVY TIMBER HEADER

MATERIAL LEGEND

1 WEST ELEVATION - PARTIAL  
3/16" = 1'-0"

1 2 3 4 5 6



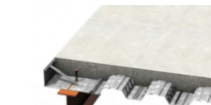
KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL, CLASS A ROOF ASSEMBLY
2.03	6" HORIZONTAL CEDAR WOOD SIDING - SEMI TRANSPARENT STAIN - CHARCOAL DARK GREY/TONE
2.04	THIN DEPTH NATURAL STONE VENEER - TELLURIDE GOLD BLEND
2.05	EXPOSED STEEL - MC CHANNEL WALL CAP - PAINTED BLACK COLOR
2.06	DECORATIVE CHIMNEY SHROUD - STEEL PAINTED BLACK COLOR
2.07	S4S WOOD HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE
2.10	ALUMINUM CLAD WINDOWS AND DOORS, BLACK COLOR
2.12	CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE
2.14	ARCHITECTURAL STEEL RAILING - PAINTED BLACK
2.15	HEAVY TIMBER - SNOW GUARDS
2.19	MC CHANNEL HEADER - PAINTED BLACK PATINA
3.00	HEAVY TIMBER HEADER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE



0.04 - EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY



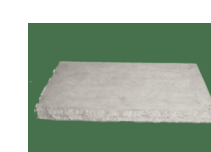
0.13 - 2X6 CEDAR WOOD SOFFIT - SEMI TRANSPARENT STAIN



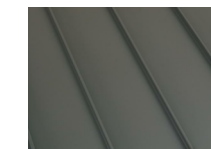
1.09 - CONCRETE PAN DECKING - CONCRETE



2.05 - MC CHANNEL



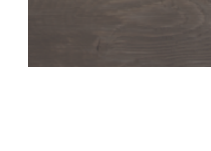
1.16 - NATURAL STONE CAP



2.01 - STANDING SEAM METAL ROOFING - PATINA COPPER



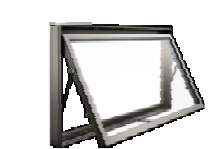
2.03 - 6" LAP SIDING



2.04 - STONE VENEER - TELLURIDE GOLD BLEND



2.07 - S4S HEAVY TIMBER - GREY SEMI-TRANSPARENT STAIN



2.10 - METAL CLAD WINDOWS/DOORS - METAL CLAD BLACK DUAL GLAZING U-0.28, SHGC-0.30 CLAD WOOD CASING CONTINUOUS FOAM WEATHER STRIP ON FRAME



2.12 - CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN



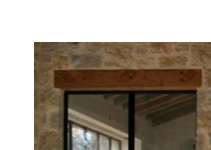
2.14 - ARCHITECTURAL STEEL RAILING-PAINTED BLACK



2.15 - HEAVY TIMBER - SNOW GUARDS



2.19 - STEEL HEADER



3.00 - HEAVY TIMBER HEADER

1 MATERIAL VIEW  
1/4" = 1'-0"

MATERIAL LEGEND



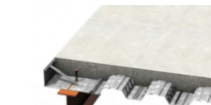
KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL, CLASS A ROOF ASSEMBLY
2.03	6" HORIZONTAL CEDAR WOOD SIDING - SEMI TRANSPARENT STAIN - CHARCOAL DARK GREY/TONE
2.04	THIN DEPTH NATURAL STONE VENEER - TELLURIDE GOLD BLEND
2.05	EXPOSED STEEL - MC CHANNEL WALL CAP - PAINTED BLACK COLOR
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2.19	MC CHANNEL HEADER - PAINTED BLACK PATINA
3.00	HEAVY TIMBER HEADER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE



0.04 - EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY



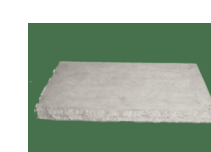
0.13 - 2X6 CEDAR WOOD SOFFIT - SEMI TRANSPARENT STAIN



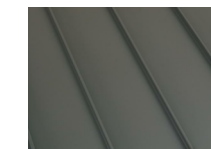
1.09 - CONCRETE PAN DECKING - CONCRETE



2.05 - MC CHANNEL



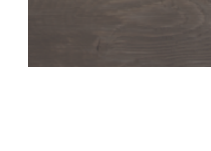
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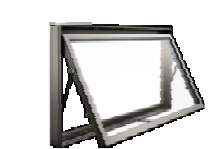
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2.10 - METAL CLAD WINDOWS/DOORS - METAL CLAD BLACK DUAL GLAZING U=0.28, SHGC=0.30 CLAD WOOD CASING CONTINUOUS FOAM WEATHER STRIP ON FRAME



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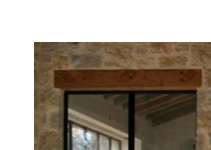
2.14 - ARCHITECTURAL STEEL RAILING-PAINTED BLACK



2.15 - HEAVY TIMBER - SNOW GUARDS



2.19 - STEEL HEADER



3.00 - HEAVY TIMBER HEADER

1 MATERIAL VIEW  
1/4" = 1'-0"

MATERIAL LEGEND



⊙ SMOKE CARBON MONOXIDE DETECTOR COMBO  
 SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AND SECTION R314.  
 SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034.

- GENERAL FLOOR PLAN NOTES:**
- DO NOT SCALE FROM DRAWINGS UNDER ANY CIRCUMSTANCES.
  - ALL DIMENSIONS ARE TO FACE OF STUD OR STRUCTURAL STRATA, UNLESS OTHERWISE NOTED.
  - UNLESS OTHERWISE NOTED:
    - ALL EXTERIOR WALLS ARE 2X6 AT 16" ON CENTER.
    - ALL INTERIOR WALLS ARE 2X4 AT 16" ON CENTER.
    - AT LOCATIONS WITH PLUMBING AND POCKET DOORS, INTERIOR WALLS ARE 2X6 AT 16" ON CENTER.
    - USE ENGINEERED WOOD FRAMING AT WALLS BACKED WITH CABINETS, AND AT DOOR AND WINDOW OPENINGS.
  - DRYWALL TO BE 5/8" THICK GYPSUM BOARD AT WALLS AND CEILINGS UNLESS OTHERWISE NOTED. (WALLS, CEILINGS AND FLOORS SHARED BETWEEN GARAGE AND LIVING SPACE TO BE TYPE X).
  - SEE BUILDING ASSEMBLIES SHEET FOR COMPLETE CONSTRUCTION NOTES. REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION PLAN AND STRUCTURAL INFORMATION.

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT



**BOULDER** david@nassardevelopment.com  
303.775.5502  
**DENVER** zach@nassardevelopment.com  
303.775.8522  
**ERIE** wes@nassardevelopment.com  
303.775.5523

**Consultant**

**Issue/Revisions Date No.**

**Project Information**

**137 APRES WAY**  
 RIVERWALK - LOT 18  
 WINTER PARK, COLORADO 80482

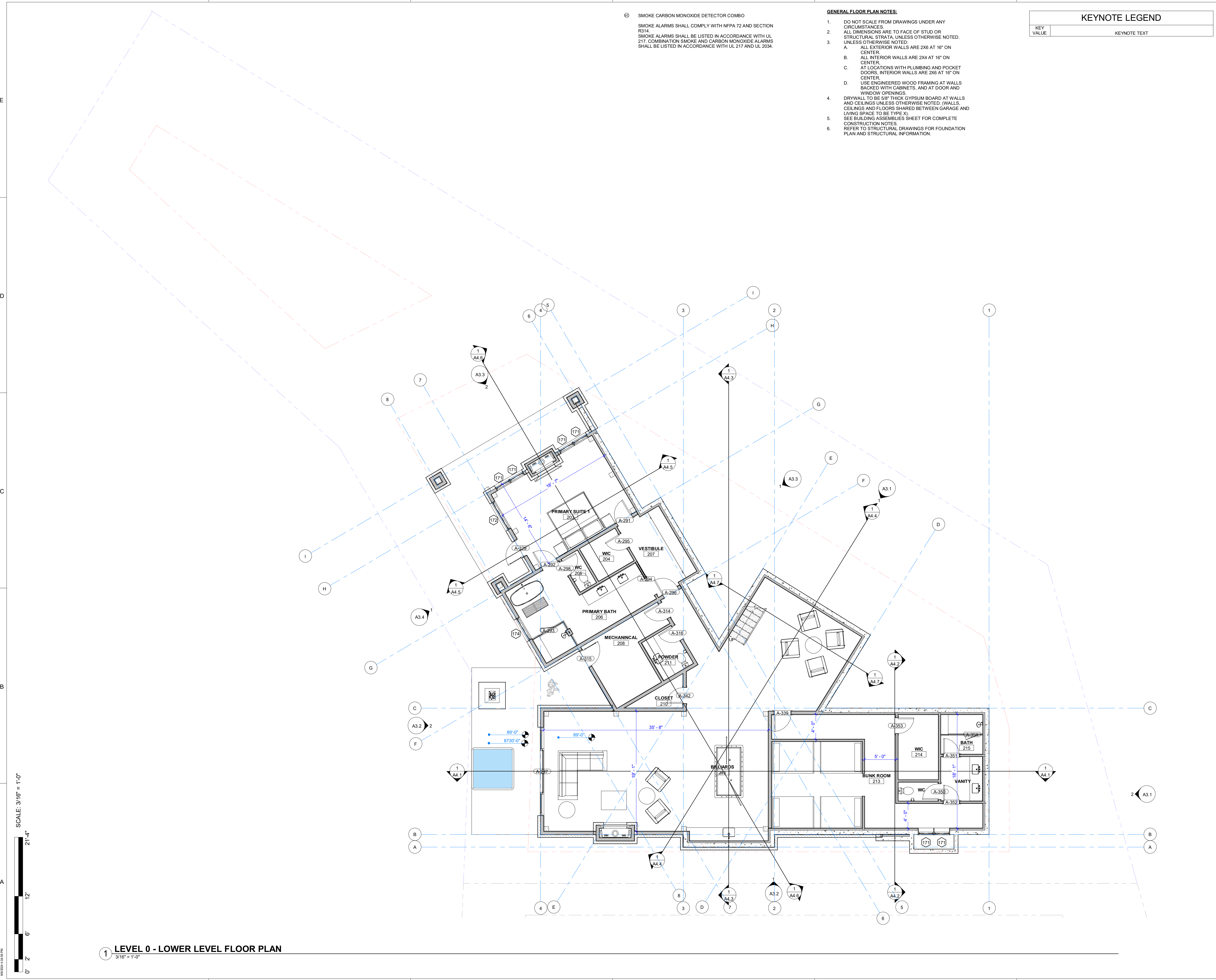
**Sheet Information**

Sheet Title:  
**LOWER LEVEL PLAN**

MINOR SITE PLAN APPLICATION 2024.07.25  
 Sheet Number:

**A2.1**

Nassar Project: 2024.037



**1 LEVEL 0 - LOWER LEVEL FLOOR PLAN**  
 3/16" = 1'-0"



GENERAL ROOF PLAN NOTES:

1. SEE BUILDING SECTIONS FOR TYPICAL ROOF CONSTRUCTION.
2. ROOFING CONTRACTOR TO FOLLOW MANUFACTURER'S INSTALLATION SPECIFICATIONS FOR LOW SLOPE ROOFS WHERE APPLICABLE.
3. ROOFING CONTRACTOR TO FOLLOW MANUFACTURER'S FLASHING RECOMMENDATIONS AT ALL EAVES, VALLEYS, ABUTTING WALLS, INTERSECTING WALLS, CHIMNEY VENTS AND STACKS.
4. PROVIDE 6" EXTENSIONS AT ALL DOWNSPOUT LOCATIONS PER CIVIL DRAWINGS, U.N.O., EXCEPT WHERE CONNECTED TO A TIGHTLINE DRAINAGE SYSTEM.
5. LOCATIONS OF ALL TERMINATIONS FOR VENT STACKS, EXHAUST FANS, DRYER VENTS, ETC. MUST BE APPROVED BY ARCHITECT.
6. ALL GUTTERS/DOWNSPOUTS ARE REQUIRED PER BOULDER COUNTY.

KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
0.02	TRANSFORMER
0.03	PROPOSED DRIVEWAY
1.01	GAS METER
1.03	ELECTRICAL METER



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Consultant

Issue/Revisions Date No.

Project Information

137 APRES WAY  
RIVERWALK - LOT 18  
WINTER PARK, COLORADO 80482

Sheet Information

Sheet Title:  
ENTRY LEVEL PLAN

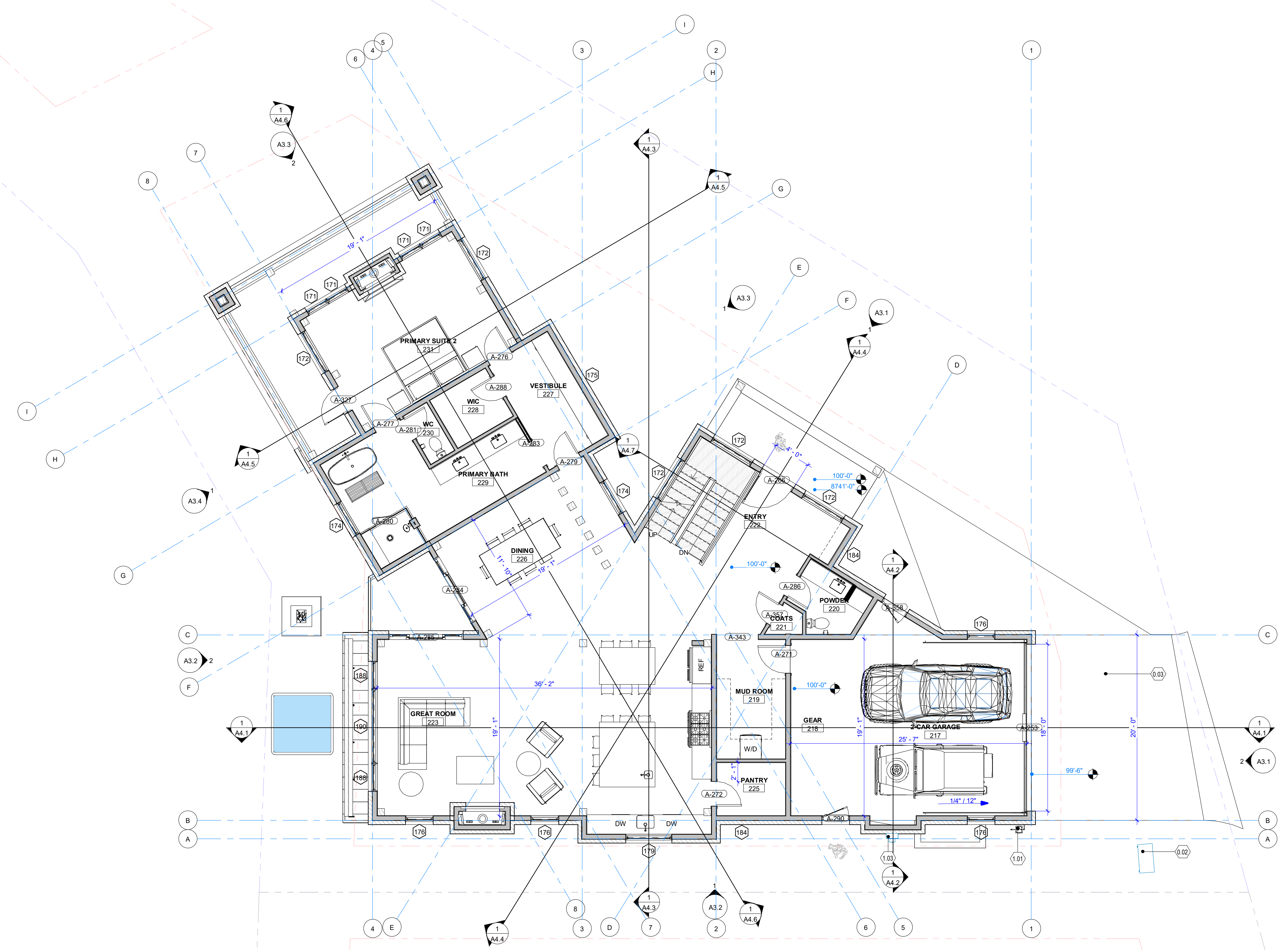
MINOR SITE  
PLAN  
APPLICATION 2024.07.25  
Sheet Number:

A2.2

Nassar Project: 2024.037

SCALE: 3/16" = 1'-0"  
21'-4"  
12'  
6'  
0'

1 LEVEL 1 - ENTRY LEVEL FLOOR PLAN  
3/16" = 1'-0"





GENERAL ROOF PLAN NOTES:

1. SEE BUILDING SECTIONS FOR TYPICAL ROOF CONSTRUCTION.
2. ROOFING CONTRACTOR TO FOLLOW MANUFACTURER'S INSTALLATION SPECIFICATIONS FOR LOW SLOPE ROOFS WHERE APPLICABLE.
3. ROOFING CONTRACTOR TO FOLLOW MANUFACTURER'S FLASHING RECOMMENDATIONS AT ALL EAVES, VALLEYS, ABUTTING WALLS, INTERSECTING WALLS, CHIMNEY VENTS AND STACKS.
4. PROVIDE 5' EXTENSIONS AT ALL DOWNSPOUT LOCATIONS PER CIVIL DRAWINGS, U.N.O., EXCEPT WHERE CONNECTED TO A TIGHTLINE DRAINAGE SYSTEM.
5. LOCATIONS OF ALL TERMINATIONS FOR VENT STACKS, EXHAUST FANS, DRYER VENTS, ETC. MUST BE APPROVED BY ARCHITECT.
6. ALL GUTTERS/DOWNSPOUTS ARE REQUIRED PER BOULDER COUNTY.

KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
-----------	--------------



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Consultant

Issue/Revisions Date No.

Project Information

137 APRES WAY  
RIVERWALK - LOT 18  
WINTER PARK, COLORADO 80482

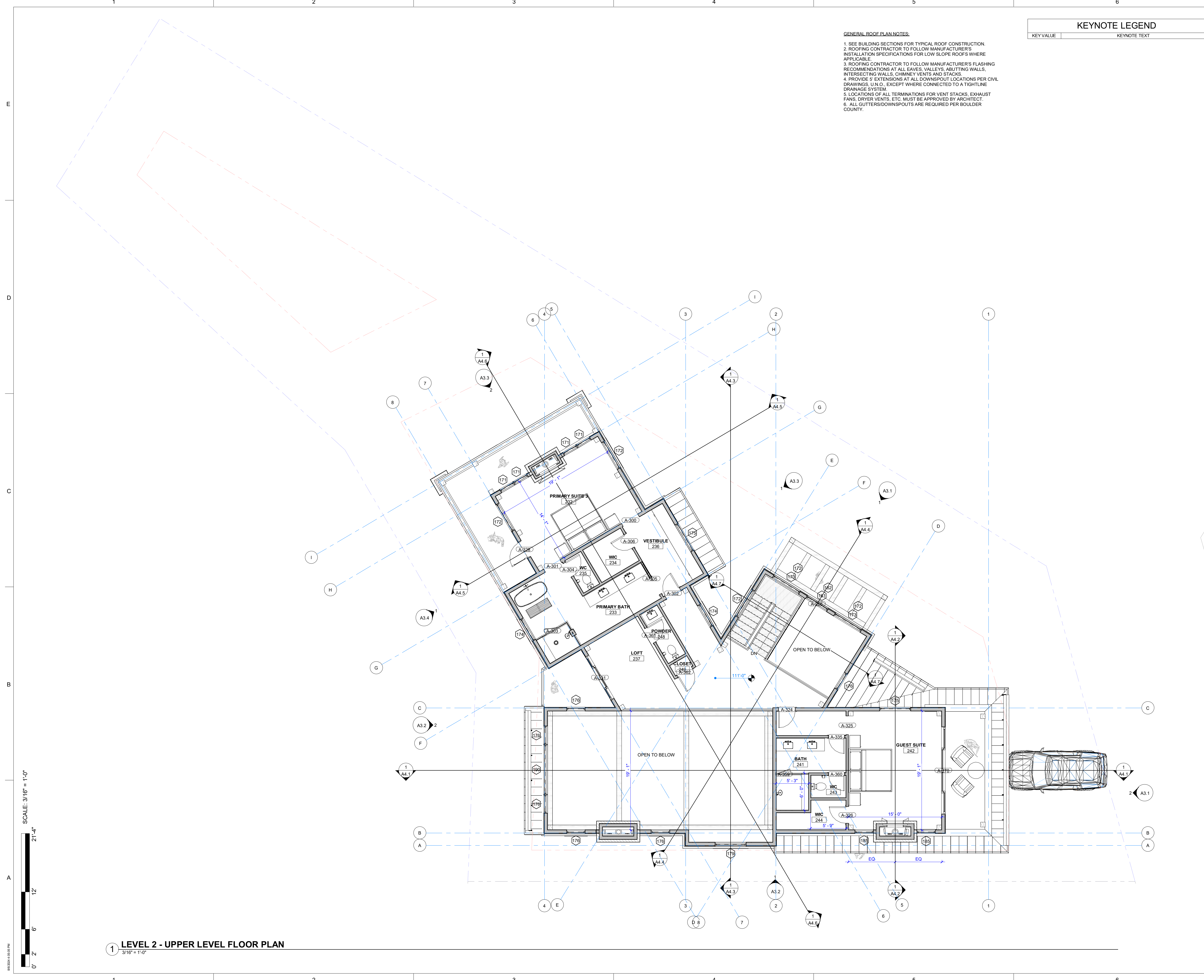
Sheet Information

Sheet Title:  
UPPER LEVEL PLAN

MINOR SITE  
PLAN  
APPLICATION 2024.07.25  
Sheet Number:

A2.3

Nassar Project: 2024.037



1 LEVEL 2 - UPPER LEVEL FLOOR PLAN  
3/16" = 1'-0"

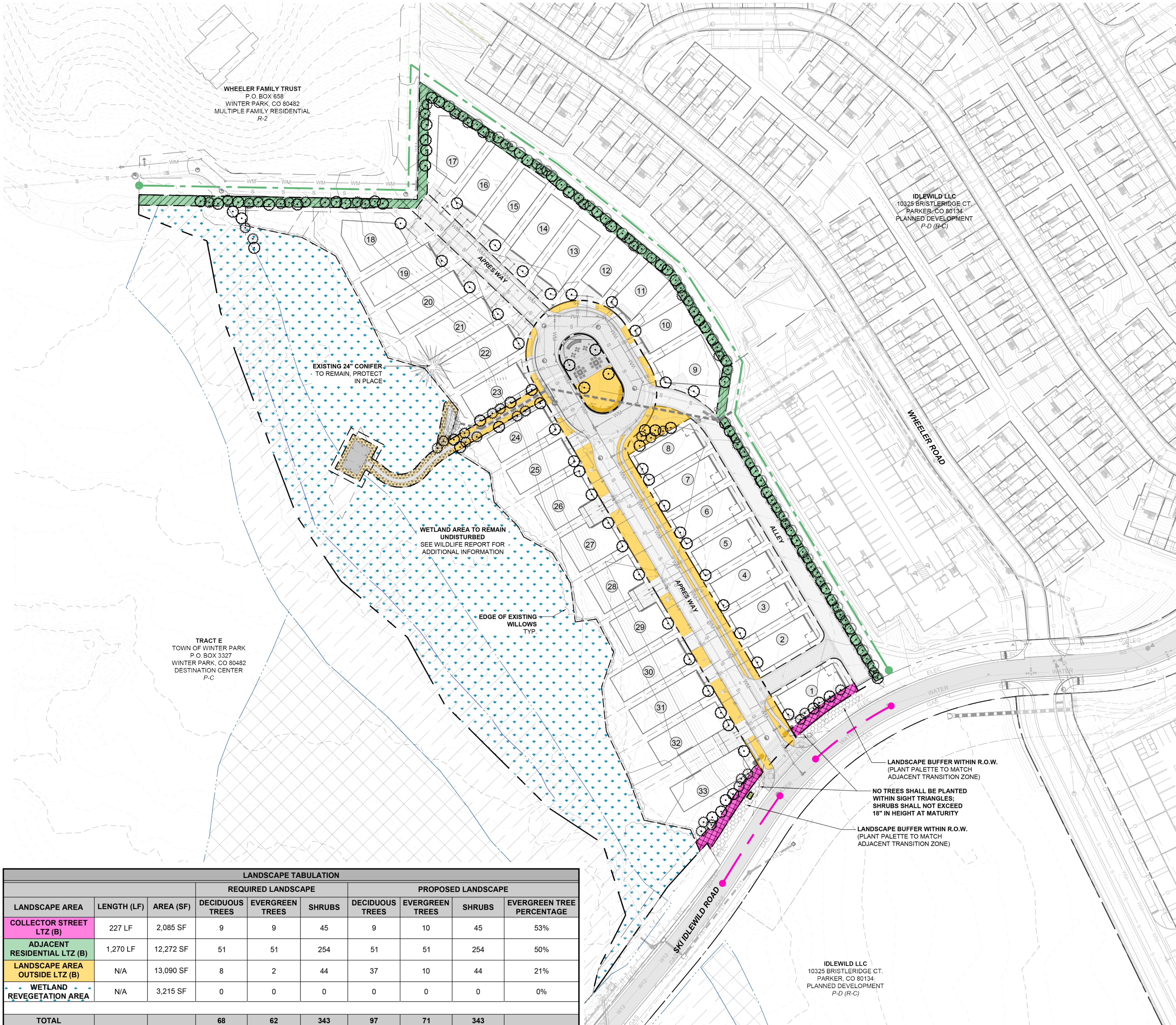


### LANDSCAPE LEGEND

- LIMIT OF WORK
- DECIDUOUS TREE
- EVERGREEN TREE
- LANDSCAPE AREA OUTSIDE LTZ (B)
- COLLECTOR STREET LTZ (B)
- ADJACENT RESIDENTIAL LTZ (B)
- WETLAND RE-VEGETATION AREA / OUTSIDE LTZ (B)
- PROPOSED LANDSCAPE & MAINTENANCE EASEMENT
- EXISTING WETLAND AREA (TO BE UNDISTURBED)

### LANDSCAPE NOTES

1. COLLECTOR STREET LTZ (B) - SKI IDLEWILD ROAD IS DEFINED BY THE DEFINED BY THE REQUIRED LTZ ON ADJACENT STREETS. LAND USE CATEGORY EXEMPT; ADJACENT COLLECTOR STREET - VACANT, D-C.
2. LTZ (B) REQUIRES 4 DECIDUOUS TREES, 4 EVERGREEN TREES, AND 20 SHRUBS PER 100 LINEAL FEET.
3. MINIMUM LANDSCAPE REQUIREMENTS FOR ADJACENT MULTI-FAMILY LTZ WILL FALL UNDER THE LTZ (B) AREA AND REQUIRES 4 DECIDUOUS TREES, 4 EVERGREEN TREES, AND 20 SHRUBS PER 100 LINEAL FEET.
4. LANDSCAPE AREA OUTSIDE LTZ (B) IS DEFINED AS "AREAS OUTSIDE LTZs BUT WITHIN SEVENTY-FIVE FEET (75') OF BUILDINGS, RECREATION STRUCTURES, PARKING LOTS, DRIVEWAYS AND ROADS". LANDSCAPE MINIMUM REQUIREMENT IS 1 TREE AND 5 SHRUBS PER 1,500 SF OF AREA. AT LEAST 20% OF BOTH THE TREES AND SHRUBS SHALL BE EVERGREEN.
5. ALL LANDSCAPE DEFINITIONS AND REQUIREMENTS ARE BASED ON THE TOWN OF WINTER PARK LANDSCAPE DESIGN AND REGULATIONS AND GUIDELINES.
6. WITHIN SNOW STORAGE AREAS, GROUND COVER SHALL BE USED SO THAT THE VISIBLE COBBLE MULCH COVERS LESS THAN 50% WITHIN THREE YEARS AFTER PLANTING.
7. LANDSCAPE LIGHTING IS PROHIBITED IN RES ZONE DISTRICTS (R-1 & R-2) AS OUTLINED IN GUIDELINE 6 OF THE RES ARCHITECTURAL GUIDELINES AND DESIGN REGULATIONS.
8. ALL PERIMETER & PRIVACY FENCES ARE TO BE NO GREATER THAN 5' HT. (SEE SITE DETAILS FOR CONCEPTUAL FENCE SPECIFICS)
9. FINAL PLANT MATERIAL WILL BE DETERMINED AT THE TIME OF CONSTRUCTION BASED ON INDUSTRY AVAILABLE PLANT MATERIAL.
10. GRADING TO BE APPROVED PRIOR TO PLANTING. ALL TREES ARE TO BE STAKED WITH WOOD LATH WITH SPECIES AND SIZE LABELS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
11. ALL TREES SHALL BE INSTALLED PRIOR TO SHRUB, PERENNIAL & GROUND COVER MATERIAL.
12. THE HORIZONTAL DISTANCE BETWEEN TREES AND ANY SITE UTILITIES OR INFRASTRUCTURE SHALL BE IN COMPLIANCE WITH CODES OF THE LOCAL GOVERNING AUTHORITY.
13. ALL TURF AREAS ARE TO BE SEED - PBSI SHADY LAWN MIX AVAILABLE FROM PANNEE BUTTES SEED, INC. OR APPROVED EQUAL. SEED TO BE HYDROSEEDER AND APPLY FERTILIZER AT 400 LBS. PER ACRE OF 10-20-20. PROVIDE SOIL AMENDMENT OF PREMIUM 3 COMPOST (AVAILABLE FROM PIONEER SAND); INCORPORATE MIN. 4 CUBIC YARDS PER 1,000 SQUARE FEET AND TILL TO A DEPTH OF 6" INCHES.
14. ALL PLANTING MIX AREAS TO RECEIVE SOIL AMENDMENT OF 5 CY / 1,000 SF.
15. SOIL AMENDMENT TO BE BIOCOMP CLASS 1 COMPOST. TILL IN SOIL AMENDMENT TO DEPTH PER DETAIL (TBD).
16. STOCK TOPSOIL PER CIVIL PLANS.
17. MULCH TO BE 3" DEPTH RED CEDAR WOOD MULCH (PROVIDE SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION).
18. IRRIGATION SYSTEM TO BE A COMPLETE AUTOMATIC, BELOW-GRADE SPRINKLER SYSTEM CONSISTING OF SPRAY HEADS AND DRIP LINES (WHERE APPROPRIATE THE SYSTEM WILL BE DESIGNED AN IRRIGATION SPECIALIST (IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL CODES) & THE PLANS WILL BE INCLUDED IN THE BUILDING PERMIT SUBMITTAL SET.



LANDSCAPE TABULATION									
LANDSCAPE AREA	LENGTH (LF)	AREA (SF)	REQUIRED LANDSCAPE			PROPOSED LANDSCAPE			
			DECIDUOUS TREES	EVERGREEN TREES	SHRUBS	DECIDUOUS TREES	EVERGREEN TREES	SHRUBS	EVERGREEN TREE PERCENTAGE
COLLECTOR STREET LTZ (B)	227 LF	2,085 SF	9	9	45	9	10	45	53%
ADJACENT RESIDENTIAL LTZ (B)	1,270 LF	12,272 SF	51	51	254	51	51	254	50%
LANDSCAPE AREA OUTSIDE LTZ (B)	N/A	13,090 SF	8	2	44	37	10	44	21%
WETLAND REVEGETATION AREA	N/A	3,215 SF	0	0	0	0	0	0	0%
<b>TOTAL</b>			<b>68</b>	<b>62</b>	<b>343</b>	<b>97</b>	<b>71</b>	<b>343</b>	

SCALE: 1" = 20'-0"  
 0' 10' 20' 40' 80'

1 LANDSCAPE PLAN  
 1" = 20'-0"

E  
D  
C  
B  
A

E  
D  
C  
B  
A



**HINKLEY**

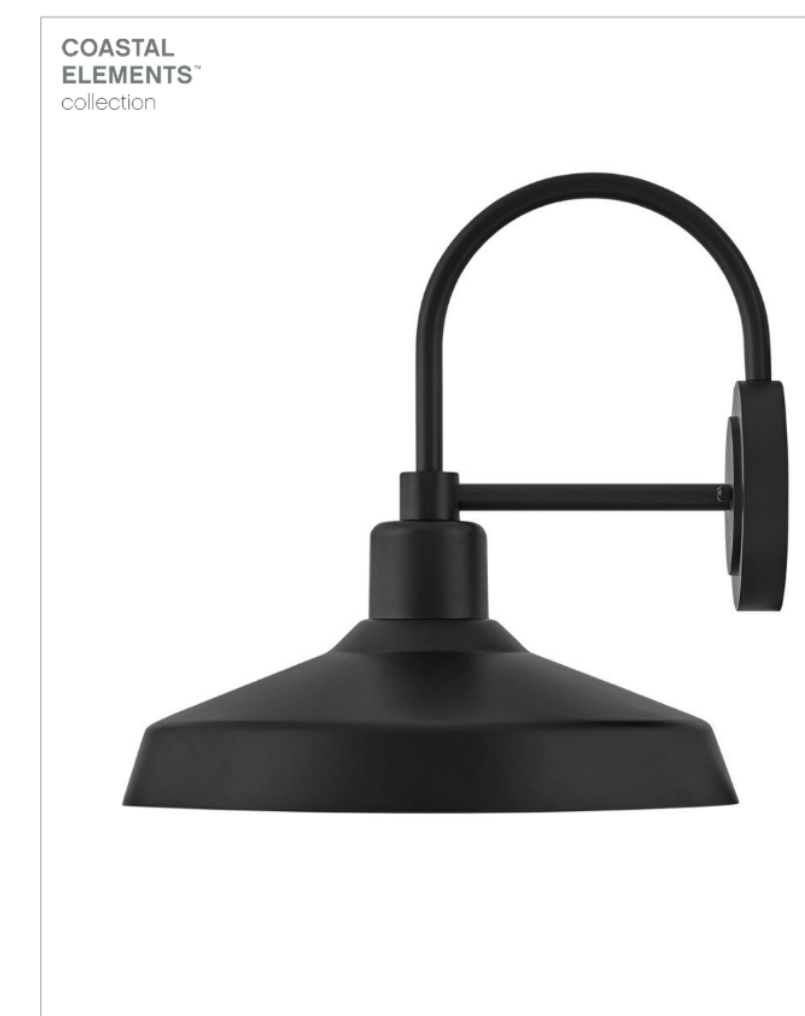
Distance from Light	Foot Candles	
	9'6"	7'
0'	11.26	22.51
1'	7.93	15.16
2'	5.44	8.33
3'	3.98	4.68
4'	2.97	2.97
5'	1.43	1.21
6'	0.89	0.59
7'	0.54	0.35
8'	0.42	0.18
9'	0.35	0.15
10'	0.23	0.09
11'	0.15	0.07
12'	0.10	0.06
13'	0.08	0.03
14'	0.05	0.02
15'	0.02	0.01

**Photometric Data**



<b>LIGHT SOURCE</b>	LED hub
<b>LED TYPE</b>	DMX DIMMABLE 20 Hub
<b>WATTAGE</b>	10 W
<b>VOLTAGE</b>	120V
<b>COLOR TEMP</b>	3000K
<b>LUMENS</b>	575
<b>INCANDESCENT EQUIVALENCY</b>	50W

HINKLEY 33000 Pin Oak Parkway, Avon Lake, OH 44012 800.446.5539 / 440.633.5300 hinkley.com



**FORGE**

**12070BK**  
MEDIUM WALL MOUNT BARN LIGHT  
Inspired by a lighting industry staple barn light, Forge features a practical outdoor lighting solution to withstand the elements. Whether it is enduring harsh sunrays, extreme cold or continuous salt air, Forge is built to last with an industrial chic flair. Part of the Coastal Elements Collection, Forge is available in a variety of anti-fading finishes that are resistant to rust and corrosion with a 5-year warranty.

<b>DETAILS</b>	
<b>FINISH:</b>	Black
<b>MATERIAL:</b>	Composite
<b>DIMMABLE:</b>	YES, WITH DIMMABLE LAMP (NOT INCLUDED)

<b>DIMENSIONS</b>	
<b>WIDTH:</b>	16"
<b>HEIGHT:</b>	16.5"
<b>WEIGHT:</b>	3lb
<b>BACK PLATE:</b>	6" Dia
<b>EXTENSION:</b>	17"
<b>TOP TO OUTLET:</b>	9.5"

<b>LIGHT SOURCE</b>	
<b>LIGHT SOURCE:</b>	Socketed
<b>WATTAGE:</b>	10/75W
<b>VOLTAGE:</b>	120V

<b>SHIPPING</b>	
<b>CARTON LENGTH:</b>	16.9
<b>CARTON WIDTH:</b>	17.3
<b>CARTON HEIGHT:</b>	16.5
<b>CARTON WEIGHT:</b>	6.2

**PRODUCT DETAILS:**

- Suitable for use in wet (outdoor direct rain) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky
- 5-year finish warranty
- The Coastal Elements Collection offers versatile designs, constructed of composite materials and coated with anti-fading finishes, for maximum durability in harsh climates
- Angular lines, a bold finish and robust details create an industrial edge to add flair to any type of facade

**HINKLEY**

HINKLEY 33000 Pin Oak Parkway Avon Lake, OH 44012 PHONE: (440) 653-5500 Toll Free: 1 (800) 446-5539 hinkley.com



## MEMO

**TO** Planning Commission  
**FROM** James Shockey, Community Development Director  
**DATE** September 10, 2024  
**RE** Riverwalk at Winter Park, Riverfront Pavilion (PLN24-046) and Central Amenity Area and Entry Gates (PLN24-047)

**Property Owner:** Riverwalk, LLC

**Applicant:** Adam Casias, Studio 1

**Location:** Outlot A, Riverwalk at Winter Park

**Architects:** Adam Casias, Studio 1

**Zoning:** R-2 (Multiple Family, Residential) (Riverwalk Final Development Plan) (FDP)

**Authority:**

Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Director considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park Minor Site Plan approval is required before building permit issuance.

**Variances:**

No Board of Adjustment (BOA) or administrative variance requests were requested with the applications.

**Architecture:**

Satisfactory.

*Entry Gates:* Two gates are proposed at the entrance intersection of Ski Idlewild. The gates are the same design. The gates feature a limestone veneer base, with perforated metal panels holding up a timber trellis that stretches over a sidewalk on either side of Apres Way. These structures are generally consistent with the architecture of the single family dwelling reviewed for Lot 18 and other residences shown in submitted renderings. Architecture is consistent with the Winter Park Design Guidelines.

*Central Community Amenity:* The Outlot A containing the central amenity includes a wooden amphitheater with a standing seam metal roof and timber trusses for support. Other structures within the outlot include amphitheater seating with two rows of boulders along the south rim of the outlot. There is a stone wall blocking the view of Outlot A from the north. The architecture is consistent with the Mountain Town character seen throughout Winter Park and complies with Winter Park Design Guidelines.

*Riverfront Pavilion:* The pavilion features a metal gable roof with a timber snow guard similar to the homes reviewed in Riverwalk. The pavilion is supported by heavy timber trusses and is placed on an elevated

platform to protect it from wetlands drainage. The architecture is consistent with the Mountain Town character seen throughout Winter Park and complies with Winter Park Design Guidelines.

**Title Commitment:**

Unsatisfactory. The submitted title commitment is dated October 23, 2023. A title commitment shall not be more than six months older than the submittal date.

- The applicant shall provide an updated Title Commitment that is not older than 6 months from initial submittal date.

**Homeowner’s Association Review:**

Satisfactory. The applicant provided an approval letter from the HOA with blanket approval of all residential lots and improvements.

**Material and Color:**

Satisfactory.

*Entry Gates:* As described previously, materials utilized for entry gates are consistent with the Winter Park Design Guidelines. Renderings show gates have a visually balanced proportion of cedar timber metal, and stone.

*Central Community Amenity:* As described previously, materials utilized for amenities in Outlot A are consistent with the Winter Park Design Guidelines. Renderings show the amphitheater is primarily natural cedar timber with a standing seam metal roof. Amphitheater seating is natural stone boulders on top of grass turf. A stone wall along the back is made of a stone veneer called “telluride gold blend”, that is complementary of the wood and boulder colors.

*Riverfront Pavilion:* The material palette is a stone veneer base, a combination of metal standing seam metal roofing, and cedar lap siding visually dividing the stories. The roof has timber snow guards. The structure primarily utilizes stone and natural wood colors with the exception of black metal features on the roof, roof caps, and patio metal railings. The use of materials is balanced and matches the architectural character of the Town. Black metal-lined windows appear inset to visually strengthen the wall. The design complies with Winter Park Design Guidelines.

**Outdoor Lighting:**

Satisfactory. Four (4) types of exterior lighting fixtures are proposed with a total of 128 fixtures throughout the site plan. The majority of those lights are ceilings lights within the pavilion and amphitheater. Lighting poles are provided along sidewalks on Apres Way. There are 0.0 footcandles measured at the property line along Ski Idlewild Rd and all other property lines. All products have International Dark Sky approval and have the approval stamp on the product details.

Fixture Name	Proposed # of Fixtures	Proposed Lumens per Fixture	Proposed CCT
Beacon Urban Series Area Light	17	Min. 3,300 per fixture	3000 K
Spectrum Lighting, 6” Round Direct Ceiling	4	1000	3000K

<b>Spectrum Lighting, 4" Deep Downlight</b>	10	1000	3000K
<b>ALUZ, Festoon Light</b>	97	256	2400K

**Accessory Dwelling Unit (ADU):**

N/A, not proposed.

**Site Plan:**

Unsatisfactory. The HOA shall maintain all proposed community features included in PLN 24-046 and PLN24-047.

*Entry Gates:* Proposed signage is located outside of proposed sign easement as shown on the approved Plat. The plat shall be updated to modify the easements, or the sign placement modified to fit within the existing easements. According to Sec. 6-2-7-6 of the Code of Ordinances, only one residential complex identification sign is permitted per primary street access. The pedestrian gates identify the subdivision, and only one sign is permitted.

- According to Sec. 6-2-7-6 of the Winter Park Code of Ordinances, only one residential sign is permitted per primary street access. One of the pedestrian gates for the subdivision shall be removed or signage removed from the gate.
- The proposed signage is only partially located within a designated sign easement. The gates are otherwise located in sanitary sewer and similar utility easements. Provide clarification or documentation that allows the proposed signage to be located outside of a sign easement, within the utility easement or modify the existing sign easement to encompass the new location.

*Central Community Amenity:* The amenity is located within Outlot A, a drive island within Apres Way. It includes two seating areas around fire pits and amphitheater seating. The amphitheater structure is approximately 800 square feet and is shaped in half-circle to align with the curve of the island. It has two sidewalk ramps, one on the east side and one on the west side. The ramp on the west side faces the access to trail for the other community amenity area in Outlot E and F.

*Riverfront Pavilion:* Located within Outlot E, and accessed via a trail easement in Outlot F, this structure is designated as common open space with a private deck structure. No other development is permitted. Wetlands exist around all of Outlot E and are located within Tract F. UDC 3-E-5(B)(3) requires a 30-foot water quality setback measured from the approximate high water mark of the stream watercourse embankment and the FDP established a 30-ft setback. The proposed deck structure is within the 100-year flood plain but meets the 30 foot setback requirement.

**Floorplans:**

N/A. No floor plans are part of the review. Review consists of two common areas and the entrance gateway signage.

**Building Elevations:**

Satisfactory. Elevation plans include all materials required for review. As previously noted, the proposed building is compliant with the Winter Park Design Guidelines.

**Building Coverage:**

Satisfactory.

*Entry Gates:* N/A

*Central Community Amenity:* The proposed building coverage for Outlot A, which includes the amphitheater and unenclosed patio, is 38 percent (38%) and the maximum building coverage is 40 percent (40%).

*Riverfront Pavilion:* Outlot E includes one covered pavilion and has approximately 30 percent (30%) building coverage. The maximum building coverage is 40 percent (40%).

**Building Height:**

Satisfactory. As provided by the Riverwalk FDP, the maximum building height is 35-feet. The Winter Park Code of Ordinances establishes a maximum height of 18-feet for residential identification signs.

*Entry Gates:* Proposed height is 11-feet, 4 inches.

*Central Community Amenity:* Outlot A includes the amphitheater and unenclosed patio, the amphitheater is approximately 14-feet, 1-inch measured from the midpoint of the shed roof.

*Riverfront Pavilion:* Outlot E includes one covered pavilion and has approximately 30 percent building coverage. The maximum building coverage is 40 percent.

**Parking:**

Satisfactory. All parking shall be located on-site in accordance with the requirements of the FDP.

**Landscaping:**

Unsatisfactory. According to the FDP, a landscaped area with Outside LTZ (B) is located along the sidewalks on Apres Way, within the southern portion of Outlot A, and within the trail easement of Outlot F. Outlot E is within a wetland and existing vegetation within the wetland easement will remain undisturbed. The overall landscaping plan was approved as part of the FDP approval. The landscaping plan shows the location of proposed trees, but not shrubs.

- For the landscaping areas within Outlot A and around the proposed pedestrian gates, clarify if shrubs are proposed and/or required.
- Provide species names for evergreen trees, deciduous trees, and shrubs.

**Snow Storage:**

Unsatisfactory. The FDP has an approved Snow Storage Plan. This submittal does not include snow storage locations as shown on the FDP. According to the approved snow storage plan, snow storage is located on Outlot A, but it has been removed in this submittal. The proposed snow storage in Outlot F and between Lot 23 and 24 has been modified.

- Depict snow storage on the site plan as shown on the approved FDP or otherwise verify the proposed snow storage is sufficient for the overall site development.
- Provide square footage of all proposed snow storage on the site plan.

**Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:**

Satisfactory. The overall grading and drainage plan and drainage report were approved with the FDP and the submitted plan has been stamped by a professional engineer.

**Driveway:**

N/A, no driveways are proposed for common open spaces.

**Utility Review:**

N/A, the overall utility plan was approved with the FDP. Applicant has submitted a utility plan which shows sanitary sewer and water mains abutting the subject property. Utility easements are shown along eastern and northern property lines.

**Inspection:**

Building Division staff have not performed a Pre-Disturbance inspection of the property.

- No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

**Staff Recommendation:**

Staff approves the Minor Site Plan with the following conditions:

1. According to Sec. 6-2-7-6 of the Winter Park Code of Ordinances, only one residential sign is permitted per primary street access. One of the pedestrian gates for the subdivision shall be removed or otherwise modified to comply.
2. Provide clarification or documentation that allows the proposed signage to be located outside of the platted sign easement, redesign the signs to fit within the easement or modify the easement location to accommodate the new location.
3. Provide information on proposed shrubs on the landscape plan for the landscaping areas within Outlot A and around the proposed pedestrian gates.
4. Update the landscape plan to provide species names for proposed evergreen trees, deciduous trees, and shrubs.
5. Depict snow storage on the site plan as shown on the approved FDP or otherwise verify the proposed snow storage is sufficient for the overall site development.
6. Provide square footage of all proposed snow storage on the site plan for the subject properties.

**Required Permits:**

- Building Permit
- Sign Permit





P.O. Box 3327
50 Vasquez Road, Winter Park, CO, 80482
Phone: 970-726-8081 Fax: 970-726-8084
wpgov.com

Land Use Review Application Form

Contact Information

Property Owner

Riverwalk, LLC

Company: NASSAR DELVOPMENT, Phone #: 3037758522, Email Address: ZACH@NASSARDEVELOPMENT.COM

Mailing Address: 3000 Airport Drive, Suite 203, City: ERIE, State: CO, Zip: 80516

Billing Contact (where invoices should be directed)

Laurie Hurd

Company: NASSAR DELVOPMENT, Phone #: 3037758522, Email Address: accounting@nassardevelopment.com

Mailing Address: 3000 Airport Drive, Suite 203, City: ERIE, State: CO, Zip: 80516

Representative (i.e., the point of contact)

ADAM CASIAS

Company: STUDIO 1, Phone #: 9709489836, Email Address: ADAM@STUDIO1.COMPANY

Mailing Address: 255 SAINT PAUL STREET, City: DENVER, State: CO, Zip: 80206

# Site Description

Site Address

87 Apres Way - Outlot D

Parcel Identification Number(s) (PIN)

Existing Zone Classification

PD-R-2 (MULTIPLE FAMILY  
RESIDENTIAL)

Site Area (acres and sq. ft.)

2080 SF

# Project Description

Project Name

pavilion structure

Brief description of the proposed project

pavilion open structure

# Required Documents

For an application to be considered complete and for Planning Division staff to begin review and schedule any applicable public hearings, this Land Use Review Application Form must be fully completed and all required attachments included. Staff will review the application for completeness and notify the representative and/or owner whether the application has been deemed complete.

# Certifications

## REPRESENTATIVE CERTIFICATION

By signing this application, I attest that I am acting with the knowledge and consent of all owners of the property that is the subject of this application, and that I have been designated to act as the representative for the project described in this land use application. I further certify that all information submitted with this application is true and accurate to the best of my knowledge.

Representative

ADAM CASIAS

Date

2024.06.19

## OWNER CERTIFICATION

I hereby certify that I am the legal owner of record of the property that is the subject of this application. I authorize the representative listed on this application, if any, to communicate directly with Town officials and to submit documentation and information regarding this application on my behalf.

Owner

DAVID NASSAR

Date

2024.06.05

In addition to the base fees the applicant is required to pay the cost of any referral agency reviews, public notices, hearings, and record keeping as outlined within § 5-B-6, Application Fees, in the UDC.

<b>Development Improvements Dedications, Agreements, and Guarantees (Article 4.B)</b>	<b>Site Development and Permit Decisions (Article 5.E)</b>
<input type="checkbox"/> Development Improvements Agreements (DIA)	<input type="checkbox"/> Major Site Plan*
<input type="checkbox"/> Public Improvement Cost-Recovery Agreement	<input checked="" type="checkbox"/> Minor Site Plan
<b>Standardized Development Review Procedures (Article 5.B)</b>	<input type="checkbox"/> Administrative Site Plan
<input type="checkbox"/> Pre-Application Conference	<input type="checkbox"/> Special Use Permit (Including High-Impact Short-Term Rentals)*
<input type="checkbox"/> Renewal of Approvals	<input type="checkbox"/> Limited Use Authorization
<input type="checkbox"/> Vested Rights	<input type="checkbox"/> Temporary Use Permit
<b>Ordinance and Zoning Amendment Decisions (Article 5.C)</b>	<input type="checkbox"/> Floodplain Development Permit
<input type="checkbox"/> Text Amendment	<input type="checkbox"/> Lighting by Special Permit
<input type="checkbox"/> Rezoning	<input type="checkbox"/> Parking Reductions and Alternative Parking Plan Permit
Rezoning to Planned Development: <input type="checkbox"/> Preliminary Development Plan* <input type="checkbox"/> Final Development Plan* <input type="checkbox"/> Amended Final Development Plan*	<input type="checkbox"/> Street Renaming
<input type="checkbox"/> Annexation*	<b>Appeal, Variance, and Interpretation Decisions (Article 5.F)</b>
<b>Subdivision and Platting Decisions (Article 5.D)</b>	<input type="checkbox"/> Appeal
<input type="checkbox"/> Exemption Plat	<input type="checkbox"/> Appeal of Administrative Decisions
<input type="checkbox"/> Minor Plat*	<input type="checkbox"/> Variance*
<input type="checkbox"/> Preliminary Plat*	<input type="checkbox"/> Written Interpretation
<input type="checkbox"/> Final Plat*	
<input type="checkbox"/> Resubdivision*	
<input type="checkbox"/> Waiver*	
<input type="checkbox"/> Vacation of Plat, Street, Right of Way, and Easement*	
<input type="checkbox"/> Condominium Plat	
<b>Table Notes:</b> *Pre-Application Conference required	



P.O. Box 3327
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Mailing Address: 3000 Airport Drive, Suite 203, City: ERIE, State: CO, Zip: 80516

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Laurie Hurd

Company: NASSAR DELVOPMENT, Phone #: 3037758522, Email Address: accounting@nassardevelopment.com

Mailing Address: 3000 Airport Drive, Suite 203, City: ERIE, State: CO, Zip: 80516

Representative (i.e., the point of contact)

ADAM CASIAS

Company: STUDIO 1, Phone #: 9709489836, Email Address: ADAM@STUDIO1.COMPANY

Mailing Address: 255 SAINT PAUL STREET, City: DENVER, State: CO, Zip: 80206

# Site Description

Site Address

Apres Way outlot A

Parcel Identification Number(s) (PIN)

Existing Zone Classification

R-2 (MULTIPLE FAMILY RESIDENTIAL)

Site Area (acres and sq. ft.)

4613 SF amenity center + Gates 31239 SF

# Project Description

Project Name

Amenity Center and Entry Gates

Brief description of the proposed project

Amenity Center and Entry Gates

# Required Documents

For an application to be considered complete and for Planning Division staff to begin review and schedule any applicable public hearings, this Land Use Review Application Form must be fully completed and all required attachments included. Staff will review the application for completeness and notify the representative and/or owner whether the application has been deemed complete.

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Representative

ADAM CASIAS

Date

2024.06.19

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I hereby certify that I am the legal owner of record of the property that is the subject of this application. I authorize the representative listed on this application, if any, to communicate directly with Town officials and to submit documentation and information regarding this application on my behalf.

Owner

DAVID NASSAR

Date

2024.06.05

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<input type="checkbox"/> Final Plat*	
<input type="checkbox"/> Resubdivision*	
<input type="checkbox"/> Waiver*	
<input type="checkbox"/> Vacation of Plat, Street, Right of Way, and Easement*	
<input type="checkbox"/> Condominium Plat	
<b>Table Notes:</b> *Pre-Application Conference required	



River Walk by Nassar Development LLC  
River Walk Owners Association (ROA)  
3000 Airport Drive  
Unit 203  
Erie, CO 80516  
303-775-5502  
[roa@riverwalkwp.com](mailto:roa@riverwalkwp.com)

Narrative – pIn24-046 Pavilion

- A. Project Name – Pavilion
- B. Street Address – 87 Apres Way, OUTLOT D
- C. Name - River Walk by Nassar Development LLC  
Address – 3000 Airport Drive, Unit 203 Erie, Colorado 80516  
email and telephone number - [david@nassardevelopment.com](mailto:david@nassardevelopment.com) , 303-775-5502  
applicant - River Walk by Nassar Development LLC  
HOA - River Walk Owners Association (ROA)  
project manager – Zach Nassar  
architecture – ADAM CASIAS, Studio 1  
engineer – David Mitchell, Front Range Structural Engineering  
surveyor - CORE CONSULTANTS, LLC  
and land planner - River Walk by Nassar Development LLC

Legal description - OUTLOT E, A REPLAT OF TRACT F-1, IDLEWILD MINOR SUBDIVISION A PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE 6TH P.M.TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO

- D.
- E. Zoning district – PD – R-2 (PLANNED DEVELOPMENT MULTIPLE FAMILY RESIDENTIAL)
- F. Lot size – 2080 SF
- G. All proposed uses Open Pavilion
- H. Number of dwelling units - 0
- I. Number of bedrooms per dwelling unit - 0
- J. Size of residential space – 0 , open Pavilion 640 sf
- K. Number of proposed off-street parking spaces - 1
- L. Construction schedule indicating major milestones for project - Completion of Amenity Center, Pavilion, and Wet Land Deck: Commences 9/1/24 and complete 10/15/24
- M. Please note that all existing trees have previously been removed.

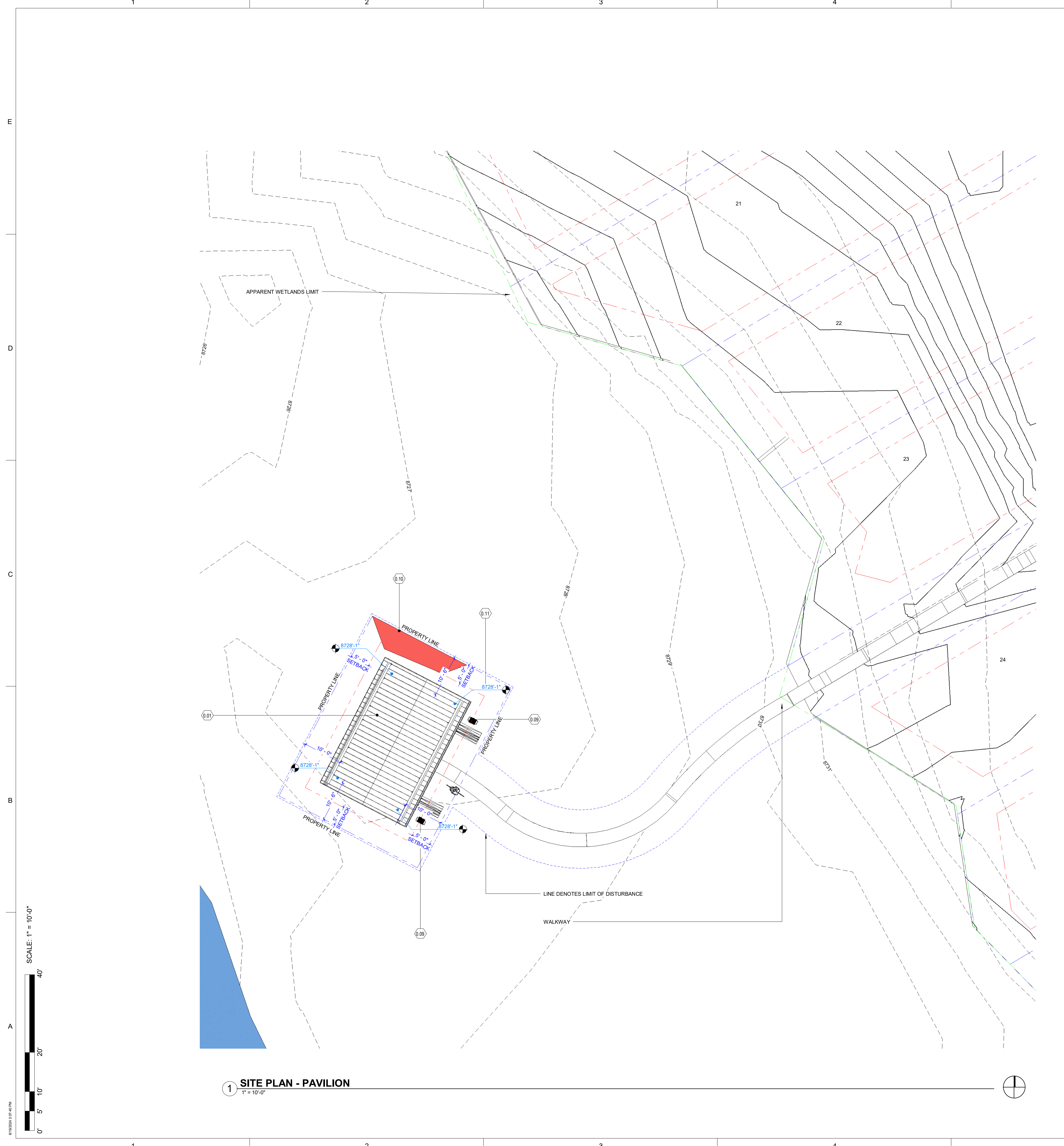


River Walk by Nassar Development LLC  
River Walk Owners Association (ROA)  
3000 Airport Drive  
Unit 203  
Erie, CO 80516  
303-775-5502  
[roa@riverwalkwp.com](mailto:roa@riverwalkwp.com)

Narrative – pln24-047 Amenity Center and Gates

- A. Project Name – Amenity Center and Gates
- B. Street Address – Après Way OUTLOT A, PRIVATE ROW A
- C. Name - River Walk by Nassar Development LLC  
Address – 3000 Airport Drive, Unit 203 Erie, Colorado 80516  
email and telephone number - [david@nassardevelopment.com](mailto:david@nassardevelopment.com) , 303-775-5502  
applicant - River Walk by Nassar Development LLC  
HOA - River Walk Owners Association (ROA)  
project manager – Zach Nassar  
architecture – ADAM CASIAS, Studio 1  
engineer – David Mitchell, Front Range Structural Engineering  
surveyor - CORE CONSULTANTS, LLC  
and land planner - River Walk by Nassar Development LLC
- D. Legal description - OUTLOT A, PRIVATE ROW A - A REPLAT OF TRACT F-1, IDLEWILD MINOR SUBDIVISION A PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE 6TH P.M.TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO
- E. Zoning district - R-2 (MULTIPLE FAMILY RESIDENTIAL)
- F. Lot size – OUTLOA A – 4613 SF, PRIVATE ROW A, 31239 SF
- G. All proposed uses open Amenity Center, and Entry Gates
- H. Number of dwelling units - 0
- I. Number of bedrooms per dwelling unit - 0
- J. Size of residential space – 0 ,
- K. Number of proposed off-street parking spaces - 1
- L. Construction schedule indicating major milestones for project - Completion of Amenity Center, Pavilion, and Wet Land Deck: Commences 9/1/24 and complete 10/15/24





KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.01	PROPOSED PAVILION STRUCTURE
0.09	AFFIXED BARBEQUE GRILL
0.10	SNOW STORAGE AREA
0.11	STORAGE AREAS FOR SOIL, CONSTRUCTION EQUIPMENT, AND OTHER MATERIALS



**BOULDER** david@nassardevelopment.com  
303.775.5502

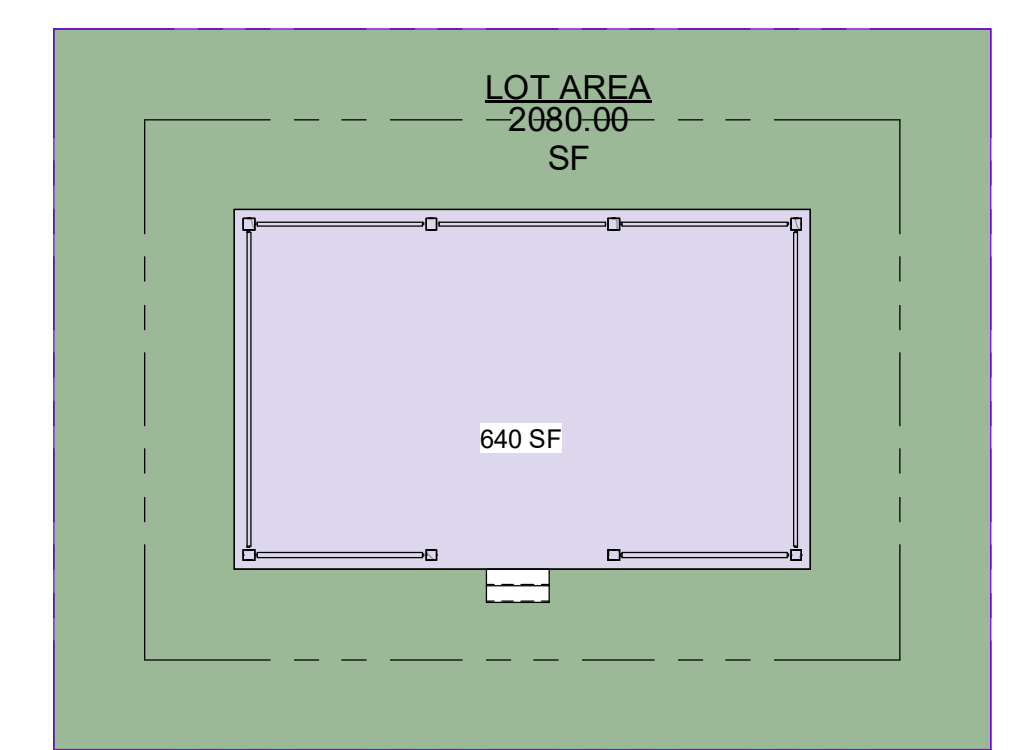
**DENVER** zach@nassardevelopment.com  
303.775.8522

**ERIE** wes@nassardevelopment.com  
303.775.5523

- GENERAL SITE PLAN NOTES:**
- ALL DIMENSIONS TO FACE OF FOUNDATION WALL OR STRUCTURAL STRATA, UNLESS NOTED OTHERWISE.
  - VERIFY ALL SITE PARAMETERS (PROPERTY BOUNDARIES, EASEMENTS AND SETBACKS) PRIOR TO STAKING TO DEMOLITION AND CONSTRUCTION.
  - CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND TO ARRANGE PROPER DISCONTINUANCE AND/OR RELOCATION PRIOR TO DEMOLITION.
  - PROVIDE TREE AND SHRUB PROTECTION FOR EXISTING LANDSCAPING, ESPECIALLY FOR MATURE TREES MARKED TO BE SAVED.
  - PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING PERIMETER; 10% MINIMUM SLOPE FOR FIRST 10'; IT IS ESSENTIAL THAT SITE GRADING BE PROVIDED TO PREVENT INFILTRATION OF SURFACE WATER INTO THE FOUNDATION SYSTEM. REFER TO CIVIL DRAWINGS FOR GRADING AND DRAINAGE.
  - REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE, EXTERIOR LANDSCAPE LIGHTING AND IRRIGATION PLANS.
  - MECHANICALLY COMPACT ALL FILL AROUND THE BUILDING, INCLUDING THE BACKFILL. IMPROPER BACKFILL, COMPACTION CAN CAUSE SETTLEMENT OF EXTERIOR SLABS SUCH AS WALKS, PATIOS AND DRIVEWAYS.
  - DISCHARGE ROOF DOWN SPOUTS AND ALL OTHER WATER COLLECTION SYSTEMS MINIMUM 5' BEYOND PERIMETER OF STRUCTURE. RE: CIVIL DRAWINGS FOR HARD-PIPED DRAINS.
  - NO IRRIGATION WITHIN 5' OF THE FOUNDATION. AVOID HEAVY WATERING OF ANY FOUNDATION PLANTINGS.
  - PHOTOVOLTAIC SOLAR PANELS TO BE REVIEWED AND APPROVED UNDER SEPERATE PERMIT
  - SITE WALLS UNDER SEPERATE PERMIT

**Consultant**

**Issue/Revisions Date No.**



**Project Information**

**2 SITE COVERAGE - PAVILION**  
3/32" = 1'-0"

LOT COVERAGE	
BUILDING COVERAGE	640 SF
TOTAL LOT AREA	2080 SF
TOTAL LOT COVERAGE	640 / 2080 = 30%

LEGEND	
	PROPERTY LINE
	SETBACK

- PROTECTION SITE PLAN NOTES:**
- NO DISTURBANCE, GRADING, OR REMOVAL OF SIGNIFICANT NATURAL FEATURES AND VEGETATION WILL OCCUR BEYOND THE LIMIT OF DISTURBANCE LINE, AS SHOWN ON THIS PLAN.
  - THE LIMIT OF DISTURBANCE LINE SHALL BE DELINEATED PRIOR TO CONSTRUCTION WITH FLAGS, ROPING, FOUR FOOT (4') TALL ORANGE CONSTRUCTION FENCING, OR OTHER ACCEPTABLE MEANS.

**Sheet Information**

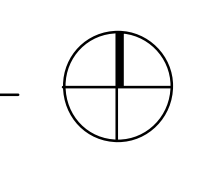
Sheet Title:  
**SITE PLAN - PAVILION**

MINOR SITE PLAN APPLICATION 2024.08.19  
Sheet Number:

**A1.0**  
Nassar Project: 2024.037

SCALE: 1" = 10'-0"  
0' 5' 10' 20' 40'

**1 SITE PLAN - PAVILION**  
1" = 10'-0"





**TKTKE**  
CIVIL & STRUCTURAL  
ENGINEERING



**SITE PLAN LEGEND**

BOUNDARY	---
PROP. RIGHT-OF-WAY LINE	---
PROP. ROAD CENTERLINE	---
ACCESS & UTILITY ESMT	---
PROP. ASPHALT PAVING	---
PROP. 6" VERT CATCH CURB	---
PROP. 6" VERT SPILL CURB	---
PROP. MOUNTABLE SPILL CURB	---
PROP. MOUNTABLE CATCH CURB	---
PROP. 2'-8" VALLEY PAN	---
PROP. 1.5" RIBBON CURB	---
PROP. RETAINING WALL	---
EX ROAD CENTERLINE	---
EX 1.5" RIBBON CURB	---

**ISSUE/REVISION**

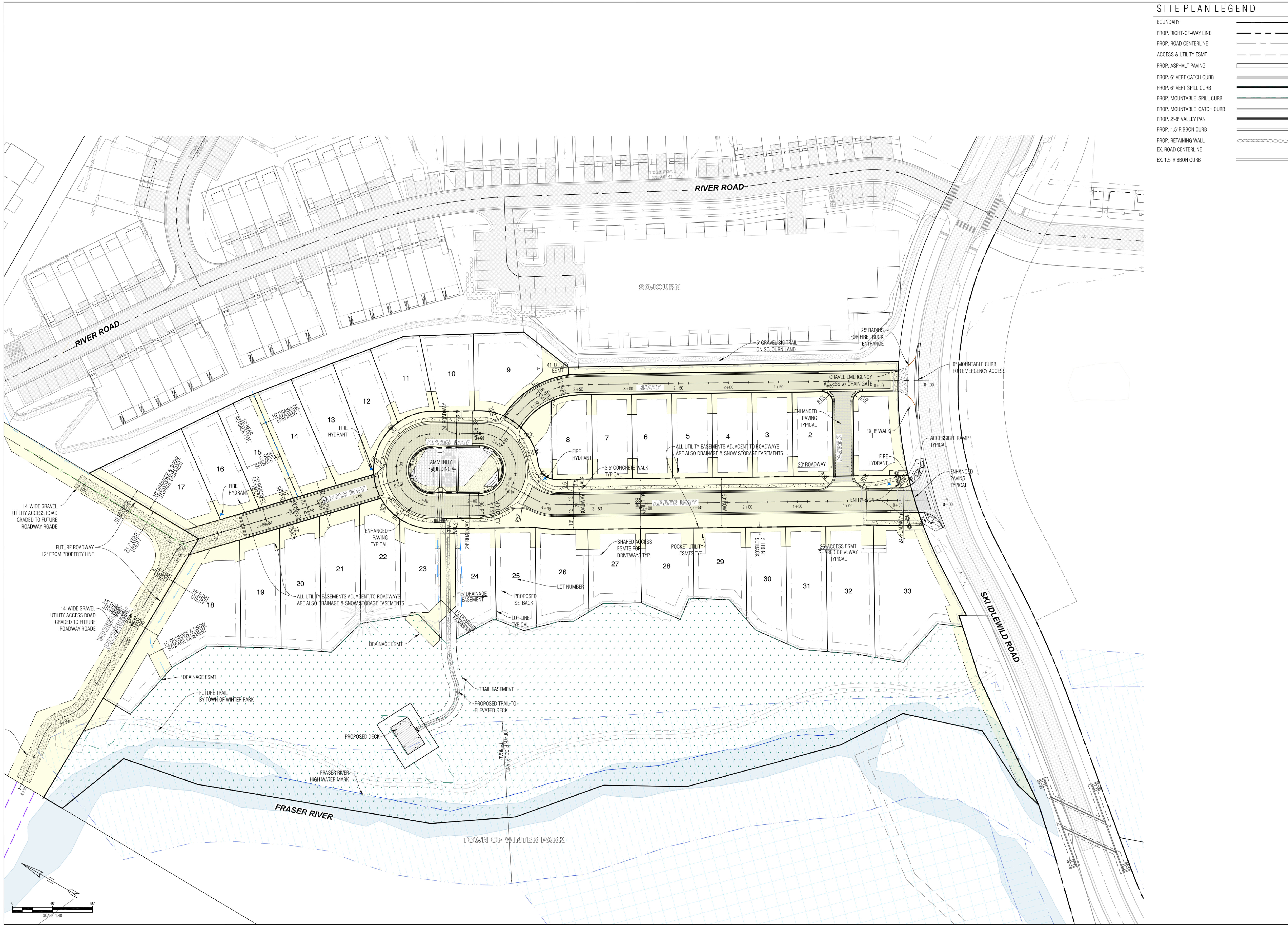
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5	08-08-2024	DRP UTILITY ADJUSTMENTS PER COMMENTS
4	08-04-2024	RESUBMITAL FOR FINAL PLAN
3	08-01-2024	RESUBMITAL #2 FOR PRELIMINARY PLAN
2	08-01-2024	RESUBMITAL #1 FOR PRELIMINARY PLAN
1	08-01-2024	RESUBMITAL #1 FOR PRELIMINARY PLAN



RIVERWALK TRACT F  
WINTER PARK, COLORADO

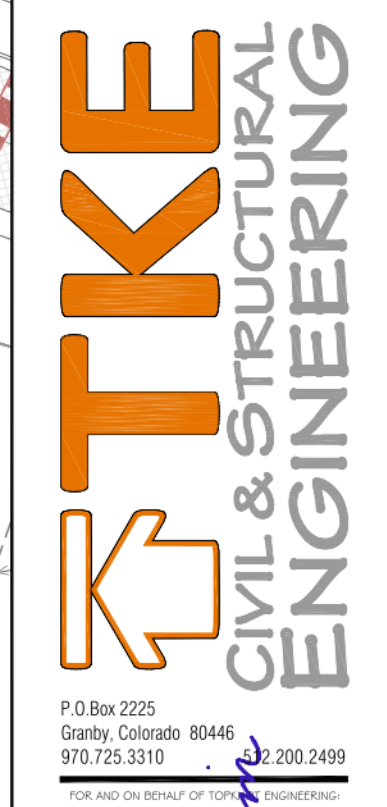
PROJECT: 22002  
SITE PLAN

7 of 33



**1 SITE PLAN - CIVIL**  
1" = 20'-0"





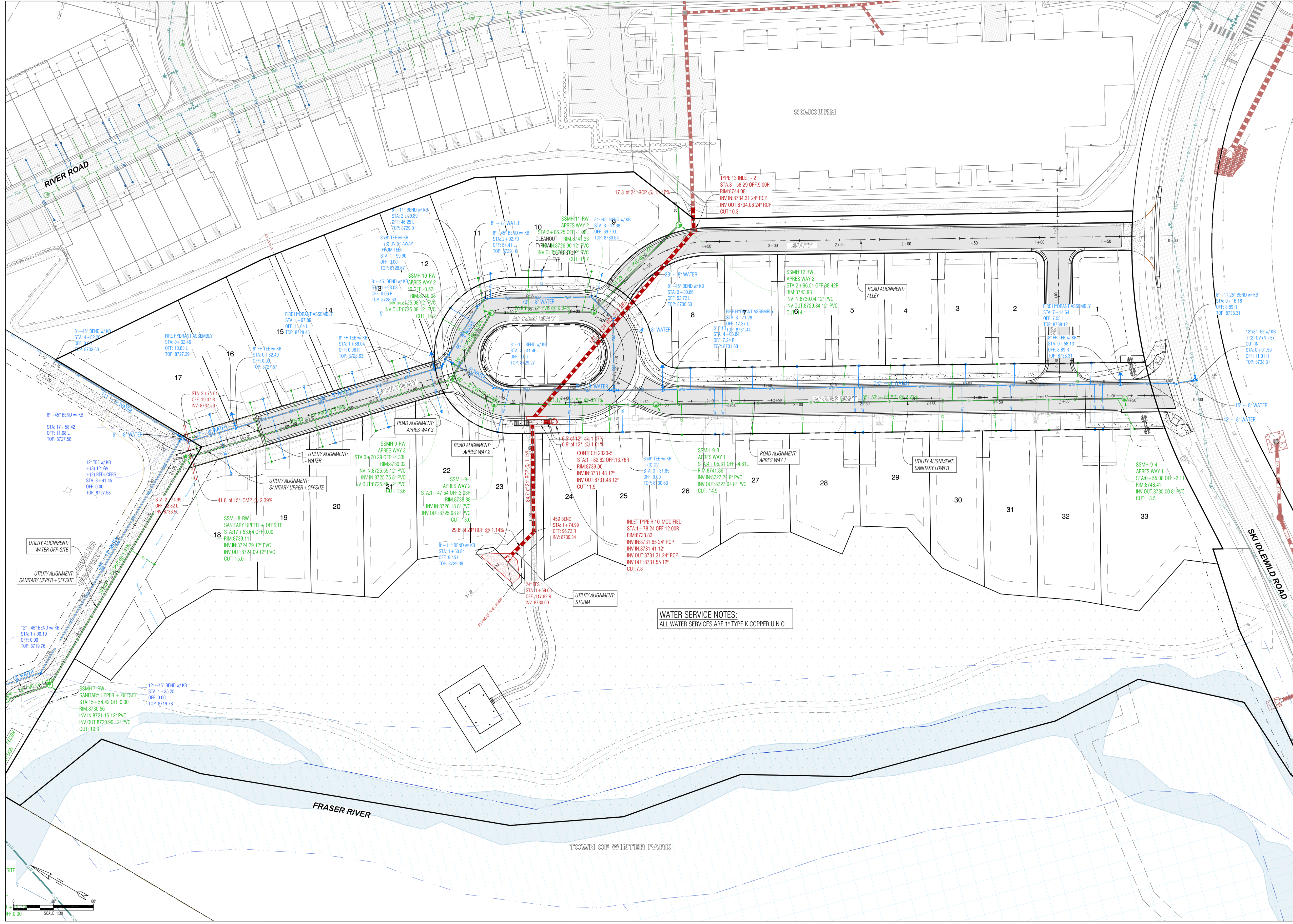
NO.	DATE	DESCRIPTION
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2	08/14/2024	ISSUE FOR PERMIT
3	08/14/2024	ISSUE FOR PERMIT
4	08/14/2024	ISSUE FOR PERMIT
5	08/14/2024	ISSUE FOR PERMIT
6	08/14/2024	ISSUE FOR PERMIT
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32	08/14/2024	ISSUE FOR PERMIT
33	08/14/2024	ISSUE FOR PERMIT



RIVERWALK TRACT F  
WINTER PARK, COLORADO

PROJECT: 22002  
OVERALL UTILITY PLAN

18 of 33

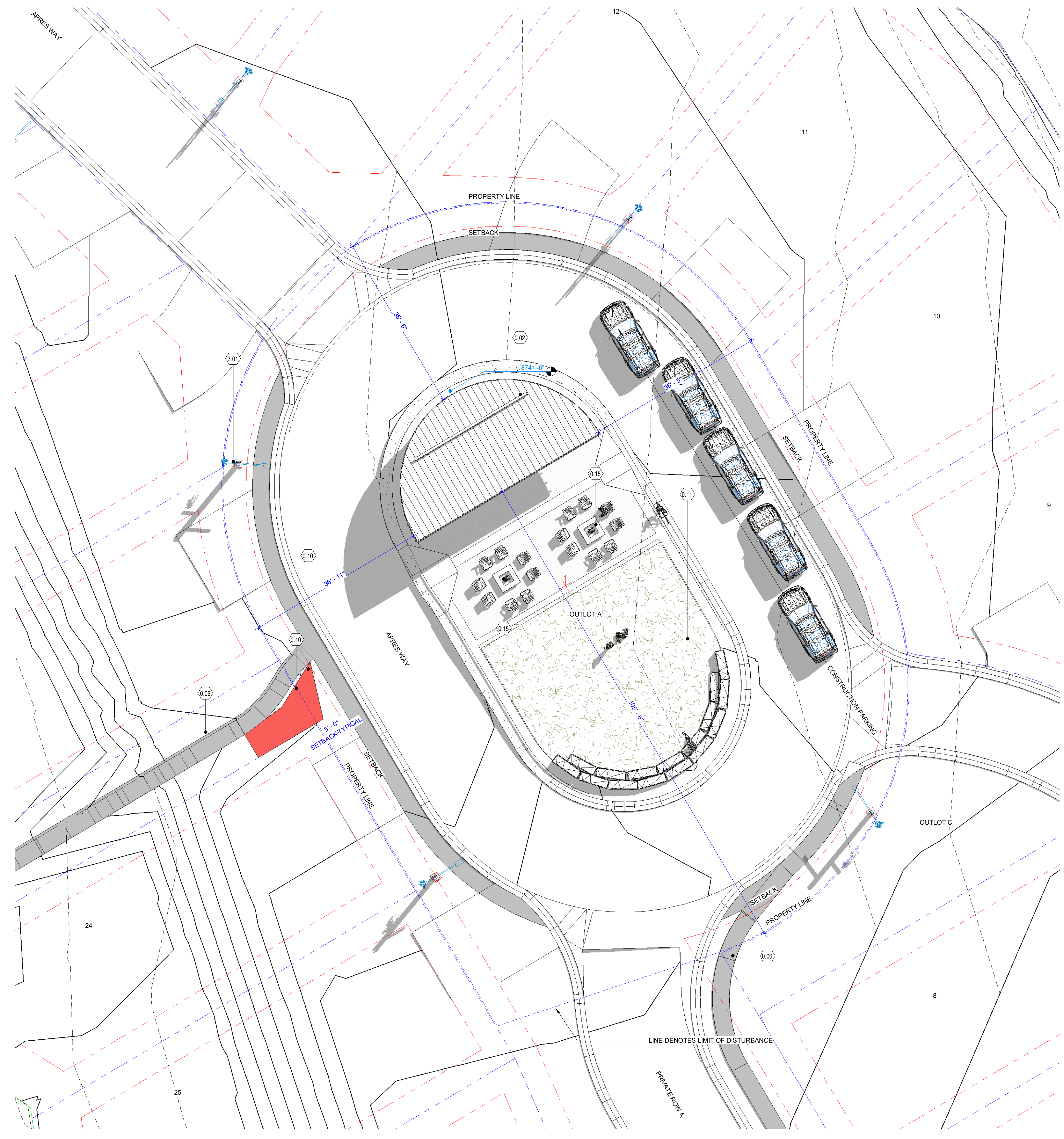


**WATER SERVICE NOTES:**  
ALL WATER SERVICES ARE 1" TYPE K COPPER U.N.O.

SCALE: 1" = 20'-0"  
0' 10' 20' 40' 80'

**1 SITE PLAN - OVERALL UTILITY PLAN**  
1" = 20'-0"



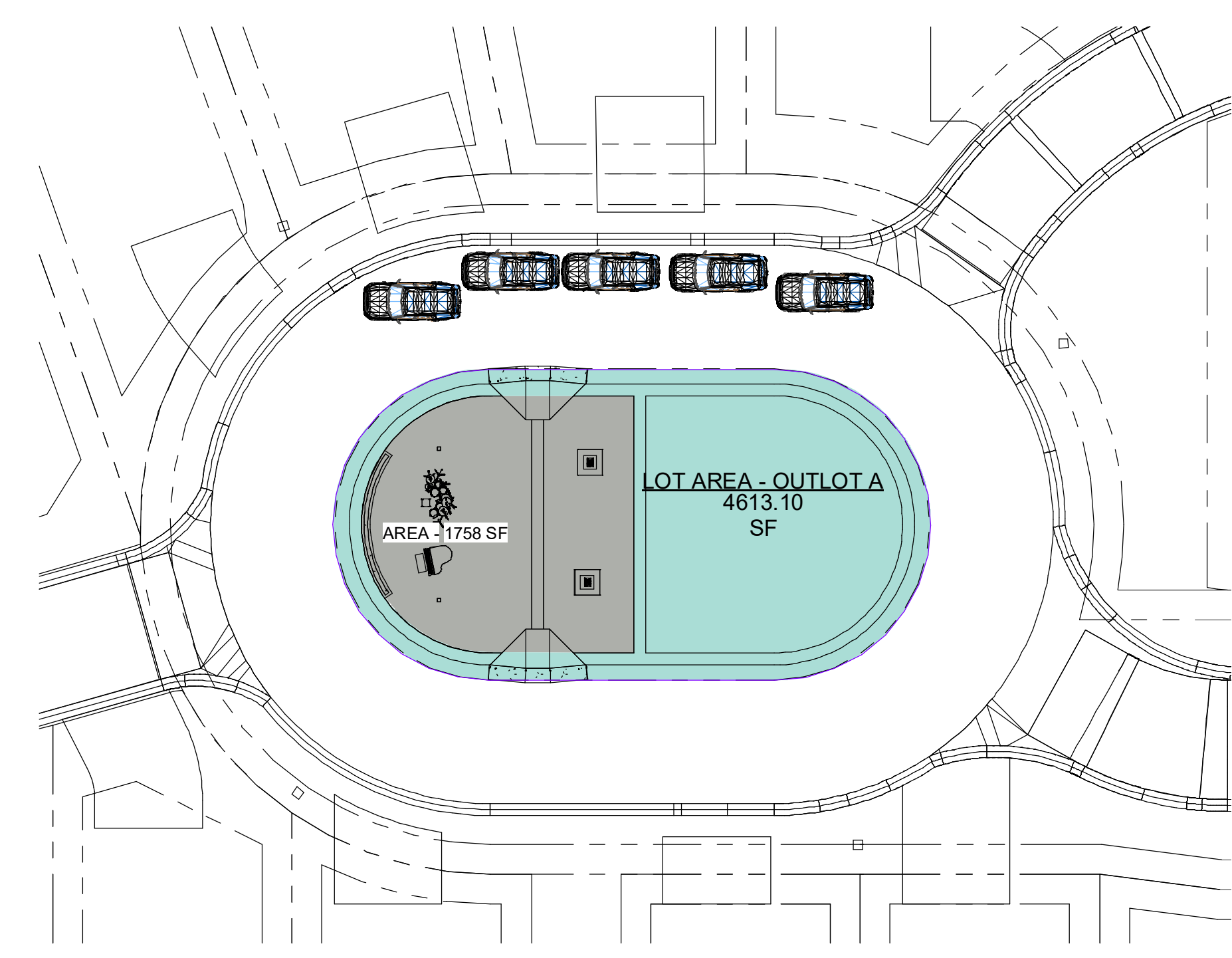


**1 SITE PLAN - AMENITY CENTER**  
1" = 10'-0"

SCALE: 1" = 10'-0"  
40'  
20'  
10'  
5'  
0'

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.02	PROPOSED AMENITY CENTER
0.06	CONCRETE SIDE WALK
0.10	SNOW STORAGE AREA
0.11	STORAGE AREAS FOR SOIL, CONSTRUCTION EQUIPMENT, AND OTHER MATERIALS
0.15	FIREPIT
3.01	STREET LIGHT, REFERENCE SPECIFICATION

- GENERAL SITE PLAN NOTES:**
- ALL DIMENSIONS TO FACE OF FOUNDATION WALL OR STRUCTURAL STRATA, UNLESS NOTED OTHERWISE.
  - VERIFY ALL SITE PARAMETERS (PROPERTY BOUNDARIES, EASEMENTS AND SETBACKS) PRIOR TO STAKING TO DEMOLITION AND CONSTRUCTION.
  - CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND TO ARRANGE PROPER DISCONTINUANCE AND/OR RELOCATION PRIOR TO DEMOLITION.
  - PROVIDE TREE AND SHRUB PROTECTION FOR EXISTING LANDSCAPING, ESPECIALLY FOR MATURE TREES MARKED TO BE SAVED.
  - PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING PERIMETER; 10% MINIMUM SLOPE FOR FIRST 10'. IT IS ESSENTIAL THAT SITE GRADING BE PROVIDED TO PREVENT INFILTRATION OF SURFACE WATER INTO THE FOUNDATION SYSTEM. REFER TO CIVIL DRAWINGS FOR GRADING AND DRAINAGE.
  - REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE, EXTERIOR LANDSCAPE LIGHTING AND IRRIGATION PLANS.
  - MECHANICALLY COMPACT ALL FILL AROUND THE BUILDING, INCLUDING THE BACKFILL. IMPROPER BACKFILL, COMPACTION CAN CAUSE SETTLEMENT OF EXTERIOR SLABS SUCH AS WALKS, PATIOS AND DRIVEWAYS.
  - DISCHARGE ROOF DOWN SPOUTS AND ALL OTHER WATER COLLECTION SYSTEMS MINIMUM 5' BEYOND PERIMETER OF STRUCTURE. RE: CIVIL DRAWINGS FOR HAND-PIPED DRAINS. NO IRRIGATION WITHIN 5' OF THE FOUNDATION. AVOID HEAVY WATERING OF ANY FOUNDATION PLANTINGS.
  - PHOTOVOLTAIC SOLAR PANELS TO BE REVIEWED AND APPROVED UNDER SEPERATE PERMIT.
  - SITE WALLS UNDER SEPERATE PERMIT.



**2 SITE COVERAGE - AMENITY CENTER**  
3/16" = 1'-0"

LOT COVERAGE	
BUILDING COVERAGE	1758 SF
TOTAL LOT AREA	4613 SF
TOTAL LOT COVERAGE	1758 / 4613 = 38%

LEGEND	
	PROPERTY LINE
	SETBACK

- PROTECTION SITE PLAN NOTES:**
- NO DISTURBANCE, GRADING, OR REMOVAL OF SIGNIFICANT NATURAL FEATURES AND VEGETATION WILL OCCUR BEYOND THE LIMIT OF DISTURBANCE LINE, AS SHOWN ON THIS PLAN.
  - THE LIMIT OF DISTURBANCE LINE SHALL BE DELINEATED PRIOR TO CONSTRUCTION WITH FLAGS, ROPING, FOUR FOOT (4') TALL ORANGE CONSTRUCTION FENCING, OR OTHER ACCEPTABLE MEANS.



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**Consultant**

Issue/Revisions	Date	No.

**Project Information**

**AMENITY CENTER AND GATES**  
OULOT A AND PRIVATE ROW A  
APRES WAY  
WINTER PARK, COLORADO

**Sheet Information**

Sheet Title:  
**SITE PLAN - AMENITY CENTER**

MINOR SITE PLAN APPLICATION 2024.08.19  
Sheet Number:

**A1.1**  
Nassar Project: 2024.037



1

2

3

4

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6

E  
D  
C  
B  
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1

2

3

4

5

6

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.06	CONCRETE SIDE WALK
0.11	STORAGE AREAS FOR SOIL, CONSTRUCTION EQUIPMENT, AND OTHER MATERIALS
0.16	ENHANCED PAVING
0.17	ACCESSIBLE RAMP
1.00	FIRE HYDRANT
1.01	STOP SIGN
1.15	PROPOSED ENTRY GATE
3.01	STREET LIGHT, REFERENCE SPECIFICATION



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- GENERAL SITE PLAN NOTES:**
- ALL DIMENSIONS TO FACE OF FOUNDATION WALL OR STRUCTURAL STRATA, UNLESS NOTED OTHERWISE.
  - VERIFY ALL SITE PARAMETERS (PROPERTY BOUNDARIES, EASEMENTS AND SETBACKS) PRIOR TO STAKING TO DEMOLITION AND CONSTRUCTION.
  - CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND TO ARRANGE PROPER DISCONTINUANCE AND/OR RELOCATION PRIOR TO DEMOLITION.
  - PROVIDE TREE AND SHRUB PROTECTION FOR EXISTING LANDSCAPING, ESPECIALLY FOR MATURE TREES MARKED TO BE SAVED.
  - PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING PERIMETER: 10% MINIMUM SLOPE FOR FIRST 10'. IT IS ESSENTIAL THAT SITE GRADING BE PROVIDED TO PREVENT INFILTRATION OF SURFACE WATER INTO THE FOUNDATION SYSTEM. REFER TO CIVIL DRAWINGS FOR GRADING AND DRAINAGE.
  - REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE, EXTERIOR LANDSCAPE LIGHTING AND IRRIGATION PLANS.
  - MECHANICALLY COMPACT ALL FILL AROUND THE BUILDING, INCLUDING THE BACKFILL. IMPROPER BACKFILL COMPACTION CAN CAUSE SETTLEMENT OF EXTERIOR SLABS SUCH AS WALKS, PATIOS AND DRIVEWAYS.
  - DISCHARGE ROOF DOWN SPOUTS AND ALL OTHER WATER COLLECTION SYSTEMS MINIMUM 5' BEYOND PERIMETER OF STRUCTURE. RE: CIVIL DRAWINGS FOR HARDPIPED DRAINS. NO IRRIGATION WITHIN 5' OF THE FOUNDATION. AVOID HEAVY WATERING OF ANY FOUNDATION PLANTINGS.
  - PHOTOVOLTAIC SOLAR PANELS TO BE REVIEWED AND APPROVED UNDER SEPERATE PERMIT.
  - SITE WALLS UNDER SEPERATE PERMIT.

**Consultant**

**Issue/Revisions Date No.**

**Project Information**

**AMENITY CENTER AND GATES**  
 OULOT A AND PRIVATE ROW A  
 APRES WAY  
 WINTER PARK, COLORADO

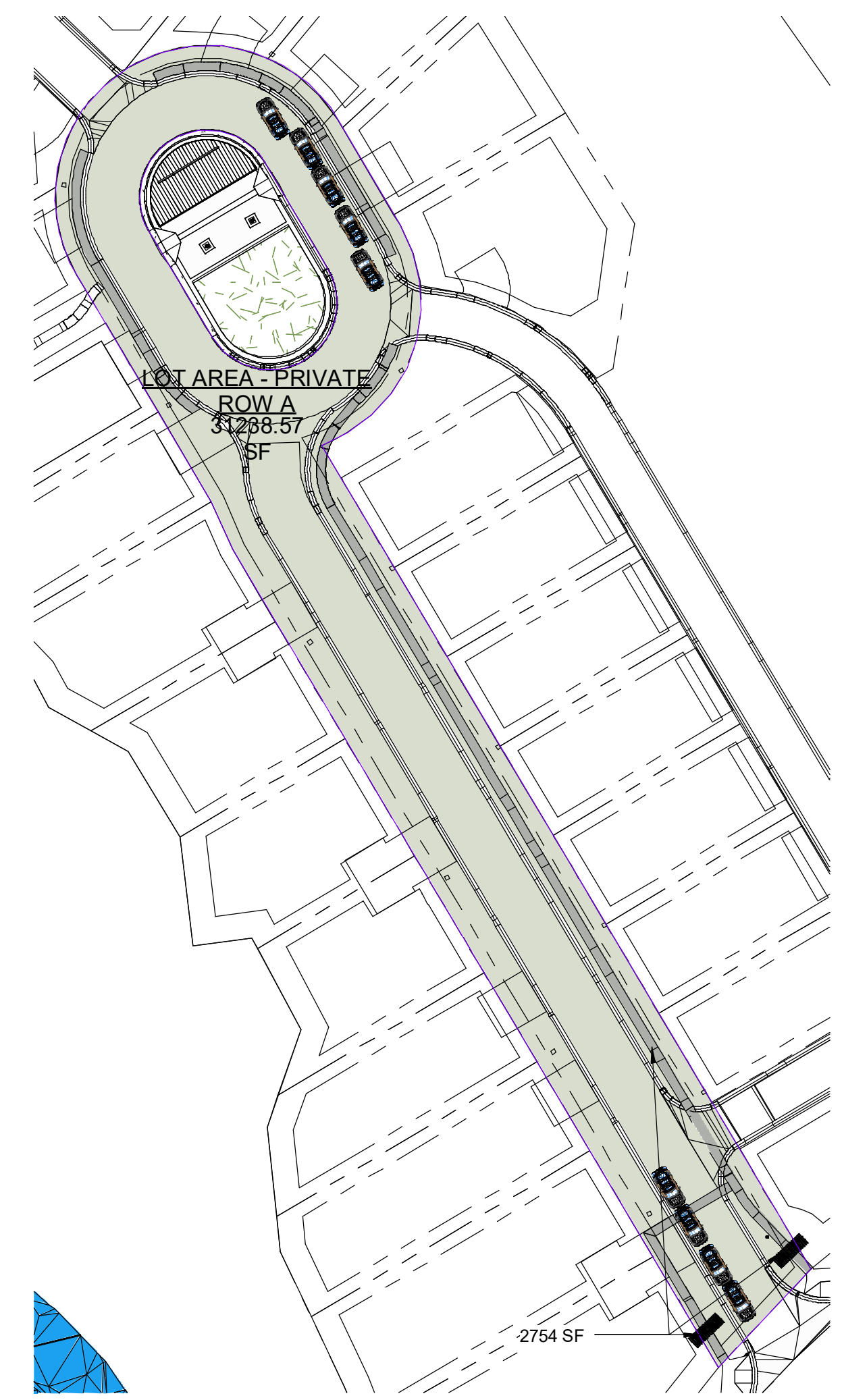
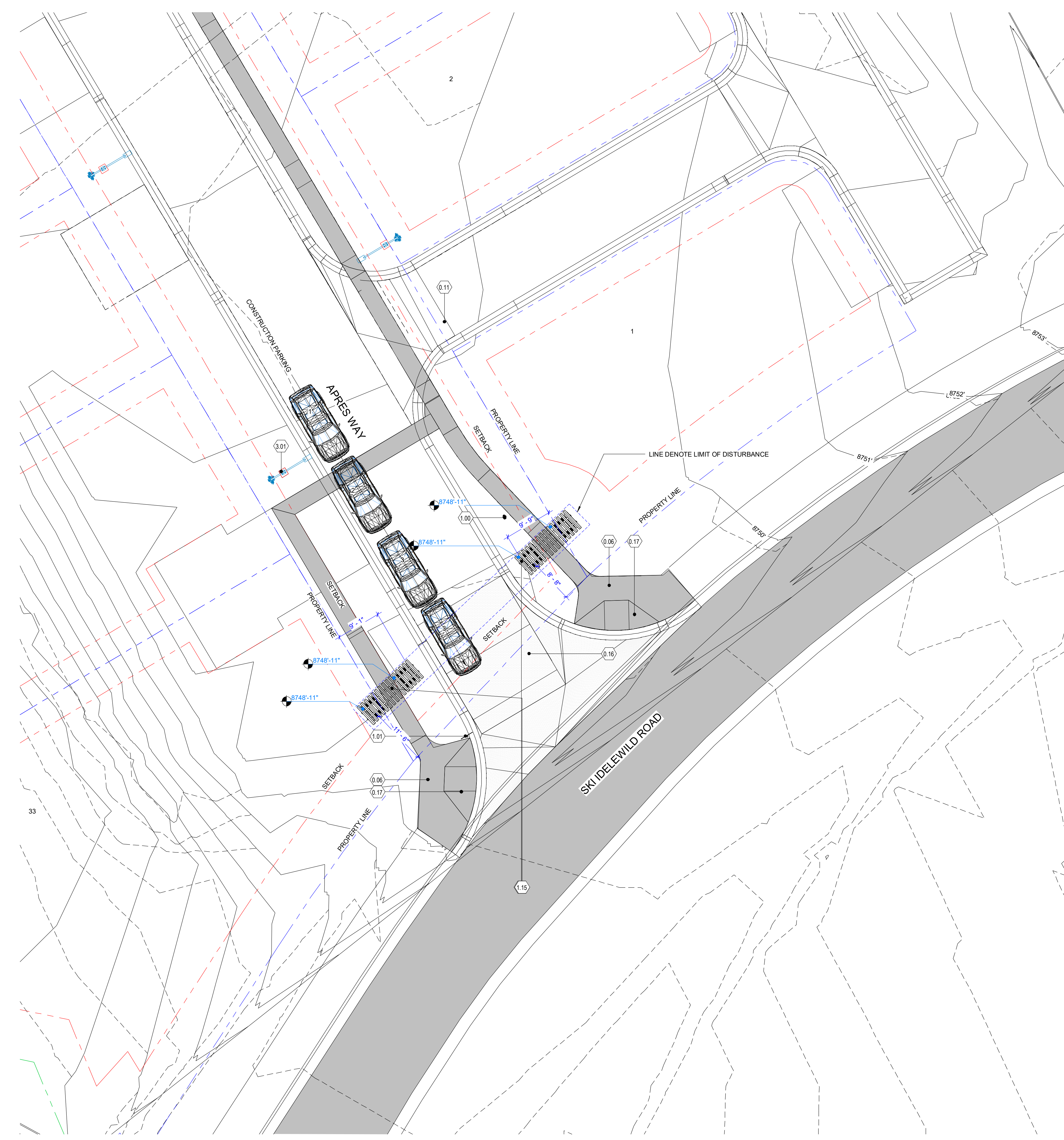
**Sheet Information**

Sheet Title:  
**SITE PLAN - GATES**

MINOR SITE PLAN APPLICATION 2024.08.19  
 Sheet Number:

**A1.2**

Nassar Project: 2024.037  
©2024 NASSAR DEVELOPMENT



**2 SITE COVERAGE - GATES**  
 1" = 50'-0"

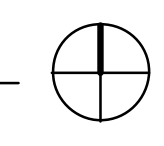
LOT COVERAGE	
BUILDING COVERAGE	2794 SF
TOTAL LOT AREA	32239 SF
TOTAL LOT COVERAGE	2754 / 32239 = 08%

LEGEND	
	PROPERTY LINE
	SETBACK

- PROTECTION SITE PLAN NOTES:**
- NO DISTURBANCE, GRADING, OR REMOVAL OF SIGNIFICANT NATURAL FEATURES AND VEGETATION WILL OCCUR BEYOND THE LIMIT OF DISTURBANCE LINE, AS SHOWN ON THIS PLAN.
  - THE LIMIT OF DISTURBANCE LINE SHALL BE DELINEATED PRIOR TO CONSTRUCTION WITH FLAGS, ROPING, FOUR FOOT (4') TALL ORANGE CONSTRUCTION FENCING, OR OTHER ACCEPTABLE MEANS.

SCALE: 1" = 10'-0"  
 40'  
 20'  
 10'  
 5'  
 0'

**1 SITE PLAN - GATES**  
 1" = 10'-0"





**TKTKE**  
CIVIL & STRUCTURAL  
ENGINEERING

710 SW 2225  
GAINES, COLORADO 80446  
970.725.3310



**SITE PLAN LEGEND**

BOUNDARY	---
PROP. RIGHT-OF-WAY LINE	---
PROP. ROAD CENTERLINE	---
ACCESS & UTILITY ESMT	---
PROP. ASPHALT PAVING	---
PROP. 6" VERT CATCH CURB	---
PROP. 6" VERT SPILL CURB	---
PROP. MOUNTABLE SPILL CURB	---
PROP. MOUNTABLE CATCH CURB	---
PROP. 2'-8" VALLEY PAN	---
PROP. 1.5" RIBBON CURB	---
PROP. RETAINING WALL	---
EX ROAD CENTERLINE	---
EX 1.5" RIBBON CURB	---

**ISSUE/REVISION**

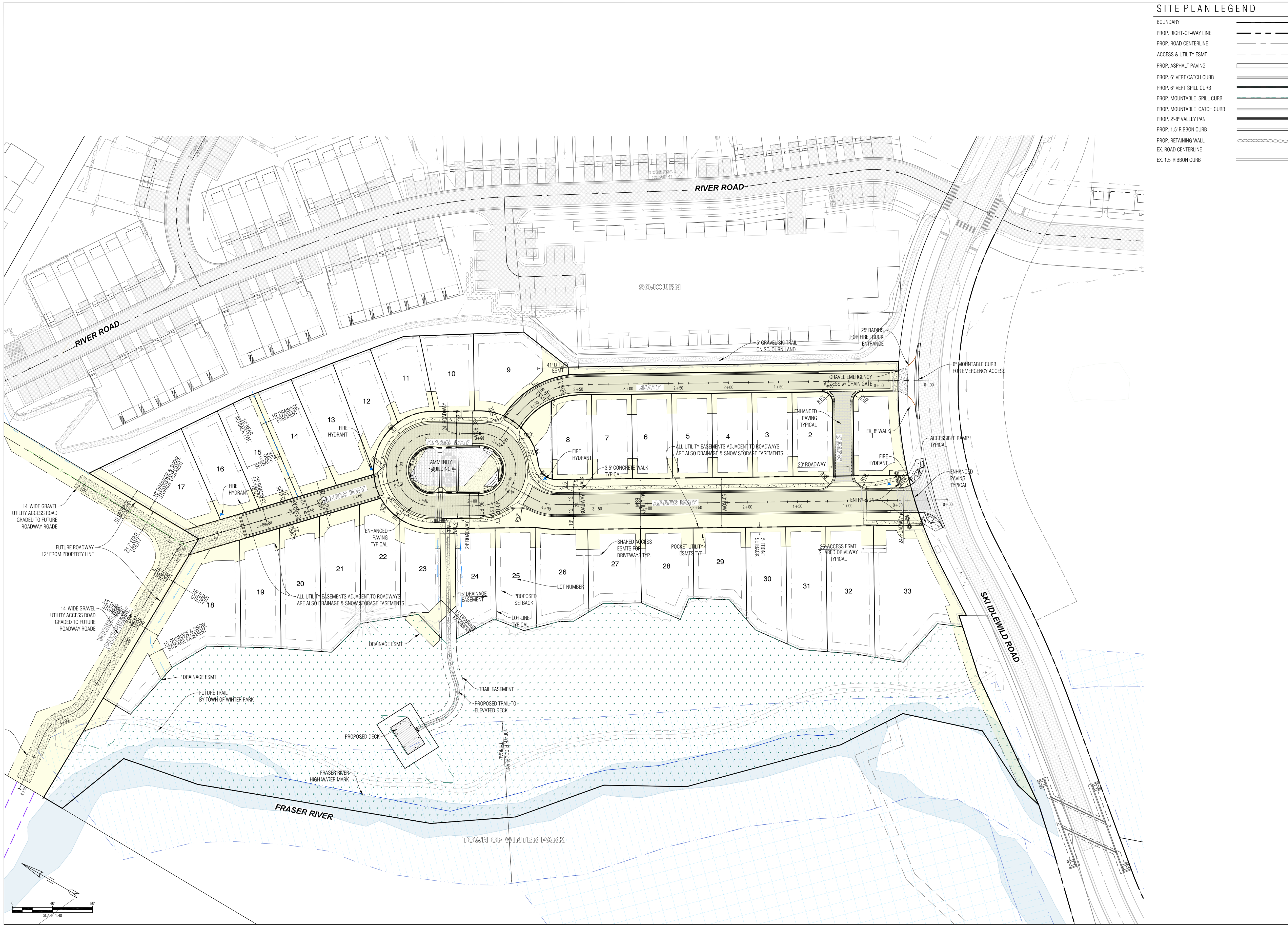
6	08-27-2024	RESUBMITAL #3 FOR FINAL CLAT APPROVAL
5	08-08-2024	DRP UTILITY ADJUSTMENTS PER COMMENTS
4	08-04-2024	RESUBMITAL FOR FINAL CLAT
3	08-01-2024	RESUBMITAL #2 FOR PRELIMINARY PLAT
2	08-01-2024	RESUBMITAL #1 FOR PRELIMINARY PLAT
1	2024.04.15	SUBMITAL #1 FOR PRELIMINARY PLAT



RIVERWALK TRACT F  
WINTER PARK, COLORADO

PROJECT: 22002  
SITE PLAN

7 of 33



SCALE: 1" = 20'-0"  
0' 10' 20' 40'

**1 SITE PLAN - CIVIL**  
1" = 20'-0"





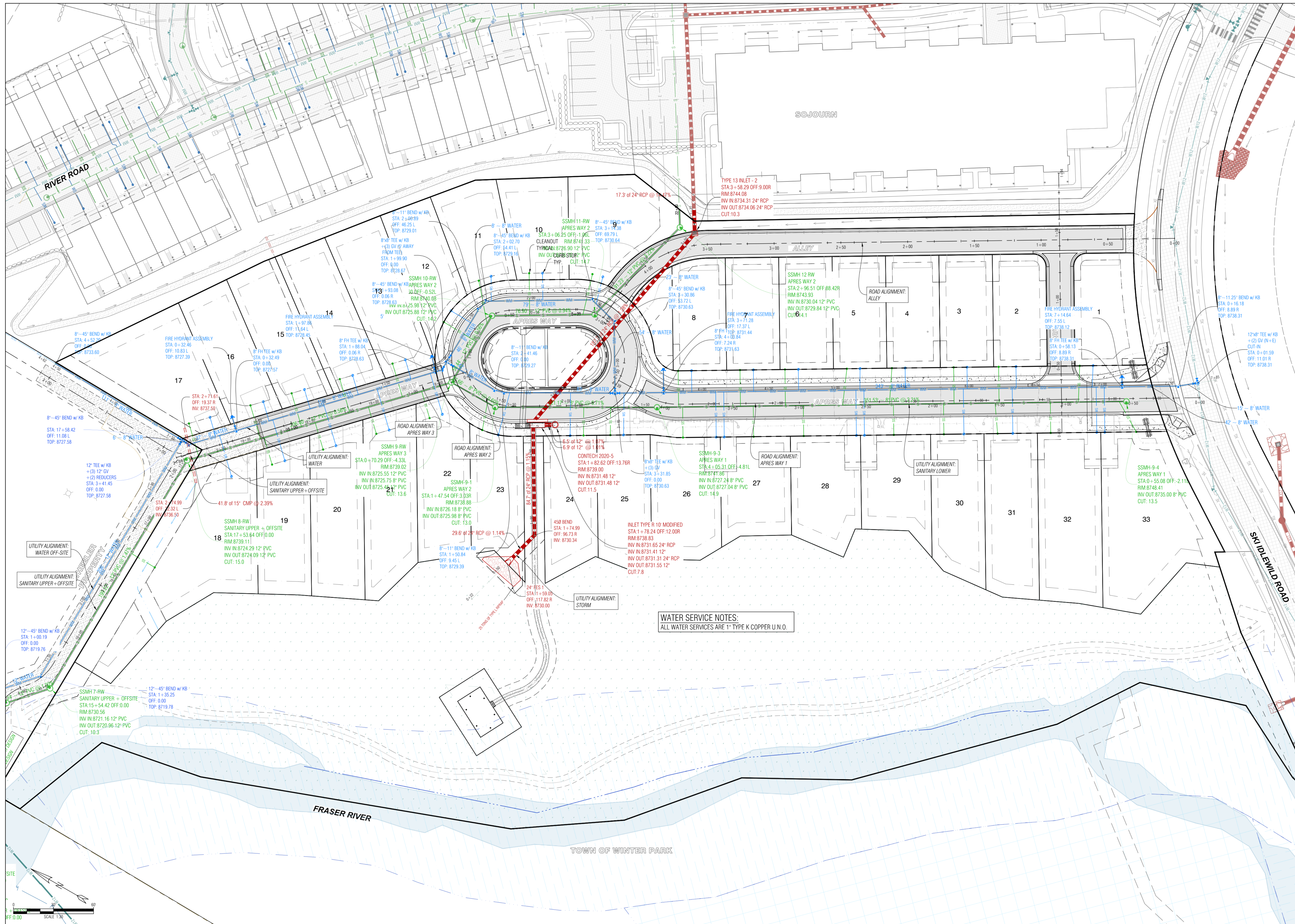
NO.	DESCRIPTION	DATE
1	ISSUE/REVISION	
2	1 - PRELIMINARY	08/19/2024
3	2 - PRELIMINARY	08/19/2024
4	3 - PRELIMINARY	08/19/2024
5	4 - PRELIMINARY	08/19/2024
6	5 - PRELIMINARY	08/19/2024
7	6 - PRELIMINARY	08/19/2024
8	7 - PRELIMINARY	08/19/2024
9	8 - PRELIMINARY	08/19/2024
10	9 - PRELIMINARY	08/19/2024
11	10 - PRELIMINARY	08/19/2024
12	11 - PRELIMINARY	08/19/2024
13	12 - PRELIMINARY	08/19/2024
14	13 - PRELIMINARY	08/19/2024
15	14 - PRELIMINARY	08/19/2024
16	15 - PRELIMINARY	08/19/2024
17	16 - PRELIMINARY	08/19/2024
18	17 - PRELIMINARY	08/19/2024
19	18 - PRELIMINARY	08/19/2024
20	19 - PRELIMINARY	08/19/2024
21	20 - PRELIMINARY	08/19/2024
22	21 - PRELIMINARY	08/19/2024
23	22 - PRELIMINARY	08/19/2024
24	23 - PRELIMINARY	08/19/2024
25	24 - PRELIMINARY	08/19/2024
26	25 - PRELIMINARY	08/19/2024
27	26 - PRELIMINARY	08/19/2024
28	27 - PRELIMINARY	08/19/2024
29	28 - PRELIMINARY	08/19/2024
30	29 - PRELIMINARY	08/19/2024
31	30 - PRELIMINARY	08/19/2024
32	31 - PRELIMINARY	08/19/2024
33	32 - PRELIMINARY	08/19/2024



RIVERWALK TRACT F  
WINTER PARK, COLORADO

PROJECT: 22002  
OVERALL UTILITY PLAN

18 of 33



WATER SERVICE NOTES:  
ALL WATER SERVICES ARE 1" TYPE K COPPER U.N.O.

SCALE: 1" = 20'-0"  
8/19/2024 11:30:31 AM

1 SITE PLAN - OVERALL UTILITY PLAN  
1" = 20'-0"



1 2 3 4 5 6

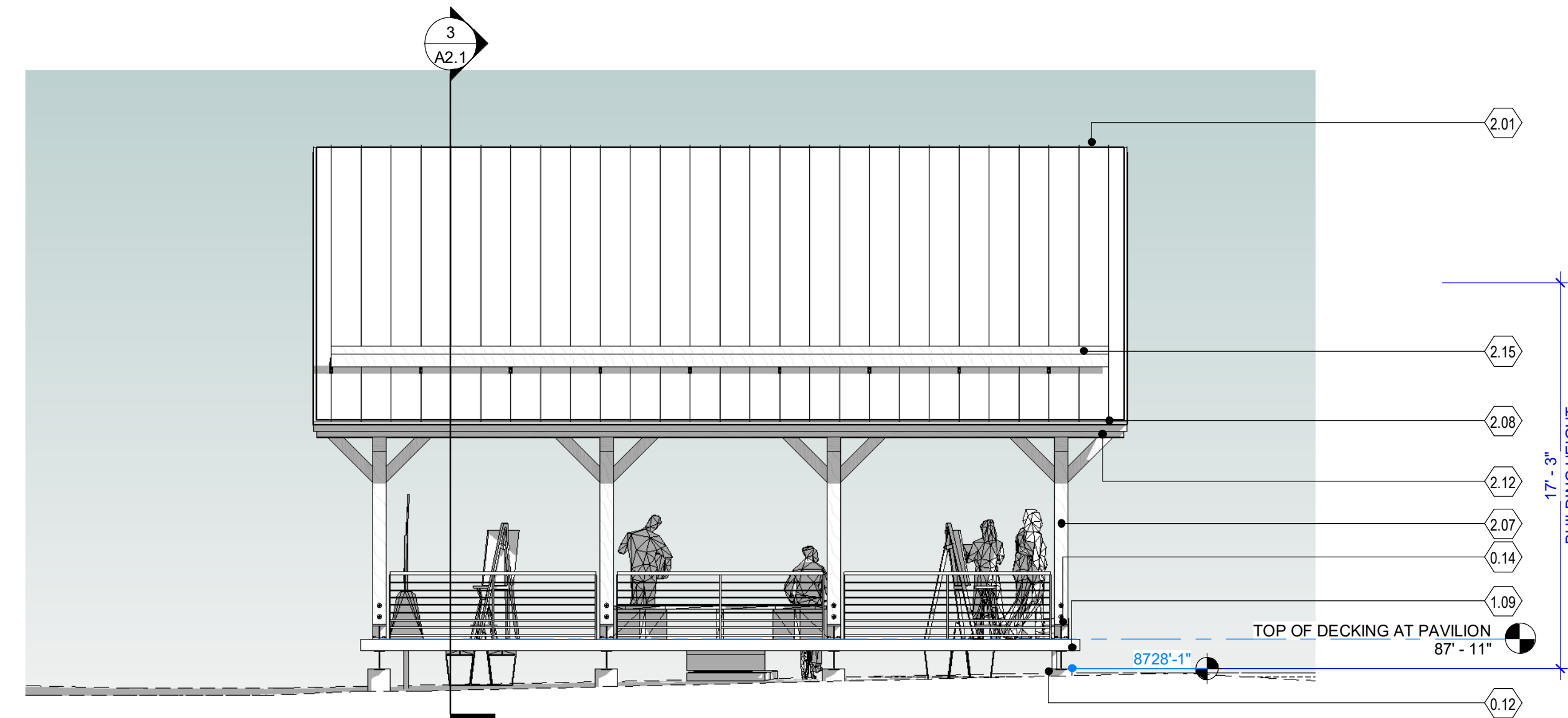
GENERAL ROOF PLAN NOTES:

1. SEE BUILDING SECTIONS FOR TYPICAL ROOF CONSTRUCTION.
2. ROOFING CONTRACTOR TO FOLLOW MANUFACTURER'S INSTALLATION SPECIFICATIONS FOR LOW SLOPE ROOFS WHERE APPLICABLE.
3. ROOFING CONTRACTOR TO FOLLOW MANUFACTURER'S FLASHING RECOMMENDATIONS AT ALL EAVES, VALLEYS, ABUTTING WALLS, INTERSECTING WALLS, CHIMNEY VENTS AND STACKS.
4. PROVIDE 6" EXTENSIONS AT ALL DOWNSPOUT LOCATIONS PER CIVIL DRAWINGS, U.N.O., EXCEPT WHERE CONNECTED TO A TIGHTLINE DRAINAGE SYSTEM.
5. LOCATIONS OF ALL TERMINATIONS FOR VENT STACKS, EXHAUST FANS, DRYER VENTS, ETC. MUST BE APPROVED BY ARCHITECT.
6. ALL GUTTERS/DOWNSPOUTS ARE REQUIRED PER SUMMIT COUNTY.

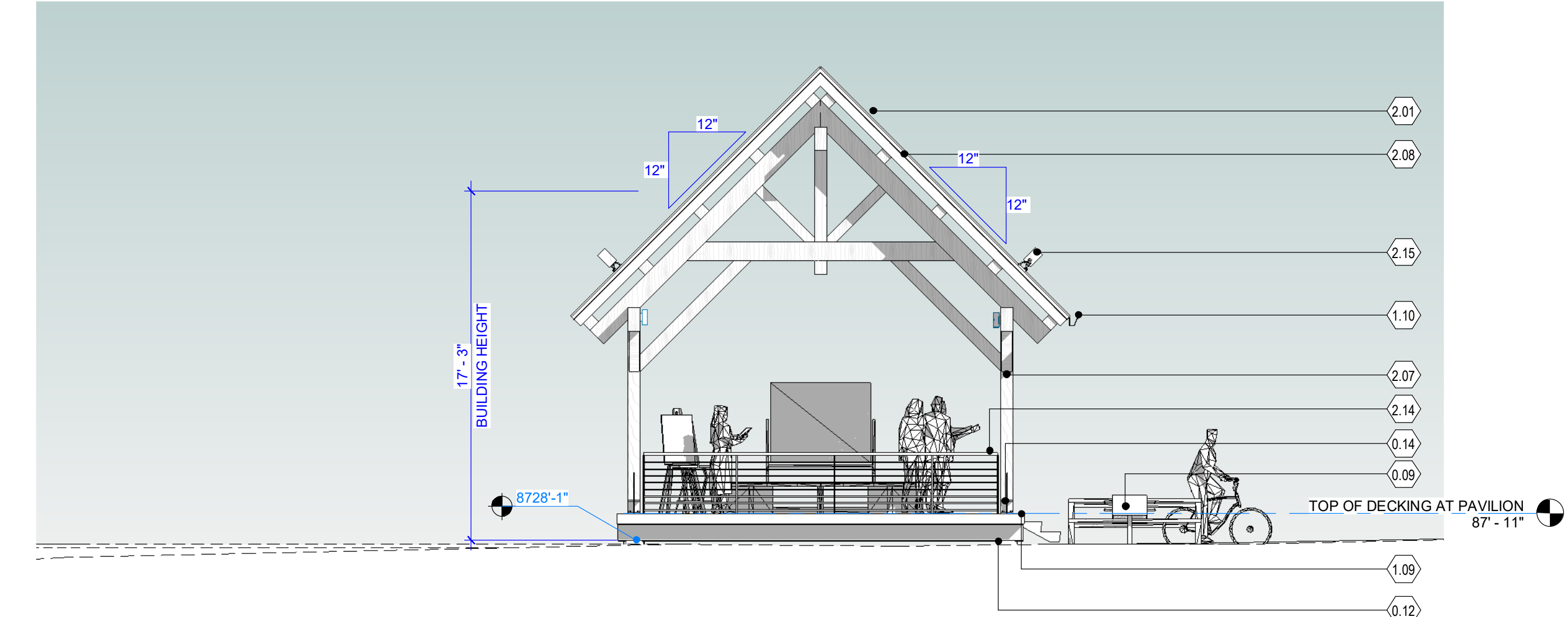
KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
0.04	EXTERIOR LIGHT FIXTURE - DARK SKY COMPLIANT
0.09	AFFIXED BARBEQUE GRILL
0.12	CONCRETE FOUNDATION PIER - CAST IN PLACE CONCRETE
0.14	COLUMN BASE WITH CUSTOM STEEL STANDOFF - BLACK PATINA
1.09	COMPOSITE FLOOR DECK - CONCRETE
1.10	ROOF GUTTER - PATINA COPPER
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL, CLASS A ROOF ASSEMBLY
2.07	S4S WOOD HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE
2.08	SHEET METAL FLASHING DRIP EDGE - PATINA COPPER
2.12	CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE
2.14	ARCHITECTURAL STEEL RAILING - PAINTED BLACK
2.15	HEAVY TIMBER - SNOW GUARDS

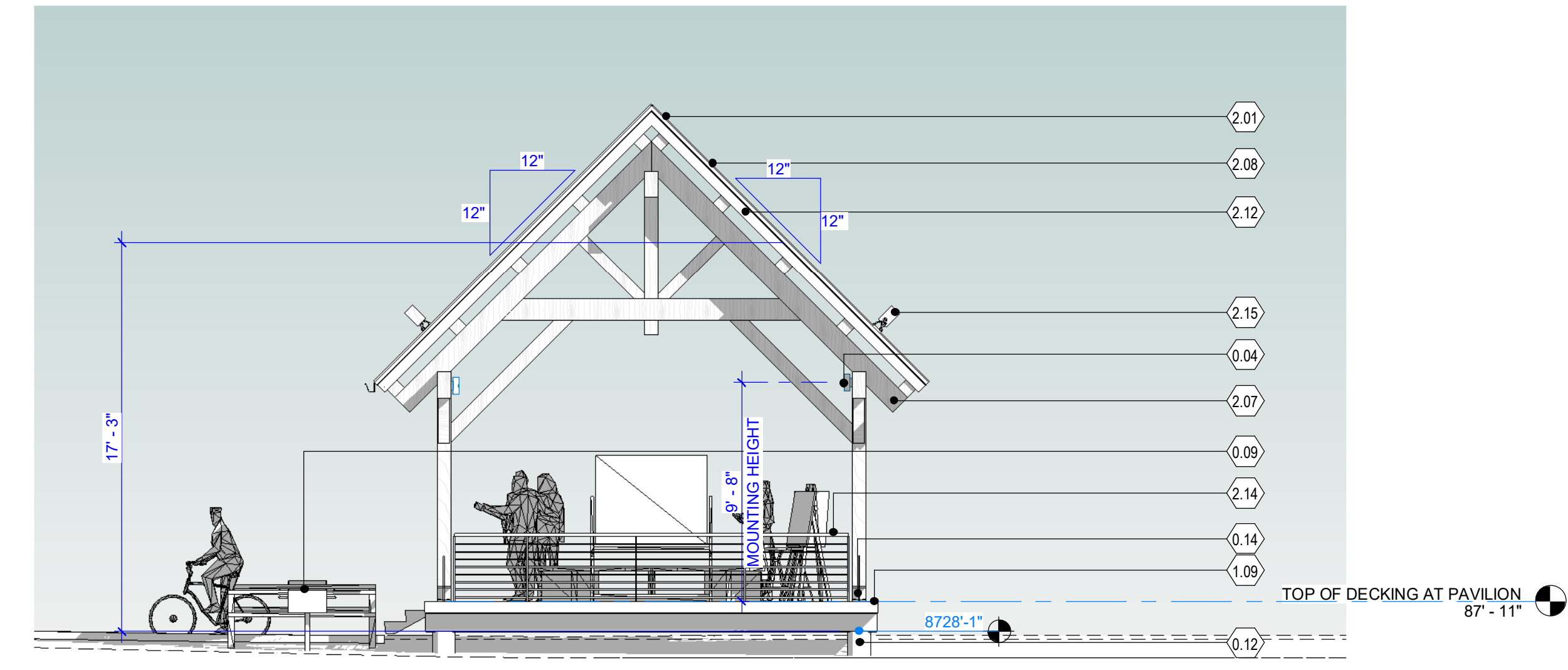
**MATERIAL LEGEND - PAVILION**



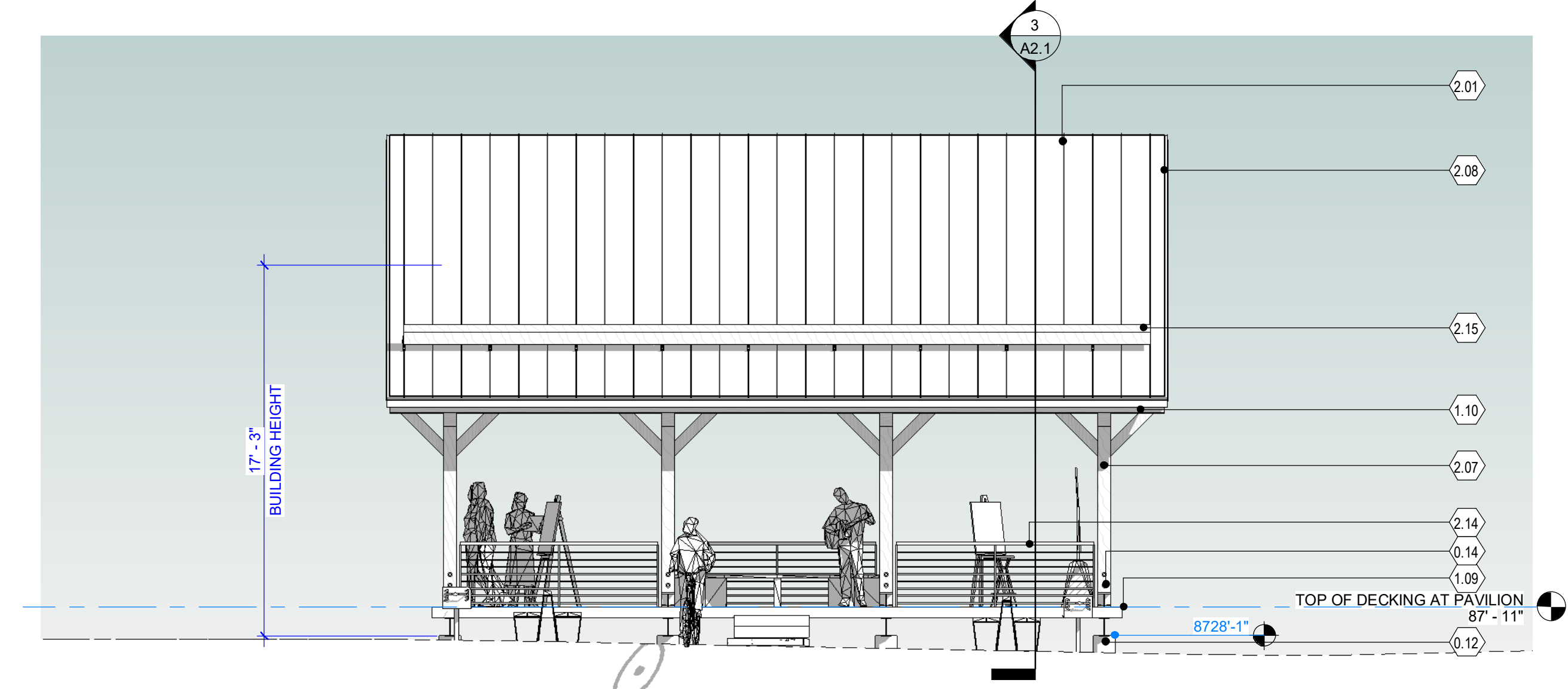
4 WEST ELEVATION - PAVILION  
3/16" = 1'-0"



3 SOUTH ELEVATION - PAVILION  
3/16" = 1'-0"



2 NORTH ELEVATION - PAVILION  
3/16" = 1'-0"



1 EAST ELEVATION - PAVILION  
3/16" = 1'-0"

SCALE: 3/16" = 1'-0"  
21'-4"  
12"  
6"  
0'



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**Consultant**

**Issue/Revisions Date No.**

**Project Information**

**PAVILION - OUTLOT D**  
APRES WAY  
WINTER PARK, COLORADO

**Sheet Information**

Sheet Title:  
**EXTERIOR ELEVATIONS - PAVILION**

MINOR SITE PLAN APPLICATION 2024.08.19  
Sheet Number:

**A2.2**

Nassar Project: 2024.037



KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.05	AMPHITHEATER BOULDER SEATING
0.14	COLUMN BASE WITH CUSTOM STEEL STANDOFF - BLACK PATINA
1.16	NATURAL STONE CAP
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL CLASS A ROOF ASSEMBLY
2.04	THIN DEPTH NATURAL STONE VENEER - TELLURIDE GOLD BLEND
2.07	S4S WOOD HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE
2.12	CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE
2.15	HEAVY TIMBER - SNOW GUARDS



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**Issue/Revisions Date No.**

**Project Information**

**AMENITY CENTER AND GATES**  
OULOT A AND PRIVATE ROW A  
APRES WAY  
WINTER PARK, COLORADO

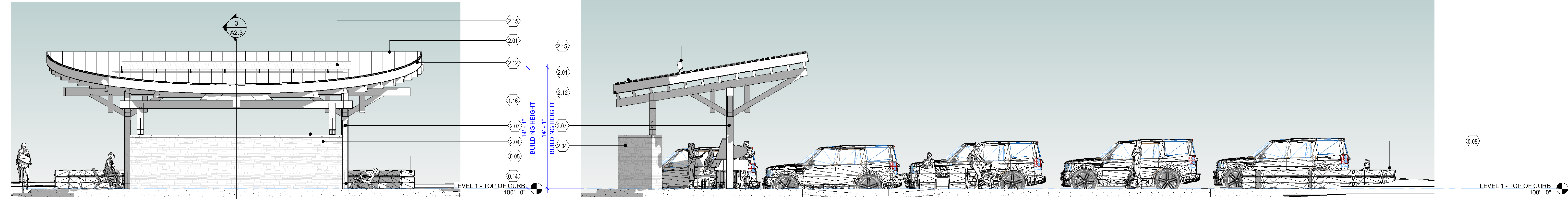
**Sheet Information**

Sheet Title:  
**EXTERIOR ELEVATIONS - AMENITY CENTER**

MINOR SITE PLAN APPLICATION 2024.08.19  
Sheet Number:

**A2.4**

Nassar Project: 2024.037



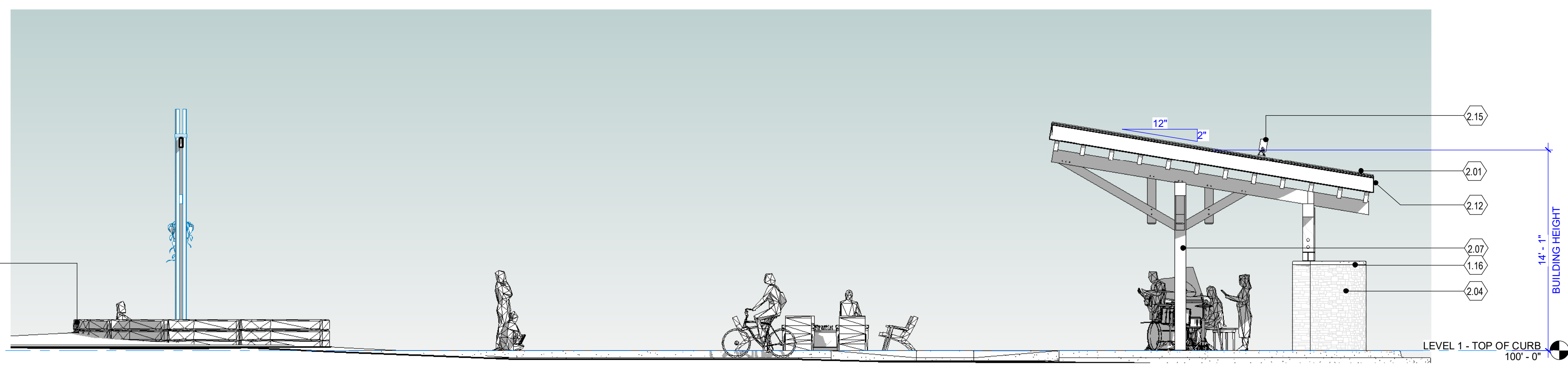
**4 WEST ELEVATION - AMENITY CENTER**  
3/16" = 1'-0"

**3 SOUTH ELEVATION - AMENITY CENTER**  
3/16" = 1'-0"

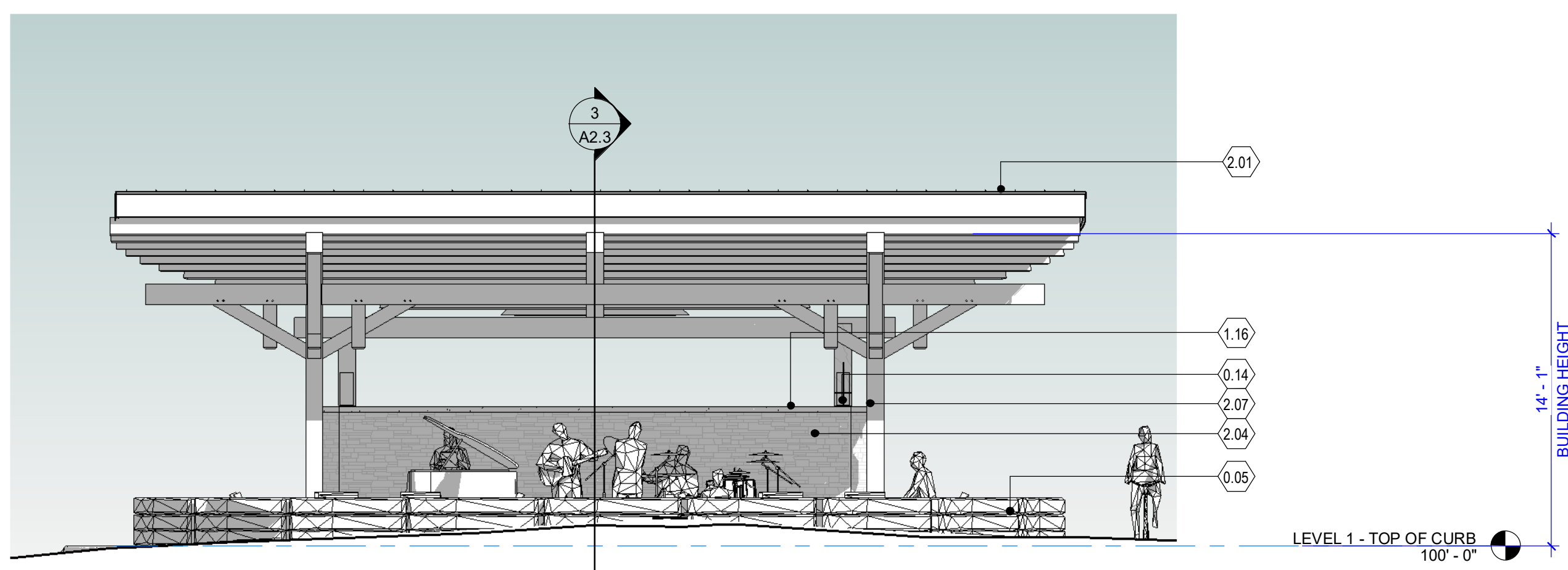


**MATERIAL LEGEND - AMENITY AND GATES**

SCALE: 3/16" = 1'-0"  
21'-4"  
12'  
6'  
0'



**2 NORTH ELEVATION - AMENITY CENTER**  
3/16" = 1'-0"



**1 EAST ELEVATION - AMENITY CENTER**  
3/16" = 1'-0"



KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.06	CONCRETE SIDE WALK
0.16	ENHANCED PAVING
0.17	ACCESSIBLE RAMP
1.00	FIRE HYDRANT
1.01	STOP SIGN
1.11	W-BEAM AND TIMBER TRELLIS
1.12	MC CHANNEL AND TIMBER CROSS BEAMS
1.14	PERFORATED METAL PANEL - HEXAGON
1.16	NATURAL STONE CAP
1.40	NATURAL STONE VENEER - TAPERED BASE



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**Consultant**

**Issue/Revisions Date No.**

**Project Information**

**AMENITY CENTER AND GATES**  
 OULOT A AND PRIVATE ROW A  
 APRES WAY  
 WINTER PARK, COLORADO

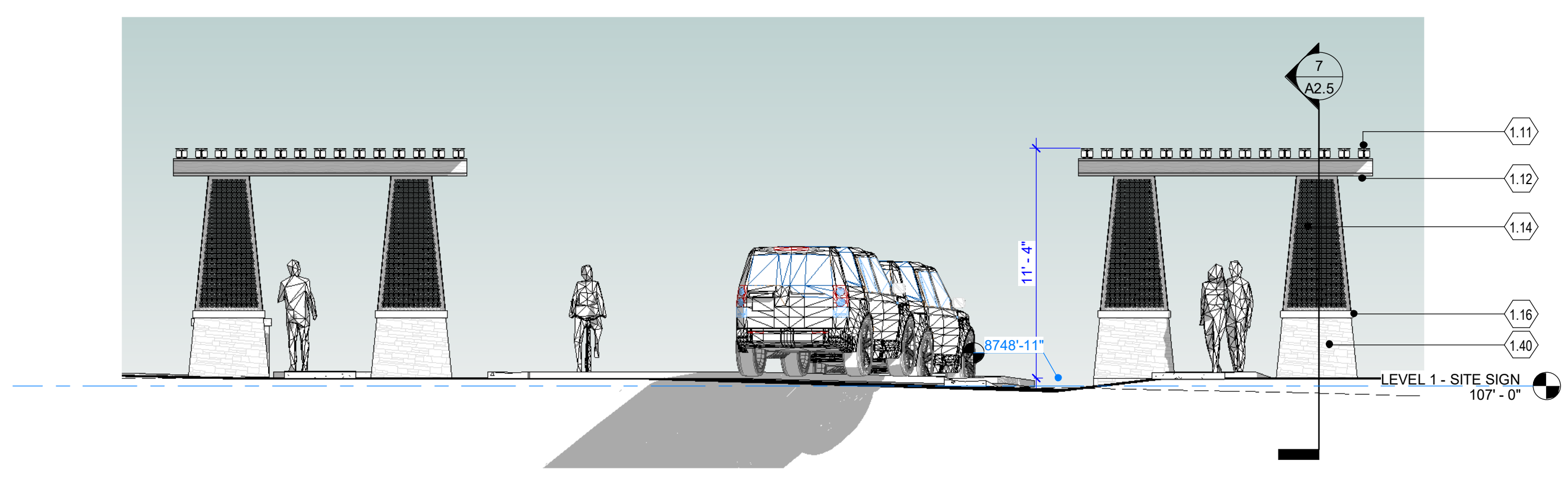
**Sheet Information**

Sheet Title:  
**PLANS  
 ELEVATIONS AND  
 DETAIL AT ENTRY  
 GATE**

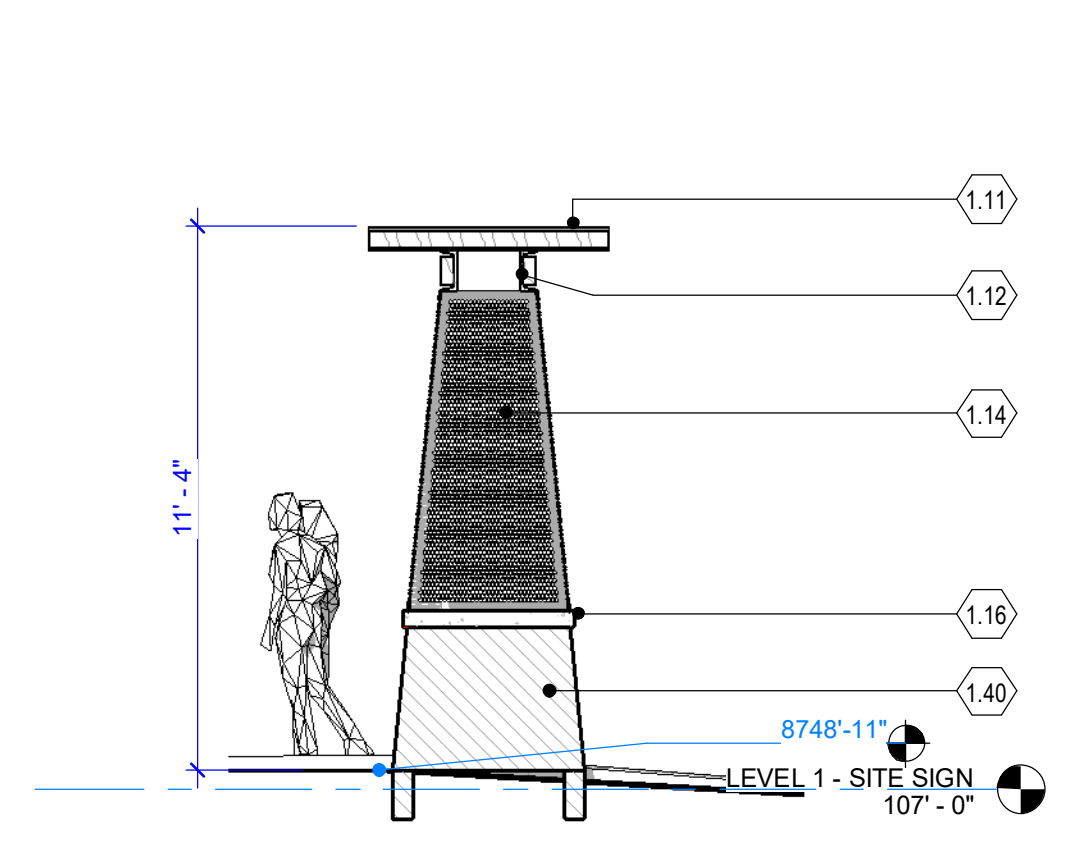
MINOR SITE  
 PLAN  
 APPLICATION 2024.08.19  
 Sheet Number:

**A2.5**

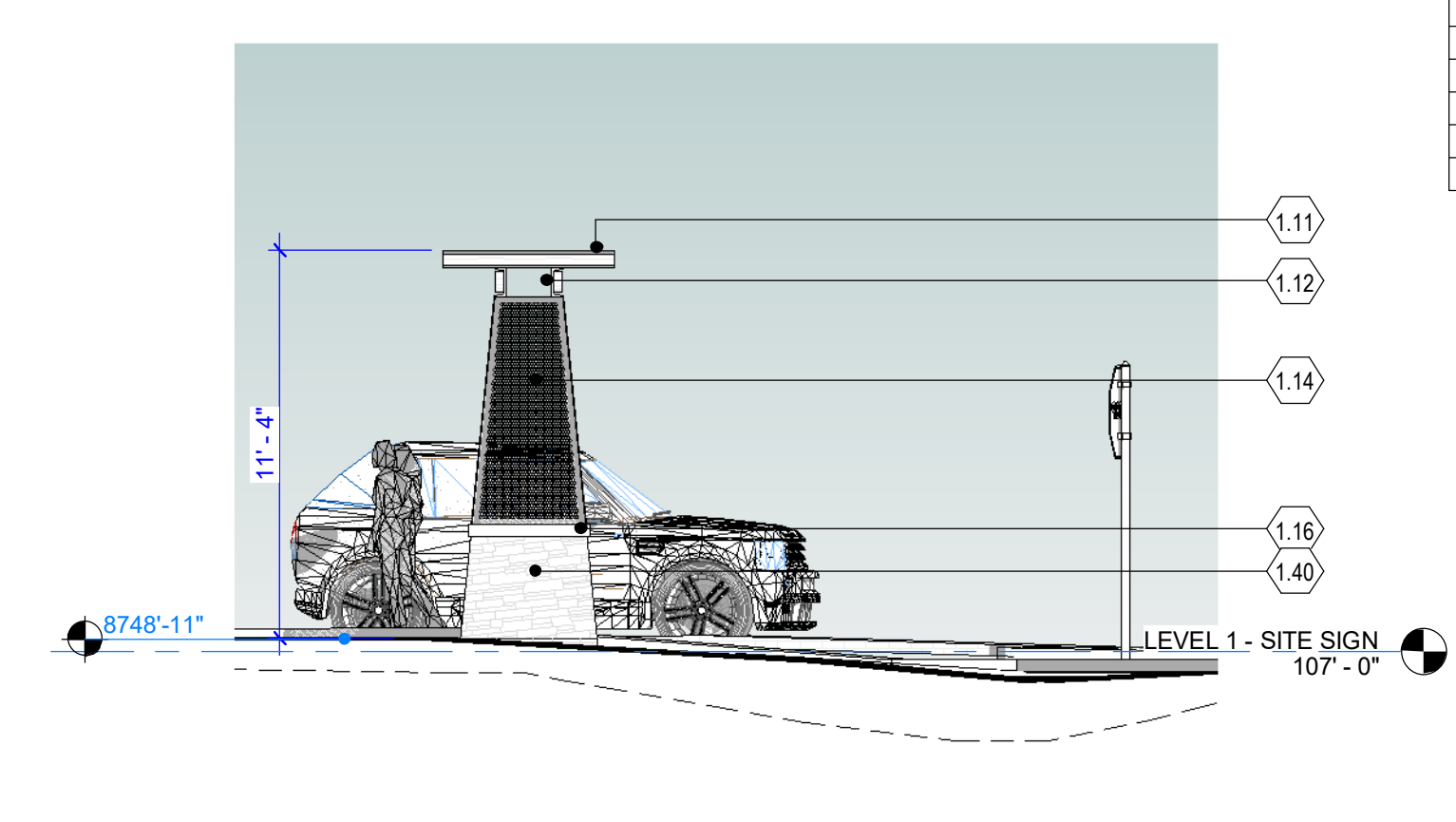
Nassar Project: 2024.037



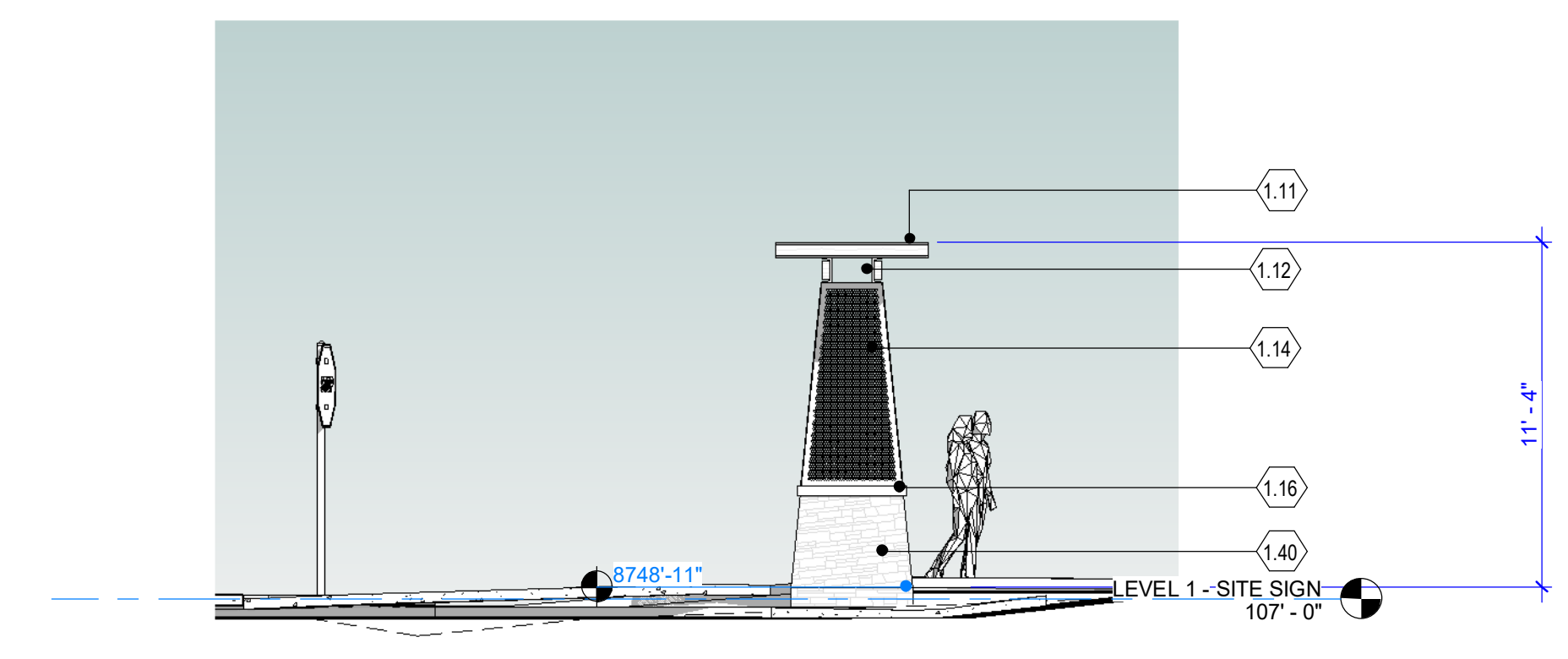
**6 WEST ELEVATION - PEDESTRIAN GATE**  
 3/16" = 1'-0"



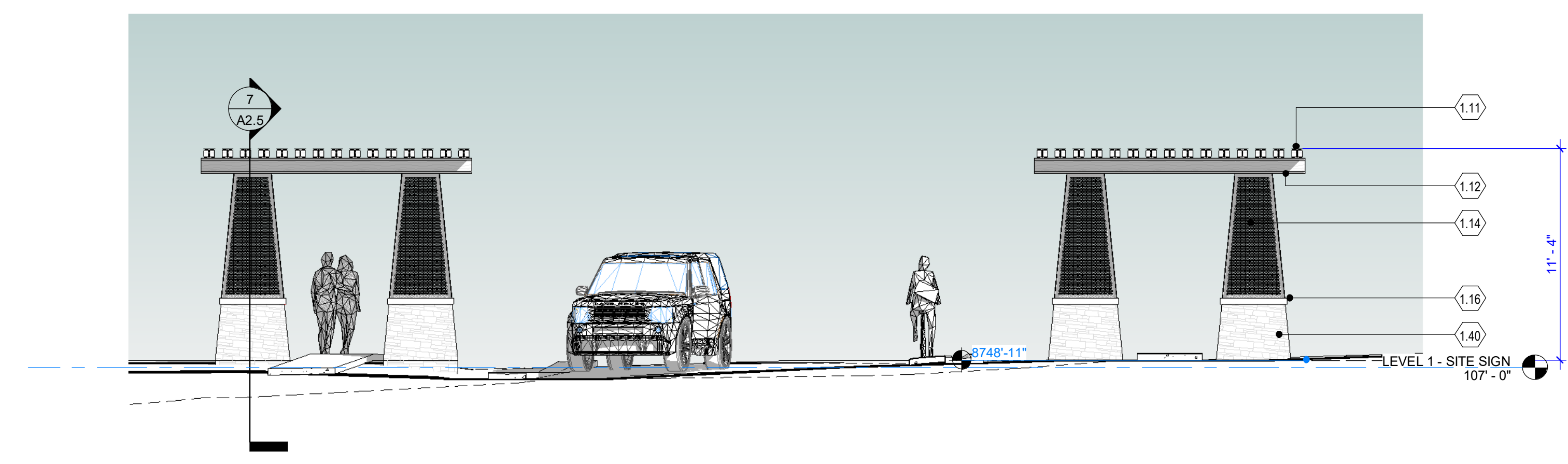
**7 SECTION DETAIL AT PEDESTRIAN GATE**  
 1/4" = 1'-0"



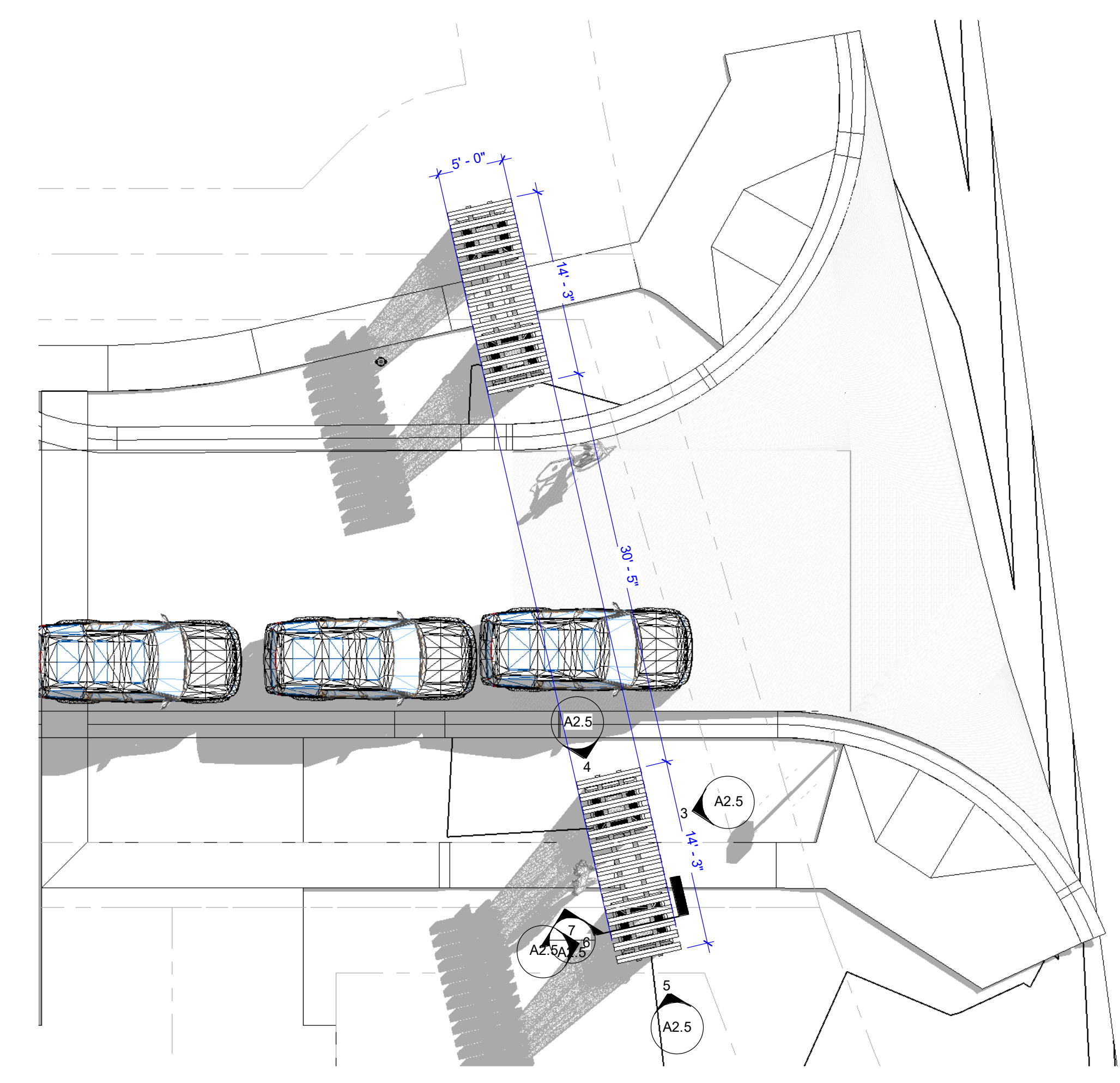
**5 SOUTH ELEVATION - PEDESTRIAN GATE**  
 3/16" = 1'-0"



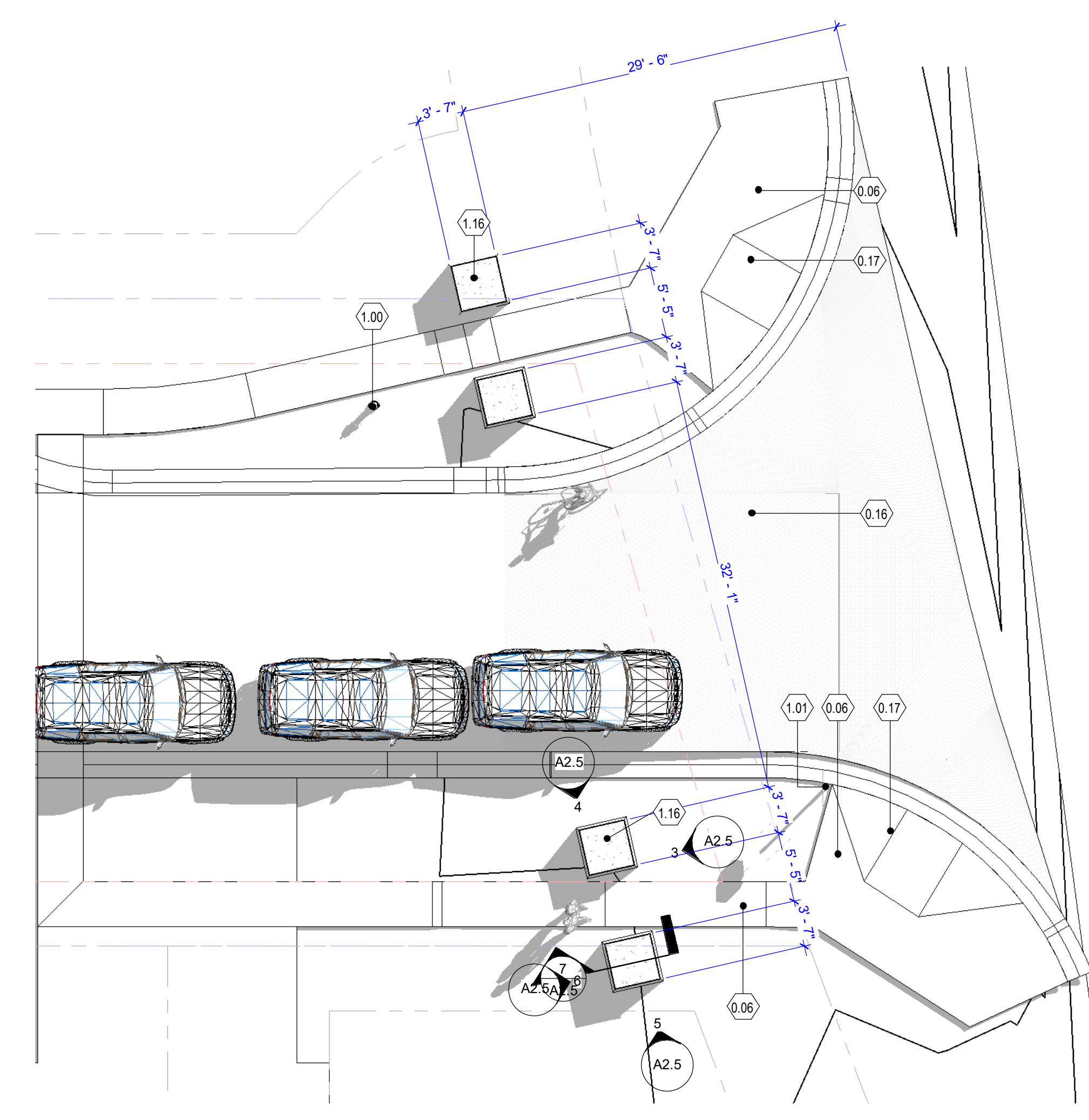
**4 NORTH ELEVATION - PEDESTRIAN GATE**  
 3/16" = 1'-0"



**3 EAST ELEVATION - PEDESTRIAN GATE**  
 3/16" = 1'-0"



**2 TRELLIS PLAN AT PEDESTRIAN GATES**  
 1/8" = 1'-0"



**1 PLAN AT PEDESTRIAN GATES**  
 1/8" = 1'-0"

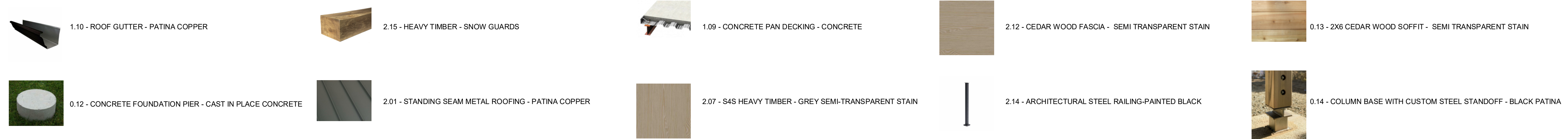
- 1.11 - MC CHANNEL AND TIMBER TRELLIS
- 2.01 - STANDING SEAM METAL ROOFING - PATINA COPPER
- 2.04 - STONE VENEER - LIMESTONE BLEND
- 2.07 - S4S HEAVY TIMBER - GREY SEMI-TRANSPARENT STAIN
- 2.12 - CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN
- 1.16 - NATURAL STONE CAP
- 0.14 - COLUMN BASE WITH CUSTOM STEEL STANDOFF - BLACK PATINA
- 2.15 - HEAVY TIMBER - SNOW GUARDS
- 0.13 - 2X6 CEDAR WOOD SOFFIT - SEMI TRANSPARENT STAIN
- 1.14 - PERFORATED METAL PANEL - HEXAGON

**MATERIAL LEGEND - AMENITY AND GATES**

SCALE: 3/16" = 1'-0"  
 21'-4"  
 12'  
 6'  
 0'

E  
D  
C  
B  
A





**MATERIAL LEGEND - PAVILION**



KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.12	CONCRETE FOUNDATION PIER - CAST IN PLACE CONCRETE
0.13	2X6 CEDAR WOOD SOFFIT - SEMI TRANSPARENT STAIN
0.14	COLUMN BASE WITH CUSTOM STEEL STANDOFF - BLACK PATINA
1.09	COMPOSITE FLOOR DECK - CONCRETE
1.10	ROOF GUTTER - PATINA COPPER
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL, CLASS A ROOF ASSEMBLY
2.07	S4S WOOD HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE
2.12	CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE
2.14	ARCHITECTURAL STEEL RAILING - PAINTED BLACK
2.15	HEAVY TIMBER - SNOW GUARDS

1 MATERIAL VIEW  
1/2" = 1'-0"





1.11  
1.14  
1.16  
1.40

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.05	AMPHITHEATER BOULDER SEATING
1.11	W-BEAM AND TIMBER TRELLIS
1.14	PERFORATED METAL PANEL - HEXAGON
1.16	NATURAL STONE CAP
1.40	NATURAL STONE VENEER - TAPERED BASE
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL, CLASS A ROOF ASSEMBLY
2.04	THIN DEPTH NATURAL STONE VENEER - TELLURIDE GOLD BLEND
2.07	S4S WOOD HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE
2.12	CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE

1 MATERIAL VIEW - ENTRY GATE  
3/16" = 1'-0"

1.11 - MC CHANNEL AND TIMBER TRELLIS	2.04 - THIN DEPTH NATURAL STONE VENEER - TELLURIDE GOLD BLEND	2.12 - CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN	0.14 - COLUMN BASE WITH CUSTOM STEEL STANDOFF - BLACK PATINA	0.13 - 2X6 CEDAR WOOD SOFFIT - SEMI TRANSPARENT STAIN	1.40 - NATURAL STONE VENEER - LIMESTONE
2.01 - STANDING SEAM METAL ROOFING - PATINA COPPER	2.07 - S4S HEAVY TIMBER - GREY SEMI-TRANSPARENT STAIN	1.16 - NATURAL STONE CAP	2.15 - HEAVY TIMBER - SNOW GUARDS	1.14 - PERFORATED METAL PANEL - HEXAGON	0.05 - AMPHITHEATER BOULDER SEATING

MATERIAL LEGEND - AMENITY AND GATES



2.01  
2.12  
2.07  
2.04  
0.05

2 MATERIAL VIEW - AMENITY CENTER  
3/16" = 1'-0"



MATERIAL RENDERINGS- AMENITY CENTER AND GATES

As Indicated

Project title: PAVILION - OUTLOT D	Sheet Number:
Project Issue: APRES WAY WINTER PARK, COLORADO MINOR SITE PLAN APPLICATION	2024.08.19
Project Number: 2024.037	<b>3D 1</b>



1.10 - ROOF GUTTER - PATINA COPPER

2.15 - HEAVY TIMBER - SNOW GUARDS

1.09 - CONCRETE PAN DECKING - CONCRETE

2.12 - CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN

0.13 - 2X6 CEDAR WOOD SOFFIT - SEMI TRANSPARENT STAIN

0.12 - CONCRETE FOUNDATION PIER - CAST IN PLACE CONCRETE

2.01 - STANDING SEAM METAL ROOFING - PATINA COPPER

2.07 - S4S HEAVY TIMBER - GREY SEMI-TRANSPARENT STAIN

2.14 - ARCHITECTURAL STEEL RAILING-PAINTED BLACK

0.14 - COLUMN BASE WITH CUSTOM STEEL STANDOFF - BLACK PATINA

MATERIAL LEGEND - PAVILION



KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.12	CONCRETE FOUNDATION PIER - CAST IN PLACE CONCRETE
0.13	2X6 CEDAR WOOD SOFFIT - SEMI TRANSPARENT STAIN
0.14	COLUMN BASE WITH CUSTOM STEEL STANDOFF - BLACK PATINA
1.09	COMPOSITE FLOOR DECK - CONCRETE
1.10	ROOF GUTTER - PATINA COPPER
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL, CLASS A ROOF ASSEMBLY
2.07	S4S WOOD HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE
2.12	CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE
2.14	ARCHITECTURAL STEEL RAILING - PAINTED BLACK
2.15	HEAVY TIMBER - SNOW GUARDS

1 MATERIAL VIEW  
1/2" = 1'-0"





1.11  
1.14  
1.16  
1.40

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.05	AMPHITHEATER BOULDER SEATING
1.11	W-BEAM AND TIMBER TRELLIS
1.14	PERFORATED METAL PANEL - HEXAGON
1.16	NATURAL STONE CAP
1.40	NATURAL STONE VENEER - TAPERED BASE
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL, CLASS A ROOF ASSEMBLY
2.04	THIN DEPTH NATURAL STONE VENEER - TELLURIDE GOLD BLEND
2.07	S4S WOOD HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE
2.12	CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE

1 MATERIAL VIEW - ENTRY GATE  
3/16" = 1'-0"

 1.11 - MC CHANNEL AND TIMBER TRELLIS	 2.04 - THIN DEPTH NATURAL STONE VENEER - TELLURIDE GOLD BLEND	 2.12 - CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN	 0.14 - COLUMN BASE WITH CUSTOM STEEL STANDOFF - BLACK PATINA	 0.13 - 2X6 CEDAR WOOD SOFFIT - SEMI TRANSPARENT STAIN	 1.40 - NATURAL STONE VENEER - LIMESTONE
 2.01 - STANDING SEAM METAL ROOFING - PATINA COPPER	 2.07 - S4S HEAVY TIMBER - GREY SEMI-TRANSPARENT STAIN	 1.16 - NATURAL STONE CAP	 2.15 - HEAVY TIMBER - SNOW GUARDS	 1.14 - PERFORATED METAL PANEL - HEXAGON	 0.05 - AMPHITHEATER BOULDER SEATING

MATERIAL LEGEND - AMENITY AND GATES



2.01  
2.12  
2.07  
2.04  
0.05

2 MATERIAL VIEW - AMENITY CENTER  
3/16" = 1'-0"



MATERIAL RENDERINGS- AMENITY CENTER AND GATES



1 2 3 4 5 6

- GENERAL FLOOR PLAN NOTES:**
- DO NOT SCALE FROM DRAWINGS UNDER ANY CIRCUMSTANCES.
  - ALL DIMENSIONS ARE TO FACE OF STUD OR STRUCTURAL STRATA, UNLESS OTHERWISE NOTED. UNLESS OTHERWISE NOTED:
  - ALL EXTERIOR WALLS ARE 2X6 AT 16" ON CENTER.
  - ALL INTERIOR WALLS ARE 2X4 AT 16" ON CENTER.
  - AT LOCATIONS WITH PLUMBING AND POCKET DOORS, INTERIOR WALLS ARE 2X6 AT 16" ON CENTER.
  - USE ENGINEERED WOOD FRAMING AT WALLS BACKED WITH CABINETS, AND AT DOOR AND WINDOW OPENINGS.
  - DRYWALL TO BE 5/8" THICK GYPSUM BOARD AT WALLS AND CEILINGS UNLESS OTHERWISE NOTED. (WALLS, CEILINGS AND FLOORS SHARED BETWEEN GARAGE AND LIVING SPACE TO BE TYPED X).
  - SEE BUILDING ASSEMBLIES SHEET FOR COMPLETE CONSTRUCTION NOTES.
  - REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION PLAN AND STRUCTURAL INFORMATION.

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.04	EXTERIOR LIGHT FIXTURE - DARK SKY COMPLIANT
0.09	AFFIXED BARBEQUE GRILL
0.12	CONCRETE FOUNDATION PIER - CAST IN PLACE CONCRETE
1.09	COMPOSITE FLOOR DECK - CONCRETE
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL, CLASS A ROOF ASSEMBLY
2.07	S4S WOOD HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE
2.08	SHEET METAL FLASHING DRIP EDGE - PATINA COPPER
2.12	CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE
2.14	ARCHITECTURAL STEEL RAILING - PAINTED BLACK
2.15	HEAVY TIMBER - SNOW GUARDS



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**Consultant**

**Issue/Revisions Date No.**

**Project Information**

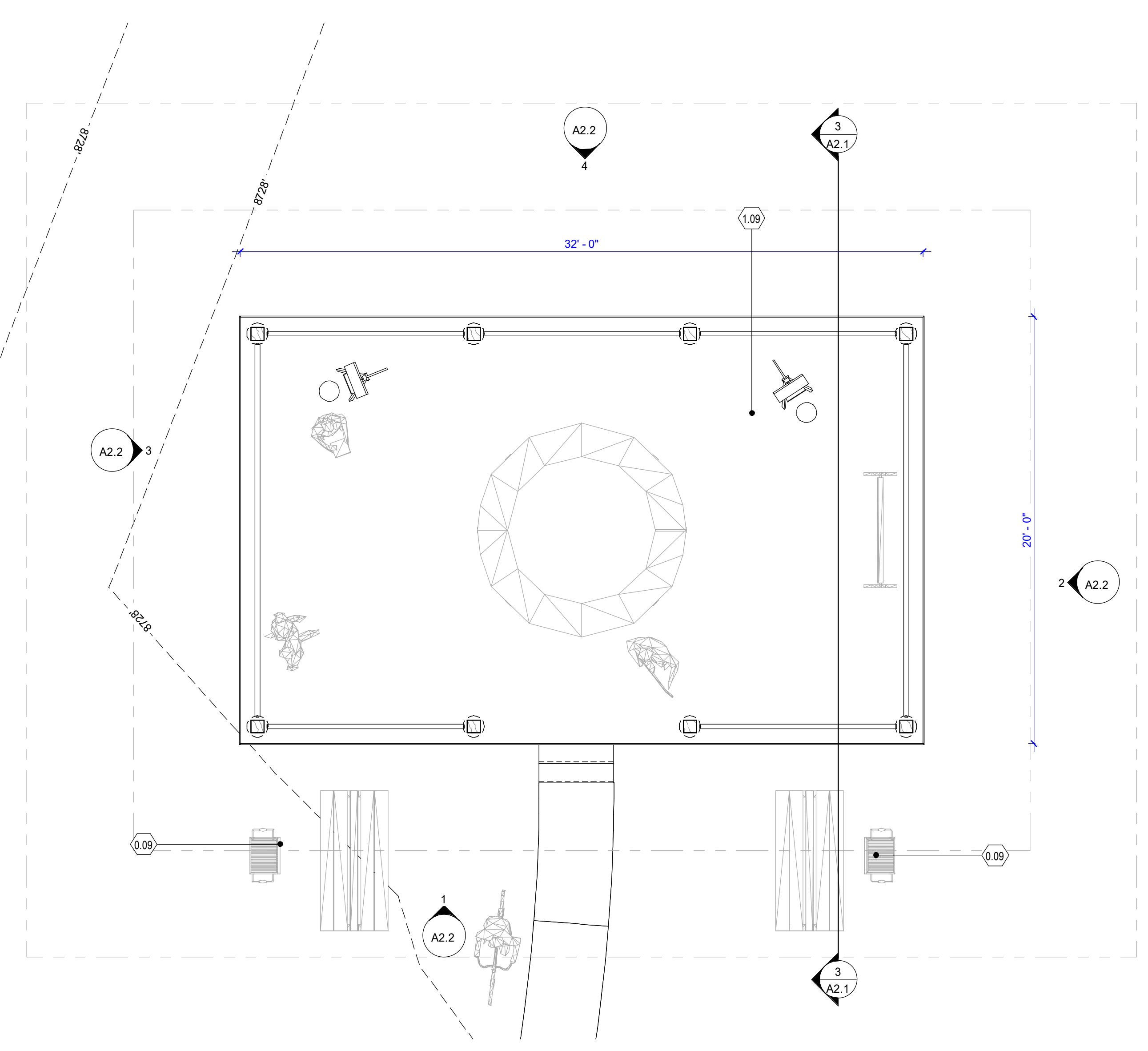
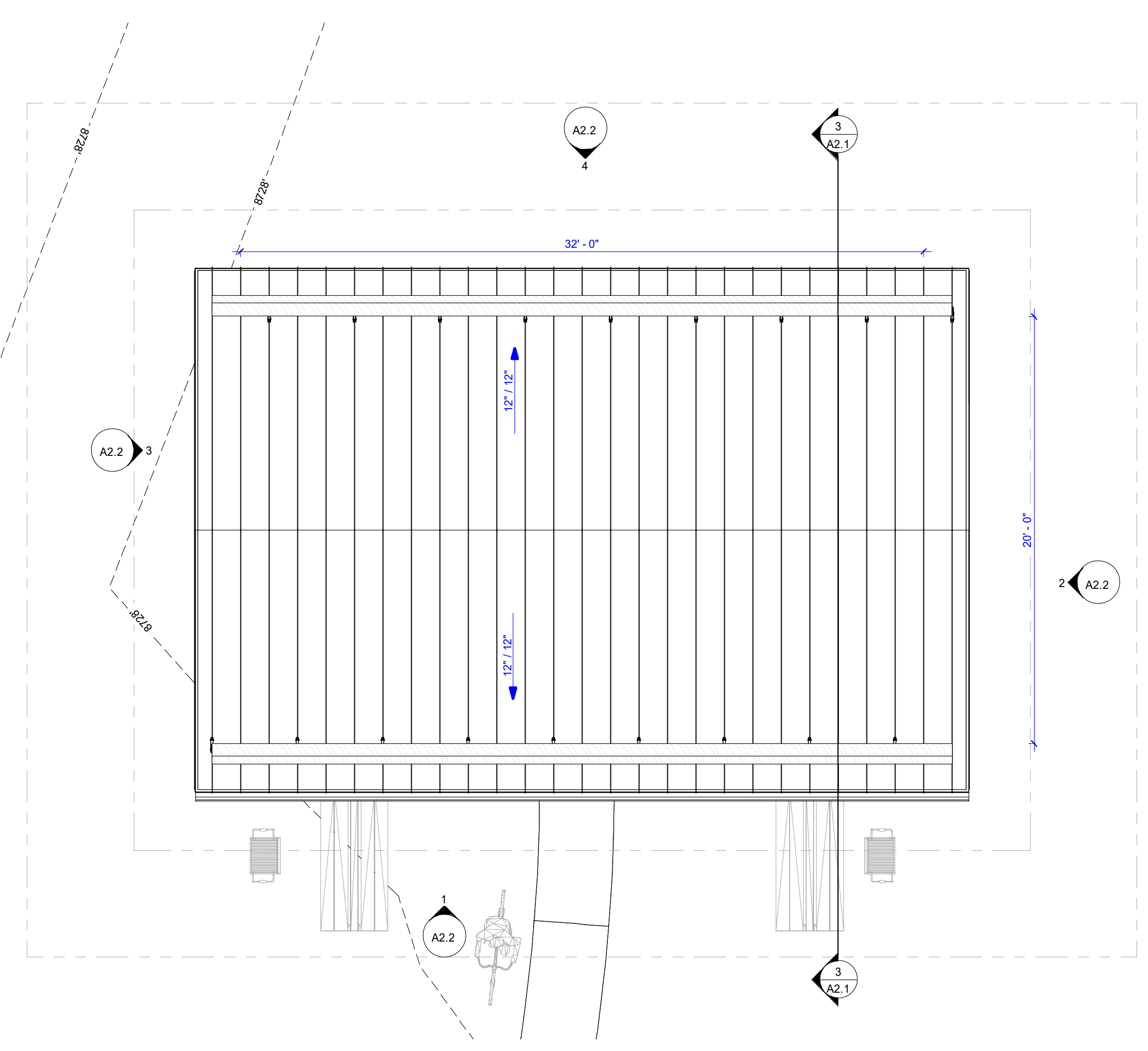
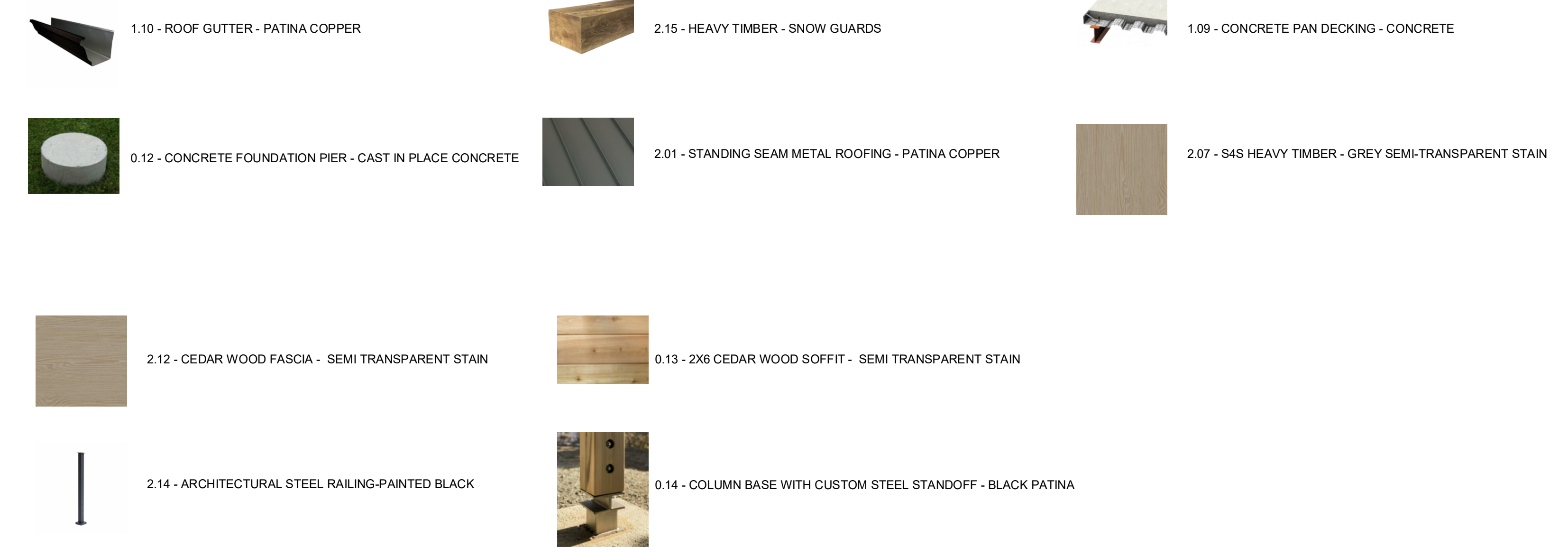
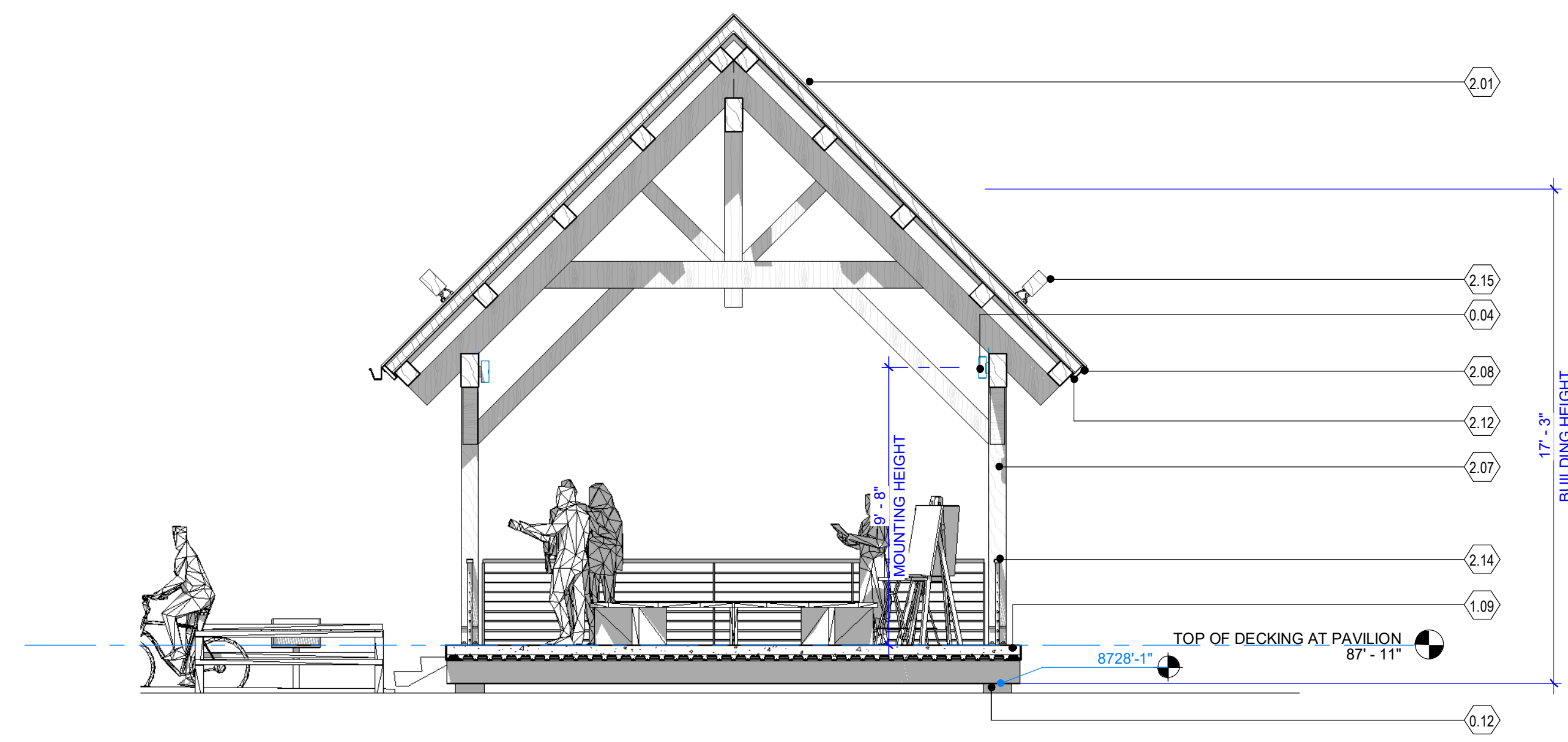
**PAVILION - OUTLOT D**  
APRES WAY  
WINTER PARK, COLORADO

**Sheet Information**  
Sheet Title:  
PLANS AND SECTION - PAVILION

MINOR SITE  
PLAN  
APPLICATION 2024.08.19  
Sheet Number:

**A2.1**

Nassar Project: 2024.037



SCALE: 1/4" = 1'-0"

E  
D  
C  
B  
A

1 2 3 4 5 6



1.11 - MC CHANNEL AND TIMBER TRELLIS

2.01 - STANDING SEAM METAL ROOFING - PATINA COPPER

2.04 - THIN DEPTH NATURAL STONE VENEER - TELLURIDE GOLD BLEND

2.07 - S4S HEAVY TIMBER - GREY SEMI-TRANSPARENT STAIN

2.12 - CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN

1.16 - NATURAL STONE CAP

0.14 - COLUMN BASE WITH CUSTOM STEEL STANDOFF - BLACK PATINA

2.15 - HEAVY TIMBER - SNOW GUARDS

0.13 - 2X6 CEDAR WOOD SOFFIT - SEMI TRANSPARENT STAIN

1.14 - PERFORATED METAL PANEL - HEXAGON

1.40 - NATURAL STONE VENEER - LIMESTONE

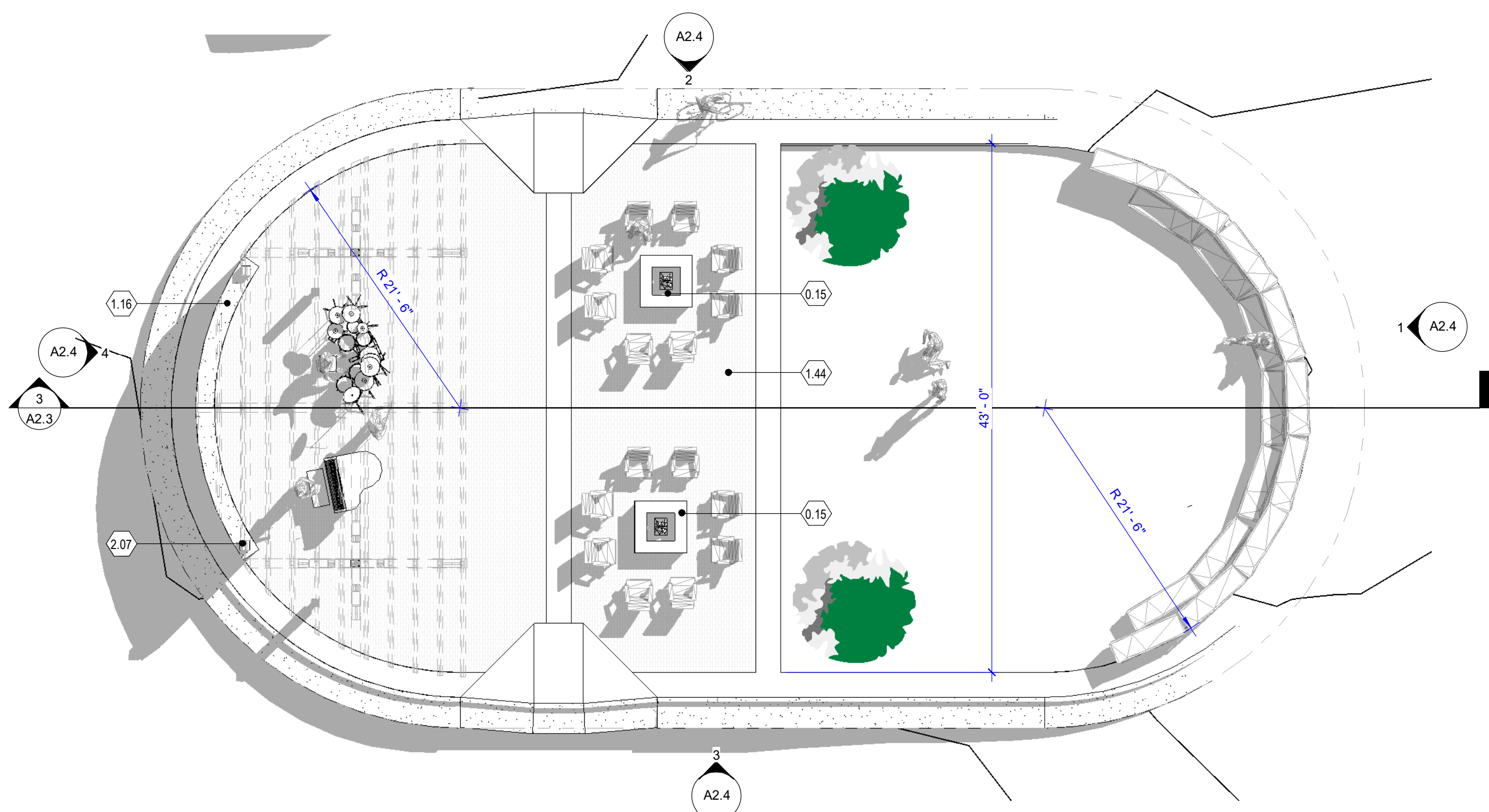
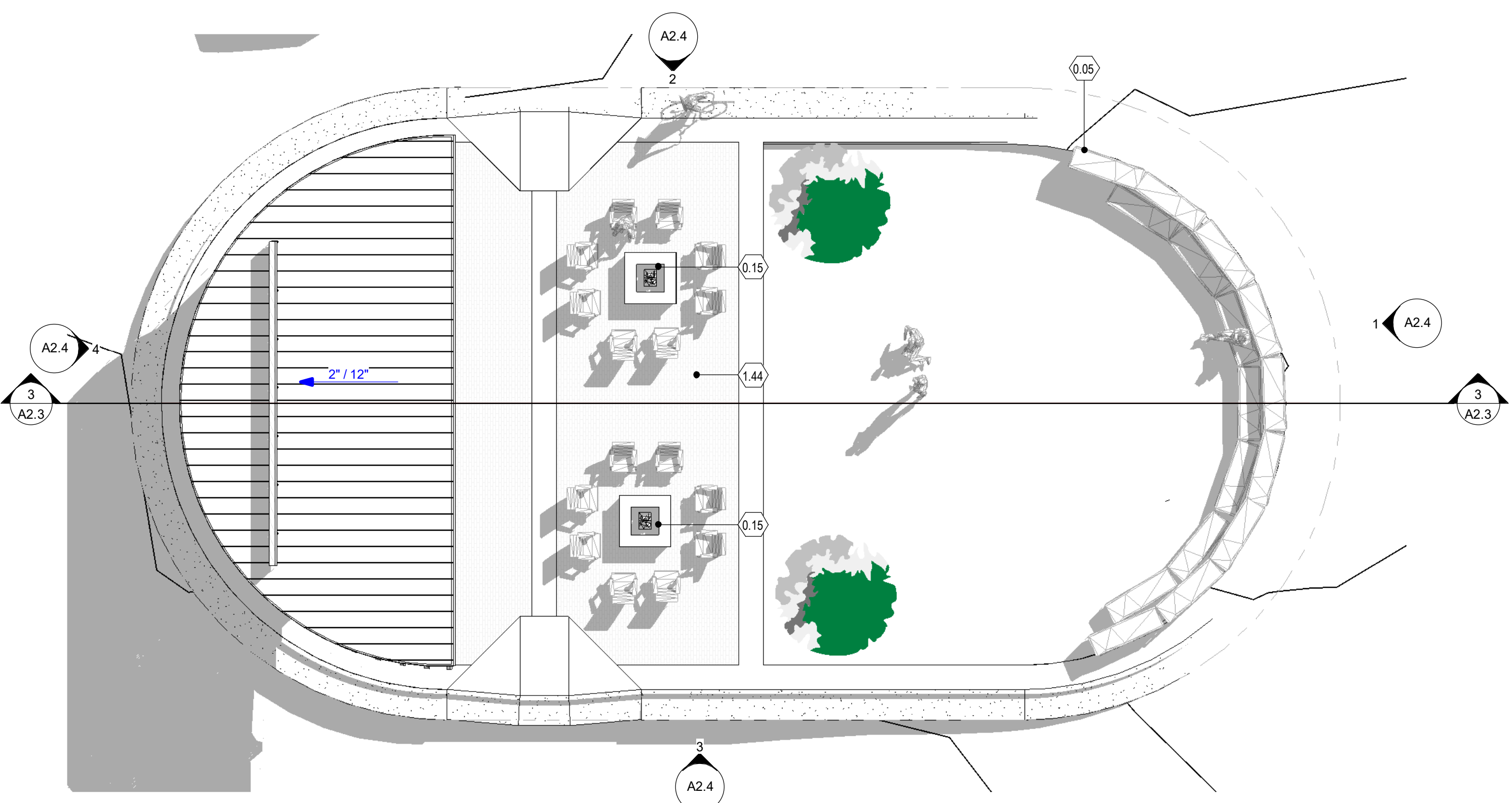
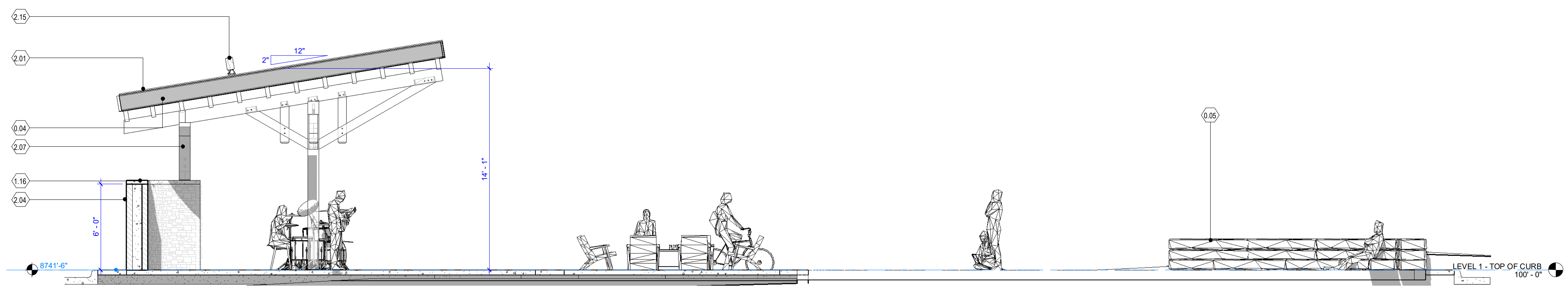
0.05 - AMPHITHEATER BOULDER SEATING

MATERIAL LEGEND - AMENITY AND GATES

GENERAL ROOF PLAN NOTES:

1. SEE BUILDING SECTIONS FOR TYPICAL ROOF CONSTRUCTION.
2. ROOFING CONTRACTOR TO FOLLOW MANUFACTURER'S INSTALLATION SPECIFICATIONS FOR LOW SLOPE ROOFS WHERE APPLICABLE.
3. ROOFING CONTRACTOR TO FOLLOW MANUFACTURER'S FLASHING RECOMMENDATIONS AT ALL EAVES, VALLEYS, ABUTTING WALLS, INTERSECTING WALLS, CHIMNEY VENTS AND STACKS.
4. PROVIDE 5" EXTENSIONS AT ALL DOWNSPOUT LOCATIONS PER CIVIL DRAWINGS, U.N.O., EXCEPT WHERE CONNECTED TO A TIGHTLINE DRAINAGE SYSTEM.
5. LOCATIONS OF ALL TERMINATIONS FOR VENT STACKS, EXHAUST FANS, DRYER VENTS, ETC. MUST BE APPROVED BY ARCHITECT.
6. ALL GUTTERS/DOWNSPOUTS ARE REQUIRED PER SUMMIT COUNTY.

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.04	EXTERIOR LIGHT FIXTURE - DARK SKY COMPLIANT
0.05	AMPHITHEATER BOULDER SEATING
0.15	FIRE PIT
1.16	NATURAL STONE CAP
1.44	BRICK PAVERS
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL, CLASS A ROOF ASSEMBLY
2.04	THIN DEPTH NATURAL STONE VENEER - TELLURIDE GOLD BLEND
2.07	S4S HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE
2.15	HEAVY TIMBER - SNOW GUARDS



SCALE: 1/8" = 1'-0"

0' 4' 8' 16' 32'



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Issue/Revisions Date No.

Project Information

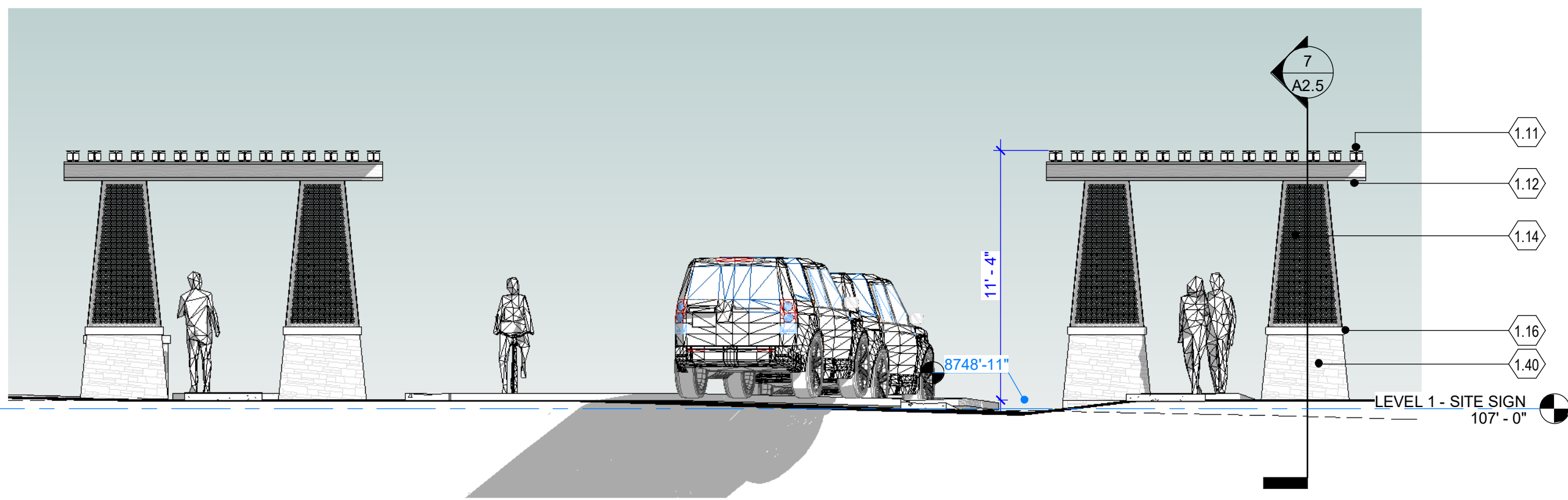
AMENITY CENTER AND GATES  
 OULOT A AND PRIVATE ROW A  
 APRES WAY  
 WINTER PARK, COLORADO

Sheet Information  
 Sheet Title:  
 PLANS AND SECTION - AMENITY CENTER

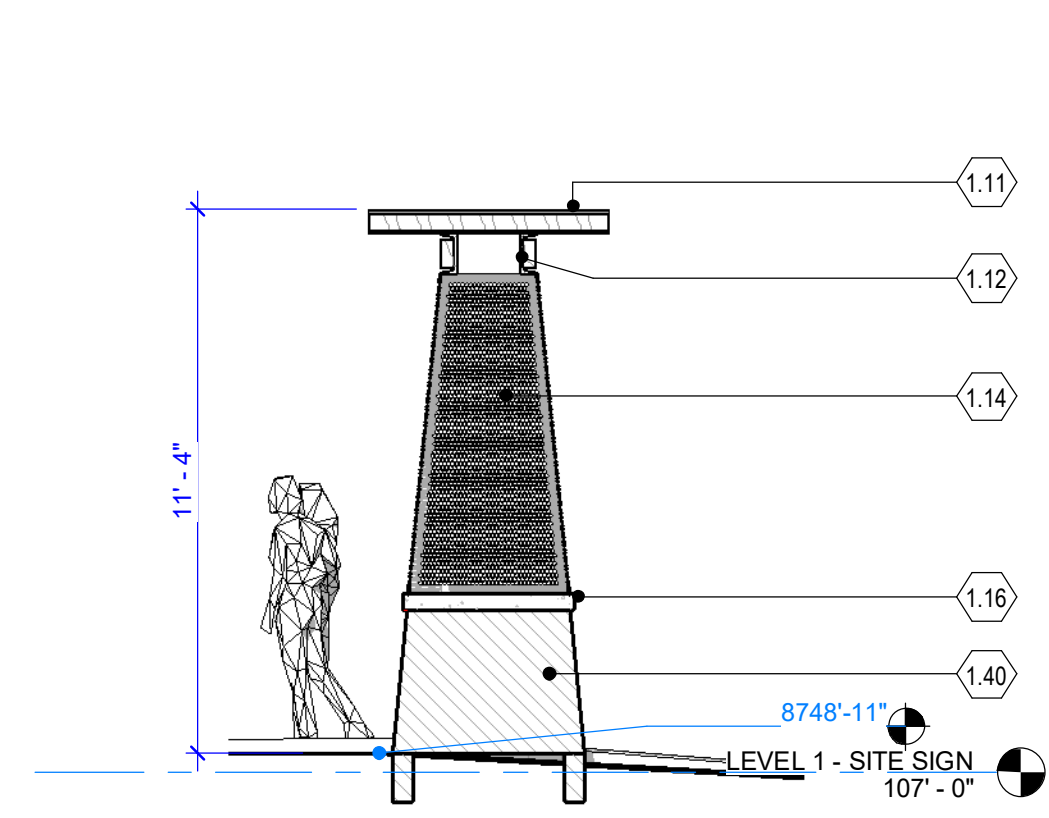
MINOR SITE  
 PLAN  
 APPLICATION 2024.08.19  
 Sheet Number:

A2.3  
 Nassar Project: 2024.037

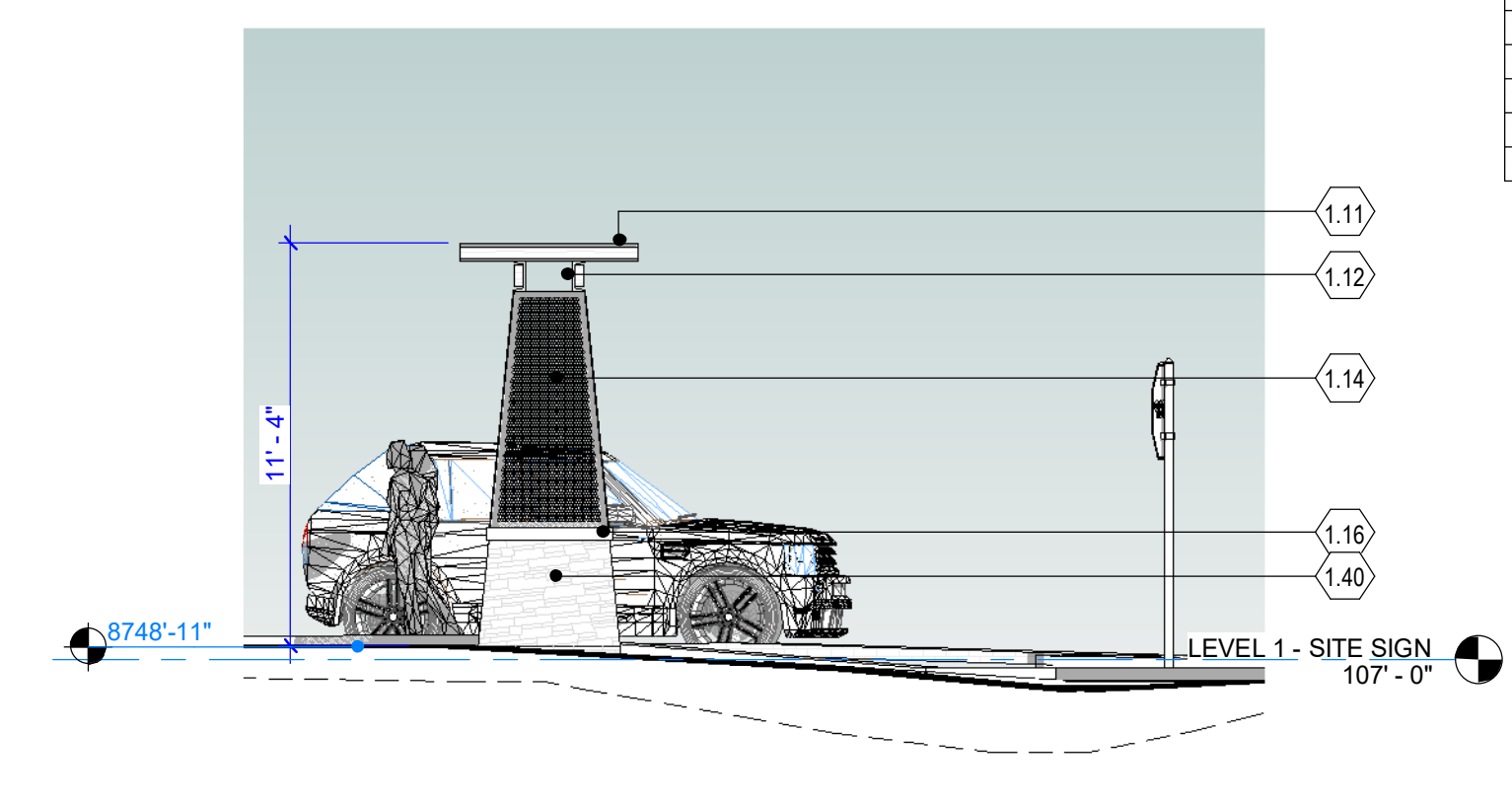




6 WEST ELEVATION - PEDESTRIAN GATE  
3/16" = 1'-0"

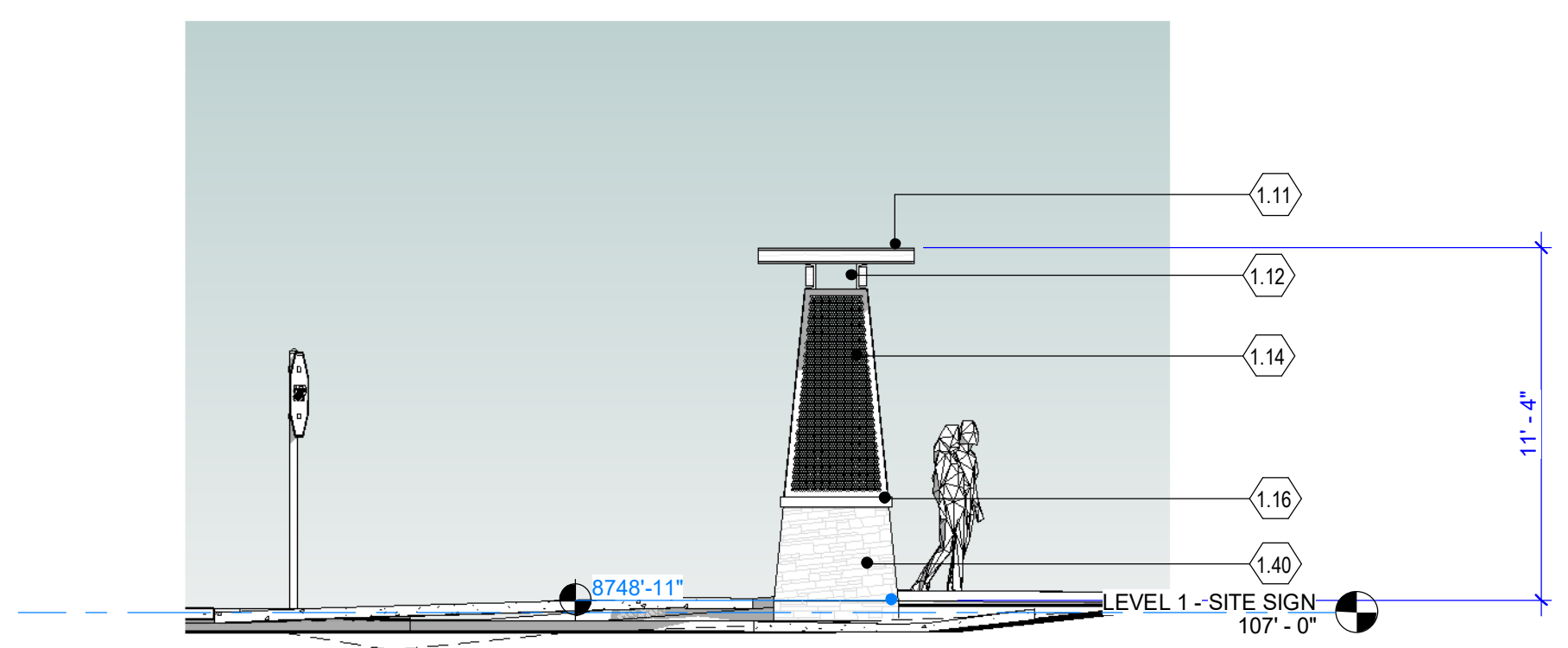


7 SECTION DETAIL AT PEDESTRIAN GATE  
1/4" = 1'-0"

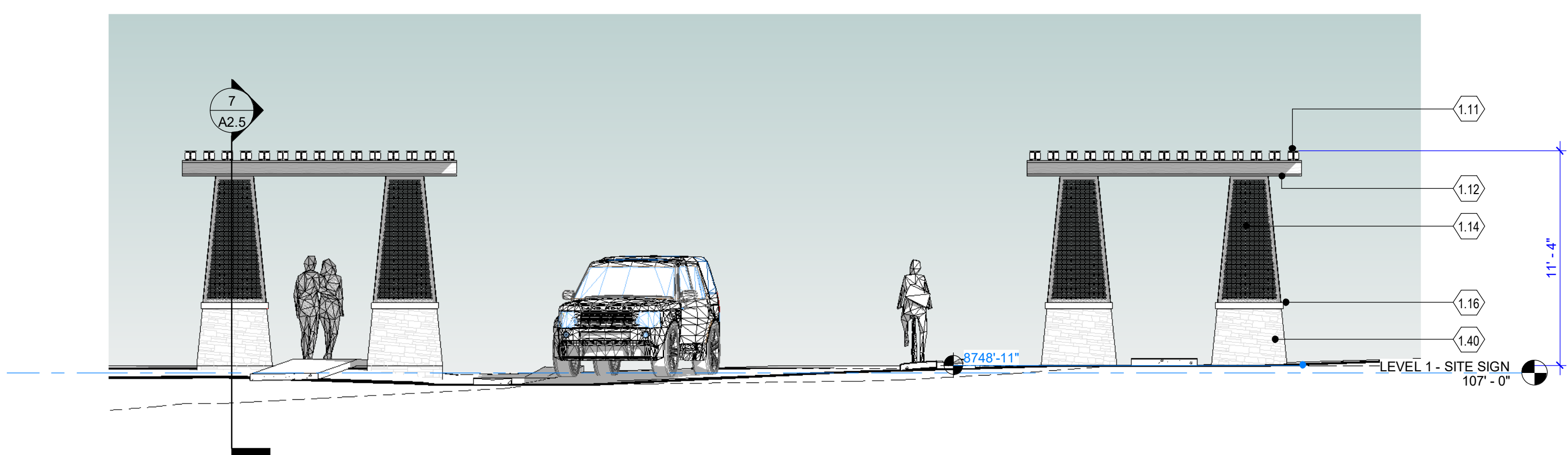


5 SOUTH ELEVATION - PEDESTRIAN GATE  
3/16" = 1'-0"

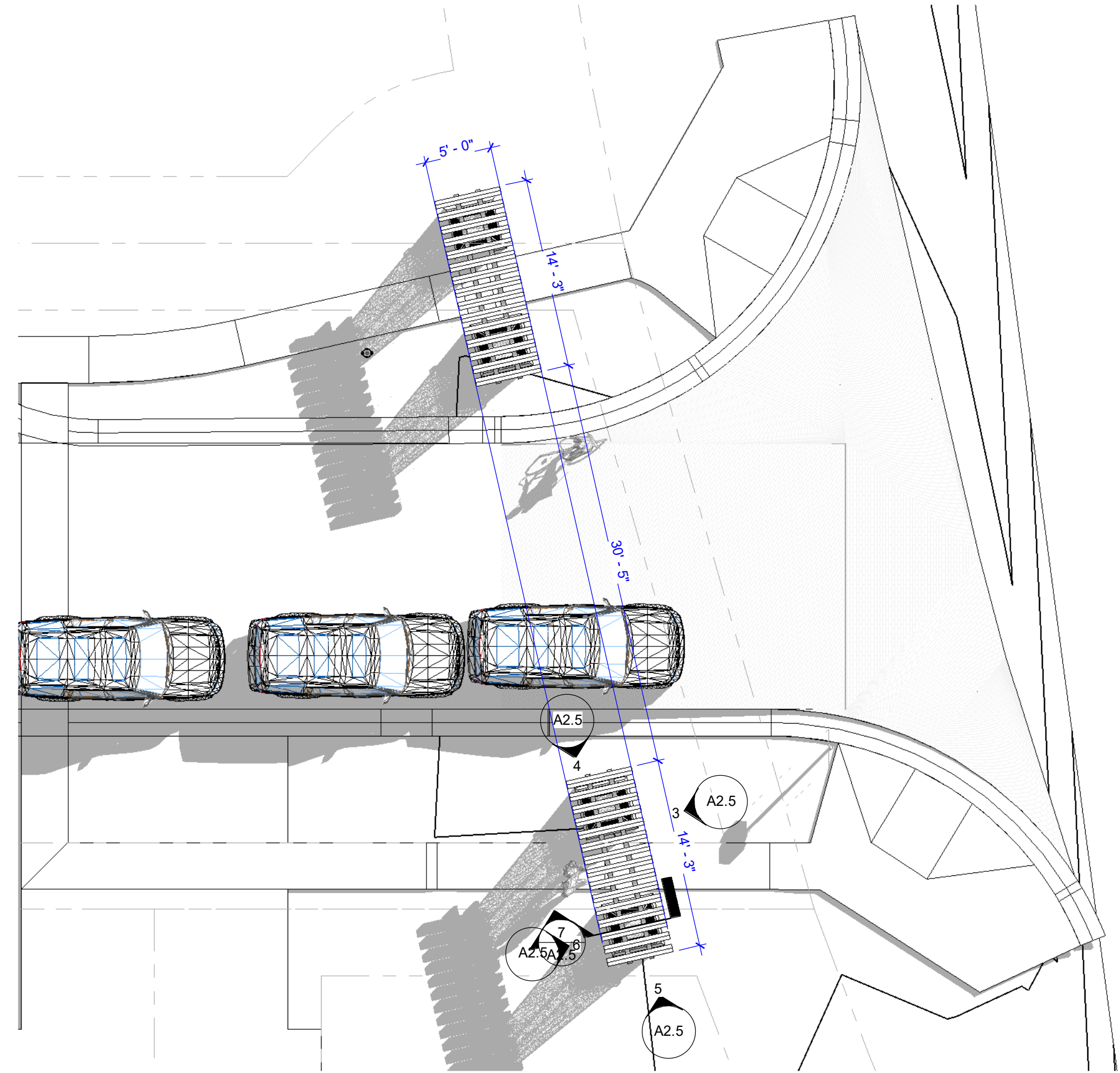
KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.06	CONCRETE SIDE WALK
0.16	ENHANCED PAVING
0.17	ACCESSIBLE RAMP
1.00	FIRE HYDRANT
1.01	STOP SIGN
1.11	W-BEAM AND TIMBER TRELLIS
1.12	MC CHANNEL AND TIMBER CROSS BEAMS
1.14	PERFORATED METAL PANEL - HEXAGON
1.16	NATURAL STONE CAP
1.40	NATURAL STONE VENEER - TAPERED BASE



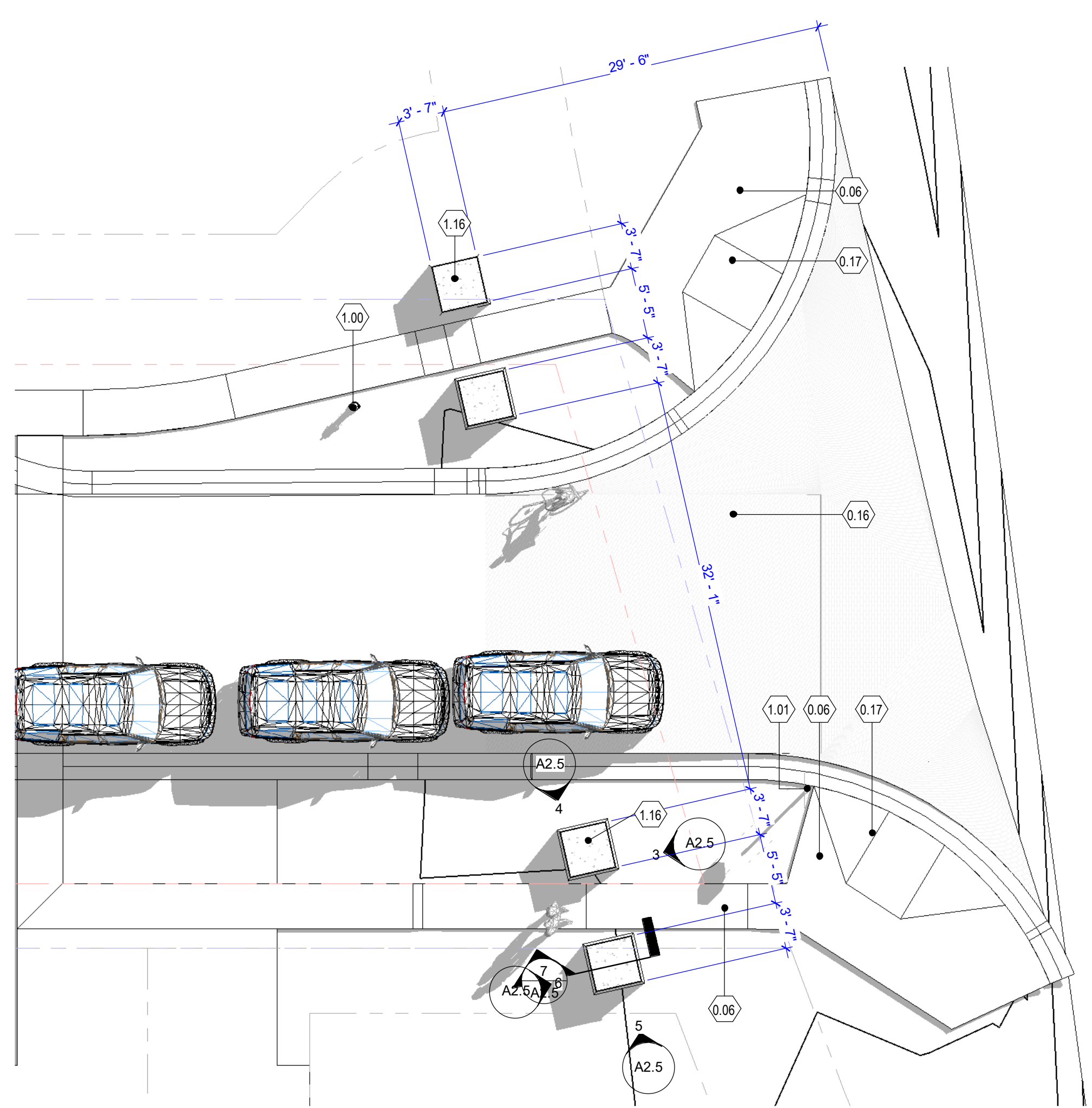
4 NORTH ELEVATION - PEDESTRIAN GATE  
3/16" = 1'-0"



3 EAST ELEVATION - PEDESTRIAN GATE  
3/16" = 1'-0"



2 TRELLIS PLAN AT PEDESTRIAN GATES  
1/8" = 1'-0"



1 PLAN AT PEDESTRIAN GATES  
1/8" = 1'-0"

	1.11 - MC CHANNEL AND TIMBER TRELLIS
	2.01 - STANDING SEAM METAL ROOFING - PATINA COPPER
	2.04 - STONE VENEER - LIMESTONE BLEND
	2.07 - S4S HEAVY TIMBER - GREY SEMI-TRANSPARENT STAIN
	2.12 - CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN
	1.16 - NATURAL STONE CAP
	0.14 - COLUMN BASE WITH CUSTOM STEEL STANDOFF - BLACK PATINA
	2.15 - HEAVY TIMBER - SNOW GUARDS
	0.13 - 2X6 CEDAR WOOD SOFFIT - SEMI TRANSPARENT STAIN
	1.14 - PERFORATED METAL PANEL - HEXAGON

MATERIAL LEGEND - AMENITY AND GATES



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Issue/Revisions Date No.

Project Information

**AMENITY CENTER AND GATES**  
OULOT A AND PRIVATE ROW A  
APRES WAY  
WINTER PARK, COLORADO

Sheet Information

Sheet Title:  
PLANS  
ELEVATIONS AND  
DETAIL AT ENTRY  
GATE

MINOR SITE  
PLAN  
APPLICATION 2024.08.19  
Sheet Number:

**A2.5**  
Nassar Project: 2024.037

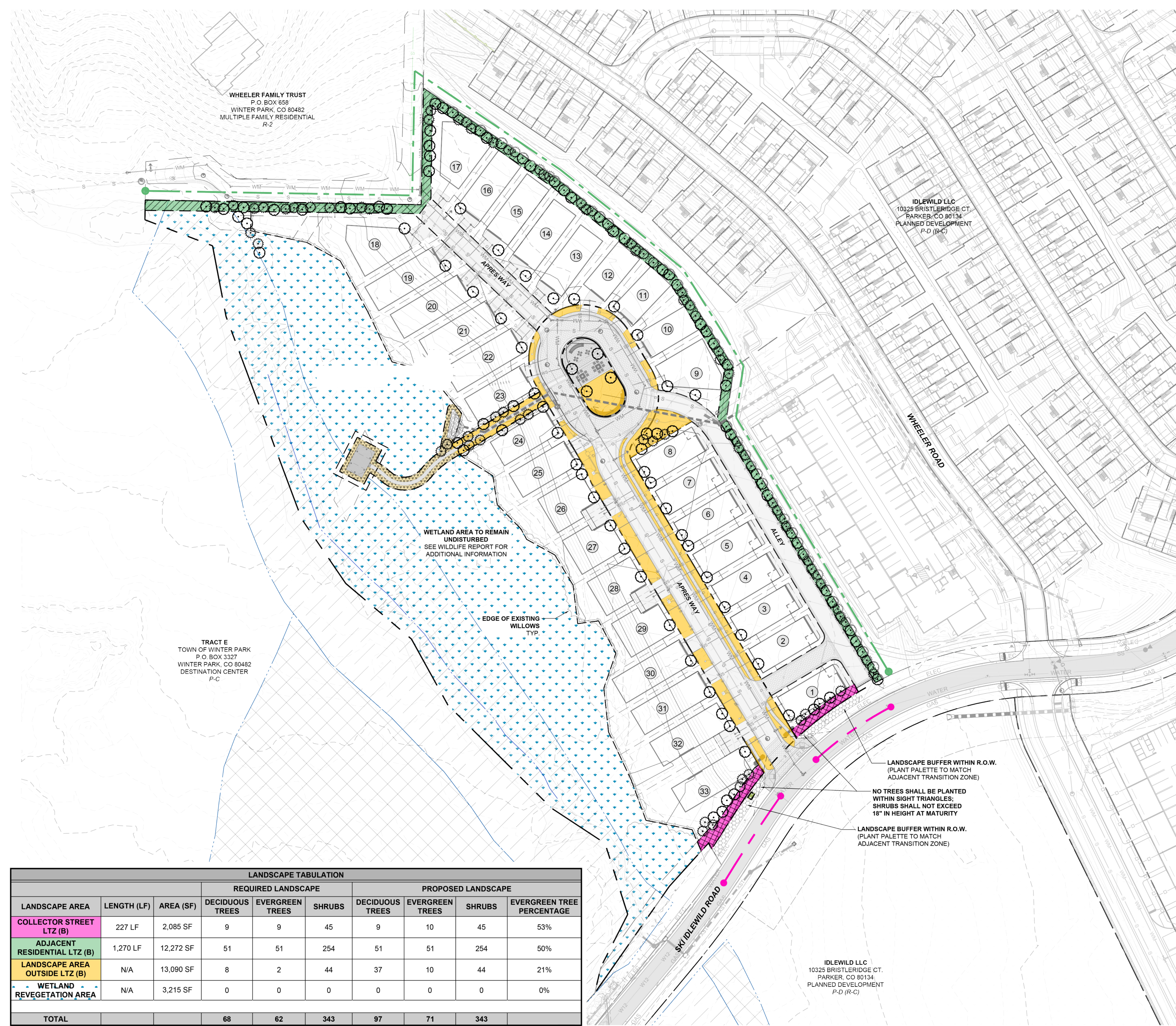
SCALE: 3/16" = 1'-0"  
21'-4"  
12'  
6'  
0'



### LANDSCAPE LEGEND

- LIMIT OF WORK
- DECIDUOUS TREE
- EVERGREEN TREE
- LANDSCAPE AREA OUTSIDE LTZ (B)
- COLLECTOR STREET LTZ (B)
- ADJACENT RESIDENTIAL LTZ (B)
- WETLAND RE-VEGETATION AREA / OUTSIDE LTZ (B)
- PROPOSED LANDSCAPE & MAINTENANCE EASEMENT
- EXISTING WETLAND AREA (TO BE UNDISTURBED)

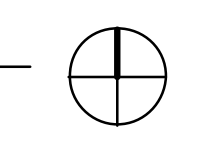
- ### LANDSCAPE NOTES
1. COLLECTOR STREET LTZ (B) - SKI IDLEWILD ROAD IS DEFINED BY THE DEFINED BY THE REQUIRED LTZ ON ADJACENT STREETS. LAND USE CATEGORY EXEMPT. ADJACENT COLLECTOR STREET - VACANT, D-C.
  2. LTZ (B) REQUIRES 4 DECIDUOUS TREES, 4 EVERGREEN TREES, AND 20 SHRUBS PER 100 LINEAL FEET.
  3. MINIMUM LANDSCAPE REQUIREMENTS FOR ADJACENT MULTI-FAMILY LTZ WILL FALL UNDER THE LTZ (B) AREA AND REQUIRES 4 DECIDUOUS TREES, 4 EVERGREEN TREES, AND 20 SHRUBS PER 100 LINEAL FEET.
  4. LANDSCAPE AREA OUTSIDE LTZ (B) IS DEFINED AS "AREAS OUTSIDE LTZs BUT WITHIN SEVENTY-FIVE FEET (75') OF BUILDINGS, RECREATION STRUCTURES, PARKING LOTS, DRIVEWAYS AND ROADS". LANDSCAPE MINIMUM REQUIREMENT IS 1 TREE AND 5 SHRUBS PER 1,500 SF OF AREA. ATLEAST 20% OF BOTH THE TREES AND SHRUBS SHALL BE EVERGREEN.
  5. ALL LANDSCAPE DEFINITIONS AND REQUIREMENTS ARE BASED ON THE TOWN OF WINTER PARK LANDSCAPE DESIGN AND REGULATIONS AND GUIDELINES.
  6. WITHIN SNOW STORAGE AREAS, GROUND COVER SHALL BE USED SO THAT THE VISIBLE COBBLE/MULCH COVERS LESS THAN 50% WITHIN THREE YEARS AFTER PLANTING.
  7. LANDSCAPE LIGHTING IS PROHIBITED IN RES ZONE DISTRICTS (R-1 & R-2) AS OUTLINED IN GUIDELINE 6 OF THE RES ARCHITECTURAL GUIDELINES AND DESIGN REGULATIONS.
  8. ALL PERIMETER & PRIVACY FENCES ARE TO BE NO GREATER THAN 5' HT. (SEE SITE DETAILS FOR CONCEPTUAL FENCE SPECIFICS)
  9. FINAL PLANT MATERIAL WILL BE DETERMINED AT THE TIME OF CONSTRUCTION BASED ON INDUSTRY AVAILABLE PLANT MATERIAL.
  10. GRADING TO BE APPROVED PRIOR TO PLANTING. ALL TREES ARE TO BE STAKED WITH WOOD LATH WITH SPECIES AND SIZE LABELS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  11. ALL TREES SHALL BE INSTALLED PRIOR TO SHRUB, PERENNIAL & GROUND COVER MATERIAL.
  12. THE HORIZONTAL DISTANCE BETWEEN TREES AND ANY SITE UTILITIES OR INFRASTRUCTURE SHALL BE IN COMPLIANCE WITH CODES OF THE LOCAL GOVERNING AUTHORITY.
  13. ALL TURF AREAS ARE TO BE SEED - PBSI SHADY LAWN MIX AVAILABLE FROM PAWNEE BUTTES SEED, INC. OR APPROVED EQUAL. SEED TO BE HYDROSEEDED AND APPLY FERTILIZER AT 400 LBS PER ACRE OF 10-20-20. PROVIDE SOIL AMENDMENT OF PREMIUM 3 COMPOST (AVAILABLE FROM PIONEER SAND). INCORPORATE MIN. 4 CUBIC YARDS PER 1,000 SQUARE FEET AND TILL TO A DEPTH OF 6" INCHES.
  14. ALL PLANTING MIX AREAS TO RECEIVE SOIL AMENDMENT OF 5 CY / 1,000 SF.
  15. SOIL AMENDMENT TO BE BIOCAMP CLASS 1 COMPOST. TILL IN SOIL AMENDMENT TO DEPTH PER DETAIL (TBD).
  16. STOCK TOPSOIL PER CIVIL PLANS.
  17. MULCH TO BE 3" DEPTH RED CEDAR WOOD MULCH (PROVIDE SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION).
  18. IRRIGATION SYSTEM TO BE A COMPLETE, AUTOMATIC, BELOW-GRADE SPRINKLER SYSTEM CONSISTING OF SPRAY HEADS AND DRIP LINES (WHERE APPROPRIATE). THE SYSTEM WILL BE DESIGNED AN IRRIGATION SPECIALIST (IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL CODES) & THE PLANS WILL BE INCLUDED IN THE BUILDING PERMIT SUBMITTAL SET.



LANDSCAPE TABULATION									
LANDSCAPE AREA	LENGTH (LF)	AREA (SF)	REQUIRED LANDSCAPE			PROPOSED LANDSCAPE			
			DECIDUOUS TREES	EVERGREEN TREES	SHRUBS	DECIDUOUS TREES	EVERGREEN TREES	SHRUBS	EVERGREEN TREE PERCENTAGE
COLLECTOR STREET LTZ (B)	227 LF	2,085 SF	9	9	45	9	10	45	53%
ADJACENT RESIDENTIAL LTZ (B)	1,270 LF	12,272 SF	51	51	254	51	51	254	50%
LANDSCAPE AREA OUTSIDE LTZ (B)	N/A	13,090 SF	8	2	44	37	10	44	21%
WETLAND REVEGETATION AREA	N/A	3,215 SF	0	0	0	0	0	0	0%
<b>TOTAL</b>			<b>68</b>	<b>62</b>	<b>343</b>	<b>97</b>	<b>71</b>	<b>343</b>	

SCALE: 1" = 20'-0"

1 LANDSCAPE PLAN  
1" = 20'-0"





Draft  
08/15/24

Consultant

Issue/Revisions Date No.

Project Information

**RiverWalk  
at Winter  
Park**  
Ski Idlewild Road  
Winter Park, CO

#	Date	Description

Project No: 22206B  
By: DASH  
File: 22206B-1.dwg

Photometric Plan

Sheet

**C-101**

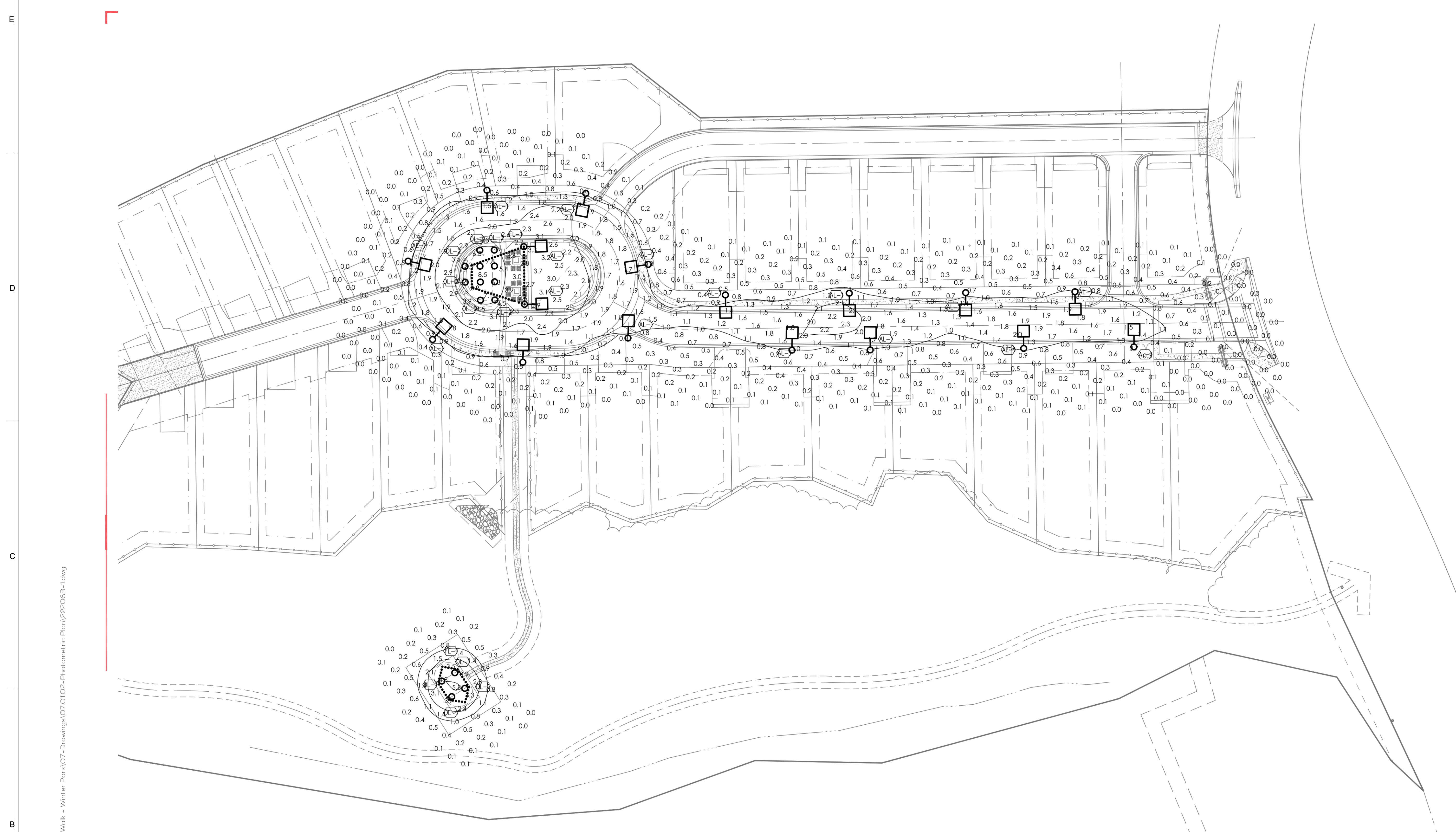
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PHOTOMETRIC  
PLAN

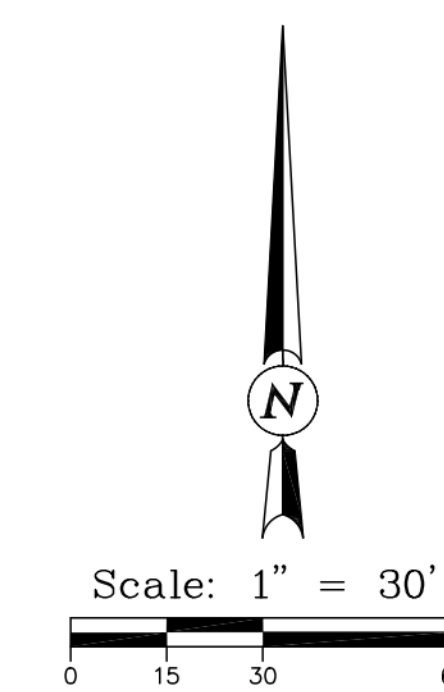
MINOR SITE  
PLAN  
APPLICATION 2024.08.19  
Sheet Number:

**C-101**

Nassar Project: 2024.037



**1 PHOTOMETRIC PLAN**  
SCALE: 1" = 30'



SCALE: 1" = 30'-0"  
0' 15' 30' 60' 120'

**1 PHOTMETRIC PLAN**  
1" = 30'-0"

Z:\SiteWorks\Projects - Documents\2022 Projects\22206 RiverWalk - Winter Park\07-Drawings\07.01.02-Photometric Plan\22206B-1.dwg



**Consultant**

**Issue/Revisions Date No.**

**Project Information**

**PAVILION - OUTLOT D**  
APRES WAY  
WINTER PARK, COLORADO

**Sheet Information**

Sheet Title:  
**LIGHTING DETAILS**

MINOR SITE  
PLAN  
APPLICATION 2024.08.19  
Sheet Number:

**C-201**

Nassar Project: 2024.037

siteworks  
creativity for  
the built environment

Draft  
08/15/24

**RiverWalk at Winter Park**  
Ski Idlewild Road  
Winter Park, CO

#	Date	Description

Project No:	22206B
By:	DASH
File:	22206B-1.dwg

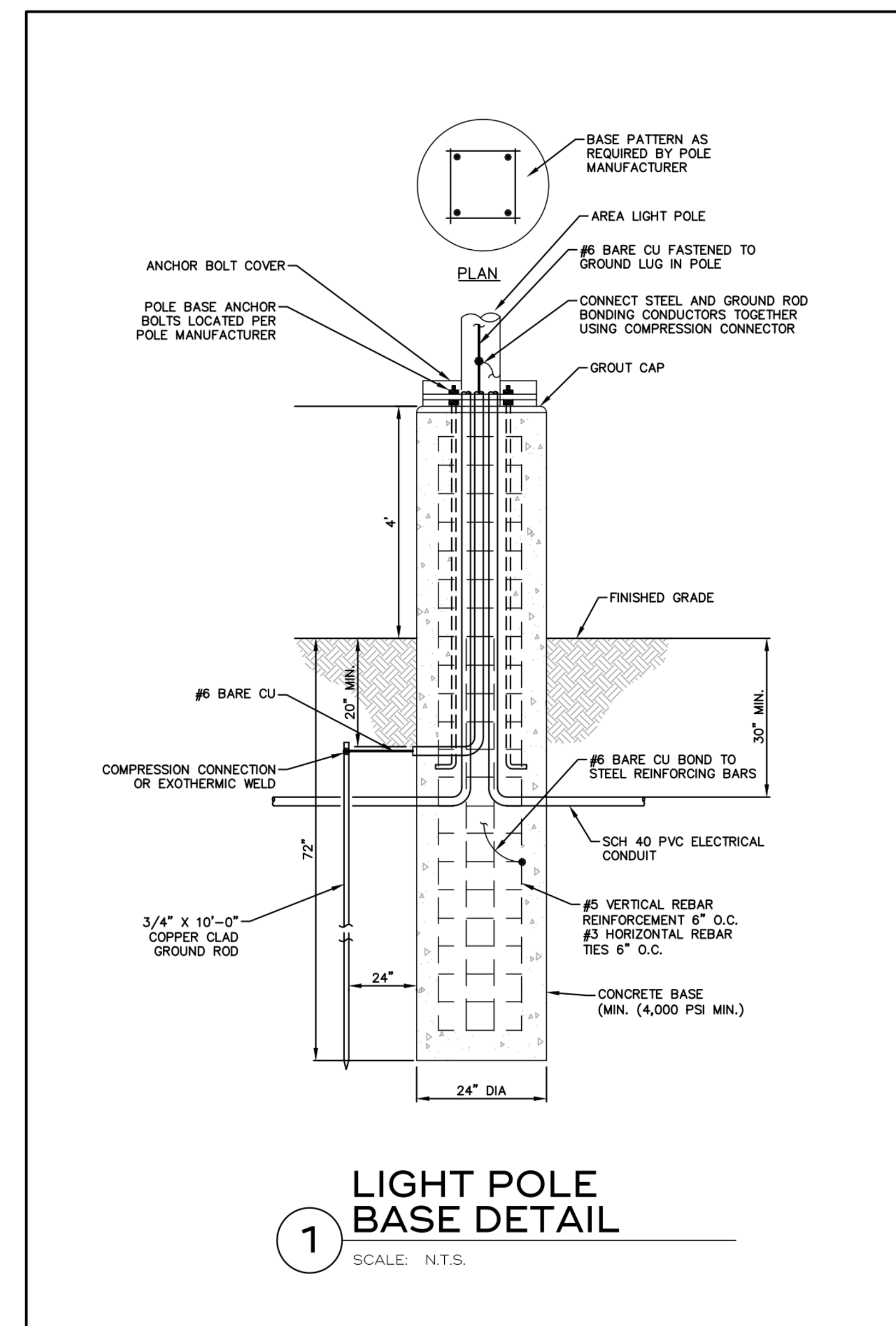
**Lighting Details**

Sheet

**C-201**

LUMINAIRE SCHEDULE									
CALLOUT	SYMBOL	DESCRIPTION	MODEL	VOLTS	MOUNTING	HEIGHT	ARM LENGTH	QUANTITY	NOTE 1
AL-1		AREA LIGHT	BEACON, URBAN SERIES URB-CAP-26-1BL-25-3K7-4W	120V 1P 2W	POLE	17'	5'	17	IDA DARK SKY COMPLIANT. 17' CUSTOM STEEL POLE
DL-1		6' ROUND CEILING MOUNT CYLINDER, RIDGID PENDANT MOUNT.	SPECTRUM LIGHTING, 6' ROUND DIRECT, CEILING MOUNT, CW606TD-10L-30K-EX-SO-MW	120V 1P 2W	CEILING	15'	0'	4	IDA DARK SKY COMPLIANT. WILDLIFE FRIENDLY. RIDGID PENDANT MOUNT.
DL-2		4' ROUND DEEP RECESSED DOWNLIGHT	SPECTRUM LIGHTING, 4' ROUND DEEP DOWNLIGHT, SR4MOTD-10LE1-RDD4x-30K-MWxGL	120V 1P 2W	CEILING	15'	0'	10	IDA DARK SKY COMPLIANT. WILDLIFE FRIENDLY
FL-1		FESTOON LIGHT	ALUZ, A5-ZOZO-BLL-27K-GSFL-3W	120V 1P 2W	CEILING	15'	0'	97	IDA DARK SKY COMPLIANT. 24" O.C. SPACING

GENERAL PHOTOMETRIC SCHEDULE	
AVERAGE FOOT-CANDLES	0.79
MAXIMUM FOOT-CANDLES	8.5
MINIMUM FOOT-CANDLES	0.0
MINIMUM TO MAXIMUM FC RATIO	0.00
MAXIMUM TO MINIMUM FC RATIO	8.45 / 0.00
AVERAGE TO MINIMUM FC RATIO	0.79 / 0.00



**1 LIGHT POLE BASE DETAIL**  
SCALE: N.T.S.

**1 LIGHTING DETAILS**  
Not To Scale









**MEMO**

**TO** Planning Commission  
**FROM** Shelia Booth, AICP, CPS Contracted Planner  
**THROUGH** James Shockey, AICP, Community Development Director  
**DATE** September 10, 2024  
**RE** PUBLIC HEARING: Major Site Plan (MSP) – 1097 Winter Park Drive (PLN23-098)

**Property Owner:** LXXTWO, LLC

**Applicant:** Devin Visciano, White Development, LLC

**Architect:** Adam Harding, AIA, Roth Sheppard Architect, LLC

**Location:** 1097 Winter Park Drive

**Legal Description:** Lot A, Block 3, Winter Park Village, Town of Winter Park, County of Grand, State of Colorado.

**Zoning:** Limited Commercial, C-1

**Authority:**

Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Planning Commission shall review and recommend or approve applications as shown in Table 5-B-3, Development Review Procedures Summary Table.

**Major Site Plan Procedure & Approval Criteria:**

UDC § 5-E-1 G. 2. e.: *Planning Commission Action*. After agency and DRC comments have been resolved and proper public notice posted, the Planning Commission shall:

1. By majority vote, approve, approve with conditions, or deny the site plan as outlined in Sec 5-A-3(C), *Procedures*.
2. Hold a public hearing prior to taking action on the proposed site plan; and
3. Receive a written recommendation from the Director regarding the proposed site plan.

UDC § 5-E-1(H). Approval Criteria. The site plan shall be evaluated and may be approved in accordance with the following criteria:

1. Comprehensive Plan. Conformance with the Comprehensive Plan;
2. This UDC. Conformance with the standards of this UDC; and
3. Design Guidelines. Conformance with the Design Guidelines in Appendix A.

This report includes comments from Town staff that should be considered as a part of the application decision.

**§ 5-B-8 Public Notice Requirements:**

This application has had proper public notification pursuant to § 5-B-8 of the UDC. A Newspaper Publication (PUB) was published in the Middle Park Times on August 30, 2024, providing notification



of the hearing and requesting comments. A Surrounding Property Owners Mailing (ML) was sent to property owners within 300' of the property on August 27, 2024. A Property Posting (PO) was posted on August 27, 2024.

As of September 5, 2024, staff has received one letter expressing specific concerns with the development. A copy of the letter is included in the packet.

**Project Overview:**

The proposed project is a three-story "Mixed Use" building and land use which comprises a combination of (2) main level commercial spaces (1,362 SF Retail and 1,419 SF Restaurant w/ 1,000 SF Outdoor Patio), and (9) multifamily apartment units above within the second and third floors, marketed as for-sale condominium units. One commercial space will be built out for a restaurant ready tenant, and the other space will be for retail, (the Alpine Sun Ski Shop has committed to relocating back as the original business on this site, upon final construction).

The condominium units within the singular building are further defined as: six (6) split level 2 bed/2.25 bath with end units being 1,304 SF and 1,468 SF, and interior units being 1,288 SF. Additionally, there are three (3) single level 1 bed/1 bath units being 628 SF and 680 SF which will be added to the town's long-term workforce housing program. On-site residential amenities will include secured bike and ski storage lockers at the main level lobby and a 3rd-floor common recreation area with pool table, fireplace, and lounge seating.

As the residential units are anticipated to be for-sale condominiums, a condition of this Site Plan approval will be for the following future application steps:

- Applicant shall submit for administrative review and approval a Condominium Plat (per the UDC § 5-D-2(D) and 5-D-9) once construction is complete and prior to the transfer or sale of property to establish airspace rights of ownership per unit and define maintenance obligations and fees for condominium common elements, infrastructure and landscaping.
- Applicant shall submit a Homeowners' Association (HOA) Declaration of Covenants for administrative review defining maintenance obligations and fees for condominium common elements, infrastructure, and landscaping.

The mixed-use building is located within the Old Town area of Winter Park and will have a half mile/8-10-minute walk to the Winter Park Ski Area Base and Winter Park Express Amtrack Station, and will be adjacent to residential, lodging and commercial uses along Winter Park Drive. Many of the project's services, amenities and residential density support the guiding principles and strategies outlined in the town's 2019 Imagine Winter Park Town Plan.

**Variances:**

The Board of Adjustment (BOA) at their July 9, 2024, meeting held a public hearing and considered and granted a parking variance (PLN24-051), as presented by the applicant. The variance justifications were based on site condition hardships which affect the "residential" mixed-use nature of the project and prevent direct compliance to the UDC Table 3-H-3-1 and Table 3-H-3-2 for residential and non-residential parking requirements. The project's "non-residential/commercial" mixed-use parking will comply with the UDC and are marked as on-street parallel parking. Thus, the BOA approved the variance reducing the off-street multifamily parking requirement from 13 spaces to 9 spaces, which is reflected in the project's (PLN23-098) Site Plan/ Sheet AS.01 Parking Calculations chart. The BOA stated the following condition of approval,



- *“The Declaration of Covenants and as-built shall include language indicating only one parking space is provided per unit and on-street overnight parking is not permitted for residential use.”*

CPS planning and town planning have worked with the applicant during the project’s development review to approve an administrative variance, per UDC 3-I-2-C-3 for deficiencies of perimeter landscape bufferyard plantings based on available planting area. The site’s geometry, which is bounded by ROW and access drives on three sides, in addition to the proposed 8ft wide Fraser River Trail parallel to Winter Park Drive, limits adequate planting width for required Type A bufferyard trees and shrubs. The Site Plan/ Sheet A9.00 and the Landscape Plan indicate how ornamental grasses and perennial flowers will be used within the thin planting area framed by the trail sidewalk and retail sidewalk, in addition to planter boxes located against the building’s main linear walls to activate the street-side public realm. The Landscape Plan is approved to use a Modified Type A bufferyard/plantings along Winter Park Drive and a Modified Type B bufferyard/plantings along the other 3 property sides.

**Density:**

N/A. Satisfactory. Per Table 3-A-5 Nonresidential and Mixed-Use Building Standards, there is no max density requirement established.

**Construction Plans:** ([View Construction Plans here.](#))

Not Satisfactory. The applicant resubmitted the Construction Plans with the 2<sup>nd</sup> project submittal (date 2024-04-03) including demolition plan, horizontal control plan, utility plan, grading plan, ADA route, erosion control plan, construction details, dry well drainage detail, and storm water management plan details. With the completion of the town’s 3<sup>rd</sup> development review on 9/3/2024, there are minor comments requiring an updated resubmittal to coincide with this agenda item. Additionally, other review agencies have not had the opportunity to review the plans.

- Applicant shall address all outstanding comments from review agencies for the construction plans dated April 3, 2024, prior to final approval of construction documents by the Town.
- Applicant shall revise sheets per CPS Planning’s 3<sup>rd</sup> Comments regarding complete labeling of the split 10.00’ Utility Easement Rec. 90263 along the southwest property line as indicated and adding “no overnight parking” signage details for on street parking.

**Access:**

Satisfactory. Retail access to the site is provided by Winter Park Drive, an existing 45’ ROW, and residential access is provided by Cedar Drive, an existing 30’ ROW, which is a paved access drive at the true southwest project corner. There is no paved vehicular access to Balsam Drive at the project’s true southeast corner, however there is pedestrian and bike access with use of the proposed 8 foot concrete hike and bike trail between the parallel parking area and retail sidewalk.

**Transit:**

Satisfactory. There is an off-site transit bus shelter located immediately adjacent to the site on the opposite corner of Cedar Drive and Winter Park Drive, operated by The Lift public transportation system. Additionally, patrons and residents of this site will have a short walking distance southward to the Winter Park Express Amtrack Station at the Winter Park ski area base village. No additional transit infrastructure is required for this project.



**Pedestrian Access:**

Satisfactory. As stated previously throughout this report, the applicant has designed and will construct the proposed integrated 8 foot wide concrete trail as an extension of the Fraser River trail along Winter Park Drive, between Cedar Drive and Balsam Drive. Pedestrian circulation will mainly be focused southward connecting to the Winter Park ski village.

**Parks, Trails, and Open Space**

Satisfactory. No additional parks, trails and open space are planned with this development. The project's 8 foot wide concrete trail as an extension of the Fraser River trail along Winter Park Drive meets the intent of the Old Town South existing trail plan within the town's 2014 Winter Park and Fraser Community Trails Plan. The applicant will be required to comply with Section 4-B-3, Land Dedication.

**Parking:**

Satisfactory. Per the UDC § 3-H-3(E)/Table 3-H-3-1 and Table 3-H-4, the below parking calculations apply. As stated above in the Variance section of this report, on 7/9/24 the BOA granted a parking variance amending the parking for 2-bedroom units for this project to accommodate the maximum potential for residential parking within the site's property boundary.

<b>Requirement</b>	<b>Required</b>	<b>Provided</b>
Multifamily Apt 1-BR	(1 space/ 1Bed) = 3 x (1 sp.) = 3	3
Multifamily Apt 2-BR <i>* BOA reduced the required parking for 2-Bedroom based on site conditions.</i>	<i>(1 space/ 2 Bed) = 6 x (1 sp.) = 6</i>	<b>6</b>
Guest Parking	(1 space / 10 units) = 1 (per 9 units)	1
<b>Subtotal</b>	<b>10 spaces</b>	<b>10 spaces</b>
Future Restaurant	(1 space/ ea. 250 SF of customer access area) = 980 SF / 250 = 4	8 total On-Street parking spaces available
Tenant Retail	(1 space/ every 800 SF of GFA, excluding storage and maintenance) = 773 SF / 800 = 1	
<b>Subtotal</b>	<b>5 spaces</b>	<b>8 spaces</b>
ADA Parking	1	1
Ordinance 6.10	a. Permits on-street parking to count toward non-residential parking in the C-1 zoning district, b. For non-residential uses in C-1 zoning and located within 600ft. of a transit stop, the Director may authorize the reduction of (1) off-site parking or up to a 10% reduction, whichever is greater.	
<b>Total</b>	<b>19 (-1) = 18</b>	<b>18</b>

**Setbacks:**

Satisfactory. Per the UDC § 3-A-5/Table 3-A-5, Non-Residential and Mixed-Use Building Standards, the applicable setbacks for mixed uses in C-1 zoning are:

- 5' Front Setback, 5' Side Setback, 7.5' Corner Setback, and 5' Rear Setback.







<b>EP</b> Kim Lighting, UR20 Post Top Pole, 14' height, type 2 optics	2	862	1,724	2700K
<b>RL</b> Relocated LED sidewalk/pedestrian light pole previously place to light the Winter Park ROW and existing trail demarcation.	1	800	7,500	4000K

- Applicant shall revise the Photometric Plan and Major Site Plan Application Form (re: Outdoor Lighting Tabulation) and resubmit providing verification of IDA compliance for fixtures E1 and E2 with an updated product specification, and a revision to the chart on the Application Form to match the Photometric Plan.

**Floorplans:**

Satisfactory. The proposed Floor Plans depict individual 1- and 2-bedroom units with private entrances from the 2<sup>nd</sup> floor corridor and separated by a demising party wall which meets the UDC § 7.C. "Definitions" for "Apartment".

**Building Height:**

Satisfactory. Per the UDC § 3-A-5/Table 3-A-5, Non-Residential and Mixed-Use Building Standards, the maximum height for mixed use building in C-1 zoning is 35 feet. The proposed project's Elevations depict compliance of 35 feet at the mid-slope of the "saw tooth/shed" roof forms, following the UDC § 3-A-7-E/Figure 3-A-7-5 for Measuring Building Heights at Roof Types.

**Building Elevations:**

Satisfactory. The proposed project complies with the 2021 Update to the Design Guidelines. Additionally, the building's modern architecture provides a high-quality visual interest with the play of symmetric and asymmetric building forms.

**Signage:**

Satisfactory. The elevations depict an overall building sign on the main elevation and two (2) retail tenant wall signs for context to the proposed commercial uses at the building's main level. Any site or building signage will be reviewed administratively via a separate Sign Permit Application.

**Bufferyards and Revegetation:**

Satisfactory. The project is subject to the requirements in the UDC § 3-I-5(C)/Table 3-I-5-1, Bufferyard Classifications, § 3-I-5(D)/Table 3-I-5-2, District Buffer Yard Standards, and Table 3-I-5-3, Bufferyard Requirements for Streets.

<i>Property Zoning</i>	<i>Adjacent Property Zoning</i>	<i>Bufferyard Type Required</i>	<i>Bufferyard Type Provided</i>	<i>Bufferyard Complies/Deficient</i>
C-1	N / C-1 & Non-Res. Collector S / R-20 E / C-1 W / C-1	B, modified to A B A B	NA B Modified NA B Modified	Deficient, due to site conditions Deficient, due to site conditions Deficient, due to site conditions Deficient, due to site conditions



*Town staff confirmed on 12/11/2023, the applicant could apply Section 3-I-5-H to provide a Type A Bufferyard at Winter Park Drive.*

As stated above under "Variance", the applicant requested and received staff approval for a Landscape Variance to provide a Modified Type A bufferyard/plantings along Winter Park Drive and a Modified Type B bufferyard/plantings to compensate for minimal compliance to Type A and B along the other 3 property setbacks. The site is constrained by its geometry which is bounded by ROW and access drives on three sides, in addition to the proposed 8ft wide Fraser River Trail parallel to Winter Park Drive which limits adequate planting. The use of ornamental grasses and flowers within street side planting areas and planter boxes are an agreed solution to meet the Type A bufferyard intent. The Modified Type B Bufferyard is approved as proposed as it concentrates plantings within available open space areas at the north and southeast property sides due to direct paving on the south and west sides.

**Erosion Control / Drainage Plan / Drainage Report:**

Partially satisfactory. The Erosion Control Plan, Grading Plan and Drainage Report have been reviewed by the Town Engineer per UDC § 3-F-3. The Town Engineer might have a few outstanding/unresolved comments per the issued 4/26/2024 JVA review letter regarding dry well capacity for historic storm events and the down-stream discharging of the trench drain located next the retail sidewalk and street-side planting area. Refer to the Construction Plans/ Sheet OU1.

- Applicant shall coordinate and resolve all outstanding comments made on the 4/26/2024 JVA review letter regarding the dry well and trench drains as indicated on the Construction Plans/ Sheet OU1, prior to final approval of the Site Plan and Construction Plans.

**Snow Storage:**

Partially Satisfactory. The Site Plan and Snow Storage Table have been reviewed for compliance with the UDC § 3-H-5(A), Snow Storage, and is found to be compliant. Based on impervious surface data, a minimum area of 25% (1,581 SF) is required. The proposed snow storage provided is 25% (1,581SF), made up of 607 SF of on-site snow storage as indicated on the Site Plan/ Sheet C1.01 and a remainder of 974 SF to be hauled off or snow melted to meet full compliance. Per discussions with town staff on 8/16/2024, the below agreement was made,

- The applicant shall finalize and submit a plan and agreement regarding snow removal and off-site storage to town planning staff as a condition of approval to the Major Site Plan application.

**5% Land Dedication:**

Satisfactory: Section 4-B-3 of the UDC requires either the dedication, reservation or conveyance of areas suitable for public purposes such as parks, flood channels, scenic areas and greenbelts of five percent (5%) of the total area of the subdivision, or a payment in lieu of such dedication. Since there is no land that the Town desires for parks and open space, a fee in lieu shall be paid to the Town in accordance with § 4-B-6, Fee-in-Lieu.

**School Impact Fee:**

Satisfactory: Dedication of a school site was not deemed reasonably necessary for this project; therefore, it is subject to a fee-in-lieu of dedication. Section 4-B-6 of the UDC states the payment of cash by the applicant is subject to the land calculations rates of Table 4-B-3, School Land Dedication Calculations. Resolution 2050, Series 2023 set the price per unit. The school impact fees shall be payable prior to as-built plat recordation.



**Development Improvements Agreement (DIA):**

Partially Satisfactory: A [Development Improvement Agreement](#) and IA are not required with this project. Per the Town Engineer's 4/26/2024 JVA review letter, the applicant shall update the [Engineer's Estimate of Probable Costs \(EEOPC\)](#) to include all improvements both onsite and offsite, and to include costs to relocate the existing power pole and light pole. A revised EEOPC was submitted with the 8/22/2024 resubmittal, yet it has not gained final signoff/acceptance from the Town Engineer.

- The Town Engineer shall review and either coordinate additional revisions to the 8/22/2024 EEOPC or indicate acceptance to the applicant.

**Review Agency Comments:** (View agency comment letters here.)

- **U.S. Army Corps of Engineers**  
An initial development packet was submitted to Benjamin Wilson with USACE on 11/08/2023. No referral comments were received during the project's review period.
- **CDOT**  
On 4/09/2024, Brian Killian, Region 3 Access Program Manager and Kandis Aggen stated CDOT has no comments regarding this application.
- **Comcast**  
An initial development packet was submitted to Comcast on 11/08/2023. No referral comments were received during the project's review period.
- **Colorado Parks and Wildlife**  
An initial development packet was submitted to Jeromy Huntington with CPW on 11/08/2023. No referral comments were received during the project's review period.
- **East Grand Fire Protection District No. 4**  
On 11/27/2023, Assistant Fire Chief/Fire Marshal, Dennis Soles, provided a letter stating suggestions for compliance.
  - Applicant shall address to EGFPD's satisfaction, all comments in the 11/27/2023, letter.
- **JVA**  
On 4/26/2024, Cooper Karsh, Senior Engineer at JVA identified the following issues: 1) dry well capacity for historic storm events and the down-stream discharging of the trench drain located next the retail sidewalk and street-side planting area, 2) to include all improvements both onsite and offsite, and to include costs to relocate the existing power pole and light pole and 3) coordinate with town staff for a detailed plan regarding hauled snow removal.
  - Applicant shall address to JVA's satisfaction, all comments in the 4/26/2024, letter.
- **Mountain Parks Electric, Inc.**  
On 4/25/2024, Jessica Tain, Right of Way Specialist, stated 11 review comments for coordination and has yet to sign off on the review. On 8/14/2024 the applicant outreached to MPEI and Xcel for a combined meeting to address outstanding comments and finalize utility designs since the applicant was successful in gaining the requested parking variance



through BOA. CPS planning staff is not aware of a resolution to this meeting and is conditioning this Site Plan approval upon further coordination with MPEI and Xcel regarding utility planning.

- Applicant shall address to MPEI's satisfaction, all comments in the 4/25/2024 email.
- **Winter Park Water and Sanitation District (WPWSD)**  
On 4/16/2024, Bill Wemmert at AECOM representing the District indicated the reviewed 4/04/2024 Construction Plans were not corrected based on the District's last comment letter.
  - Applicant shall address to WPWSD's satisfaction, all comments in the 4/14/2024 comment letter.
- **Xcel Energy**  
On 4/10/2024, Julie Gittins, Design Planner, stated Xcel has not received applicant responses to their prior 11/28/23 comment letter.
  - Applicant shall address to Xcel's satisfaction, all comments in the 4/10/2024 email and 11/28/23 comment letter.

As previously stated, there are outstanding comments from review agencies. Updated documents were distributed for referral agency review on 4/4/2024 and 8/22/2024. With the 8/22 submittal, agency comments are due 9/9/2024 and will be made part of the public record when presenting before PC on 9/10/2024.

**Inspection:**

Building Division staff have not performed a Pre-Disturbance inspection of the property.

**Staff Recommendation:**

Staff finds the applicant has submitted all required materials within the timeframe required and all other materials comply with the conditions of § 5-E-1 of the UDC and conform to all applicable policies and regulations of the UDC. Staff therefore recommends approval of the Major Site Plan subject to the following conditions:

1. Applicant shall submit for administrative review and approval a Condominium Plat (per the UDC § 5-D-2(D) and 5-D-9) once construction is complete and prior to the transfer or sale of property to establish airspace rights of ownership per unit and define maintenance obligations and fees for condominium common elements, infrastructure and landscaping.
2. Applicant shall submit a Homeowners' Association (HOA) Declaration of Covenants for administrative review defining maintenance obligations and fees for condominium common elements, infrastructure, and landscaping.
3. The applicant shall prepare and submit the required "The Declaration of Covenants and as-built shall include language indicating only one parking space is provided per unit and on-street overnight parking is not permitted for residential use." as a condition of the BOA variance approval.
4. Applicant shall address all outstanding comments from review agencies for the construction plans dated April 3, 2024, prior to final approval of construction documents by the Town.
5. Applicant shall revise sheets per CPS Planning's 3rd Comments regarding complete labeling of the split 10.00' Utility Easement Rec. 90263 along the southwest property line as



indicated.

6. Applicant shall revise the Photometric Plan and Major Site Plan Application Form (re: Outdoor Lighting Tabulation) and resubmit providing verification of IDA compliance for fixtures E1 and E2 with an updated product specification, and a revision to the chart on the Application Form to match the Photometric Plan.
7. Applicant shall coordinate and resolve all outstanding comments made on the 4/26/2024 JVA review letter regarding the dry well and trench drains as indicated on the Construction Plans/ Sheet OU1, prior to final approval of the Site Plan and Construction Plans.
8. The applicant shall finalize and submit a plan and agreement regarding snow removal and off-site storage to town planning staff as a condition of approval to the Major Site Plan application.
9. The Town Engineer shall review and either coordinate additional revisions to the 8/22/2024 EEOPC or indicate acceptance to the applicant.
10. Applicant shall address to EGFPD's satisfaction, all comments in the 11/27/2023, letter.
11. Applicant shall address to JVA's satisfaction, all comments in the 4/26/2024, letter.
12. Applicant shall address to MPEI's satisfaction, all comments in the 4/25/2024 email.
13. Applicant shall address to WPWSD's satisfaction, all comments in the 4/14/2024 comment letter.
14. Applicant shall address to Xcel's satisfaction, all comments in the 4/10/2024 email and 11/28/23 comment letter.
15. Applicant shall submit an easement to the Town for the portion of the bike lane that does not lie within the public right-of-way.

**Sample Motion for Approval:**

I move to approve the Major Site Plan (PLN23-098) for 1097 Winter Park Drive as it was determined the applications are in conformance with § 5-E-1 of the UDC with the staff conditions to be met and/or provided prior to any final approval.

**Sample Motion for Denial:**

I move to deny the Major Site Plan (PLN23-098) for 1097 Winter Park Drive as it was determined the applications are NOT conformance with § 5-E-1 of the UDC *[insert explanation supported by the evidence here]*.





P.O. Box 3327  
50 Vasquez Road, Winter Park, CO, 80482  
Phone: 970-726-8081 Fax: 970-726-8084  
wpgov.com

# Land Use Review Application Form

## Contact Information

*Property Owner*

LXXTWO, LLC

*Representative (i.e., the point of contact)*

DEVIN VISCIANO

*Company*

N/A

*Company*

WHITE DEVELOPMENT, LLC

*Phone #*

303.591.5735

*Email Address*

TWHITE@WHITE-DEV.COM

*Phone #*

303.506.5995

*Email Address*

DVISCIANO@WHITE-DEV.COM

*Billing Contact (where invoices should be directed)*

SUZI BACH

*Company*

RAMSGATE MANAGEMENT

*Phone #*

719.339.3133

*Email Address*

SUZIBACH@COMCAST.NET

*Mailing Address*

9524 CARRIAGE CREEK POINT

*City*

COLORADO SPRINGS

*State*

CO

*Zip*

80920

## Site Description

*Site Address*

1097 WINTER PARK DRIVE

*Parcel Identification Number(s) (PIN)*

170510105015

*Existing Zone Classification*

C1/LIMITED COMMERCIAL

*Site Area (acres and sq. ft.)*

0.405 ACRES; 17641.80 SQ.FT.



# Project Description

## Project Name

RAILWATER

## Brief description of the proposed project

A three-story mixed-use building with two main-level commercial units (one restaurant ready, and one retail) and nine residential units above.

# Required Documents

For an application to be considered complete and for Planning Division staff to begin review and schedule any applicable public hearings, this Land Use Review Application Form must be fully completed and all required attachments included. Staff will review the application for completeness and notify the representative and/or owner whether the application has been deemed complete.

# Certifications

## REPRESENTATIVE CERTIFICATION

By signing this application, I attest that I am acting with the knowledge and consent of all owners of the property that is the subject of this application, and that I have been designated to act as the representative for the project described in this land use application. I further certify that all information submitted with this application is true and accurate to the best of my knowledge.

Representative

Date

*Devin N. Visciano*

9/19/2023

## OWNER CERTIFICATION

I hereby certify that I am the legal owner of record of the property that is the subject of this application. I authorize the representative listed on this application, if any, to communicate directly with Town officials and to submit documentation and information regarding this application on my behalf.

Owner

Date

*Timothy L. White*

9/19/2023

In addition to the base fees the applicant is required to pay the cost of any referral agency reviews, public notices, hearings, and record keeping as outlined within § 5-B-6, Application Fees, in the UDC.



<b>Development Improvements Dedications, Agreements, and Guarantees (Article 4.B)</b>	<b>Site Development and Permit Decisions (Article 5.E)</b>
<input type="checkbox"/> Development Improvements Agreements (DIA)	<input checked="" type="checkbox"/> Major Site Plan*
<input type="checkbox"/> Public Improvement Cost-Recovery Agreement	<input type="checkbox"/> Minor Site Plan
<b>Standardized Development Review Procedures (Article 5.B)</b>	<input type="checkbox"/> Administrative Site Plan
<input type="checkbox"/> Pre-Application Conference	<input type="checkbox"/> Special Use Permit (Including High-Impact Short-Term Rentals)*
<input type="checkbox"/> Renewal of Approvals	<input type="checkbox"/> Limited Use Authorization
<input type="checkbox"/> Vested Rights	<input type="checkbox"/> Temporary Use Permit
<b>Ordinance and Zoning Amendment Decisions (Article 5.C)</b>	<input type="checkbox"/> Floodplain Development Permit
<input type="checkbox"/> Text Amendment	<input type="checkbox"/> Lighting by Special Permit
<input type="checkbox"/> Rezoning	<input type="checkbox"/> Parking Reductions and Alternative Parking Plan Permit
Rezoning to Planned Development: <input type="checkbox"/> Preliminary Development Plan* <input type="checkbox"/> Final Development Plan* <input type="checkbox"/> Amended Final Development Plan*	<input type="checkbox"/> Street Renaming
<input type="checkbox"/> Annexation*	<b>Appeal, Variance, and Interpretation Decisions (Article 5.F)</b>
<b>Subdivision and Platting Decisions (Article 5.D)</b>	<input type="checkbox"/> Appeal
<input type="checkbox"/> Exemption Plat	<input type="checkbox"/> Appeal of Administrative Decisions
<input type="checkbox"/> Minor Plat*	<input type="checkbox"/> Variance*
<input type="checkbox"/> Preliminary Plat*	<input type="checkbox"/> Written Interpretation
<input type="checkbox"/> Final Plat*	
<input type="checkbox"/> Resubdivision*	
<input type="checkbox"/> Waiver*	
<input type="checkbox"/> Vacation of Plat, Street, Right of Way, and Easement*	
<input type="checkbox"/> Condominium Plat	
<b>Table Notes:</b> *Pre-Application Conference required	



# Instructions for Submitting the Land Use Review Application Form

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## Definitions

- Words in the singular include the plural and words in the plural include the singular.
- APPLICATION refers to the official submittal to the Town's Planning Division for review of the proposed land use development identified in the Land Use Review Application Form. The application includes the form, all materials submitted for review of the project, including those documents required by the Unified Development Code (the "UDC") and any additional information provided.
- PROJECT refers to the land use development identified on this Form and application materials.
- PROPERTY refers to the land that is being proposed for development as described in this Form and application materials.

## General Notes

If information will not fit in the space provided,

### A. CONTACT INFORMATION

1. Provide contact information for all owners of any property that is the subject of the application. Submit a separate sheet for the additional owners if information will not fit in space provided.
2. Provide contact information for all persons, firms or businesses that are authorized by the owners identified in Section A(1) to work on the land use application, including, but not limited to, discussing the project, submitting application materials, and attending meeting and hearings.
3. Provide contact and mailing information for the person that should receive all invoices for the project. If the Billing Contact changes at any time, contact the Planning Division immediately to update this information.

### B. SITE DESCRIPTION

Parcel identification numbers (PINs) and address information may be found at the Grand County Property Viewer. Current zoning may be found on the Town of Winter Park's website.

### APPLICATION TYPE

- C. Select the land use application type that is applicable to the project. If there are multiple land use application types being submitted to run concurrently, select all that apply. The land use application types will be identified during the Pre-Application Conference (if required).

### PROJECT DESCRIPTION

- D. Select a project name that will be referenced throughout the project and a description of what the project entails. If you need more space for the project description, attach a separate sheet.

### REQUIRED ITEMS

- E. Required documents will be discussed during the Pre-Application Conference with the Planning Division, if required. If any documents are missing, the acceptance of the application may be delayed until the submittal is complete.

### F. CERTIFICATIONS

Representative Certification. Provide the signature of all authorized representatives in this section. Owner Certification. Provide the signature of all owners of properties included in the application in this section.

For any other questions, contact the Planning Division at [permits@wpgov.com](mailto:permits@wpgov.com)



## **MAJOR SITE PLAN APPLICATION**

### **Project Narrative 1097 Winter Park Drive Winter Park, Colorado**

**Project Name:** RailWater

**Project Summary:** White Development is currently developing the property located at 1097 Winter Park Drive to be a stand-out asset in the rapidly growing Town of Winter Park, Colorado. The Project Site consists of a single lot--Parcel ID No: 170510105015, 0.405 acres. The Project Site is located approximately 2,600 feet (0.5 Miles) from the Base Village of the Winter Park Ski Resort and approximately 2,000 feet from the stop of the Amtrak Winter Park Express (the “Ski Train”). The Project Site is located approximately 2.4 miles from Hideaway Park in downtown Winter Park (the approximate center of the Town’s main commercial area).

The design for the site is a three-story mixed-use building with two main-level commercial units and nine residential units above. The working name for the building is RailWater, a nod to the Moffat Tunnel project’s dual purpose of providing rail access and water infrastructure to the Front Range. The project is located within the Old Town area of Winter Park, which is adjacent to the Base Village of the ski resort, within a 5-minute drive to Winter Park’s main commercial area and with pedestrian access to all parts of the Fraser River Valley via the Frasier River multi-use path.

The exterior finishes of the building are selected to tell the story of the building’s location with river rock masonry on the lower level (the Frasier River) and charred beetle kill pine siding on the upper levels (the Arapahoe National Forest). Large floor to ceiling windows provide exceptional views from the living rooms and master bedrooms of the six larger units, while decks on the backside of the units provide outdoor space. The third-floor landing above the lobby will provide a common recreation area (pool table, fireplace, lounge seating) and each unit has a secure bike and ski storage locker on the main level. Three smaller one-bedroom units are designed to be placed into the Town’s long-term workforce housing program.

The main level will house two commercial units—one will be built out to be restaurant ready, and the other will be for retail (the Alpine Sun Aki Shop has committed to relocating into the new retail space upon completion of the building).

**Address:** 1097 Winter Park Drive, Winter Park, CO 80482

**Owner:**

LXXTWO, LLC  
C/O White Development, LLC  
PO Box 178, Denver, CO 80201







Contact Person: Devin Visciano; 303.506.5995; [DVisciano@White-Dev.com](mailto:DVisciano@White-Dev.com)

**Developer/Applicant:**

White Development, LLC  
LXXTWO, LLC  
C/O White Development, LLC  
PO Box 178, Denver, CO 80201

Contact Person: Devin Visciano; 303.506.5995; [DVisciano@White-Dev.com](mailto:DVisciano@White-Dev.com)

**Project Manager:** Devin Visciano; 303.506.5995; [DVisciano@White-Dev.com](mailto:DVisciano@White-Dev.com)

**Architect:**

Roth Shepherd Architects  
700 E. 24<sup>th</sup> Ave.  
Denver, CO 80205

Contact Persons: Adam Harding, AIA; 303.534.7007; [aharding@rothsheppard.com](mailto:aharding@rothsheppard.com);  
Marc Daubert, AIA; 303.534.7007; [mداubert@rothsheppard.com](mailto:mداubert@rothsheppard.com)

**Civil Engineer:**

Personalized Engineering Solutions  
9249 S. Broadway #200 - 388  
Highlands Ranch, Colorado 80129

Contact Person: Stephen Douglas, PE; 303.503.6115; [sdouglas@pengsolutions.com](mailto:sdouglas@pengsolutions.com)

**MEP Engineer:**

RJA Engineering  
3301 Lawrence Street, Suite 2  
Denver, CO 80205

Contact Person: Darin Ramirez, PE; 303.557.8634; [darin@rja-eng.com](mailto:darin@rja-eng.com)

**Surveyor:**

Rocky Mountain Surveys, Inc.  
PO Box 552  
Winter Park, CO 80482





Contact Person: Warren Ward; 970.726.7166; [wward1224@comcast.net](mailto:wward1224@comcast.net)

**Legal Description:** Subd: WINTER PARK VILLAGE Lot: A Block: 3

**Zoning District:** C1/Limited Commercial

**Lot Size:** 0.405 Acres; 17641.80 sq.ft.

**Project Details:** The planned building at the Project site is a three-story structure with two commercial units on the main level (1,362 sq. ft. retail space; 1,419 sq. ft. restaurant space with 1,000 sq. ft. outdoor patio) and nine residential units on the two floors above. There are a total of six (6) split level 2 bedroom/2.25 bath units and three (3) 1 bedroom/1 bath units. The residential units will be **for-sale condominium units.**

The building's residential unit mix is as follows:

TOTAL GROSS SQUARE FOOTAGES	
UNIT 1 - 1,304 GSF	} 2 BEDROOM UNITS
UNIT 2 - 1,288 GSF	
UNIT 3 - 1,288 GSF	
UNIT 4 - 1,288 GSF	
UNIT 5 - 1,288 GSF	
UNIT 6 - 1,468 GSF	
UNIT 7 - 628 GSF	} 1 BEDROOM/ STUDIO UNITS
UNIT 8 - 628 GSF	
UNIT 9 - 680 GSF	

**Total Building Gross Square Footage:** 18,055

**Parking Details:** The project has ten (10) off-street parking spaces serving the residential components of the building. An additional eight (8) on-street parking spaces are proposed along Winter Park Drive along the Property as allowed by Ordinance 610 (An Ordinance of the Town of Winter Park Amending Title 7, Article 3 of the Winter Park Municipal Code Regarding On-Street Parking) approved by the Town Council on September 19, 2023. The on-street parking spaces are designed to also provide improvements to the Frasier River Bike Trail and pedestrian infrastructure (sidewalks, crosswalks, etc.).





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**MAJOR SITE PLAN**  
ISSUE DATE: 08/22/2024

## WINTER PARK - OLD TOWN LOT

1097 Winter Park Drive  
Winter Park, CO 80482  
2128

OWNER:  
WHITE DEVELOPMENT, LLC  
P: 303.506.5995  
CONTACT: DEVIN VISCIANO

ARCHITECT:  
ROTH SHEPPARD ARCHITECTS, LLP  
1900 WAZEE STREET, SUITE 100  
DENVER, CO 80202  
P: 303.534.7007  
F: 303.534.7722  
ARCHITECT OF RECORD:  
ADAM HARDING, AIA

MECHANICAL, ELECTRICAL AND  
PLUMBING ENGINEER:  
RAMIREZ, JOHNSON & ASSOCIATES  
3301 LAWRENCE ST, SUITE #2,  
DENVER, CO 80205  
P: 720.598.0774  
CONTACT: ANDY ACHTERMANN, PE

CIVIL ENGINEER:  
PERSONALIZED ENGINEERING SOLUTIONS  
9249 S. BROADWAY #200-388  
HIGHLANDS RANCH, COLORADO 80129  
P: 720.388.8126  
CONTACT: STEPHEN DOUGLAS, PE

LANDSCAPE ARCHITECT:  
NEILS LUNCFORD, INC.  
P.O. BOX 2130  
740 BLUE RIVER PARKWAY  
SILVERTHORNE, CO 80498  
P: 970.468.0340  
CONTACT: LAYLA LAZOUSKI



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BUILDING COVERAGE RATIO TABLE		
SQ. FT. / ACREAGE	COVERAGE PERCENTAGE (RELATIVE TO LOT)	
LOT TOTAL	17,655 SQ. FT. / 0.41 AC	-
BUILDING COVERAGE	6,819 SQ. FT.	38.6%
DRIVES, SIDEWALKS, PARKING AREAS	9,245 SQ. FT.*	52.4%*
OPEN SPACE	4,065 SQ. FT.	23.0%

\* AREAS OF SIDEWALKS & PARKING EXIST UNDERNEATH BUILDING OVERHANGS. THESE AREAS COUNT TOWARDS BUILDING COVERAGE SF AS WELL AS SIDEWALK & PARKING SF. THEREFOR THE COMBINED SQUARE FOOTAGES LISTED IN THE TABLE ABOVE EXCEED THE OVERALL LOT SF.

PARKING CALCULATIONS				
UNIT TYPE	# UNITS	CALCULATIONS	REQUIRED	PROVIDED
MULTI FAMILY - APT - 1 BDR	3	1 SPACE / 1 BED	3**	3**
MULTI FAMILY - APT - 2 BDR	6	1.5 SPACE / 1 BED	6**	6**
GUEST PARKING		1 SPACE / 10 UNITS	0**	0**
FUTURE RESTAURANT	980 SF CAA*	1 SPACE EA 250 CAA*	4	4
TENANT RETAIL	773 SF CAA*	1 SPACE 800SF CAA*	1	4
ADA			1	1
ORDINANCE 6.10		10% REDUCTION	-1	
<b>TOTAL</b>			<b>18</b>	<b>18</b>

\* GROSS FLOOR AREA EXCLUDING AREAS DEVOTED EXCLUSIVELY TO STORAGE AND BUILDING MAINTENANCE  
\*\* PER VARIANCE (PLN24-050) REDUCED RESIDENTIAL ON SITE PARKING REQUIREMENT TO 9 SPACES

- SITE ACCESSIBILITY NOTES:**
- ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE ENTRANCE.
  - ACCESSIBLE PARKING SPACES SHALL BE AT LEAST 96 INCHES WIDE WITH LEVEL SLOPES NOT EXCEEDING 2% IN ALL DIRECTIONS.
  - ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AN ADDITIONAL SIGN "VAN ACCESSIBLE" SHALL BE MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SUCH SIGNS SHALL BE LOCATED SO THEY CAN NOT BE OBSCURED BY THE VEHICLE PARKED IN THE SPACE.
  - A CURB RAMP SHALL HAVE AN APPROVED DETECTABLE WARNING.

- SITE ACCESSIBILITY NOTES:**
- SLOPES OF CURB RAMP ALONG AN ACCESSIBLE ROUTE SHALL NOT EXCEED 1:20. TRANSITIONS FROM RAMP TO WALKS, GUTTERS OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES.
  - THE MINIMUM WIDTH OF A CURB RAMP SHALL BE 36 INCHES EXCLUSIVE OF FLARED SIDES.
  - RAMP SURFACES SHALL BE SLIP RESISTANT.
  - CHANGES IN LEVEL UP TO 1/4" MAY BE VERTICAL AND WITHOUT EDGE TREATMENT. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2. CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE ACCOMPLISHED BY MEANS OF RAMP NOT TO EXCEED 1:12.

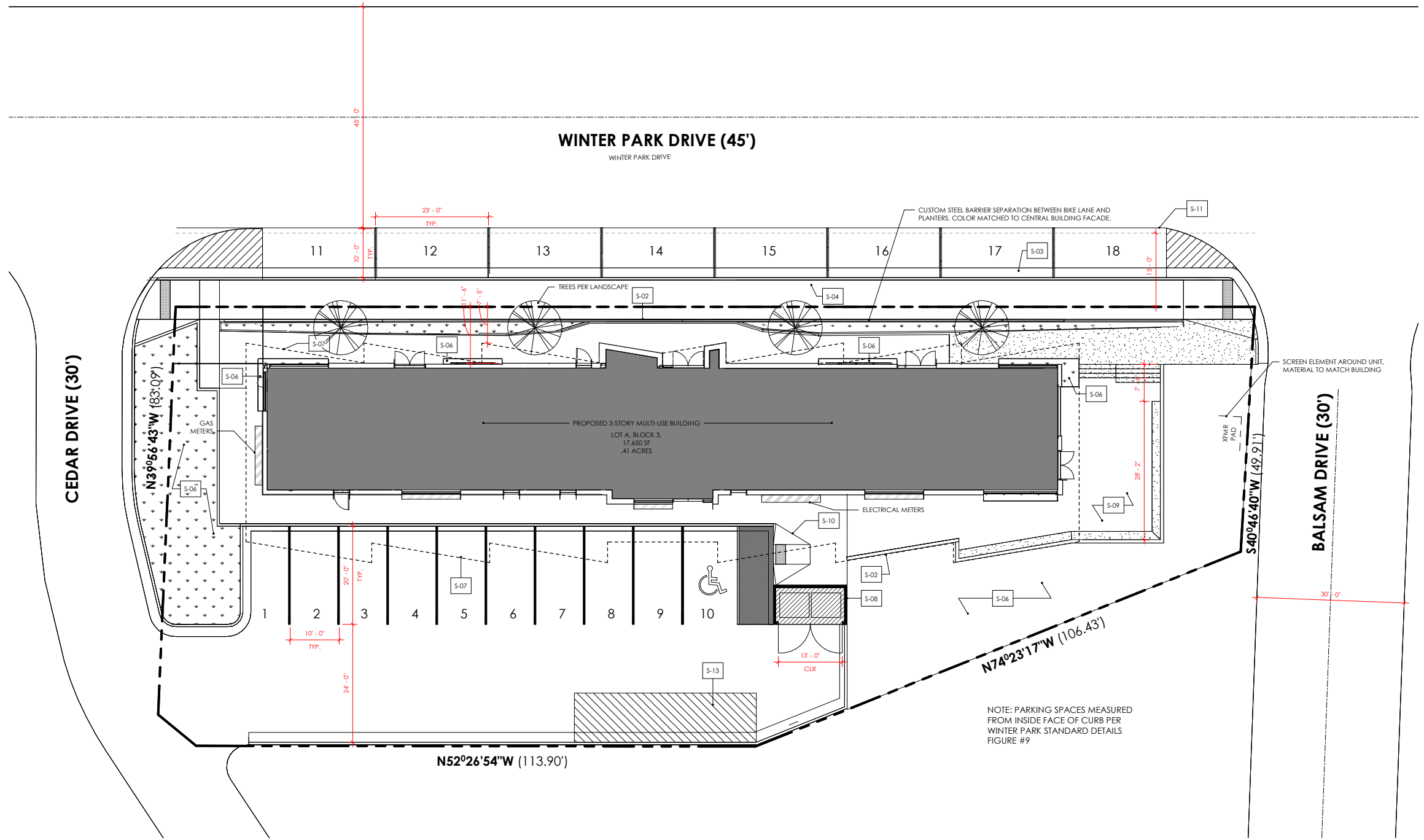
- SITE PLAN GENERAL NOTES:**
- SITE PLAN INDICATES GENERAL DESIGN INTENT OF ARCHITECTURAL SITE WORK. REFER TO CIVIL DRAWINGS AND SPECIFICATIONS FOR SUB-SURFACE WORK AND OTHER WORK NOT INDICATED HEREIN.
  - REFER TO CIVIL DRAWINGS FOR RAMP, CURBS, AND OTHER SITE DETAILS.
  - IN ADDITION TO THE REQUIREMENTS IN THE CONTRACT DOCUMENTS, ALL SITE WORK SHALL COMPLY WITH THE CITY OF FIRESTONE COMMUNITY DEVELOPMENT STANDARDS AND SPECIFICATIONS.
  - ALL SITE SIGNAGE SHALL COMPLY WITH THE TOWN OF WINTER PARK MUNICIPAL CODE.
  - REFER TO CIVIL FOR THE SIGN SCHEDULE.

**SITE PLAN LEGEND**

	SITE BOUNDARY		PERVIOUS SURFACE
	OVERHANG		SOFTSCAPE
	CONCRETE		

**KEYNOTE LEGEND**

KEY	DESCRIPTION
S-02	CUSTOM STEEL BARRIER SEPARATION BETWEEN BIKE LANE AND PLANTERS. COLOR MATCHED TO CENTRAL BUILDING FACADE
S-03	2' CATCH CURB AND GUTTER
S-04	BIKE PATH
S-05	BIKE PARKING
S-06	LANDSCAPE AREA
S-07	LINE OF SOFFIT ABOVE
S-08	TRASH ENCLOSURE
S-09	PERVIOUS SURFACE
S-10	WHEELCHAIR RAMP
S-11	WHITE LINE OF EXISTING DRIVE LANE
S-13	SIGN DESIGNATED LOADING ZONE - NO STRIPING



**OVERALL SITE PLAN**  
SCALE: 1" = 10'-0"

ARCHITECT:  
**ROTH SHEPPARD**  
ROTH SHEPPARD ARCHITECTS, LP  
1900 WAZEE STREET, SUITE 100 | DENVER, COLORADO 80202  
1.303.534.7007 F. 303.534.7722 | www.rothsheppard.com

CONSULTANT:

**WINTER PARK - OLD TOWN LOT**  
1097 Winter Park Drive  
Winter Park, CO 80482  
PROJECT: 2109

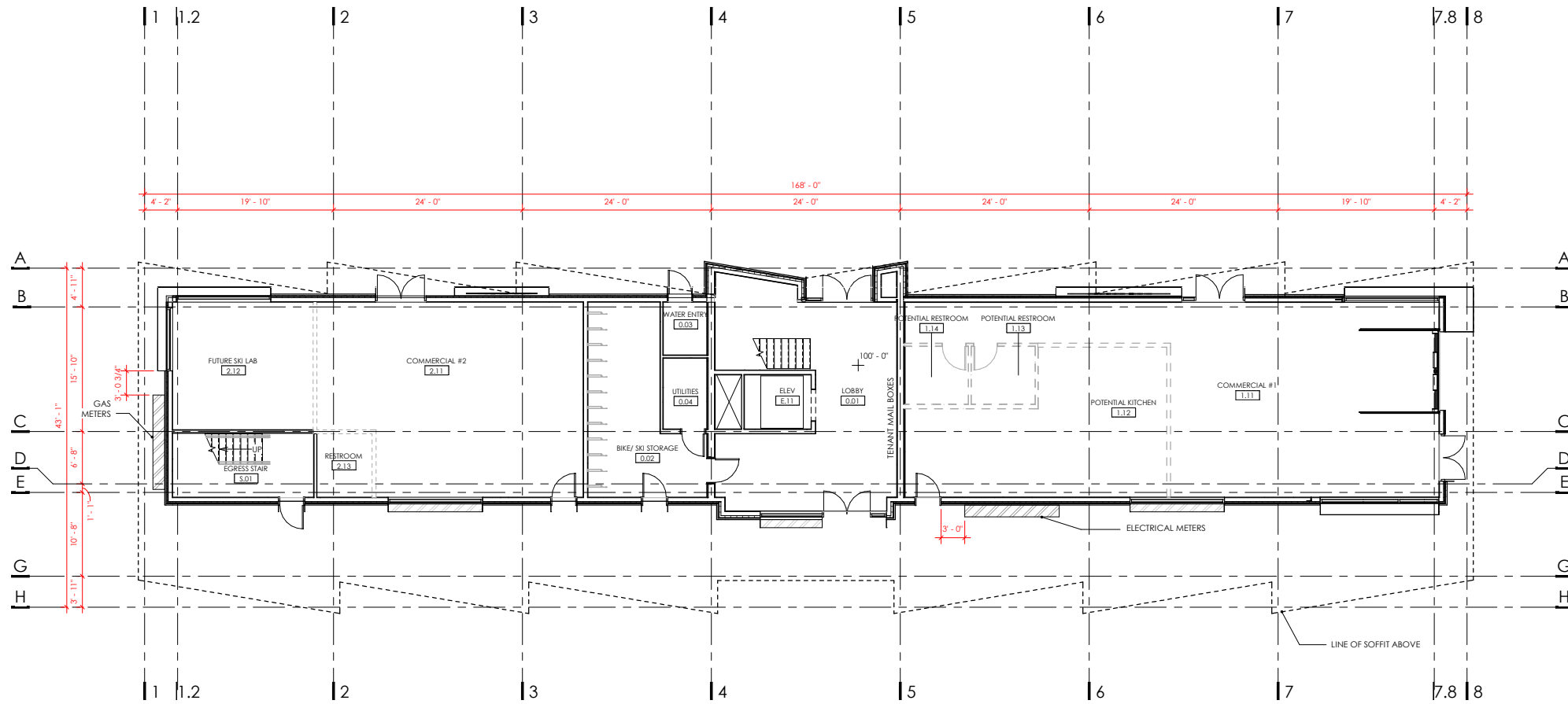
ISSUANCE: MAJOR SITE PLAN DATE: 24-0822

STAMP:

DRAWING TITLE:  
SITE PLAN

SHEET NUMBER:  
**AS.01**





PLAN NOTES:	
1. RE: STRUCT FOR FOUNDATION WALL DIMENSIONS	4. ALL SLAB ON GRADE JOINTS, INCLUDING SLAB PERIMETER JOINTS, SHALL BE FILLED WITH SEALANT; SEALANT COLOR TO BE VERIFIED WITH ARCHITECT FOR ALL JOINTS EXPOSED TO VIEW.
2. TYP INTERIOR DIMS TAKEN FROM FACE OF GYP, UNLESS NOTED OTHERWISE	5. REFER TO A9.00 FOR EXTERIOR 3D AXONOMETRIC VIEWS.
3. TYP EXTERIOR DIMS: ALL GLASS ENTRIES - DIMS TO SYSTEM CL STOREFRONT - DIMS TO EXT FO FRAME (NOT INCLUDING EXTENDED MULLION CAP) CLERESTORY - DIMS TO EXT FO FRAME STONE RAINSCREEN - DIMS TO EXT FO STONE	

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ISSUANCE: MAJOR SITE PLAN DATE: 24-0822

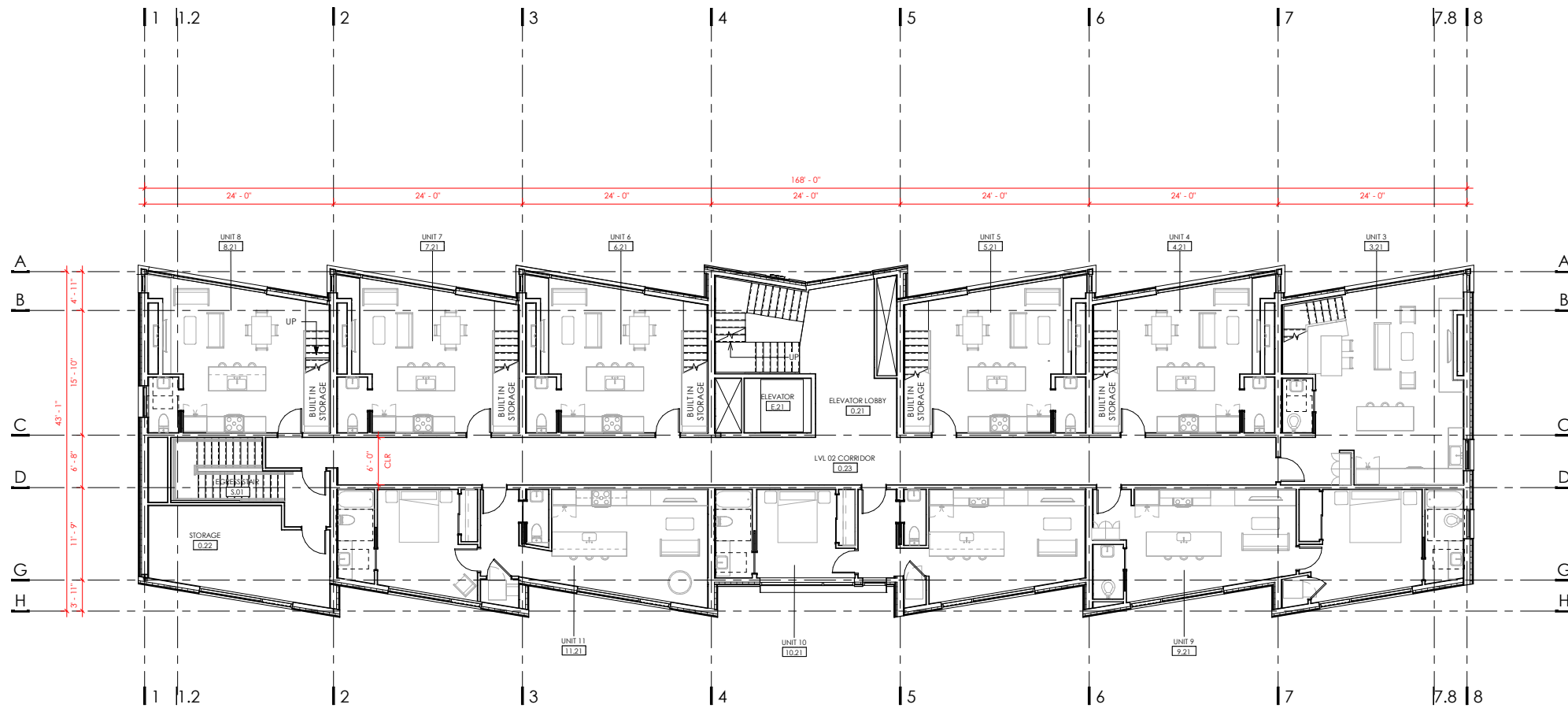
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 OVERALL FLOOR PLAN - LEVEL 01

SHEET NUMBER:  
**A1.01**

1 OVERALL FLOOR PLAN - LEVEL 01  
 A1.01 SCALE: 1/8" = 1'-0"





PLAN NOTES:	
1. RE: STRUCT FOR FOUNDATION WALL DIMENSIONS	4. ALL SLAB ON GRADE JOINTS, INCLUDING SLAB PERIMETER JOINTS, SHALL BE FILLED WITH SEALANT; SEALANT COLOR TO BE VERIFIED WITH ARCHITECT FOR ALL JOINTS EXPOSED TO VIEW.
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CONSULTANT:

WINTER PARK - OLD TOWN LOT  
 1097 Winter Park Drive  
 Winter Park, CO 80482  
 PROJECT: 2109

ISSUANCE: MAJOR SITE PLAN  
 DATE: 24-0822

STAMP:

DRAWING TITLE:  
 OVERALL FLOOR PLAN - LEVEL 02

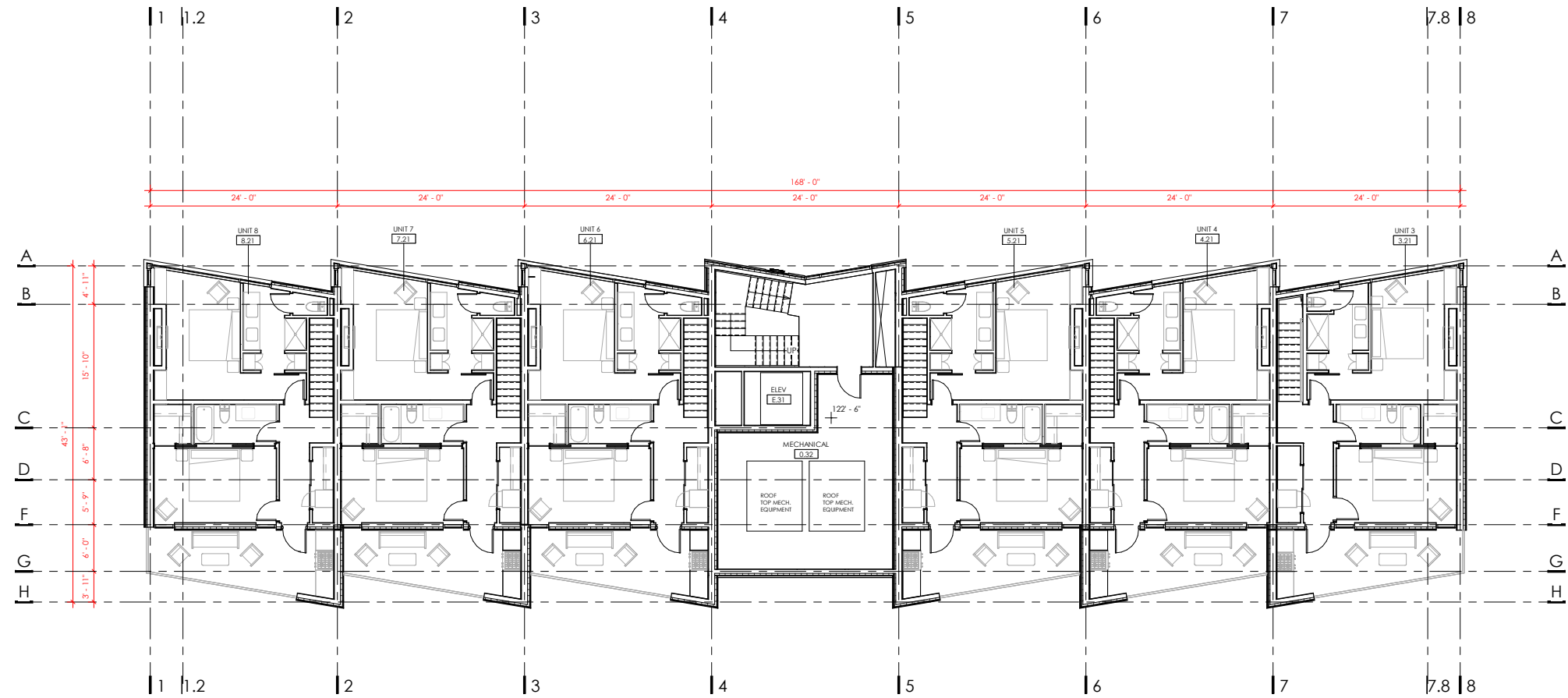
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**A1.02**

**1 OVERALL FLOOR PLAN - LEVEL 02**  
 A1.02 SCALE: 1/8" = 1'-0"



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PLAN NOTES:	
1. RE: STRUCT FOR FOUNDATION WALL DIMENSIONS	4. ALL SLAB ON GRADE JOINTS, INCLUDING SLAB PERIMETER JOINTS, SHALL BE FILLED WITH SEALANT; SEALANT COLOR TO BE VERIFIED WITH ARCHITECT FOR ALL JOINTS EXPOSED TO VIEW.
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CONSULTANT:

WINTER PARK - OLD TOWN LOT  
 1097 Winter Park Drive  
 Winter Park, CO 80482  
 PROJECT: 2109

ISSUANCE: MAJOR SITE PLAN DATE: 24-0822

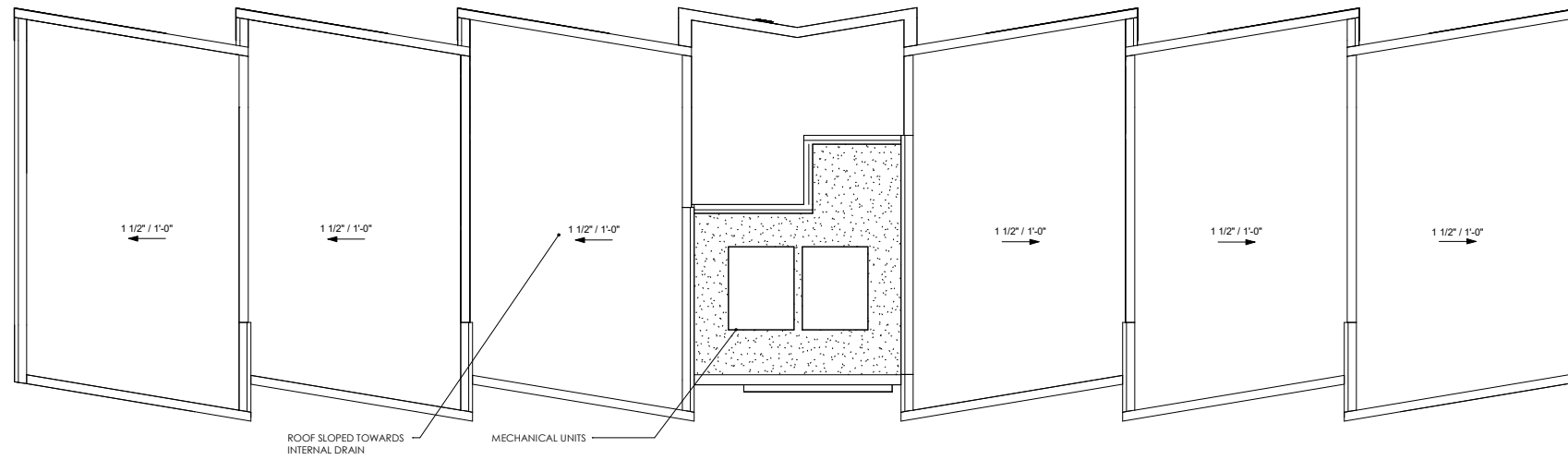
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 OVERALL FLOOR PLAN - LEVEL 03

SHEET NUMBER:  
**A1.03**

1 OVERALL FLOOR PLAN LEVEL - 03  
 A1.03 SCALE: 1/8" = 1'-0"





PLAN NOTES:	
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CONSULTANT:

WINTER PARK - OLD TOWN LOT  
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 PROJECT: 2109

ISSUANCE: MAJOR SITE PLAN      DATE: 24-0822

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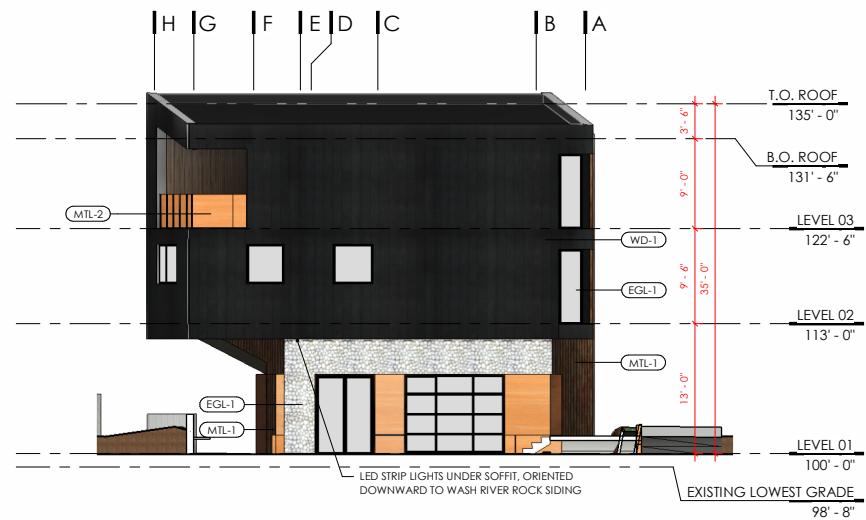
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**OVERALL ROOF PLAN**

SHEET NUMBER:  
**A1.21**

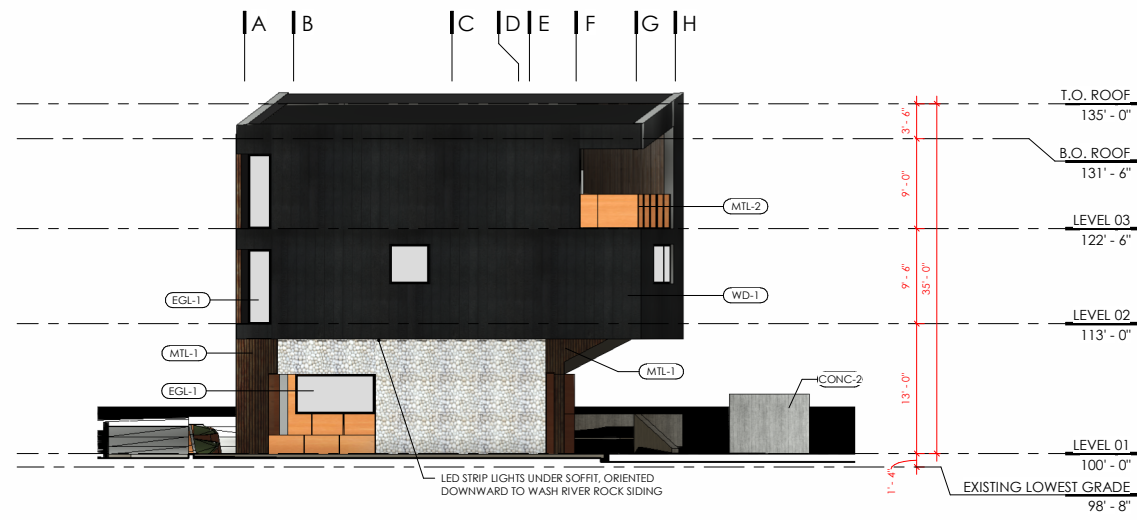
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 A1.21 SCALE: 1/8" = 1'-0"



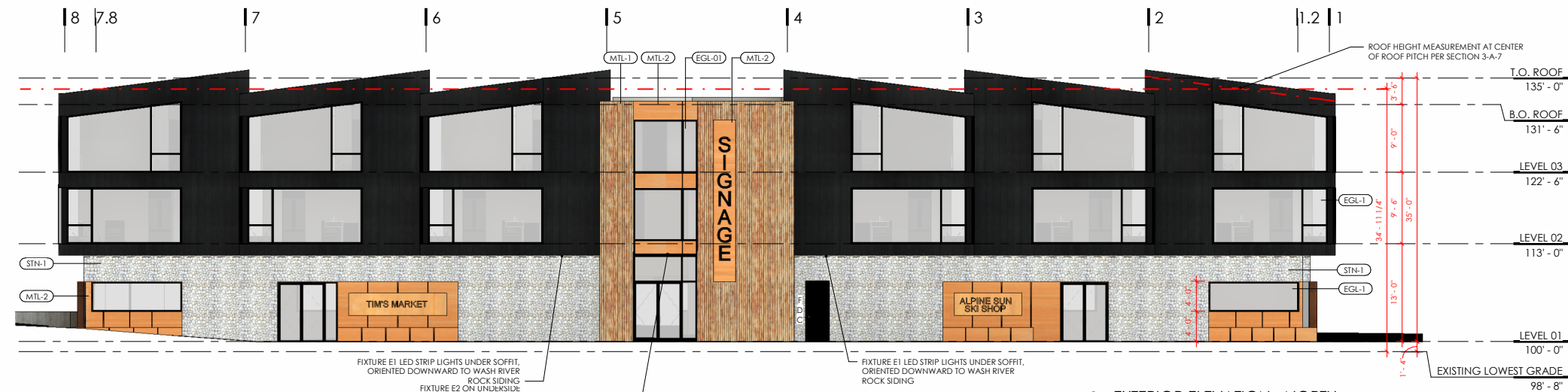
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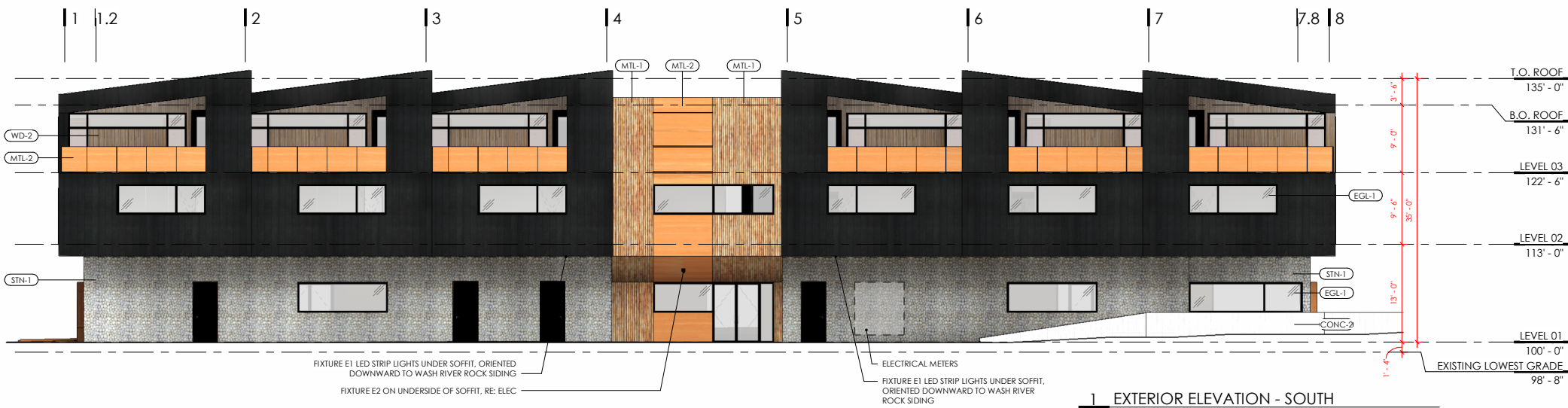
4 EXTERIOR ELEVATION - EAST  
A2.01 SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION - WEST  
A2.01 SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION - NORTH  
A2.01 SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION - SOUTH  
A2.01 SCALE: 1/8" = 1'-0"

MATERIAL LEGEND:

CONC-1	CAST IN PLACE CONCRETE, BROOM FINISH
CONC-2	BOARD FORM CONCRETE, VERTICAL ORIENTATION
EGL-01	EXTERIOR GLAZING, LOW-E, ULTRA-CLEAR
MTL-01	STEEL CORRUGATED METAL PANEL, WEATHERED, 22 GA
MTL-02	STEEL FLAT METAL PANEL, WEATHERED, 11 GA
STN-1	RIVER ROCK MASONRY
WD-1	SHOU SUGI BAN WOOD, VERTICAL ORIENTATION
WD-2	LUNAWOOD, VERTICAL ORIENTATION

ARCHITECT:  
**ROTH SHEPPARD**  
ROTH SHEPPARD ARCHITECTS, LP  
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CONSULTANT:

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ISSUANCE: MAJOR SITE PLAN  
DATE: 24-0822

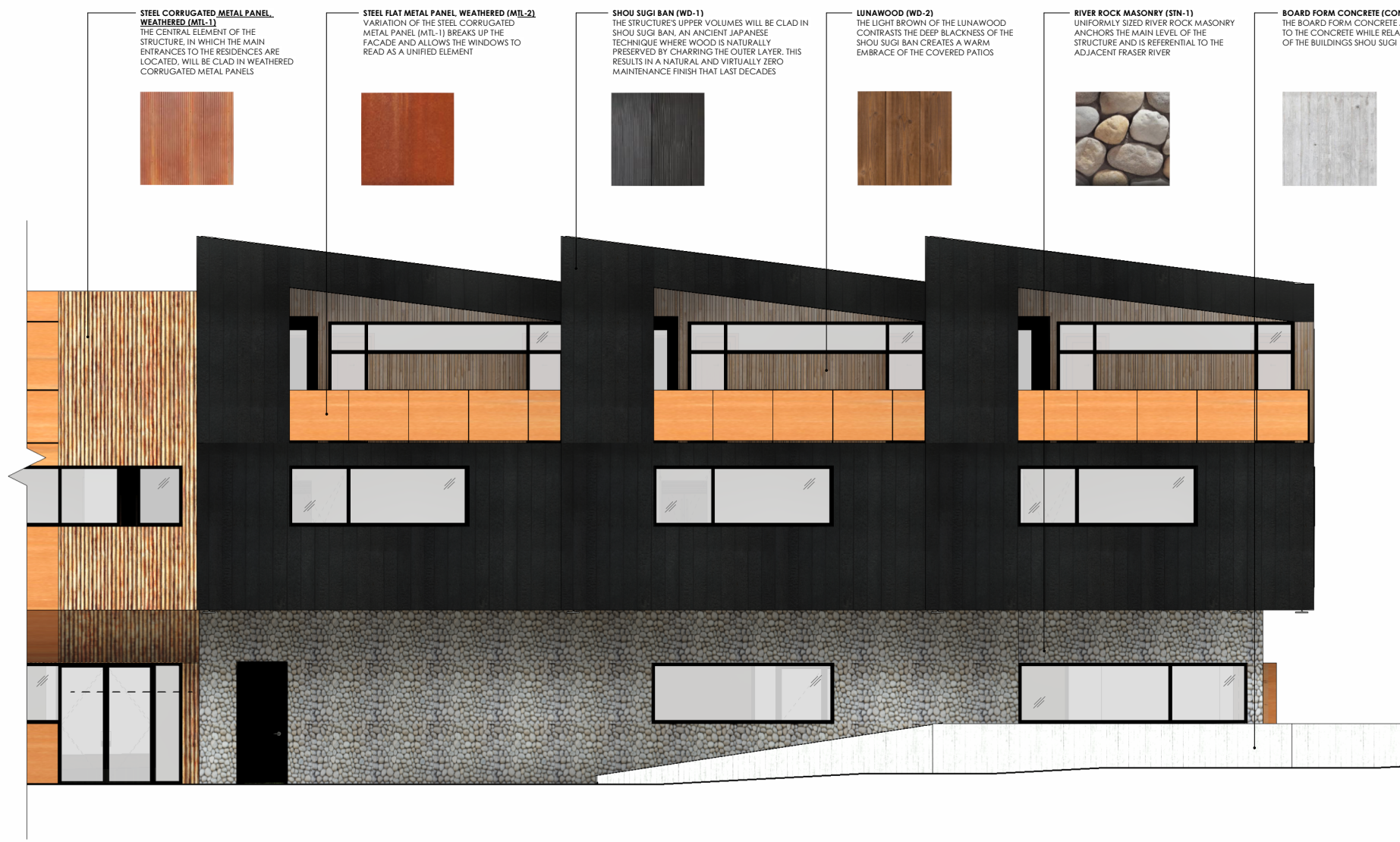
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EXTERIOR ELEVATIONS

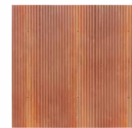
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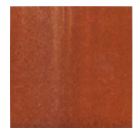




**STEEL CORRUGATED METAL PANEL WEATHERED (MTL-1)**  
THE CENTRAL ELEMENT OF THE STRUCTURE, IN WHICH THE MAIN ENTRANCES TO THE RESIDENCES ARE LOCATED, WILL BE CLAD IN WEATHERED CORRUGATED METAL PANELS



**STEEL FLAT METAL PANEL WEATHERED (MTL-2)**  
VARIATION OF THE STEEL CORRUGATED METAL PANEL (MTL-1) BREAKS UP THE FACADE AND ALLOWS THE WINDOWS TO READ AS A UNIFIED ELEMENT



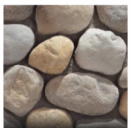
**SHOU SUGI BAN (WD-1)**  
THE STRUCTURE'S UPPER VOLUMES WILL BE CLAD IN SHOU SUGI BAN, AN ANCIENT JAPANESE TECHNIQUE WHERE WOOD IS NATURALLY PRESERVED BY CHARRING THE OUTER LAYER. THIS RESULTS IN A NATURAL AND VIRTUALLY ZERO MAINTENANCE FINISH THAT LAST DECADES



**LUNAWOOD (WD-2)**  
THE LIGHT BROWN OF THE LUNAWOOD CONTRASTS THE DEEP BLACKNESS OF THE SHOU SUGI BAN, CREATING A WARM EMBRACE OF THE COVERED PATIOS



**RIVER ROCK MASONRY (STN-1)**  
UNIFORMLY SIZED RIVER ROCK MASONRY ANCHORS THE MAIN LEVEL OF THE STRUCTURE AND IS REFERENTIAL TO THE ADJACENT FRASER RIVER



**BOARD FORM CONCRETE (CONC-2)**  
THE BOARD FORM CONCRETE ADDS A HUMAN SCALE TO THE CONCRETE WHILE RELATING TO THE TEXTURE OF THE BUILDINGS SHOU SUGI BAN SIDING



**MATERIAL LEGEND:**

CONC-1	CAST IN PLACE CONCRETE, BROOM FINISH
CONC-2	BOARD FORM CONCRETE, VERTICAL ORIENTATION
EGL-01	EXTERIOR GLAZING, LOW-E, ULTRA-CLEAR
MTL-01	STEEL CORRUGATED METAL PANEL, WEATHERED, 22 GA
MTL-02	STEEL FLAT METAL PANEL, WEATHERED, 11 GA
STN-1	RIVER ROCK MASONRY
WD-1	SHOU SUGI BAN WOOD, VERTICAL ORIENTATION
WD-2	LUNAWOOD, VERTICAL ORIENTATION

ARCHITECT:  
**ROTH SHEPPARD**  
ROTH SHEPPARD ARCHITECTS, LLP  
1900 WAZEE STREET, SUITE 100 | DENVER, COLORADO 80202  
T. 303.534.7007 F. 303.534.7722 | www.rothsheppard.com

CONSULTANT:

WINTER PARK - OLD TOWN LOT  
1097 Winter Park Drive  
Winter Park, CO 80482  
PROJECT: 2109

ISSUANCE: MAJOR SITE PLAN DATE: 24-0822

STAMP:

DRAWING TITLE:  
MATERIAL BOARD

SHEET NUMBER:  
**A2.02**

**1 MATERIAL BOARD ELEVATION**  
A2.02 SCALE: 1/4" = 1'-0"





4 SOUTH PERSPECTIVE  
A9.00 SCALE: N.T.S.



2 SOUTHEAST PERSPECTIVE  
A9.00 SCALE: N.T.S.



3 NORTHWEST PERSPECTIVE  
A9.00 SCALE: N.T.S.



1 NORTH PERSPECTIVE  
A9.00 SCALE: N.T.S.

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ISSUANCE: MAJOR SITE PLAN DATE: 24-0822

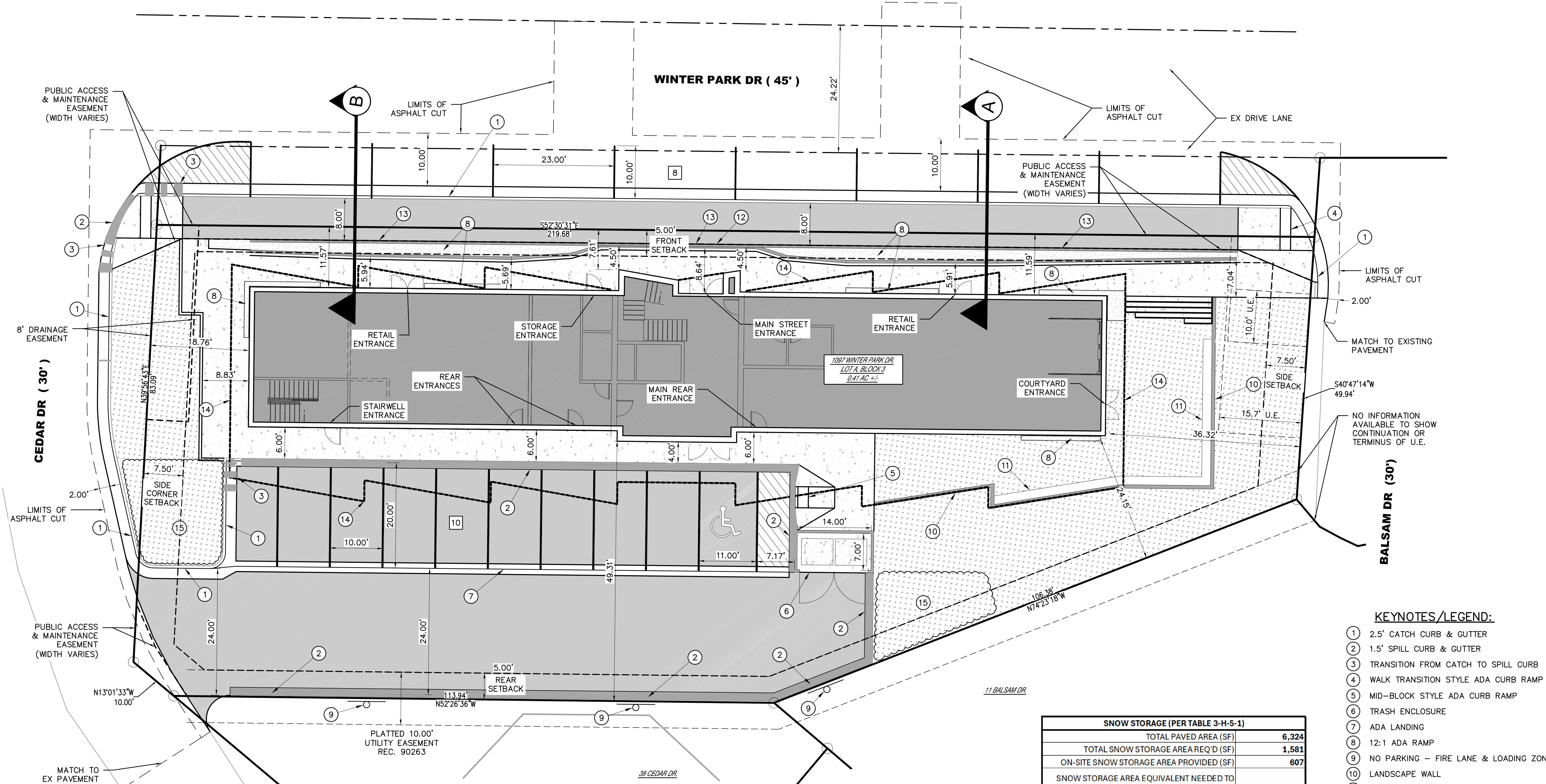
STAMP:

DRAWING TITLE:  
EXTERIOR PERSPECTIVES

SHEET NUMBER:  
**A9.00**



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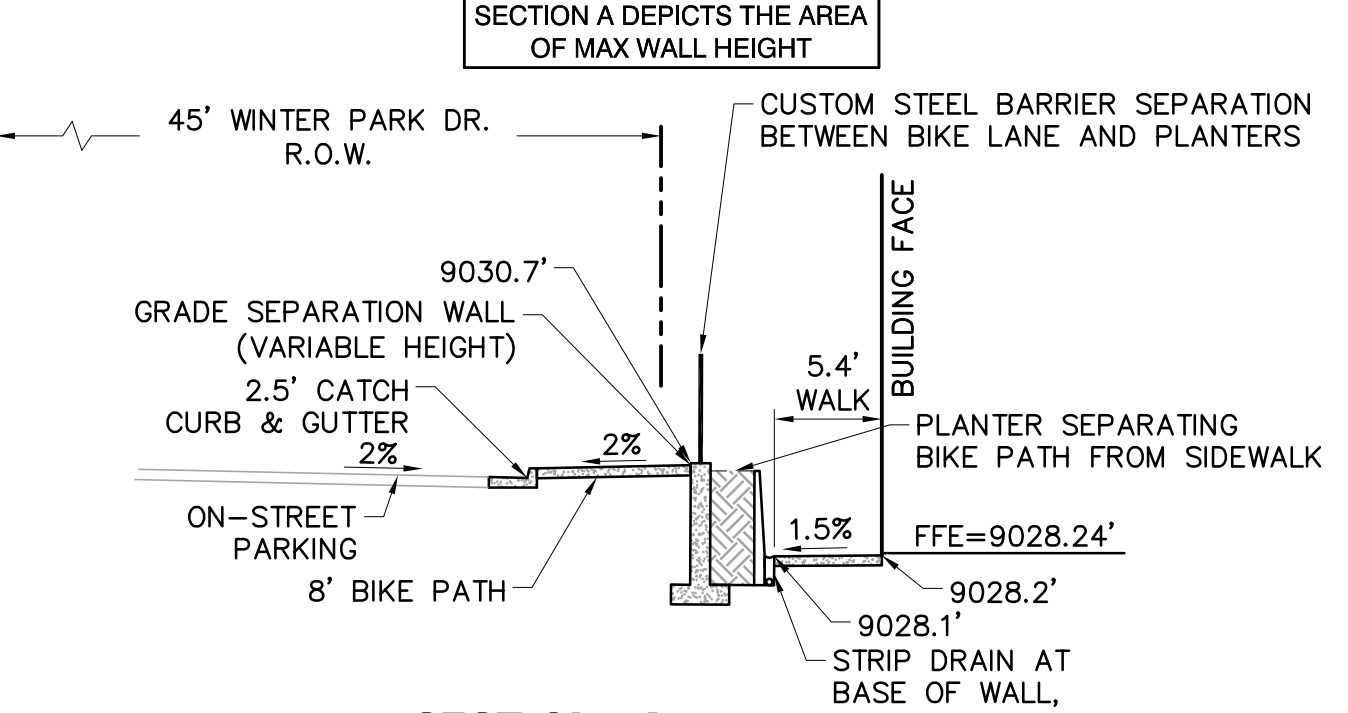
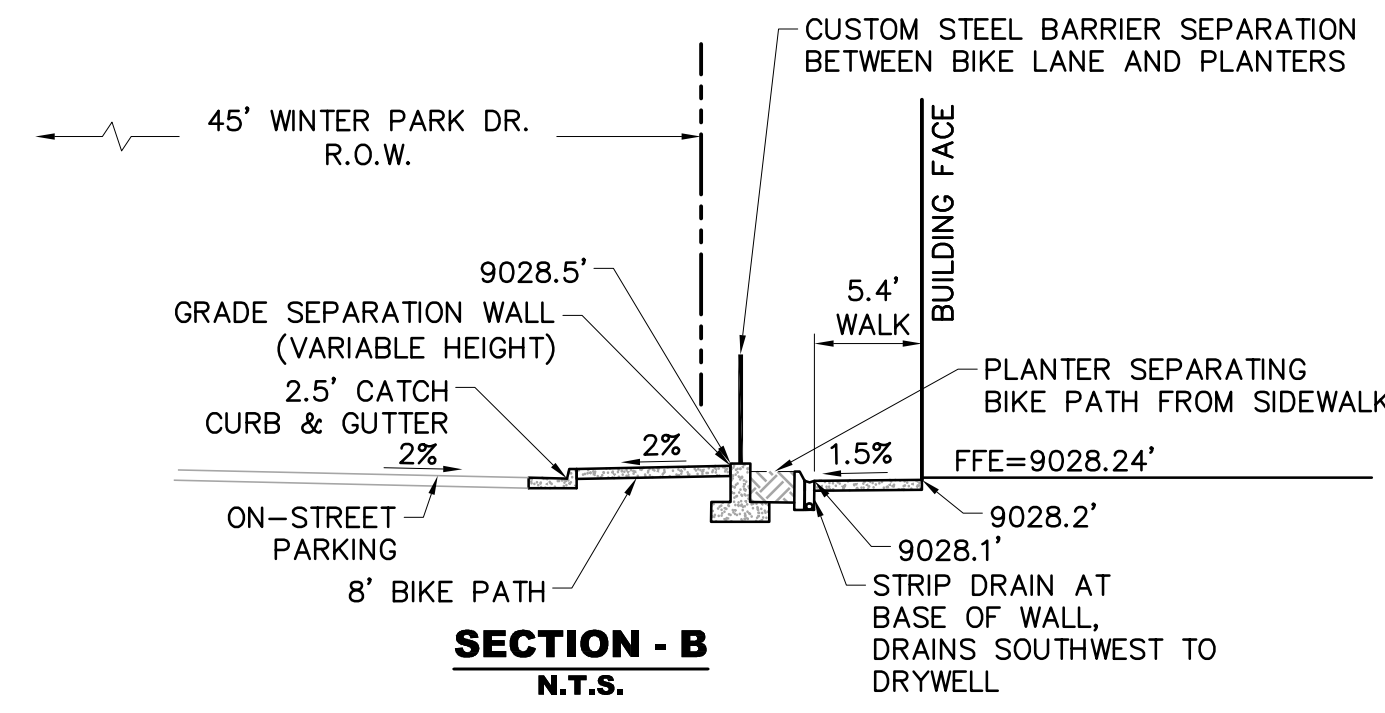


SNOW STORAGE (PER TABLE 3-H-5-1)	
TOTAL PAVED AREA (SF)	6,324
TOTAL SNOW STORAGE AREA REQ'D (SF)	1,581
ON-SITE SNOW STORAGE AREA PROVIDED (SF)	607
SNOW STORAGE AREA EQUIVALENT NEEDED TO HAUL OFF IN ORDER TO MEET MINIMUM STORAGE REQUIREMENTS (SF)	974
ON-SITE SNOW STORAGE AREAS ARE INSUFFICIENT; THIS SITE WILL REQUIRE OFF-SITE HAULING AND/OR SNOW MELTING. (AVG. SLOPE WITHIN PARKING AREA = 2.0%)	

- KEYNOTES/LEGEND:**
- ① 2.5' CATCH CURB & GUTTER
  - ② 1.5' SPILL CURB & GUTTER
  - ③ TRANSITION FROM CATCH TO SPILL CURB
  - ④ WALK TRANSITION STYLE ADA CURB RAMP
  - ⑤ MID-BLOCK STYLE ADA CURB RAMP
  - ⑥ TRASH ENCLOSURE
  - ⑦ ADA LANDING
  - ⑧ 12:1 ADA RAMP
  - ⑨ NO PARKING - FIRE LANE & LOADING ZONE
  - ⑩ LANDSCAPE WALL
  - ⑪ BENCH SEATING
  - ⑫ GRADE SEPARATION WALL
  - ⑬ CUSTOM STEEL BARRIER
  - ⑭ UPPER LEVEL BUILDING OVERHANG
  - ⑮ ON-SITE SNOW STORAGE AREAS
  - ⑯ PARKING COUNT

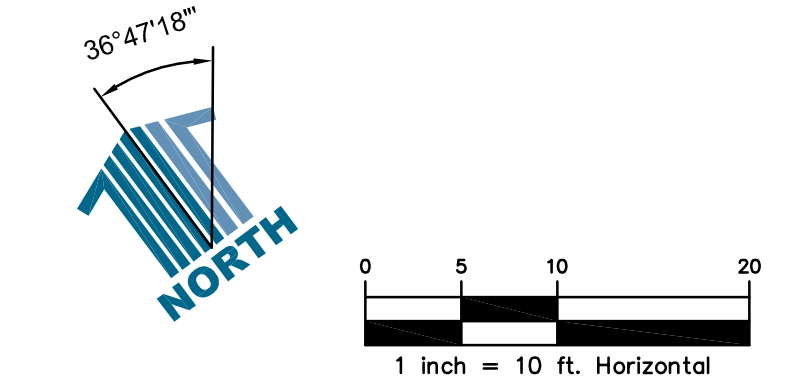
BUILDING COVERAGE RATIO TABLE		
LOT TOTAL	SQ. FT. / ACREAGE	COVERAGE PERCENTAGE (RELATIVE TO LOT)
BUILDING COVERAGE	17,655 SQ. FT. / 0.41 AC	-
DRIVES, SIDEWALKS, PARKING AREAS	6,819 SQ. FT.	38.6%
OPEN SPACE	9,245 SQ. FT.*	52.4%*
	4,065 SQ. FT.	23.0%

\* AREAS OF SIDEWALKS & PARKING EXIST UNDERNEATH BUILDING OVERHANGS. THESE AREAS COUNT TOWARDS BUILDING COVERAGE SF AS WELL AS SIDEWALK & PARKING SF. THEREFOR THE COMBINED SQUARE FOOTAGES LISTED IN THE TABLE ABOVE EXCEED THE OVERALL LOT SF.



ALL CURB IS CATCH UNLESS OTHERWISE NOTED AS FOLLOWS  
 SPILL CURB: ②  
 TRANSITION FROM SPILL TO CATCH: ③

- LIMITS OF ASPHALT CUT
- BUILDING OVERHANG
- 8' WIDE BIKE PATH
- PROPOSED BUILDING
- PROPOSED CONCRETE SIDEWALK/HARD SCAPE
- PROPOSED LANDSCAPE AREA



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 9249 S. Broadway #200-388  
 Highlands Ranch, CO 80129 720.388.8126  
 www.pengsolutions.com  
 Construction Management Civil Engineering Land Planning

**WINTER PARK - OLD TOWN LOT**  
 1097 Winter Park Drive  
 Winter Park, CO 80482  
 PROJECT: 2109

ISSUANCE: MAJOR SITE PLAN  
 DATE: 23-0403  
 1ST REVISION: 24-0822

STAMP:

DRAWING TITLE:  
**SITE PLAN**

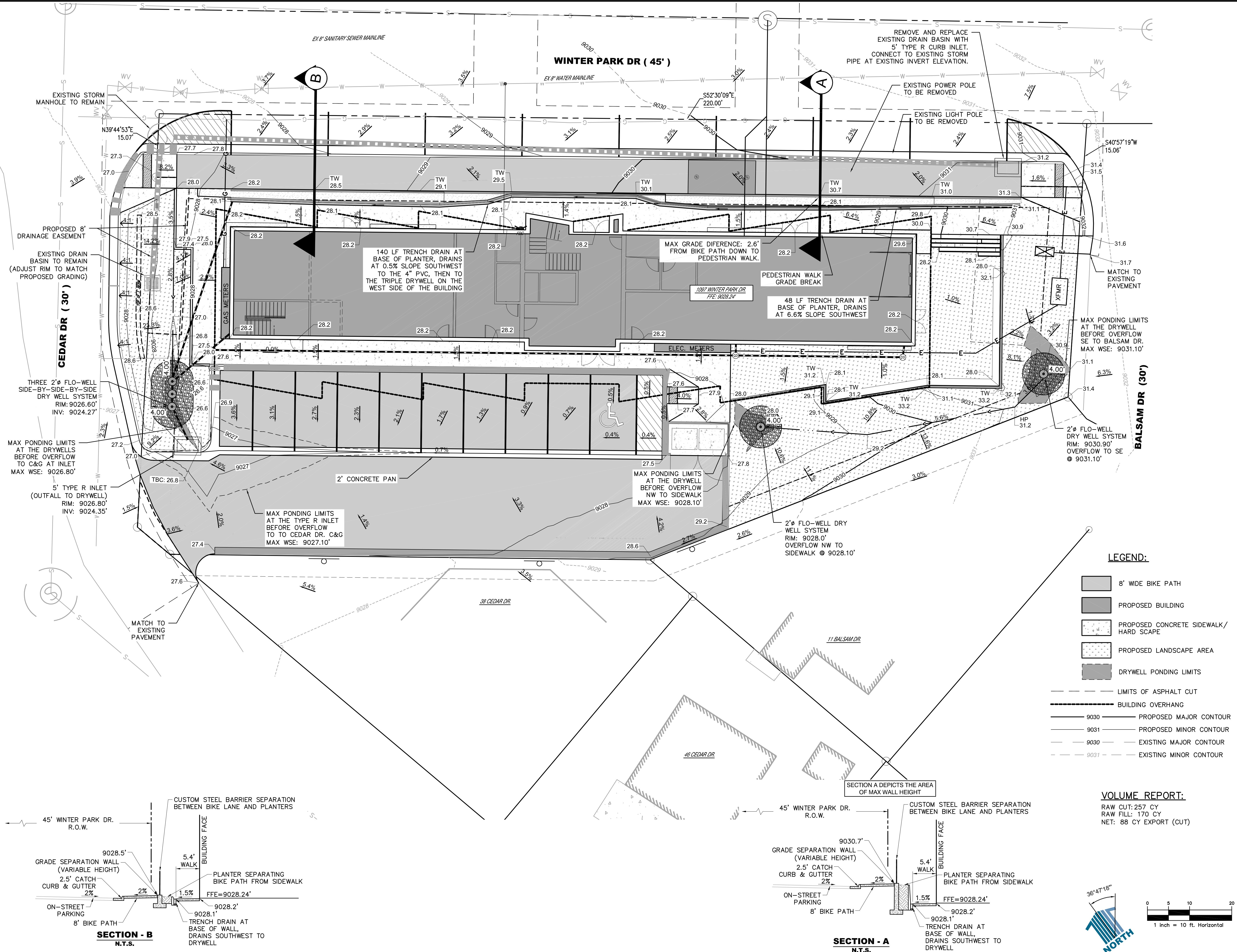
SHEET NUMBER:  
**C1.01**







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PROPOSED 8' DRAINAGE EASEMENT  
EXISTING DRAIN BASIN TO REMAIN (ADJUST RIM TO MATCH PROPOSED GRADING)  
THREE 2" FLO-WELL SIDE-BY-SIDE-BY-SIDE DRY WELL SYSTEM RIM: 9026.60' INV: 9024.27'

MAX PONDING LIMITS AT THE DRYWELLS BEFORE OVERFLOW TO C&G AT INLET MAX WSE: 9026.80'

5' TYPE R INLET (OUTFALL TO DRYWELL) RIM: 9026.80' INV: 9024.35'

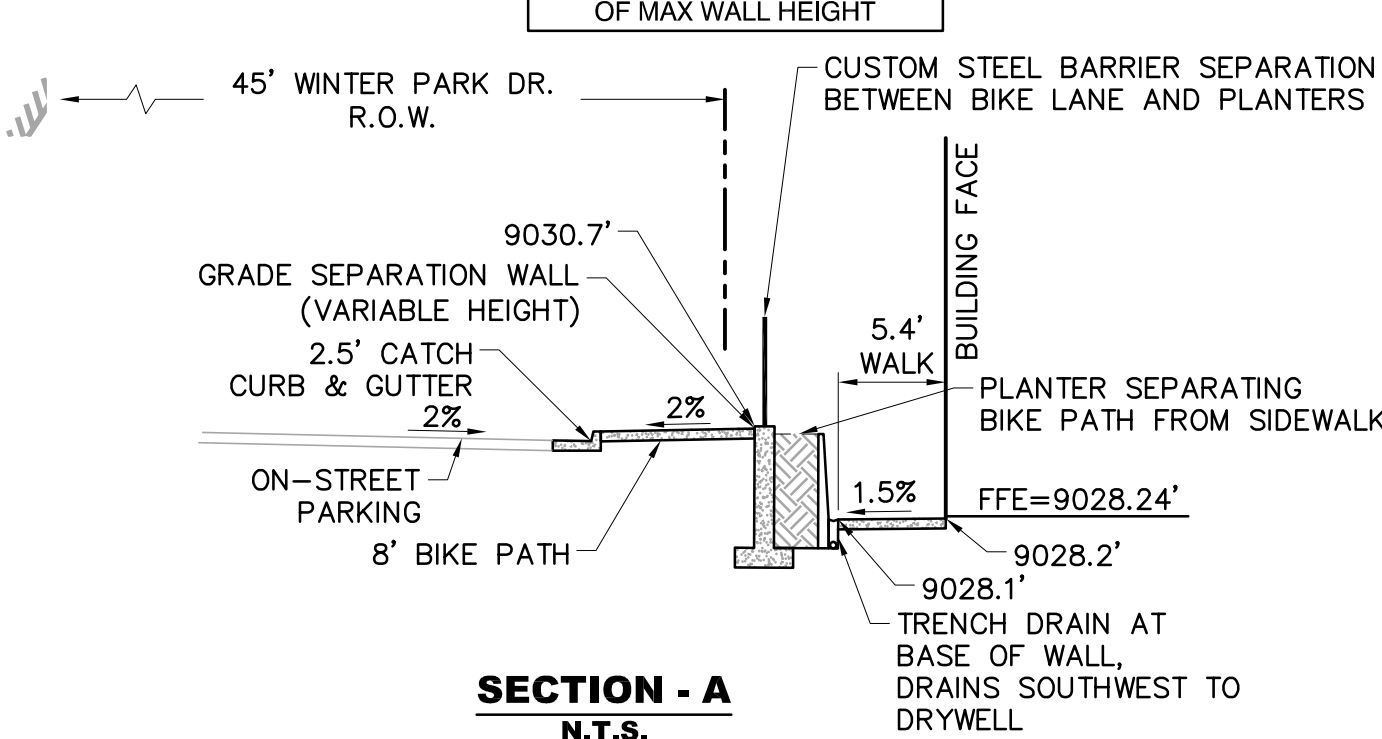
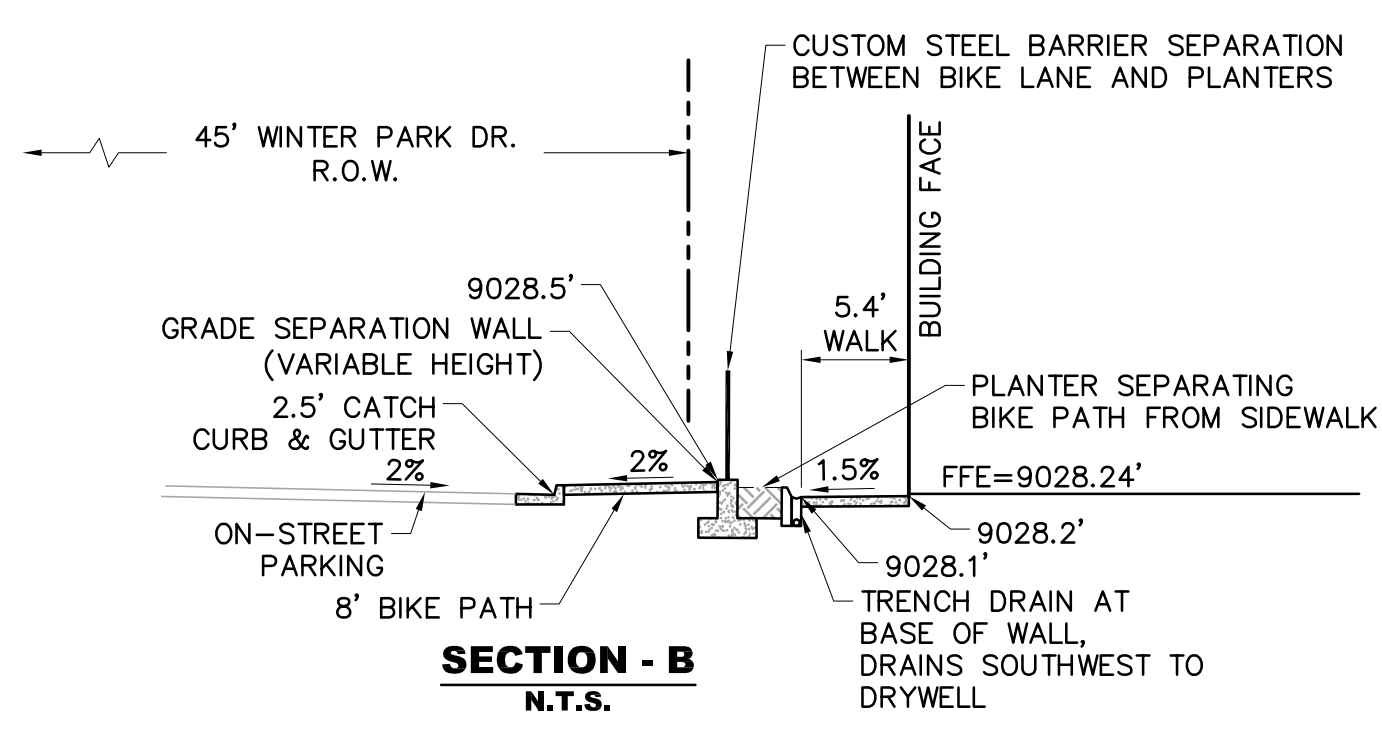
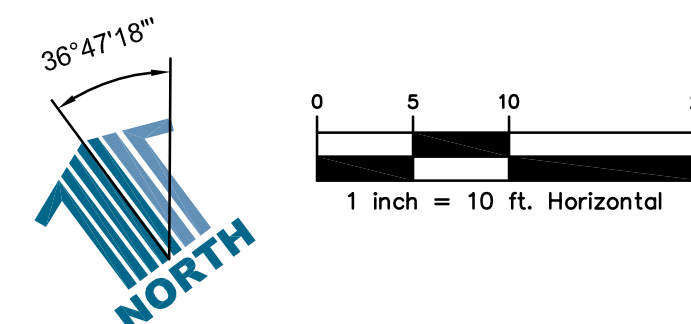
MAX PONDING LIMITS AT THE TYPE R INLET BEFORE OVERFLOW TO CEDAR DR. C&G MAX WSE: 9027.10'

MAX PONDING LIMITS AT THE DRYWELL BEFORE OVERFLOW NW TO SIDEWALK MAX WSE: 9028.10'

2" FLO-WELL DRY WELL SYSTEM RIM: 9028.0' OVERFLOW NW TO SIDEWALK @ 9028.10'

- LEGEND:**
- 8' WIDE BIKE PATH
  - PROPOSED BUILDING
  - PROPOSED CONCRETE SIDEWALK/HARD SCAPE
  - PROPOSED LANDSCAPE AREA
  - DRYWELL PONDING LIMITS
  - LIMITS OF ASPHALT CUT
  - BUILDING OVERHANG
  - 9030 PROPOSED MAJOR CONTOUR
  - 9031 PROPOSED MINOR CONTOUR
  - 9030 EXISTING MAJOR CONTOUR
  - 9031 EXISTING MINOR CONTOUR

**VOLUME REPORT:**  
RAW CUT: 257 CY  
RAW FILL: 170 CY  
NET: 88 CY EXPORT (CUT)



ARCHITECT:  
**ROTH SHEPPARD**

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Construction Management Civil Engineering Land Planning

**WINTER PARK - OLD TOWN LOT**  
1097 Winter Park Drive  
Winter Park, CO 80482  
PROJECT: 2109

ISSUANCE: DATE:  
MAJOR SITE PLAN 23-0403  
1ST REVISION 24-0822

STAMP:

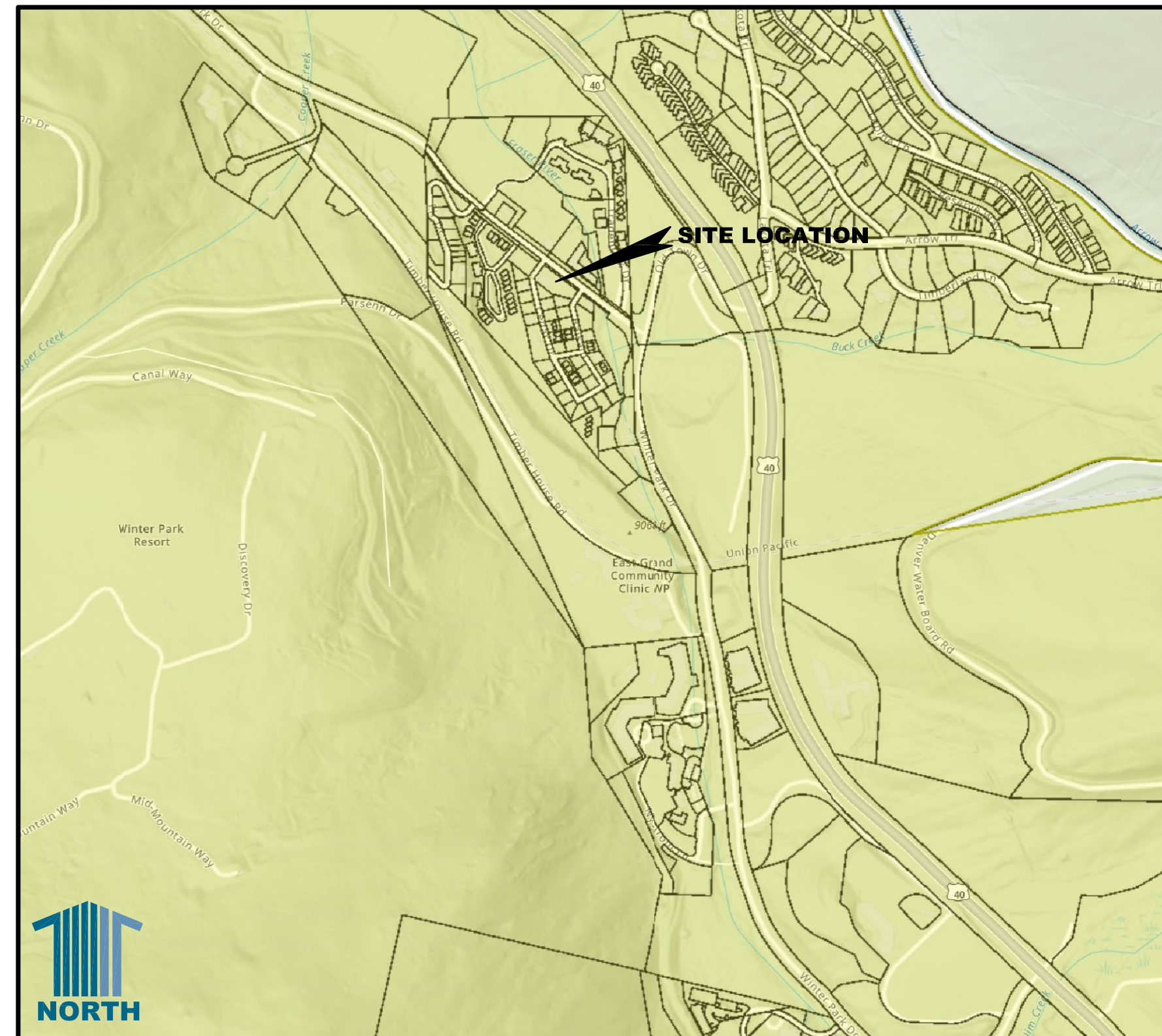
DRAWING TITLE:  
**GRADING PLAN**

SHEET NUMBER:  
**C1.03**



# WINTER PARK OLD TOWN LOT CONSTRUCTION DOCUMENTS

## WINTER PARK VILLAGE, BLOCK 3, LOT A TOWN OF WINTER PARK GRAND COUNTY, STATE OF COLORADO



### VICINITY MAP

N.T.S.

### BENCHMARK

- A. - FOUND ALUMINUM CAPPED REBAR STAMPED PLS 2690, DISTURBED. REPLACED AND UPGRADED WITH ALUMINUM CAPPED, 1/2" REBAR STAMPED PLS 25971.
- B. - FOUND ALUMINUM CAPPED, 1/2" REBAR STAMPED PLS 25971.
- C. - FOUND ALUMINUM CAPPED, 3/8" REBAR STAMPED PLS 31942.
- D. - SET PLASTIC CAPPED, 1/2" REBAR SCRIBED LS 25971.
- E. - DENOTES RECORD PLAT DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY SURVEY.
- F. - EXTANT PLSS CORNER NOTED. FOUND 3" DMWW BRASS CAP.
- G. - FOUND 3/8" REBAR, APPARENT ORIGINAL MONUMENT.
- H. - FOUND PLASTIC CAPPED, 1/2" REBAR STAMPED PLS 25971.
- I. - FOUND 3/4" REBAR, APPARENTLY SET BY PLS 35586 FOR "ADOLF'S PARCEL SURVEY, DEPOSITED UNDER LS 2174, COUNTY SURVEYOR INDEX".

### BASIS OF BEARINGS

BASIS OF BEARING: ASSUMED S13°01'33"E, ALONG THE WEST BOUNDARY OF LOT 11, BLOCK 3, BETWEEN MONUMENTS SHOWN, DERIVED WITH GPS/RTK.

### LEGEND

- ROW/PROPERTY LINE - - - - -
- CENTERLINE - - - - -
- PROPERTY BOUNDARY \_\_\_\_\_
- EASEMENT - - - - -
- PROP. WATER SERVICE \_\_\_\_\_
- PROP. WATER VALVE ⊗
- PROP. SANITARY SEWER SERVICE \_\_\_\_\_ (S)
- PROP. STORM DRAIN INLET □
- EX. GAS MAIN - G - G - G -
- EX. WATER MAIN - W - W - W -
- EX. WATER VALVE ⊗
- EX. FIRE HYDRANT Ⓜ
- EX. SANITARY SEWERS \_\_\_\_\_ (S)
- EX. STORM DRAIN \_\_\_\_\_
- EX. STORM DRAIN INLET □
- EX. POWER POLE ⚡
- EX. UNDERGROUND ELECTRIC - E - E -
- EX. UNDERGROUND TELEPHONE - T -
- EX. FENCE - X - X - X -

### ABBREVIATIONS

- ARV - AIR RELEASE VAC
- PCR - POINT OF CURB RETURN
- PC - POINT OF CURVATURE
- PT - POINT OF TANGENCY
- STA - STATION
- GB - GRADE BREAK
- FL - FLOWLINE
- CL - CENTERLINE
- STM - STORM
- RCP - REINFORCED CONCRETE PIPE
- TC - TOP OF CURB
- FES - FLARED END SECTION
- EX - EXISTING
- ROW - RIGHT OF WAY
- EL - ELEVATION
- WSE - WATER SURFACE ELEVATION
- WQ - WATER QUALITY
- WQCV - WATER QUALITY CAPTURE VOLUME

### SHEET INDEX

- T1 (1) TITLE SHEET
- GN1 (2) GENERAL NOTES
- DM1 (3) DEMOLITION PLAN
- HC1 (4) HORIZONTAL CONTROL PLAN
- OU1 (5) OVERALL UTILITY PLAN
- GR1 (6) GRADING PLAN
- ADA1 (7) ADA ROUTE
- EC1 (8) EROSION CONTROL PLAN
- DT1 (9) CONSTRUCTION DETAILS
- DT2 (10) DRYWELL AND STRIP DRAIN DETAILS
- DT3 (11) SWMP DETAILS

11 TOTAL SHEETS

### KEY CONTACTS

TOWN OF WINTER PARK  
JAMES SHOCKEY (970) 726-8081 EXT. 206

OWNER  
WHITE DEVELOPMENT, LLC  
DEVIN VISCIANO (303) 506-5995

ARCHITECT  
ADAM HARDING, AIA (303) 534-7007  
ROTH SHEPPARD ARCHITECTS AHARDING@ROTHSHEPPARD.COM  
1900 WAZEE STREET, SUITE 100  
DENVER, CO 80202

ENGINEER  
STEPHEN DOUGLAS, P.E. (720) 388-8126  
PERSONALIZED ENGINEERING SOLUTIONS, LLC SDOUGLAS@PENG SOLUTIONS.COM  
9249 S. BROADWAY #200-388,  
HIGHLANDS RANCH, CO 80129

UTILITY NOTIFICATION  
UTILITY NOTIFICATION CENTER OF COLORADO (800) 922-1987

SURVEYOR  
WARREN WARD (970) 531-1120  
ROCKY MOUNTAIN SURVEYS, INC. WWARD1224@COMCAST.NET  
P.O. BOX 552, WINTER PARK, CO 80482

THESE CONSTRUCTION DOCUMENTS FOR THE WINTER PARK OLD TOWN LOT WERE PREPARED BY ME (OR UNDER MY DIRECT SUPERVISION) IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF WINTER PARK'S LATEST ADOPTED STANDARDS AND SPECIFICATIONS.

STEPHEN M. DOUGLAS, P.E.  
REGISTERED LICENSED PROFESSIONAL ENGINEER  
STATE OF COLORADO No. 41176  
FOR AND ON BEHALF OF  
PERSONALIZED ENGINEERING SOLUTIONS, LLC  
(720)388-8126

TOWN OF WINTER PARK PLAN REVIEW IS FOR GENERAL CONFORMANCE WITH TOWN OF WINTER PARK STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS ONLY. THIS ACCEPTANCE DOES NOT RELIEVE THE CONSULTANTS OF ANY LIABILITY FOR ERRORS, OMISSIONS OR VIOLATIONS OF TOWN STANDARDS AND SPECIFICATIONS OR STATE OR FEDERAL GOVERNMENT REGULATIONS. THE TOWN OF WINTER PARK ASSUMES NO RESPONSIBILITY OTHER THAN AS STATED ABOVE FOR COMPLETENESS. THE CONSTRUCTION OF THESE PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED STANDARDS AND SPECIFICATIONS.

**811** UNCC  
CALL BEFORE  
YOU DIG  
**811**  
OR  
**1-800-922-1987**

Utility Notification  
Center of Colorado  
Administrative Office 303-232-1991  
16361 Table Mountain Parkway  
Golden, Co. 80403

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG,  
GRADE OR EXCAVATE FOR THE MARKING OF  
UNDERGROUND MEMBER UTILITIES.

PERSONALIZED ENGINEERING SOLUTIONS, LLC ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL). THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATIONS OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

PATH: P:\WHITE DEV WINTER PARK\CADD\CIVIL\CD\20T1.DWG  
PLOTTED BY: SMD  
XREFS: 10TB\_CD  
PLOT DATE: 8/21/2024 4:35 PM

DATE	REVISION DESCRIPTION
AUG 2024	ADDRESSING TOWN REVIEW COMMENTS
MARCH 2024	GRADING REVISION: LOWERED BUILDING FFE BY 3'
APRIL 2023	INITIAL CD SUBMITTAL

Drawing Name 20T1.dwg
Job Number WP OTL

Prepared For WHITE DEVELOPMENT	Designer SMD	Drafter SN	Checked SMD
-----------------------------------	-----------------	---------------	----------------

**PES** Personalized Engineering Solutions  
Personalized Engineering Solutions, LLC  
9249 S. Broadway #200-388  
Highlands Ranch, CO 80129 720.388.8126  
www.pengsolutions.com  
Construction Management Civil Engineering Land Planning

**WINTER PARK - OLD TOWN LOT  
CONSTRUCTION DOCUMENTS  
TITLE SHEET**

Sheet <b>T1</b>	1 of 11
Date APRIL 2023	



**GENERAL NOTES:**

1. DEFINITIONS

OWNER –PROPERTY OWNER.  
 CONTRACTOR –AS DETERMINED BY BID.  
 ENGINEER –PROFESSIONAL ENGINEER OF RECORD.  
 TOWN OF WINTER PARK –AUTHORIZED REPRESENTATIVE(S) OF THE TOWN OF WINTER PARK ENGINEERING DIVISION AND PUBLIC WORKS DEPARTMENT; THE AGENCY OF JURISDICTION.  
 CONTRACTOR SHALL HAVE IN CONTRACTOR’S POSSESSION AT ALL TIMES ONE (1) COPY OF CONSTRUCTION DOCUMENTS STAMPED AND SIGNED BY ENGINEER AND TOWN OF WINTER PARK., AND ONE (1) COPY OF THE LATEST EDITION OF THE TOWN OF WINTER PARK STANDARDS AND SPECIFICATIONS.  
 ALL WORK SHALL COMPLY WITH THE TOWN OF WINTER PARK STANDARDS AND SPECIFICATIONS, LATEST EDITION. THE ENGINEERING DESIGN AND CONCEPT REMAINS THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE APPEAR ON THE CONSTRUCTION DOCUMENTS.  
 CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO ENGINEER AND TOWN OF WINTER PARK IMMEDIATELY.

2. WORK HOURS

a. ALL WORK ON THE PROJECT SHALL BE PERFORMED DURING REGULAR WORK HOURS, 7:00 A.M. UNTIL 7:00 P.M., MONDAY THROUGH FRIDAY. RESTRICTED HOURS MAY BE INCLUDED WITH CONDITIONS OF THE CITY COUNCIL RESOLUTION APPROVING THE PROJECT, OR WITHIN THE WORK PERMIT. ALL WORK ON THE PROJECT SHALL COMPLY WITH TOWN OF WINTER PARK STANDARDS AND SPECIFICATIONS.  
 b. CONTRACTOR SHALL NOT PERFORM WORK OUTSIDE REGULAR WORK HOURS OR ON SATURDAY, SUNDAY OR ANY TOWN OF WINTER PARK OBSERVED HOLIDAY WITHOUT RECEIVING WRITTEN CONSENT FROM THE TOWN ENGINEER OR DESIGNATED REPRESENTATIVE. TOWN OF WINTER PARK OBSERVED HOLIDAYS INCLUDE: NEW YEAR’S DAY, MARTIN LUTHER KING DAY, PRESIDENT’S DAY, MEMORIAL DAY, INDEPENDENCE DAY, LABOR DAY, VETERAN’S DAY, THANKSGIVING DAY, FRIDAY FOLLOWING THANKSGIVING, CHRISTMAS EVE, CHRISTMAS DAY. REQUEST FOR WORK OUTSIDE REGULAR WORK HOURS SHALL BE RECEIVED TWO BUSINESS DAYS PRIOR TO THE PROPOSED DATE OF THE WORK. REFER THE TOWN OF WINTER PARK STANDARDS AND SPECIFICATIONS.

3. PRECONSTRUCTION MEETINGS

a. OWNER SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH TOWN OF WINTER PARK ENGINEERING STAFF AT LEAST 3 BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION. THOSE IN ATTENDANCE SHALL INCLUDE:  
 • OWNER  
 • ENGINEER  
 • TOWN OF WINTER PARK  
 • CONTRACTOR  
 • GEOTECHNICAL ENGINEER  
 • SURVEYOR  
 • ANY OTHER AFFECTED AGENCIES  
 b. CONSTRUCTION DOCUMENTS WITH THE TOWN OF WINTER PARK REVIEW STAMP AND SIGNATURE SHALL BE DISTRIBUTED AT THE PRECONSTRUCTION MEETING.  
 c. THERE SHALL BE A SEPARATE ONSITE PRECONSTRUCTION CONFERENCE WITH TOWN OF WINTER PARK PUBLIC WORKS AT LEAST 48 HOURS PRIOR TO CONNECTING TO EXISTING TOWN OF WINTER PARK UTILITIES.  
 4. CONTRACTOR SHALL RESTRICT CONSTRUCTION ACTIVITY TO PUBLIC RIGHT–OF–WAY (R.O.W.) AND AREAS DEFINED AS PERMANENT AND/OR TEMPORARY CONSTRUCTION EASEMENTS, AND AREAS UNDER OWNERSHIP OF OWNER, UNLESS OTHERWISE AUTHORIZED BY THE AFFECTED PROPERTY OWNER AND ACKNOWLEDGED BY THE TOWN OF WINTER PARK. PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL OBTAIN WRITTEN AGREEMENTS FOR INGRESS AND EGRESS TO THE WORK SITE FROM ADJACENT PRIVATE PROPERTY OWNERS. ACCESS TO ANY ADJACENT PRIVATE PROPERTY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.  
 5. CONTRACTOR SHALL VERIFY ACCURACY BETWEEN WORK SET FORTH ON THESE CONSTRUCTION DOCUMENTS AND WORK REQUIRED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF ENGINEER AND THE TOWN OF WINTER PARK PRIOR TO START OF CONSTRUCTION.  
 6. ENGINEER SHALL COORDINATE ANY PROPOSED CHANGES WITH THE TOWN OF WINTER PARK.  
 7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING NOTIFICATIONS:  
 a. UTILITY NOTIFICATION CENTER OF COLORADO, 1–800–922–1987. CALL TWO (2) BUSINESS DAYS PRIOR (NOT INCLUDING THE DAY OF THE CALL) TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.  
 i. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES, WHETHER SHOWN OR NOT SHOWN ON THE APPROVED CONSTRUCTION DOCUMENTS.  
 ii. PROVIDING NOTIFICATION AND RECEIVING MARKINGS OF UNDERGROUND MEMBER UTILITIES IN NO WAY CONSTITUTES PERMISSION TO PERFORM CONSTRUCTION.  
 b. UTILITY NOTIFICATION CENTER OF COLORADO AT 1–800–922–1987 FOR LOCATES OF EXISTING TOWN OF WINTER PARK UTILITIES, INCLUDING POTABLE AND NON–POTABLE WATERLINES, SANITARY SEWER LINES, STORM SEWER LINES, PUBLIC IRRIGATION LINES AND TRAFFIC CONTROL DEVICES. CALL TWO BUSINESS DAYS (48 HOURS) PRIOR (NOT INCLUDING THE DAY OF THE CALL) TO THE START OF CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.  
 c. THE TOWN OF WINTER PARK UTILITY CUSTOMERS FOR POTENTIAL SERVICE OUTAGES AND COORDINATION WITH THE TOWN OF WINTER PARK PUBLIC WORKS FOR DETERMINATION OF MINIMUM TIME REQUIREMENT. THE TOWN OF WINTER PARK PUBLIC WORKS SHALL BE NOTIFIED TWO BUSINESS DAYS (48 HOURS) IN ADVANCE TO SCHEDULE AN OUTAGE.  
 d. THE TOWN OF WINTER PARK 24 HOURS IN ADVANCE FOR OBSERVATIONS OF WORK IN PROGRESS. OBSERVATION AND ONSITE VISITS ARE NOT TO BE CONSTRUED AS A GUARANTEE OR APPROVAL BY THE TOWN OF WINTER PARK STAFF OF CONTRACTOR’S WORK OR CONTRACTUAL COMMITMENT. IF WORK IS SUSPENDED FOR LONGER THAN 5 DAYS AFTER INITIAL START–UP, CONTRACTOR SHALL NOTIFY THE TOWN OF WINTER PARK CONSTRUCTION INSPECTION SUPERVISOR ONE (1) BUSINESS DAYS (24 HOURS) PRIOR TO RESTART OF CONSTRUCTION.  
 e. THE TOWN OF WINTER PARK OFFICE IN THE EVENT OF AN EMERGENCY, AT (970) 725–3549 DURING REGULAR WORK HOURS OR (970) 722–7779 AFTER HOURS.  
 8. FOR DEVELOPMENT WORK, OWNER SHALL OBTAIN AT OWNER’S EXPENSE, ALL PERMITS NECESSARY TO PERFORM THE PROPOSED WORK.  
 9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION:  
 a. CONTRACTOR SHALL SUBMIT TRAFFIC CONTROL PLANS TO THE TOWN OF WINTER PARK FOR APPROVAL

PRIOR TO CONSTRUCTION.  
 b. ALL SIGNS, STRIPING AND TRAFFIC CONTROL DEVICES SHALL CONFORM TO AND PLACEMENT SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION AND CDOT M&S STANDARDS, LATEST EDITION.  
 c. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND CLEANING OF TRAFFIC CONTROL DEVICES.  
 d. CONTRACTOR SHALL MAINTAIN EXISTING PAVEMENT MARKINGS DURING CONSTRUCTION OPERATIONS, IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS AND THE TOWN OF WINTER PARK STANDARDS AND SPECIFICATIONS.  
 e. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE SURFACE OR TEXTURE OF THE PAVEMENT OR EXISTING SURFACING. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY ARE NOT VISIBLE UNDER DAY OR NIGHT CONDITIONS.  
 10. WHEN DISCHARGING GROUNDWATER, ALL DEWATERING METHODS SHALL BE IN CONFORMANCE WITH ALL LAWS AND REGULATIONS OF THE STATE—INCLUDING OBTAINING A COLORADO DISCHARGE PERMIT SYSTEM FOR CONSTRUCTION DEWATERING WASTEWATER DISCHARGE—AND SUBJECT TO THE APPROVAL OF THE TOWN OF WINTER PARK. CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORMWATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK.  
 11. CONTRACTOR SHALL RESTORE ANY DISTURBED AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED BEFORE CONSTRUCTION. DRAINAGE DITCHES OR WATERCOURSES THAT ARE DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO THE GRADES AND CROSS–SECTIONS THAT EXISTED BEFORE CONSTRUCTION, UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION DOCUMENTS.  
 12. CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE POINTS, STAKES AND OTHER SURVEY REFERENCE MONUMENTS OR MARKERS. IN CASES OF WILLFUL OR CARELESS DESTRUCTION, CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATIONS. RESETING OF MARKERS SHALL BE PERFORMED UNDER THE DIRECTION OF A COLORADO LICENSED PROFESSIONAL LAND SURVEYOR AND AS APPROVED BY THE TOWN OF WINTER PARK.  
 13. CONTRACTOR SHALL IMMEDIATELY REMOVE ANY CONSTRUCTION DEBRIS AND MUD TRACKED ONTO EXISTING ROADWAYS. CONTRACTOR SHALL REPAIR ANY EXCAVATION OR PAVEMENT FAILURES CAUSED BY THE CONSTRUCTION.  
 14. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL STATE AND TOWN OF WINTER PARK DUST AND EROSION CONTROL ORDINANCES. CONSTRUCTION VEHICLES SHALL USE TRUCK ROUTES DESIGNATED BY THE TOWN OF WINTER PARK.  
 15. ALL CONCRETE AND ASPHALT MIXTURE DESIGNS SHALL BE APPROVED BY THE TOWN OF WINTER PARK PRIOR TO PLACEMENT OF CONCRETE AND ASPHALT.  
 16. WORK IN PUBLIC STREETS SHALL BE PERFORMED IN A MANNER THAT PROVIDES MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND THE GENERAL PUBLIC.  
 17. ALL PAVEMENT CUTS AND EXPLORATORY POTHoles SHALL BE REPAIRED AS REQUIRED BY THE TOWN OF WINTER PARK.  
 18. NO ROADWAY SHALL BE OPEN CUT UNLESS APPROVED BY THE TOWN OF WINTER PARK.  
 19. OWNER SHALL SUBMIT A PAPER COPY OF REDLINED RECORD CONSTRUCTION DOCUMENTS TO THE TOWN OF WINTER PARK PRIOR TO THE CONSTRUCTION ACCEPTANCE INSPECTION. REFER TO THE TOWN OF WINTER PARK STANDARDS AND SPECIFICATIONS FOR ADDITIONAL RECORD DOCUMENT SUBMITTAL REQUIREMENTS.  
 20. PRIOR TO CONSTRUCTION ACCEPTANCE, SURVEYOR SHALL SUBMIT A PLAN OF PROPOSED LOCATIONS FOR INSTALLATION OF RANGE POINTS TO THE TOWN OF WINTER PARK FOR APPROVAL. RANGE POINTS SHALL BE SET IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLES 51 AND 53 OF TITLE 38 OF THE COLORADO REVISED STATUTES, AND AS REQUIRED BY THE BYLAWS AND RULES OF PROCEDURE OF THE COLORADO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS. RANGE POINTS SHALL BE SET IN VALVE BOXES THAT COMPLY WITH THE TOWN OF WINTER PARK STANDARDS AND SPECIFICATIONS WITH BOX LIDS MARKED ‘SURVEY POINT’, OR AS OTHERWISE APPROVED BY THE TOWN ENGINEER.  
 21. TRASH ENCLOSURES AND SERVICE AREAS WILL BE EFFECTIVELY SCREENED THROUGH THE USE OF LANDSCAPE MATERIALS AND SCREEN WALLS OF MATERIALS AND COLORS TO MATCH THE BUILDING ARCHITECTURE  
 22. ELECTRICAL DISTRIBUTION PANELS WILL BE CONTAINED WITHIN THE BUILDING, SERVICE ENCLOSURES OR SCREENED PERMANENTLY FROM VIEW.  
 23. GAS METERS WILL BE PERMANENTLY SCREENED FROM VIEW AND PAINTED TO MATCH THE BUILDING.  
 24. LIGHT SOURCES WILL BE CONCEALED FROM VIEW AND THERE WILL BE NO LIGHT GLARE SPILLOVER BEYOND THE PROPERTY LINE. PARKING LOT LIGHTING SHALL BE CONTROLLED BY AUTOMATIC TIMERS PROGRAMMED TO SHUT OFF DAILY AT 11PM MINIMUM. THE PARKING LOT LIGHTING MAY REMAIN IN USE ON A LIMITED TIME BASIS.  
 25. ALL BUILDINGS, PARKING, AND LANDSCAPING WILL COMPLY WITH SIGHT TRIANGLES AT INTERSECTIONS.  
 26. ALL FUTURE ROW, DRAINAGE EASEMENTS, SHARED ACCESS, AND TRAIL EASEMENTS ARE TO BE DEDICATED BY A SEPARATE INSTRUMENT.  
 27. ALL WORK RELATED TO THE EXISTING WATER MAINS IN WINTER PARK DRIVE AND CEDAR DRIVE; AND THE NEW FIRE AND DOMESTIC WATER SERVICE TO THE BUILDING SHALL BE DONE IN ACCORDANCE WITH WINTER PARK WATER AND SANITATION DISTRICT RULES AND REGULATIONS AND WITH PRIOR COORDINATION WITH WPWS D STAFF.  
 28. ALL WORK RELATED TO THE EXISTING SEWER IN WINTER PARK DRIVE AND CEDAR DRIVE; AND THE SEWER SERVICE TO THE BUILDING SHALL BE DONE IN ACCORDANCE WITH WINTER PARK WATER AND SANITATION DISTRICT RULES AND REGULATIONS AND WITH PRIOR COORDINATION WITH WPWS STAFF.

**PLAT NOTES:**

WITH RESPECT TO THE ELECTRIC UTILITY EASEMENT GRANTED HEREBY, NO STRUCTURE SHALL BE ALLOWED CLOSER THAN TEN FEET (10’) FROM ANY PRIMARY VOLTAGE POWER LINES OR WITHIN TEN FEET (10’) AROUND ANY ABOVE GROUND EQUIPMENT. NO OTHER UTILITY LINE (WHETHER GAS, WATER, SEWER OR OTHER UTILITY) SHALL BE ALLOWED CLOSER THAN FIVE FEET (5’) FROM ANY PRIMARY VOLTAGE POWER LINES OR WITHIN FIVE FEET (5’) AROUND ANY ABOVE GROUND EQUIPMENT. NOTWITHSTANDING THE FOREGOING, UNDERGROUND COMMUNICATION FACILITIES SHALL NOT BE ALLOWED CLOSER THAN ONE FOOT (1’) TO ANY POWER LINES AND ABOVE GROUND COMMUNICATION FACILITIES SHALL NOT BE CLOSER THAN TWO FEET (2’) TO ANY ABOVE GROUND ELECTRIC FACILITIES. NO GRADE CHANGES (FILL OR CUT) IN EXCESS OF SIX INCHES (6”) ARE PERMITTED WITHIN TEN FEET (10’) OF ANY PRIMARY ELECTRIC LINE OR WITHIN FIVE FEET (5’) OF ANY OTHER FACILITY, INCLUDING SECONDARY ELECTRIC LINES, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM MOUNTAIN PARKS ELECTRIC, INC.

EACH TOWNHOME, DUPLEX, MULTI–FAMILY OR MULTI–USE BUILDING ON THE PROPERTY SHALL HAVE GAS METERS ON THE GABLE END OF ONE (1) END UNIT (“GAS METER BANK”). DEVELOPER, FUTURE HOME OWNER, OR METRO DISTRICT HEREBY GRANTS TO XCEL (PSCO) A NON–EXCLUSIVE UTILITY EASEMENT FOR (I) ONE GAS METER BANK ON THE END OF ONE (1) END UNIT PER BUILDING AND (II) ALL OTHER THINGS REASONABLY NECESSARY TO CONSTRUCT, INSTALL, MAINTAIN AND OPERATE SUCH GAS METER BANK ON EACH OF THE BUILDINGS (THE “GAS METERING EASEMENT”). ALL LINES AND OTHER FACILITIES RELATED TO SUCH GAS METER BANK, SUCH AS METER RISERS (BUT NOT INDIVIDUAL GAS METERS), SHALL BE THE PROPERTY OF XCEL (PSCO). ALL OF THE FOREGOING RIGHTS AND BENEFITS OF XCEL (PSCO) WITH RESPECT TO THE GAS METERING EASEMENT SHALL BE BINDING UPON AND SHALL INURE TO THE BENEFIT OF SUCCESSORS AND ASSIGNS.

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AUG 2024	ADDRESSING TOWN REVIEW COMMENTS
MARCH 2024	GRADING REVISION: LOWERED BUILDING FFE BY 3'
APRIL 2023	INITIAL CD SUBMITTAL
DATE	REVISION DESCRIPTION

Drawing Name 20GN.dwg			
Job Number WP OTL			
Prepared For WHITE DEVELOPMENT	Designer SMD	Drafter SN	Checked SMD

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 9249 S. Broadway #200-388  
 Highlands Ranch, CO 80129 720.388.8126  
 www.pengsolutions.com  
 Construction Management Civil Engineering Land Planning

**WINTER PARK - OLD TOWN LOT**  
**CONSTRUCTION DOCUMENTS**  
**GENERAL NOTES**

Sheet <b>GN1</b>	2 of 11
Date APRIL 2023	









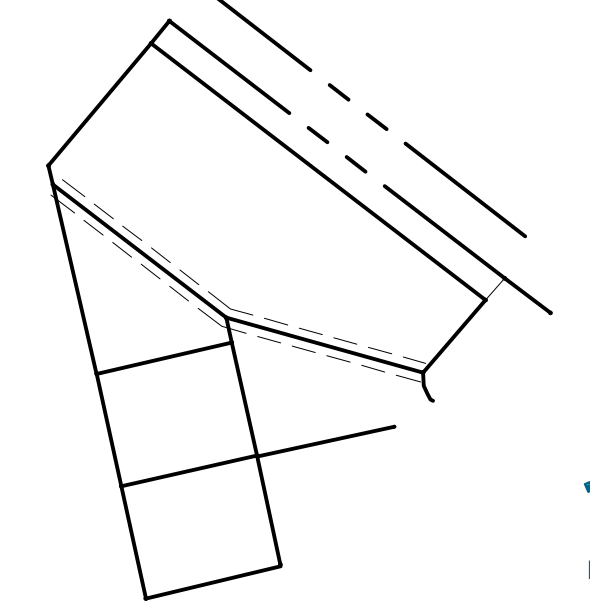








UNCC  
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YOU DIG  
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OR  
**1-800-922-1987**  
Utility Notification  
Center of Colorado

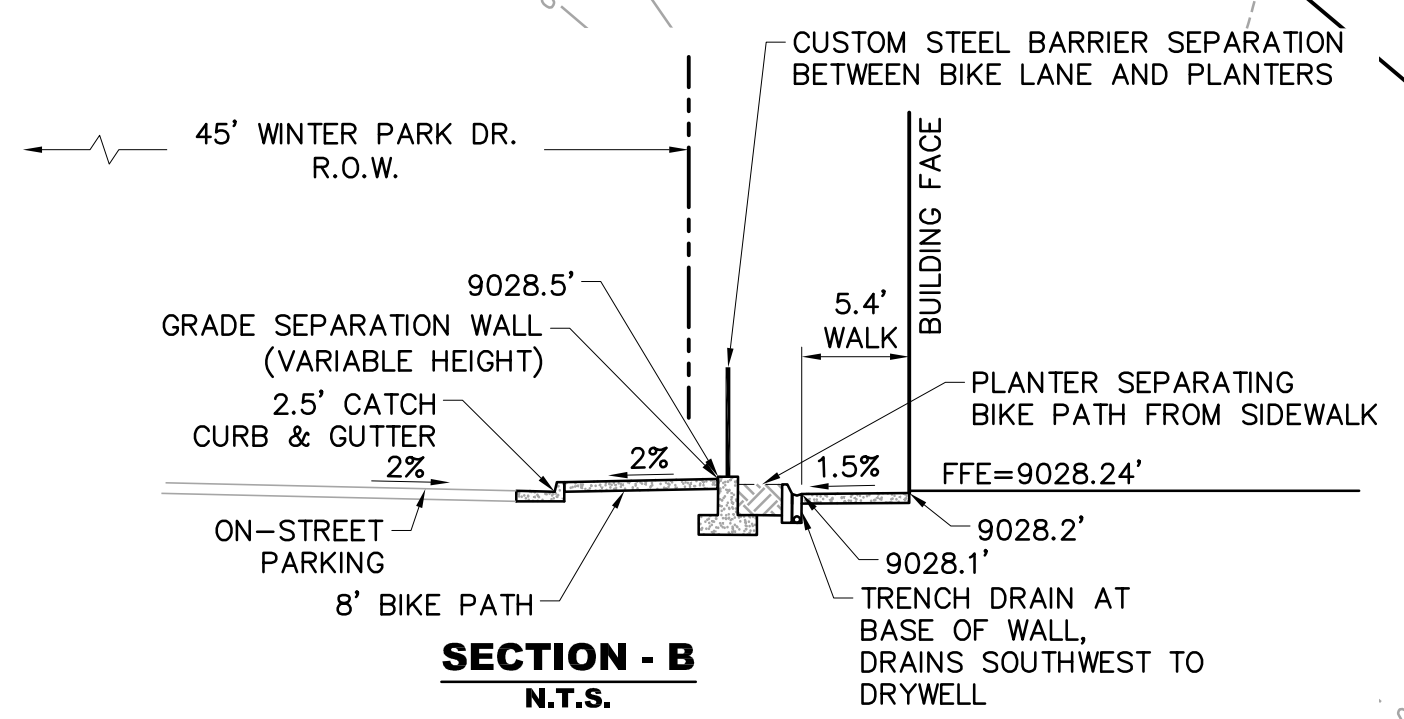
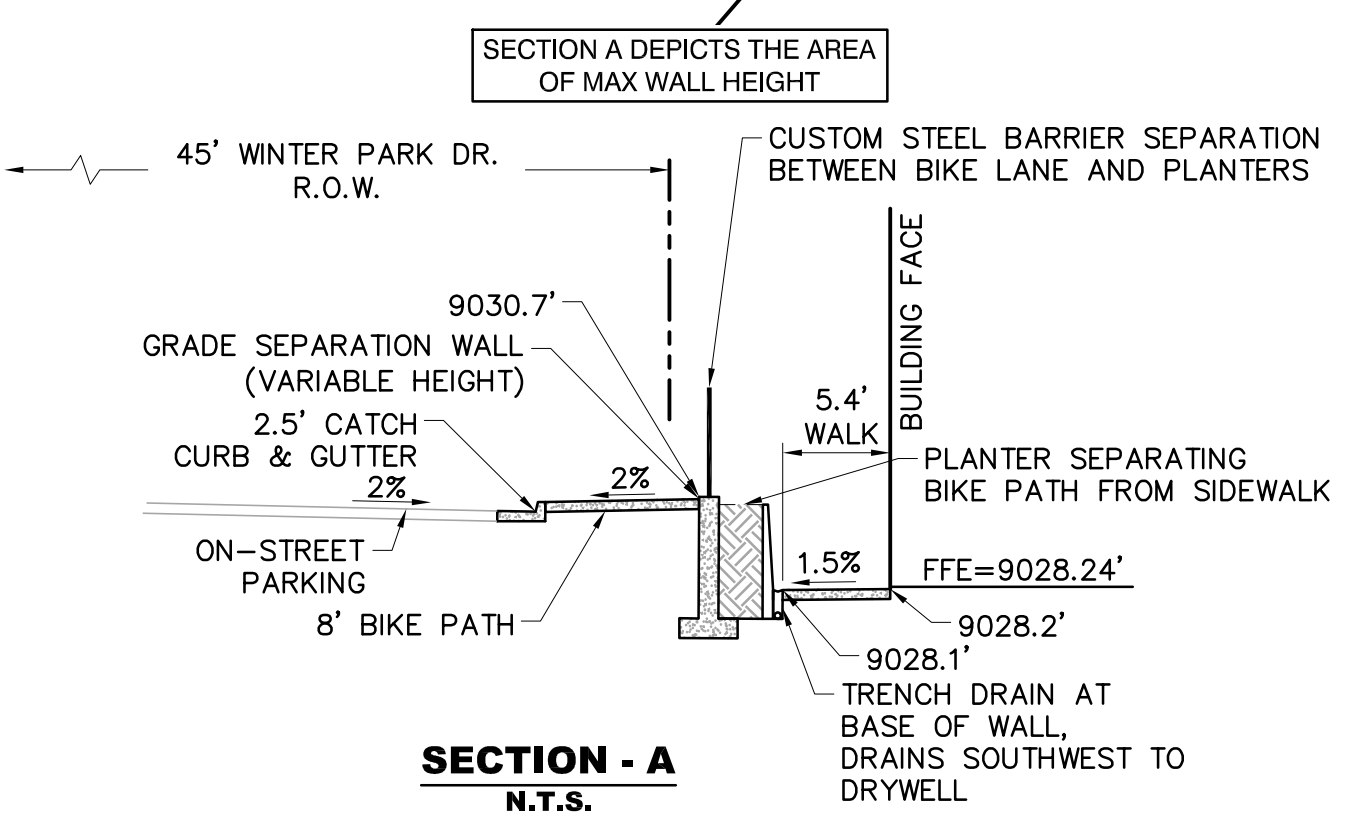
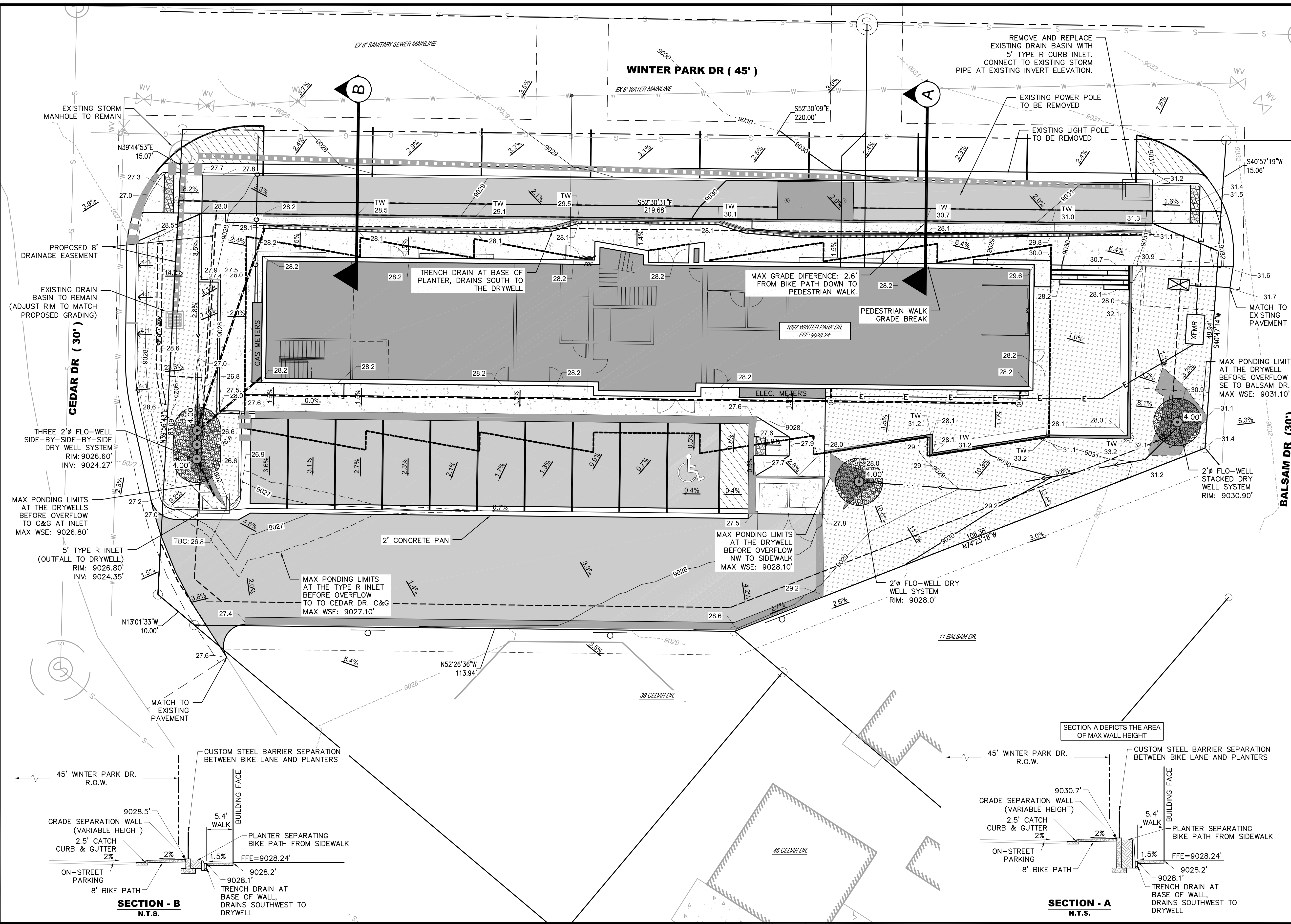
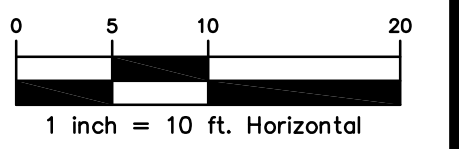
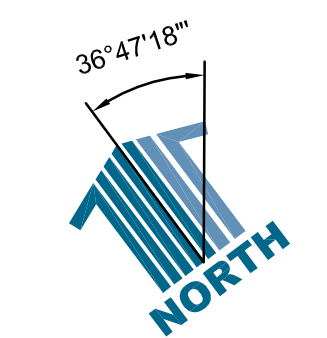


- WHERE CONSTRUCTION DETAILS AND SPECIFICATIONS ARE NOTED ON THESE PLANS USE TOWN OF WINTER PARK STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION.
- ALL DIMENSIONS ARE TO FLOWLINE, EXCEPT PROFILES, WHICH ARE CENTERLINE DIMENSIONS, OR UNLESS OTHERWISE NOTED.
- SEE SURVEY DOCUMENTS FOR BENCHMARK AND BASIS OF BEARINGS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND ILLUSTRATE TOPSOIL, STOCKPILES, STAGING AREAS, EQUIPMENT STORAGE, REFUELING/MAINTENANCE AREAS, AND DISPOSAL.
- CONTRACTOR SHALL CLEAN ALL INLETS AND STORM PIPES ON AND ADJACENT TO THE SITE AT FINAL CLEAN-UP AS NEEDED.

**VOLUME REPORT:**  
RAW CUT: 257 CY  
RAW FILL: 170 CY  
NET: 88 CY EXPORT (CUT)

**LEGEND:**

- 8' WIDE BIKE PATH/ ASPHALT DRIVE
- PROPOSED BUILDING
- PROPOSED CONCRETE SIDEWALK/HARD SCAPE
- PROPOSED LANDSCAPE AREA
- DRYWELL PONDING LIMITS
- LIMITS OF ASPHALT CUT
- BUILDING OVERHANG
- 9030 PROPOSED MAJOR CONTOUR
- 9031 PROPOSED MINOR CONTOUR
- 9030 EXISTING MAJOR CONTOUR
- 9031 EXISTING MINOR CONTOUR



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MARCH 2024	GRADING REVISION: LOWERED BUILDING FFE BY 3'
APRIL 2023	INITIAL CD SUBMITTAL

Drawing Name 20GR1.dwg	Job Number WP OTL	Designer SMD	Drafter SN	Checked SMD
Prepared For WHITE DEVELOPMENT				

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 Highlands Ranch, CO 80129 720.388.8126  
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**WINTER PARK - OLD TOWN LOT  
CONSTRUCTION DOCUMENTS  
GRADING PLAN**

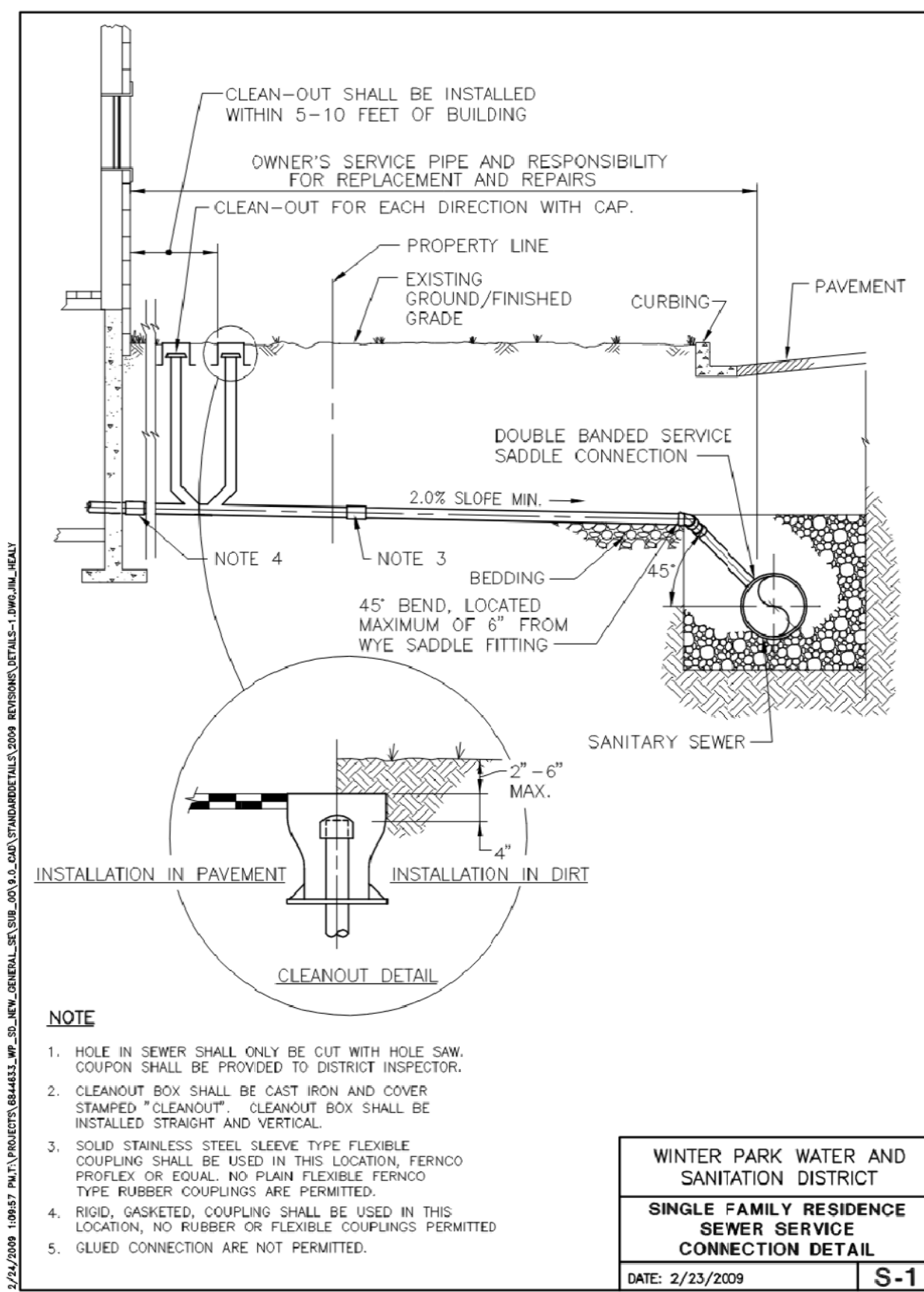
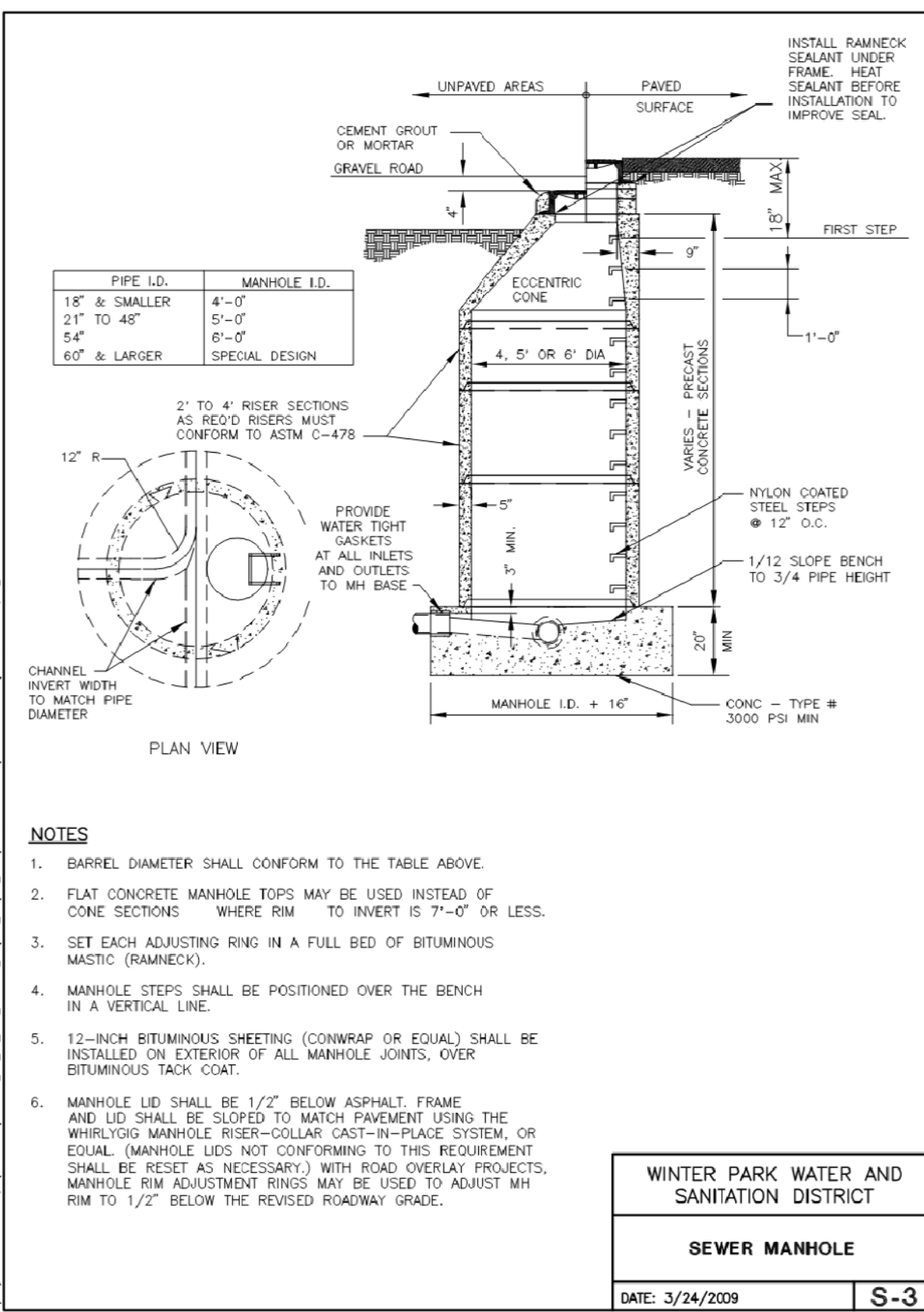
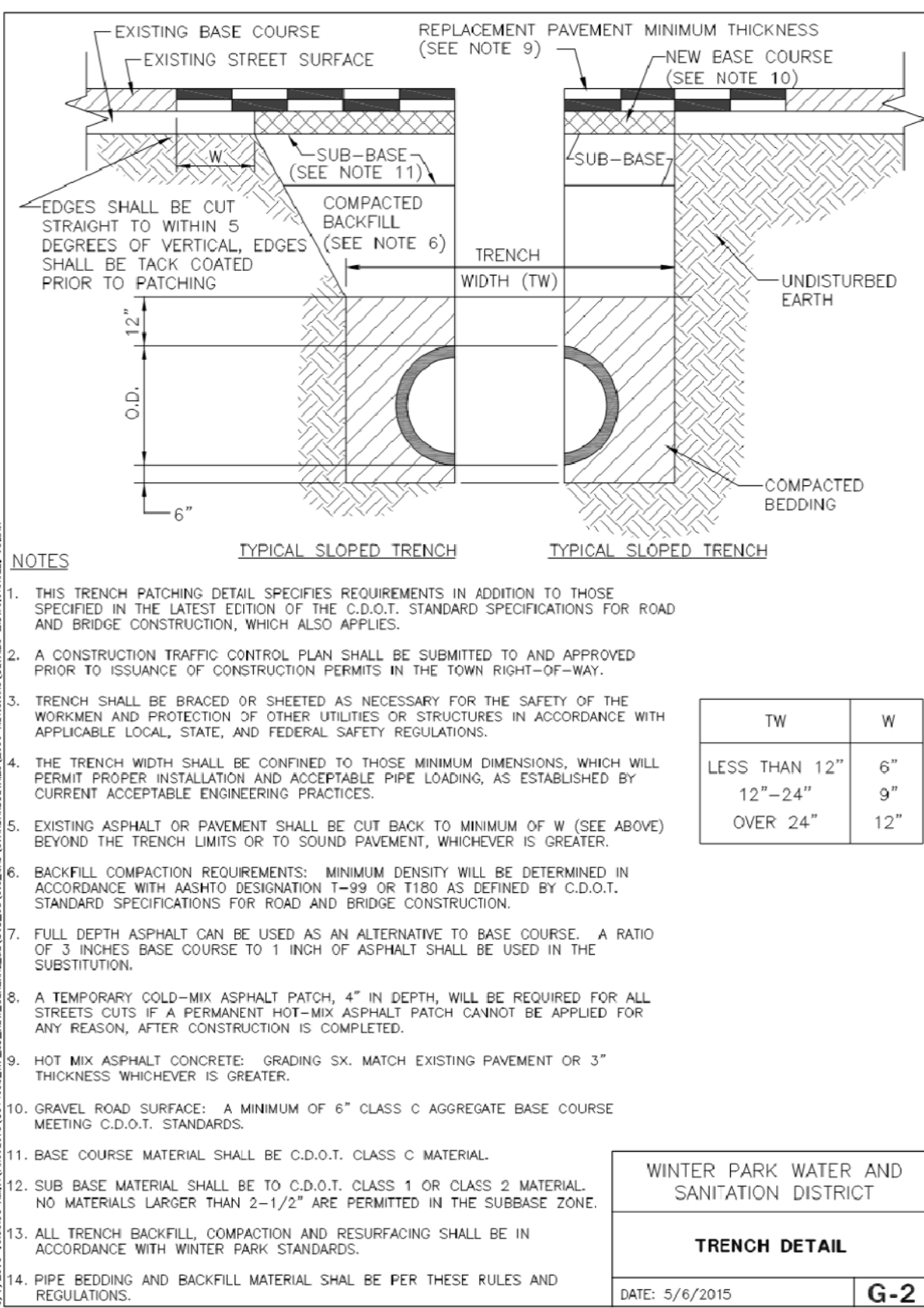
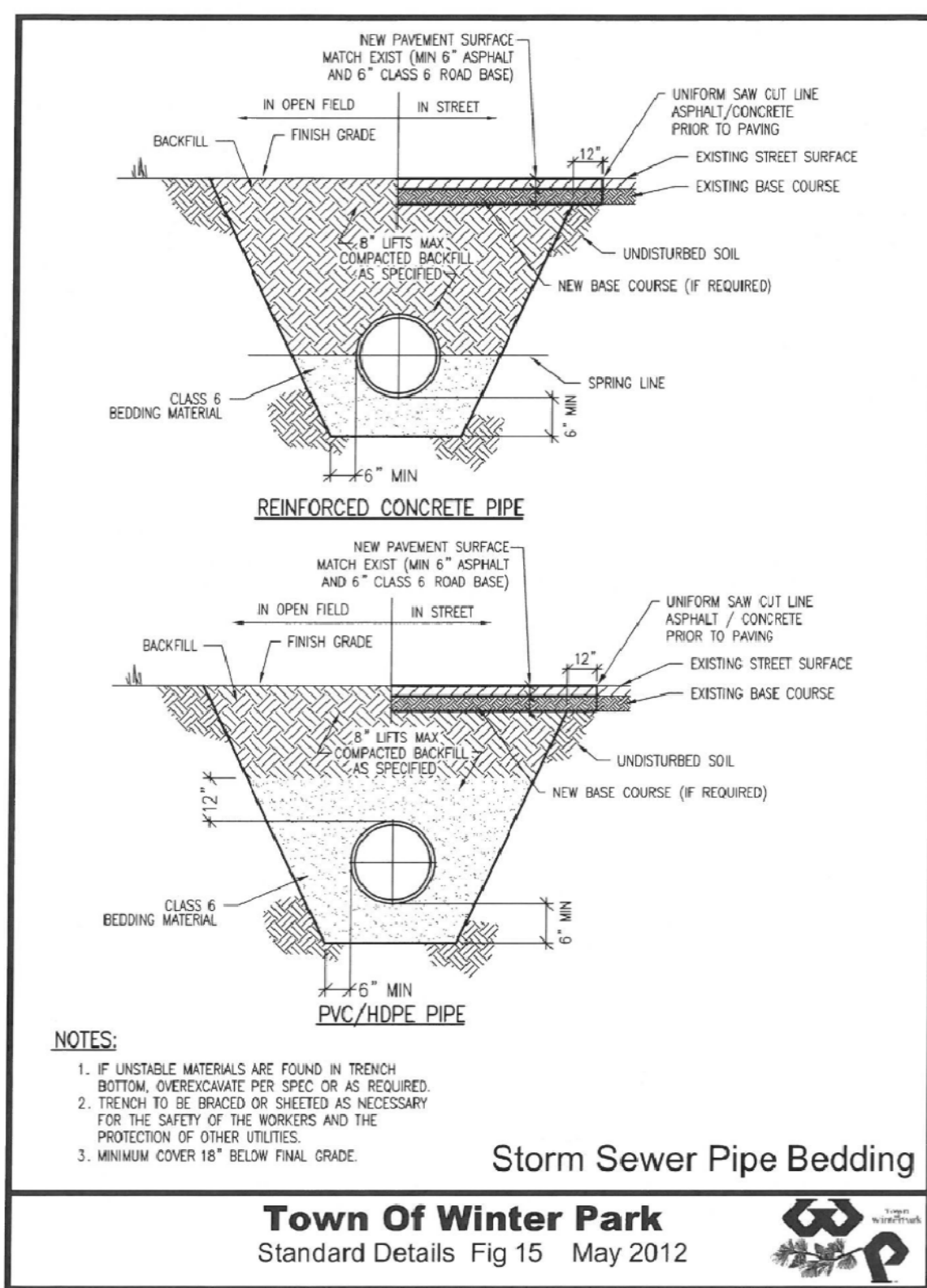
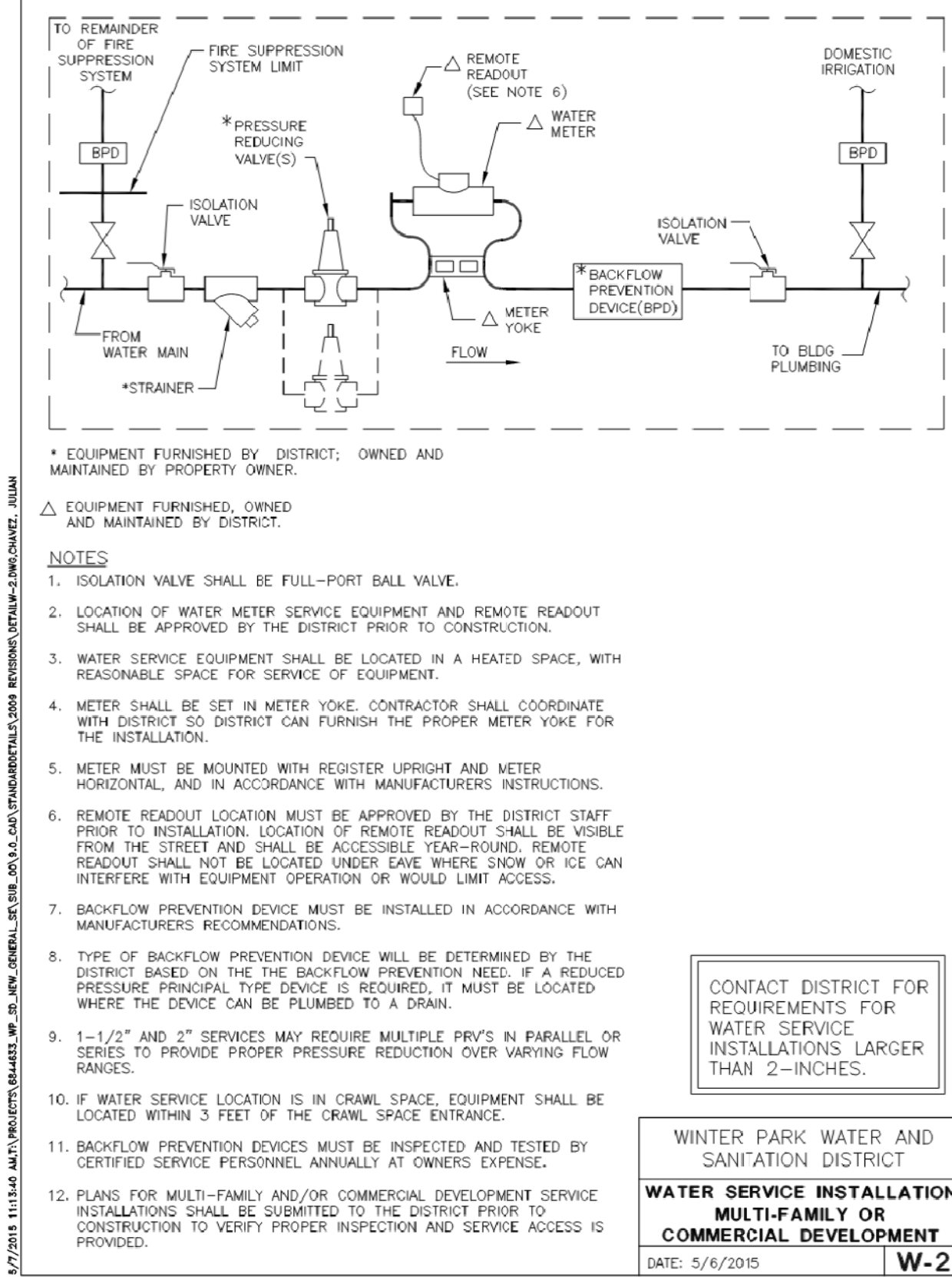
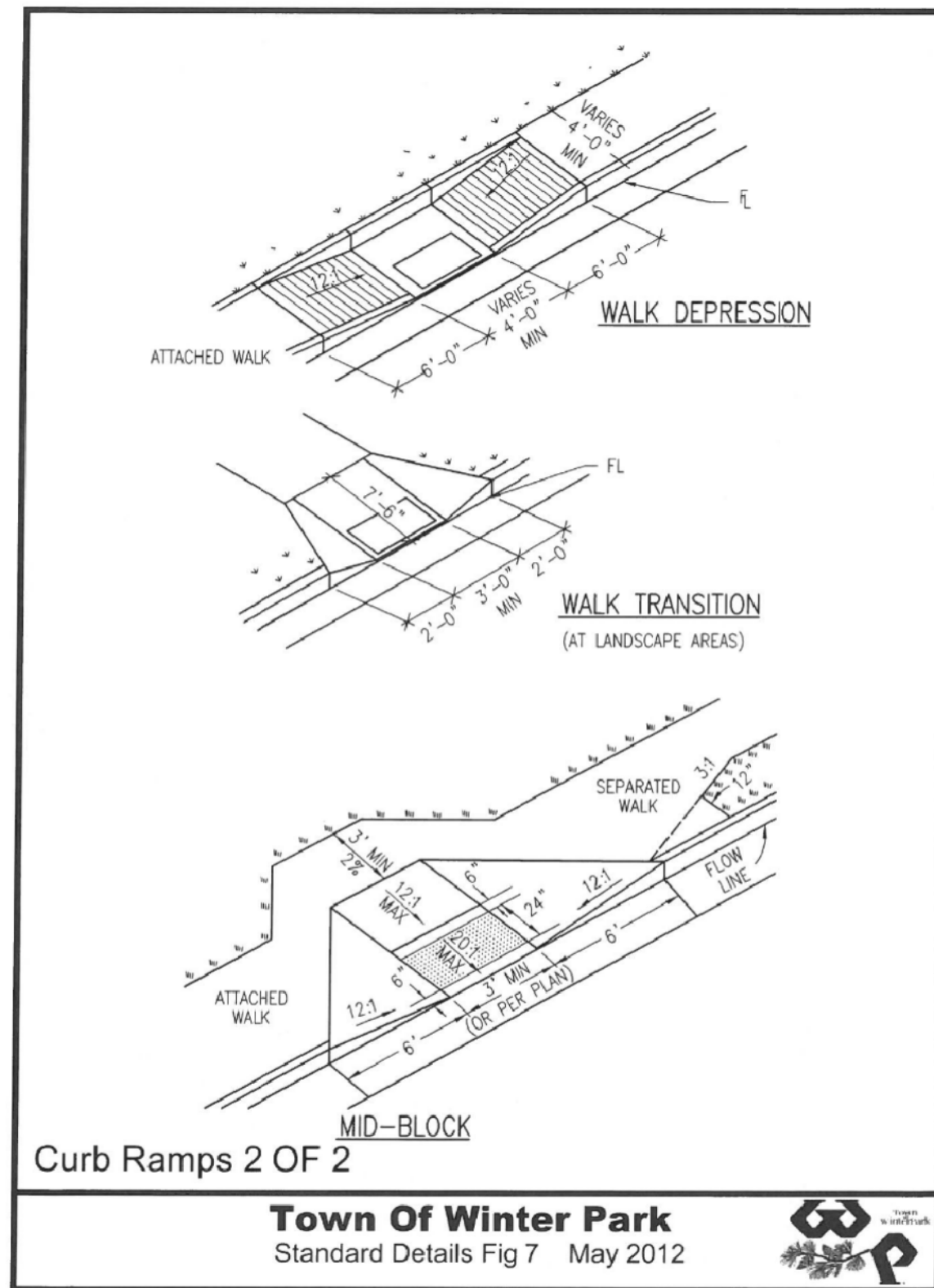
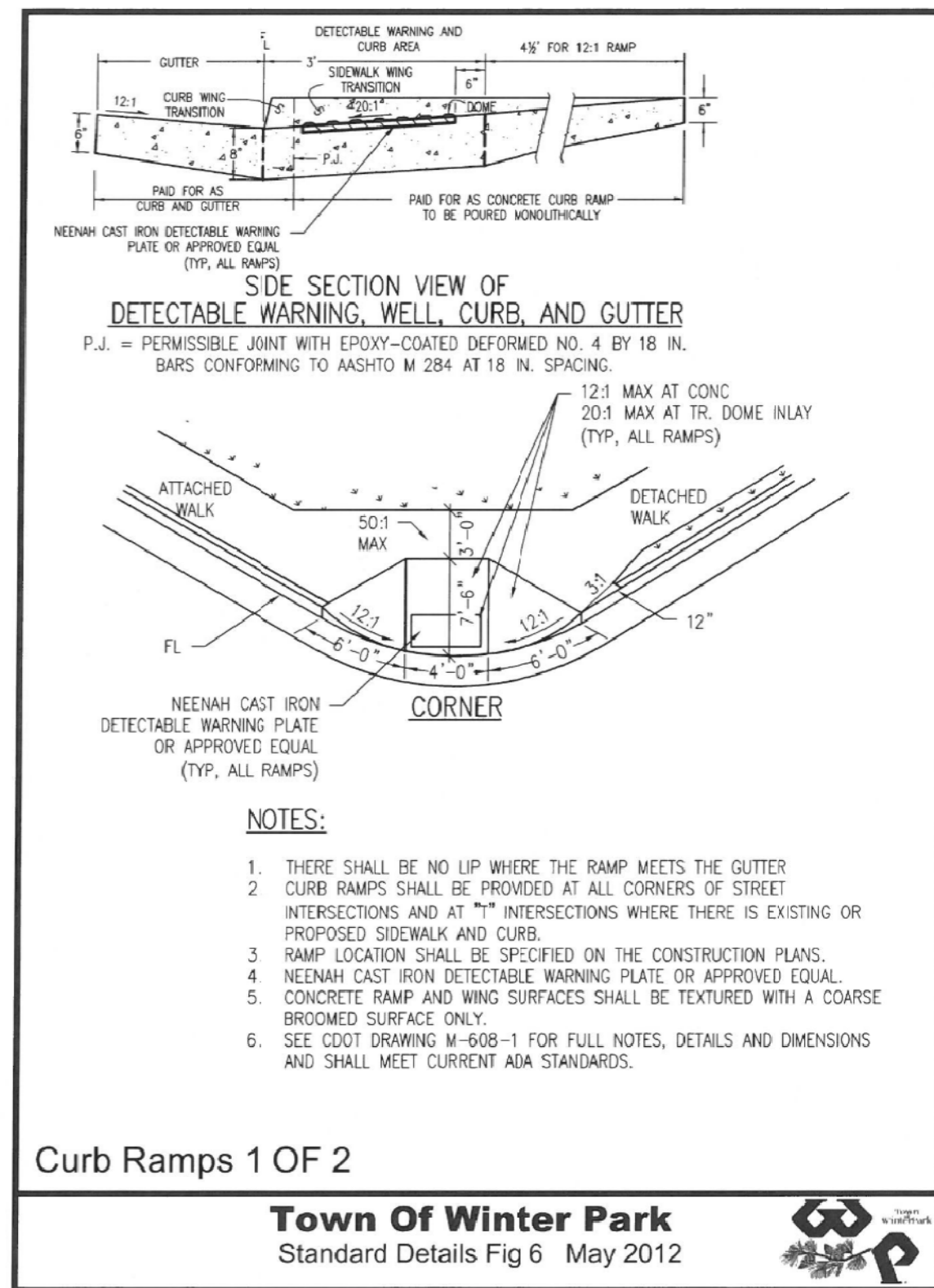
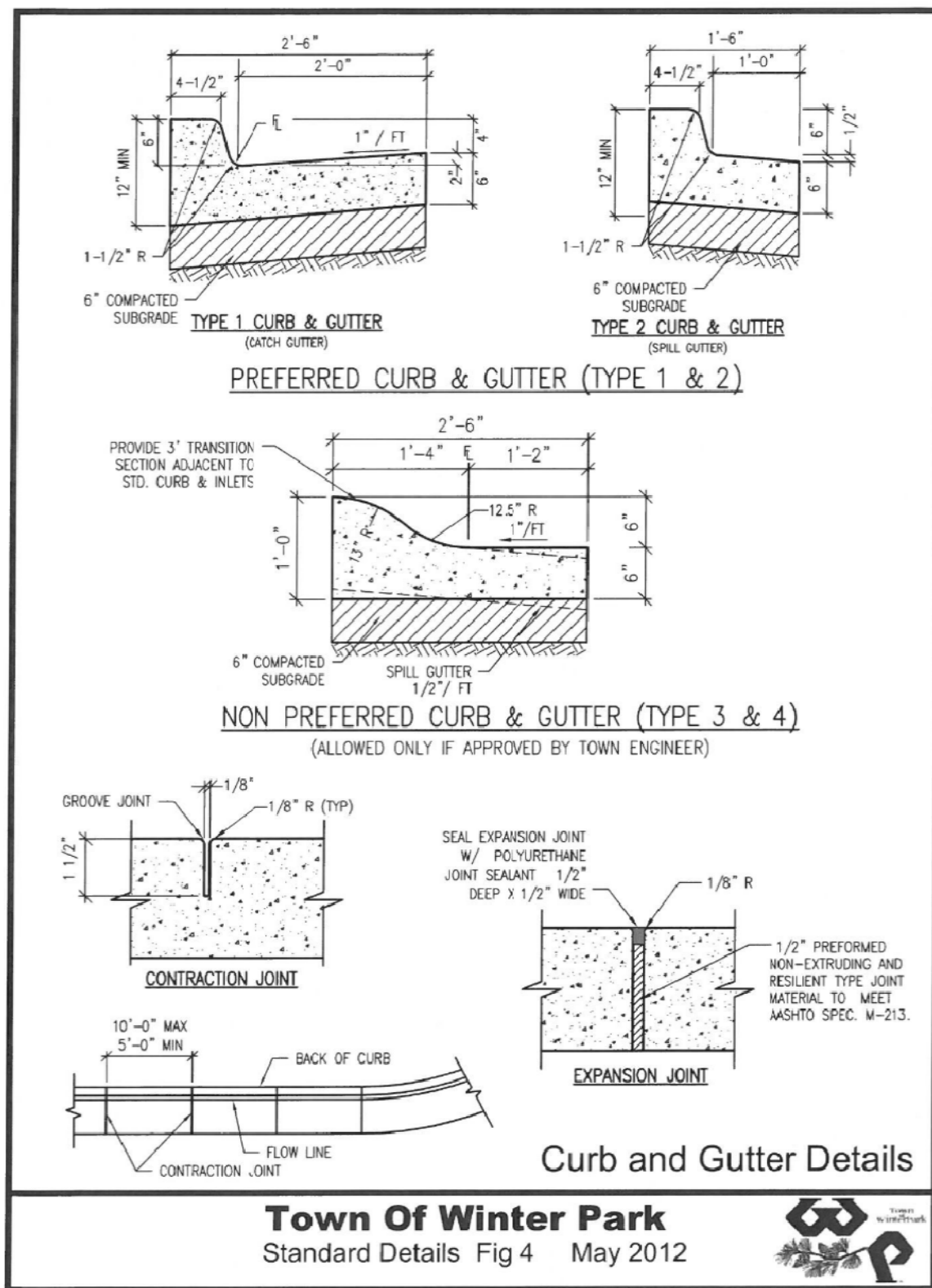












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MARCH 2024	GRADING REVISION: LOWERED BUILDING FFE BY 3'
APRIL 2023	INITIAL CD SUBMITTAL

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Prepared For	WHITE DEVELOPMENT	Designer	SMD	Drafter	SN
Checked	SMD				

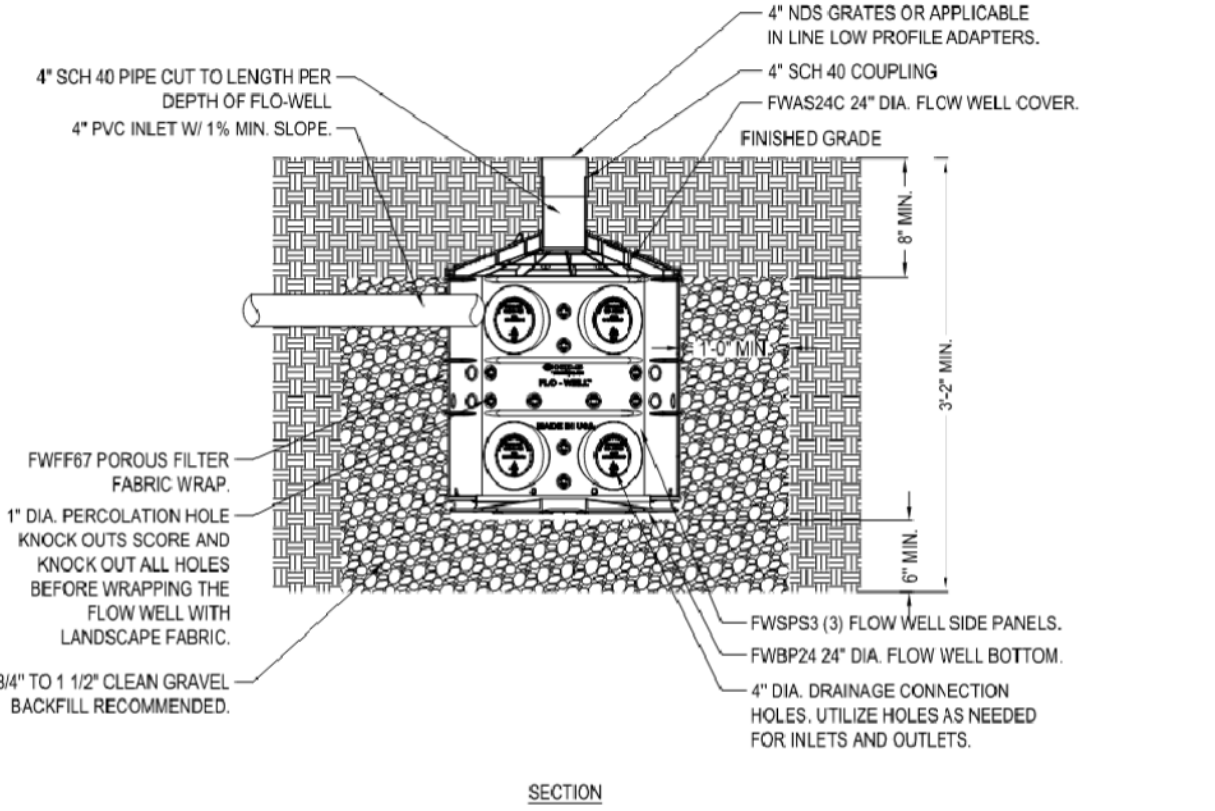
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**WINTER PARK - OLD TOWN LOT**  
**CONSTRUCTION DOCUMENTS**  
**CONSTRUCTION DETAILS**





NDS, INC.  
851 N. HARVARD AVE.  
LINDSAY, CA 93247  
TOLL FREE: 1-800-726-1994 EXT 3  
WWW.NDSPRO.COM  
techservice@ndspro.com



- MANUFACTURER NOTES:**
- MUST BE INSTALLED 10' AWAY FROM STRUCTURE OR FOUNDATION.
  - FWAS24 KIT DOES NOT COME WITH FWAS24 STM.
  - REFERENCE FLO-WELL CALCULATOR ON NDSPRO.COM
- NOTES:**
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  - DO NOT SCALE DRAWING.
  - THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
  - ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
  - CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info) AND ENTER REFERENCE NUMBER 558-033.

**FLO-WELL DRY WELL SYSTEM**  
FLO-WELL INSTALLATION DETAIL - LOAD CLASS "A" & "B" - GRAVEL INSTALLATION DETAIL

558-033  
PROTECTED BY COPYRIGHT ©2021 CADDETAILS.COM LTD. REVISION DATE 15/10/2021  
CADDetails.com

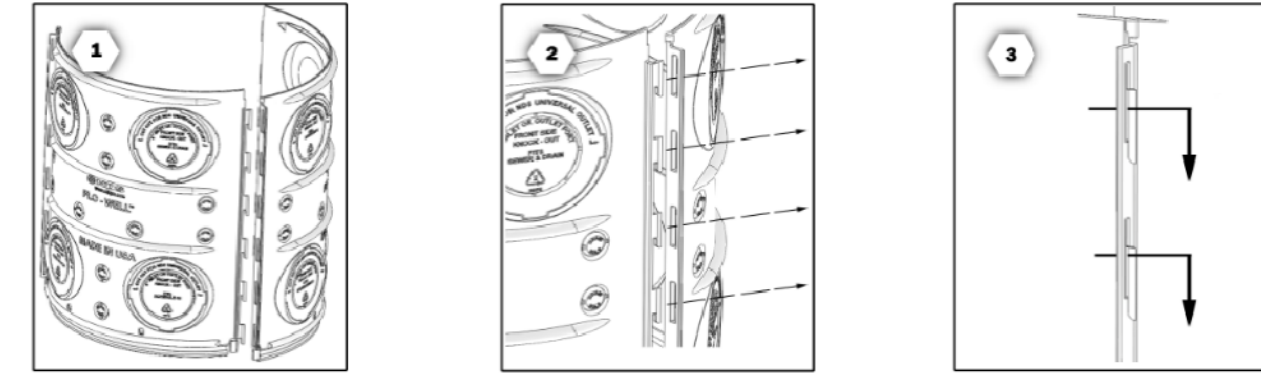
### Flo-Well Assembly and Installation Sheet

Thank you for purchasing the Flo-Well system by NDS, the following information can help you maximize the benefits Flo-Well has to offer.

**WARNING:** Call before you dig. Contact your local utilities to create utility mark-out, and to avoid personal injury.  
**RECOMMENDED:** For all Flo-Well configurations install at least an appropriate 10 feet from foundations or structures.

#### ASSEMBLY INSTRUCTIONS

- Place two panels side by side and align male tabs with female flange.
- Pinch tabs and flange flush until panels interlock.
- For final lock, slide male tabs downward until panel edges are leveled at top.
- Repeat steps 1-3 for the third panel assembly.
- Set cover over panel assembly and rotate until all three panel flanges are aligned with cover screw locations.

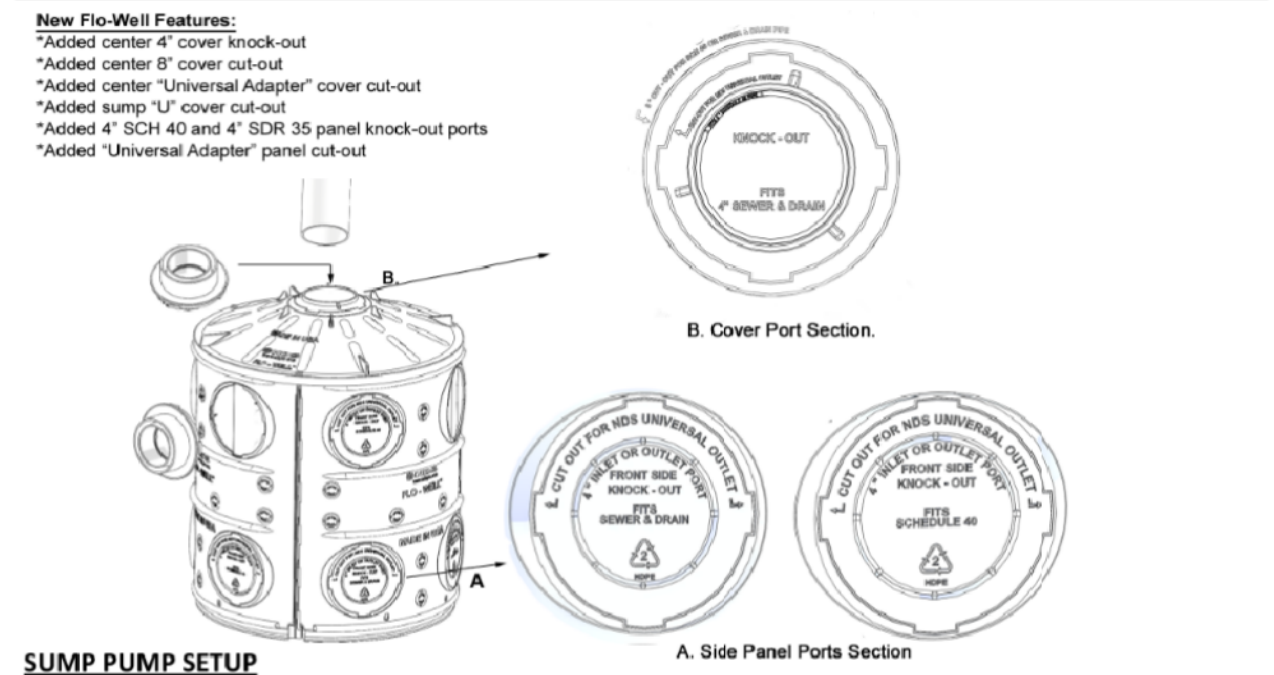
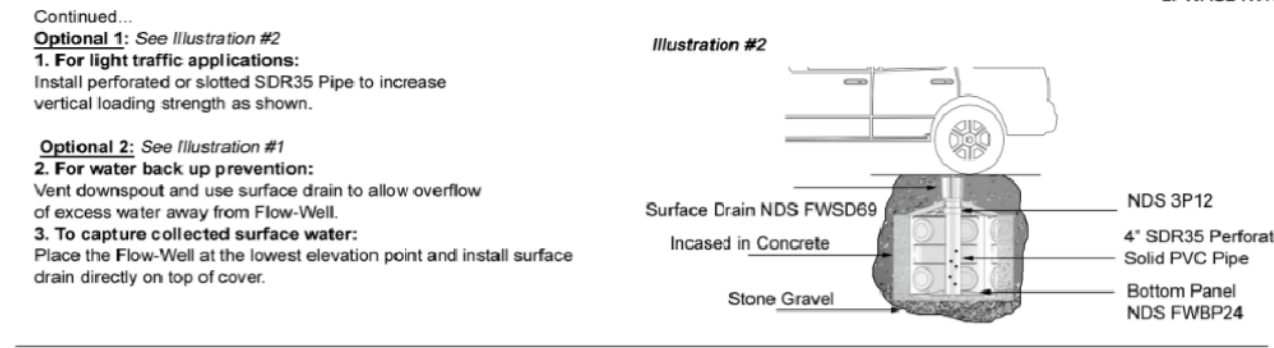
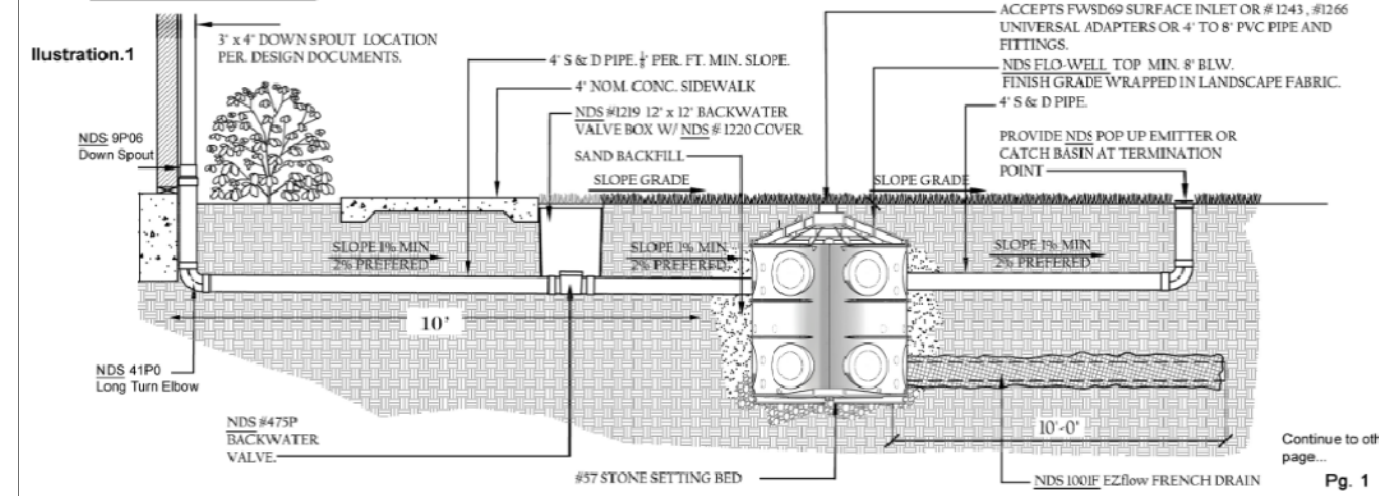


#### DRY WELL SETUP

**Required items:** Small hammer, tape, fabric pack, NDS Universal Adapter, shovel, sand or recommended 3/4" stone gravel, 4" PVC pipe, jig saw, and catch basin or downspout adapter

- Strategically plan Flo-Well location at a minimum distance of 10' from foundations.
  - Note: Take into consideration traffic and elevation conditions.
- Once Flo-Well location is verified, dig a 4' wide by 4' deep hole.
- Dig a trench from the end of the downspout at about 1' deep and 6" wide that slopes gradually towards the Flo-Well.
- For pipe connection and lead direction, use small hammer to knock-out appropriate 1" and 4" panel ports or use jigsaw to cut out universal adapter port.
- Wrap fabric around Flo-Well and secure with tape to prevent soil from entering drain holes.
- Place Flo-Well assembly into ground and insert preferred 4" pipe into knocked-out port. Connect other end of 4" pipe to downspout either by catch basin or downspout adapter.
  - Note: Use NDS Universal Adapter and lock within panel universal adapter cut out for 3" and 6" pipes.
- Backfill evenly around the Flo-Well with sand or recommended 3/4" stone gravel.
- Bury Flo-Well assembly with top at least 8" below the surface grade.

#### Installation Example: Groundwater Recharge Hardpipe



#### SUMP PUMP SETUP

**Required items:** Small hammer, tape, fabric pack, shovel, sand or recommended 3/4" stone gravel, jig saw, and pump

- Follow assembly instructions in section 1 then dig a 4' wide by 4' deep hole at a minimum distance of 10' from foundations.
- For lead direction, use small hammer to knock-out appropriate 1" panel drain holes.
- Wrap fabric around Flo-Well and secure with tape to prevent soil from entering drain holes.
- Place Flo-Well assembly into ground and back fill around evenly up to cover with sand or recommended 3/4" stone gravel.
- For sump pumps there are (3) options:
  - Knock-out the center 4" plug on the top cover if your pump has a center discharge.
  - Cut-out 8" circle template on cover with jigsaw for drop-in sump, cover with 8" S&D PVC cap or install NDS 8" rnd. Grate part # 1040.
  - Cut out the "U" shaped section on the top of cover with a jig saw for pedestal pumps with cut-off floats.
- Attach pump to cover to insure smooth operation of cut-off float.

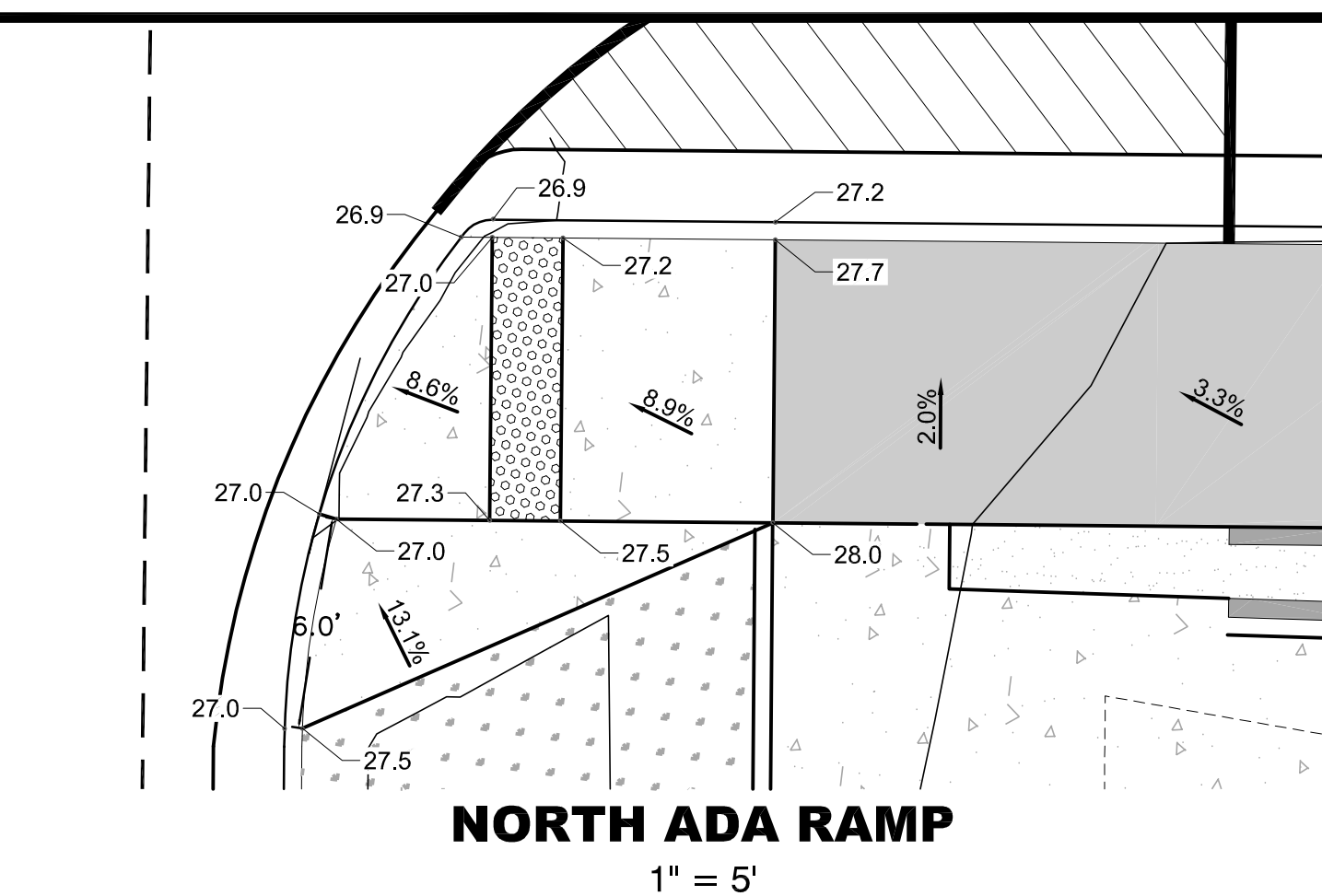
For installation details, please visit our website [www.NDSPRO.com](http://www.NDSPRO.com)

Ndspro.com > Products and Solutions > Drainage Solutions > Flo-Well Drywell. The detail drawings will be under the 'Specdy Flo-Well' category.

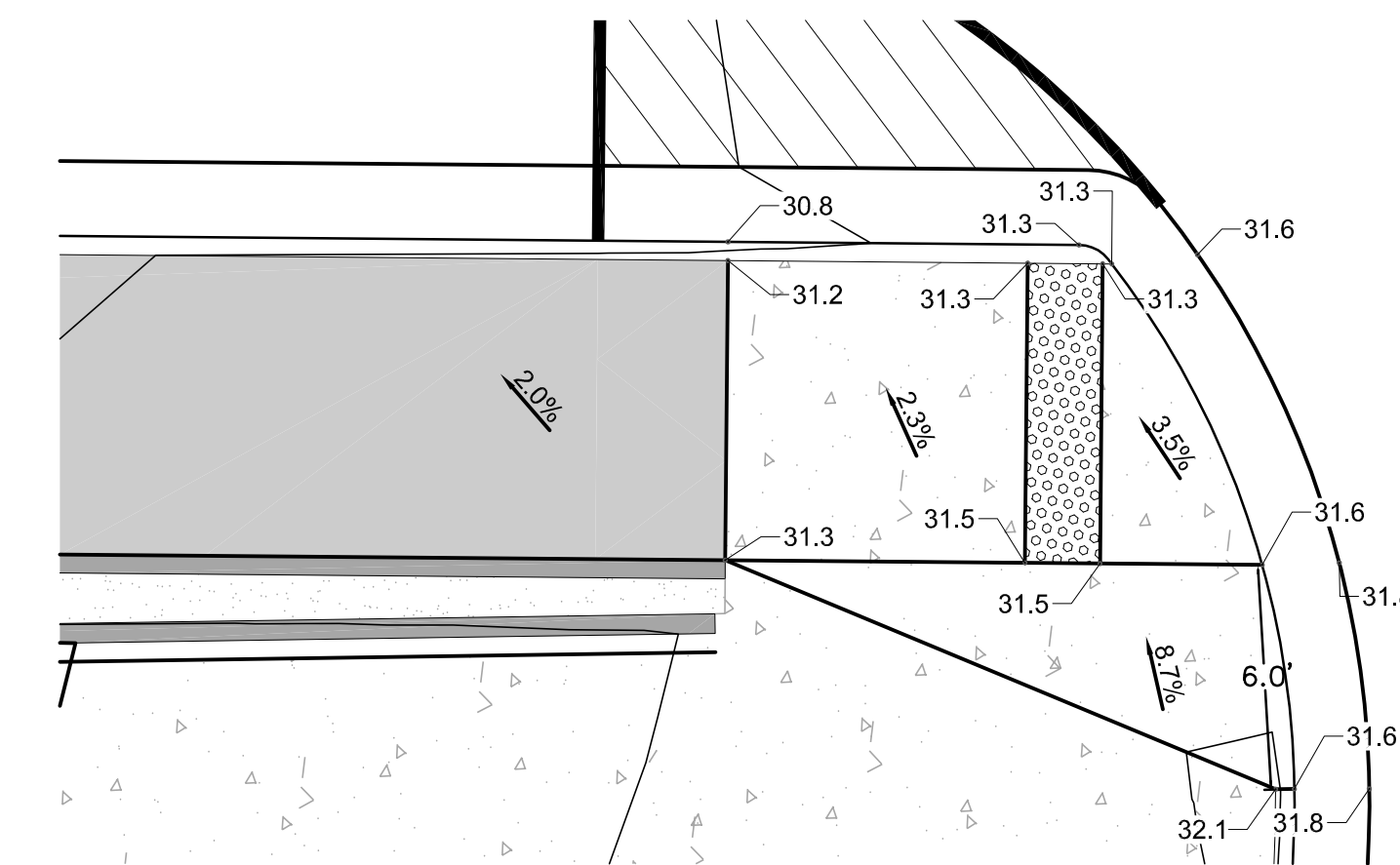
**IMPORTANT NOTICE:** It is your obligation to determine whether this product is suitable for your intended use and particular method of application. CONSULT YOUR LOCAL BUILDING OFFICIALS TO INSURE COMPLIANCE WITH ALL BUILDING CODES AND REQUIREMENTS.

**CAUTION:** The step-by-step installation instructions provided reflect mechanical assembly only. Additional information may be necessary to insure proper results for all applications. Consult with professionals to determine special soils conditions and structural requirements.

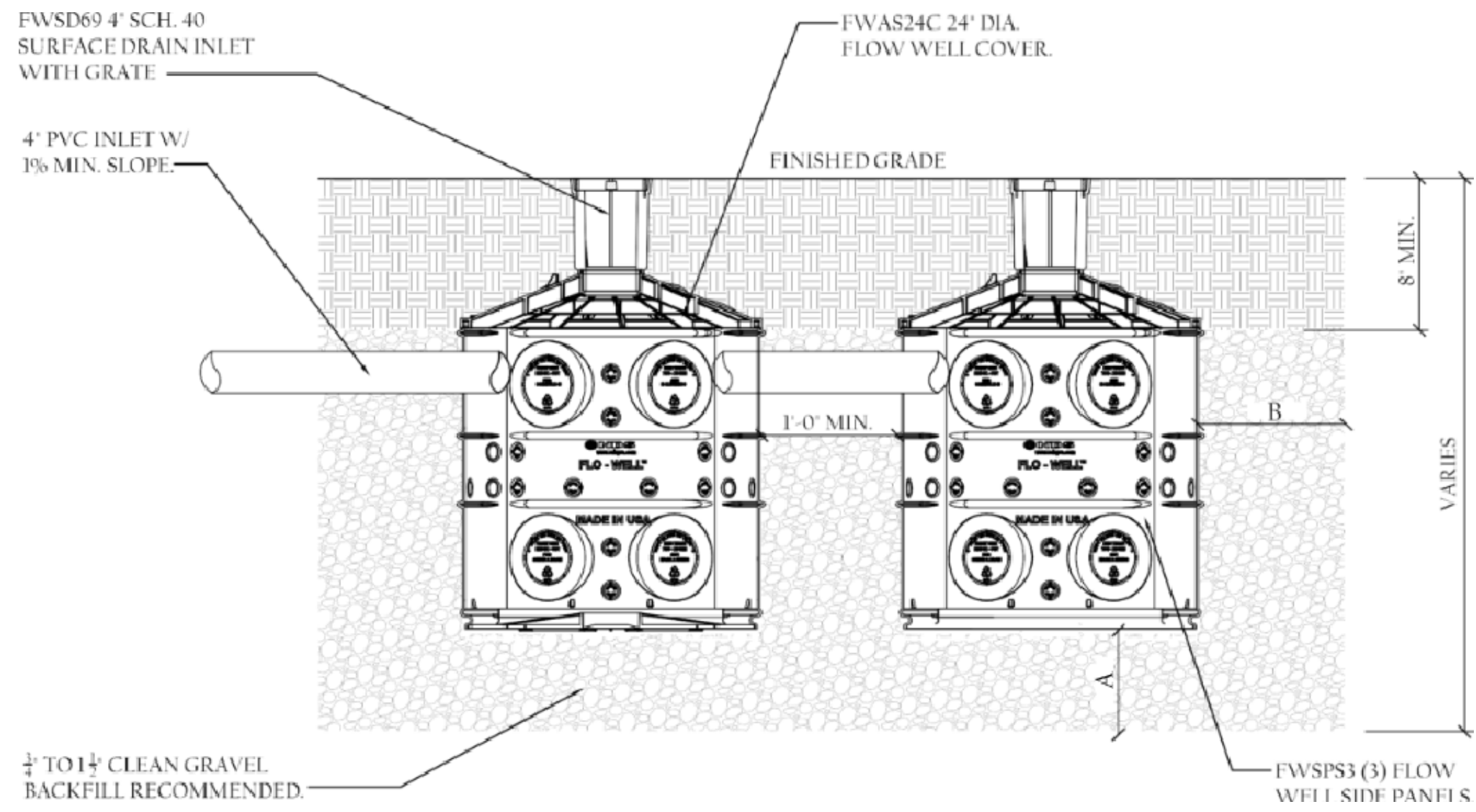
**NDS** - WE PUT WATER IN ITS PLACE  
Another Quality Product brought to you by NDS, Inc.  
851 N. Harvard Avenue, Lindsay CA 93247  
If you have any questions or comments about this product, please call us at (800) 726-1994



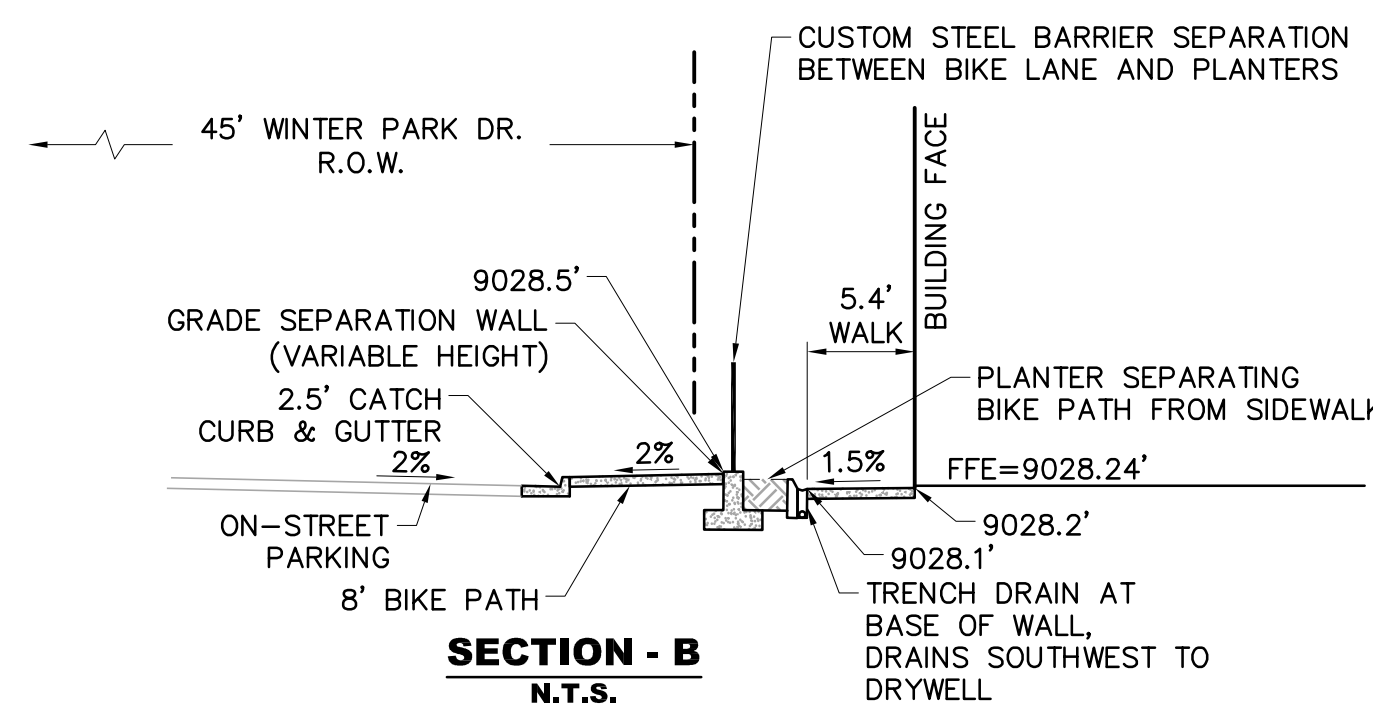
**NORTH ADA RAMP**  
1" = 5'



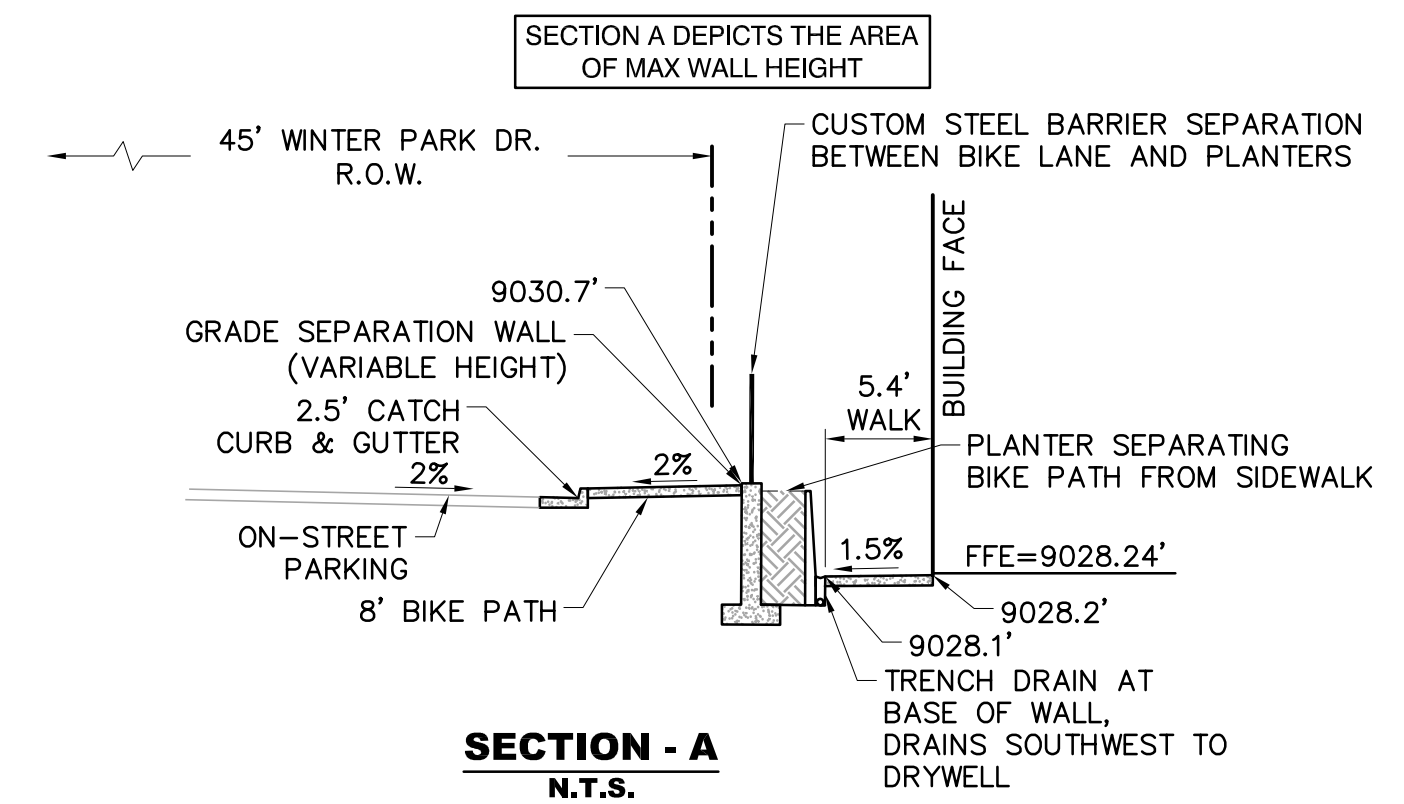
**SOUTH ADA RAMP**  
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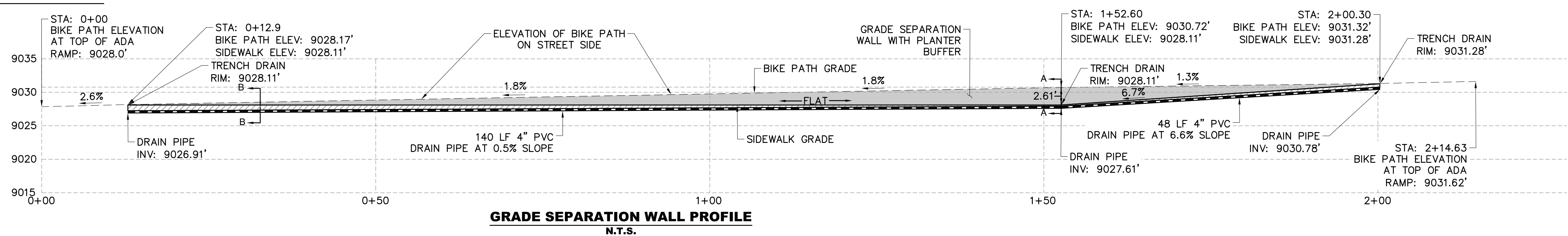
**FLO-WELL SIDE BY SIDE DRY WELL SYSTEM**  
N.T.S.



**SECTION - B**  
N.T.S.



**SECTION - A**  
N.T.S.



**GRADE SEPARATION WALL PROFILE**  
N.T.S.

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Drawing Name 20DET.dwg	Job Number WP OTL	Prepared For WHITE DEVELOPMENT	Designer SMD	Drafter SN	Checked SMD
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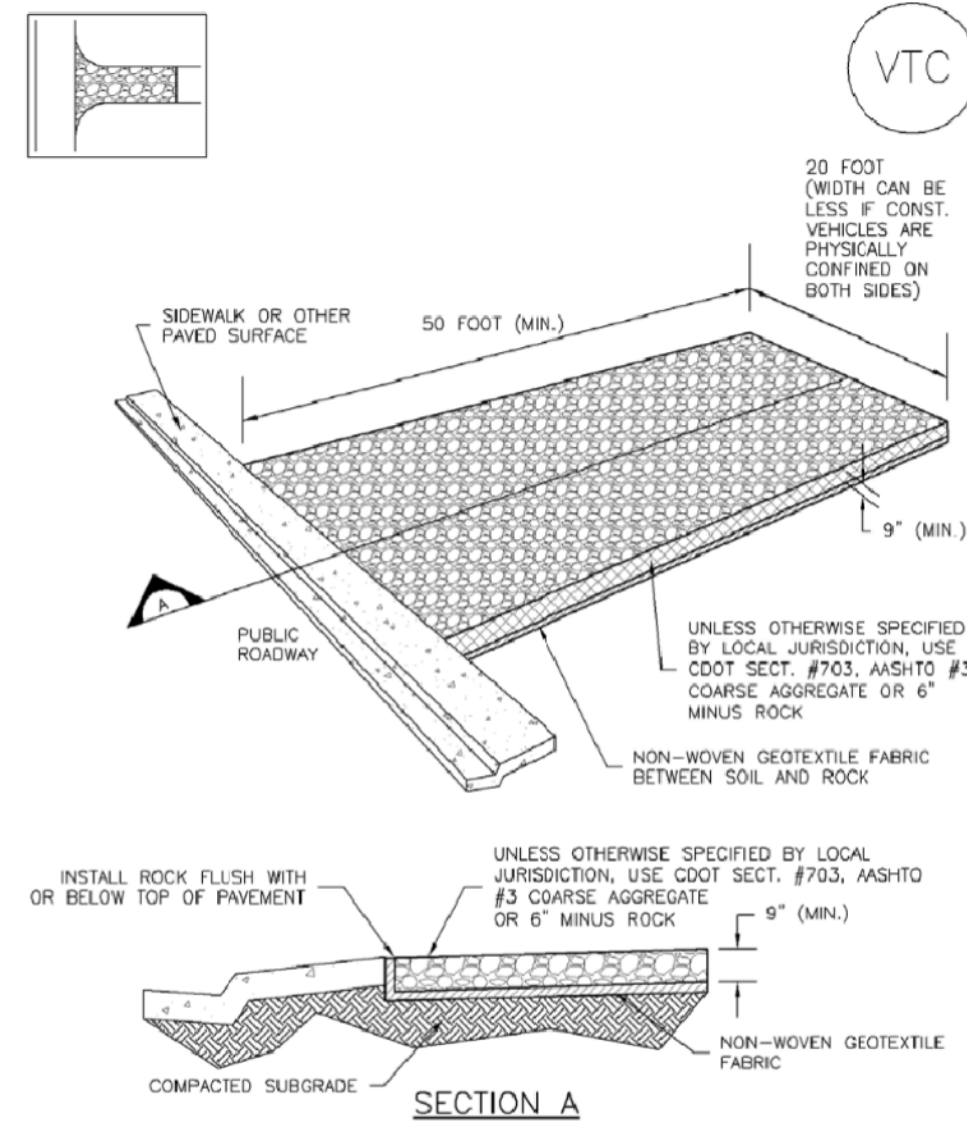
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**WINTER PARK - OLD TOWN LOT**  
**CONSTRUCTION DOCUMENTS**  
**DRYWELL & STRIP DRAIN DETAILS**

Sheet	10 of 11
Date	APRIL 2023



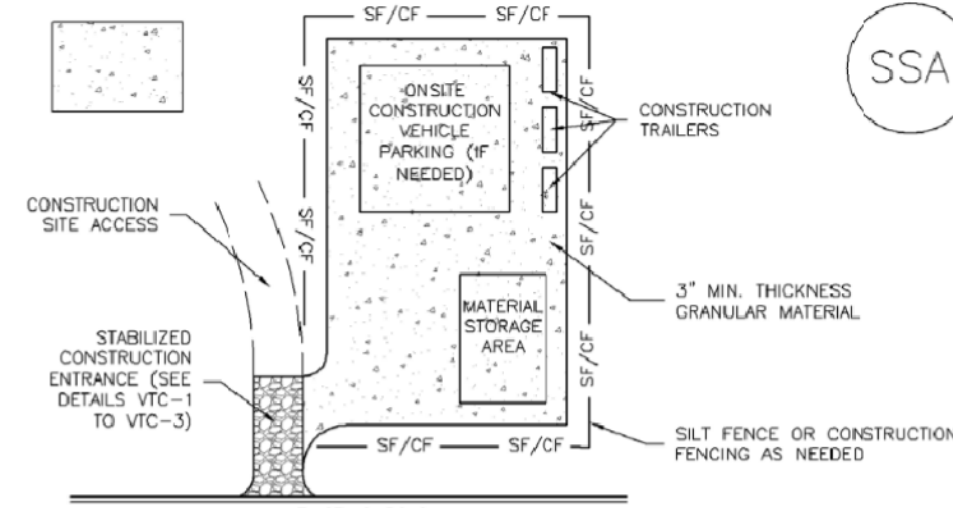
**Vehicle Tracking Control (VTC) SM-4**



**VTC-1. AGGREGATE VEHICLE TRACKING CONTROL**

November 2010 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 VTC-3

**Stabilized Staging Area (SSA) SM-6**

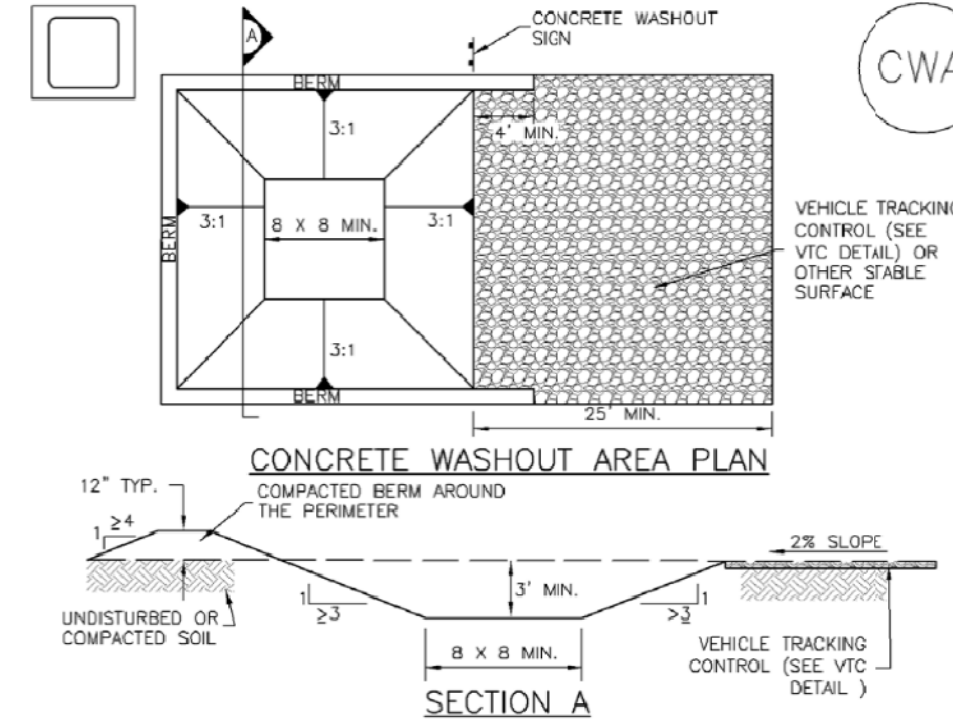


**SSA-1. STABILIZED STAGING AREA**

- STABILIZED STAGING AREA INSTALLATION NOTES**
- SEE PLAN VIEW FOR:
    - LOCATION OF STAGING AREA(S).
    - CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
  - STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
  - STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
  - THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
  - UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" MINUS ROCK.
  - ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.
- STABILIZED STAGING AREA MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
  - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
  - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
  - ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.

November 2010 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 SSA-3

**Concrete Washout Area (CWA) MM-1**

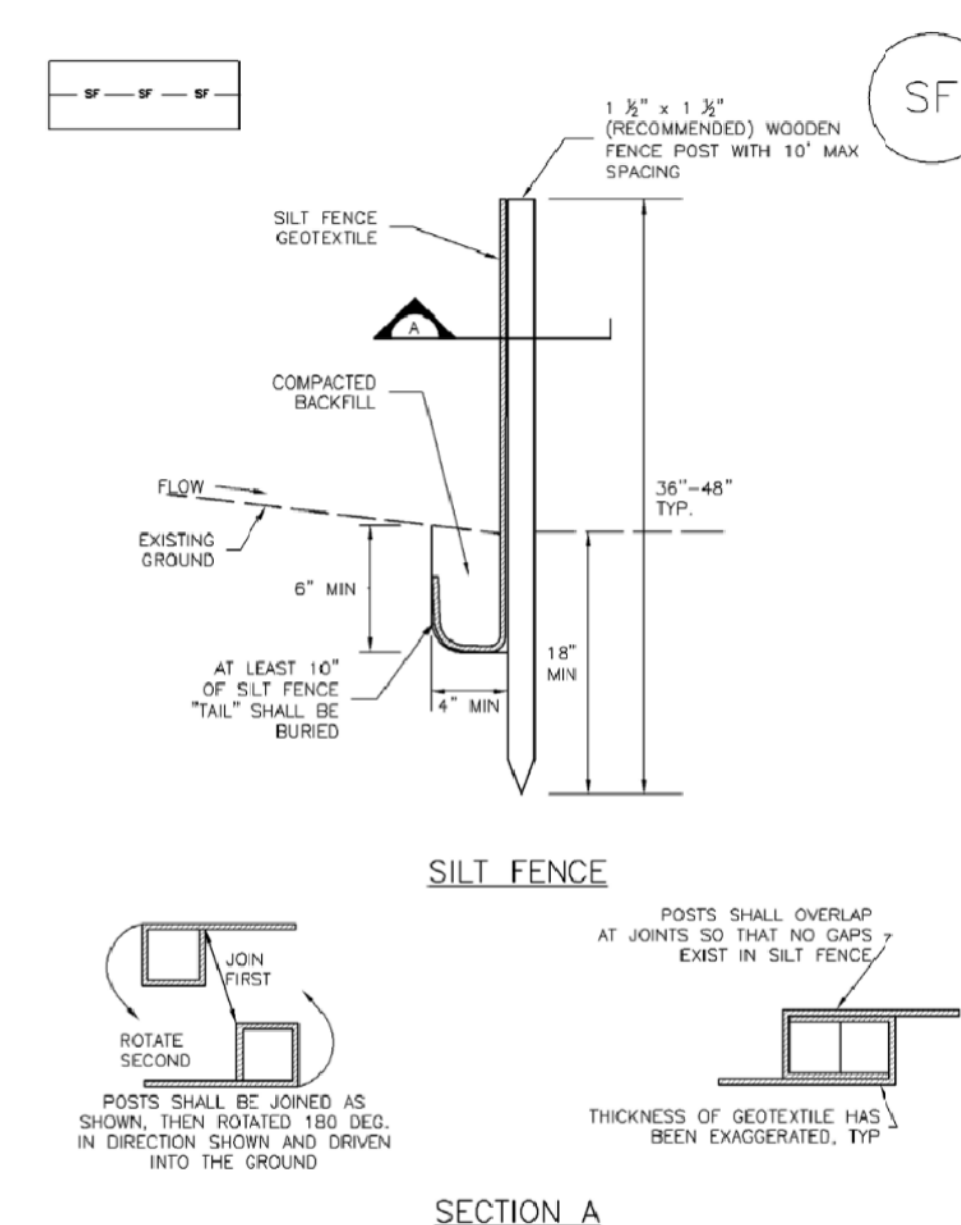


**CWA-1. CONCRETE WASHOUT AREA**

- CWA INSTALLATION NOTES**
- SEE PLAN VIEW FOR:
    - CWA INSTALLATION LOCATION.
  - DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES IF SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE. THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (18 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.
  - THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
  - CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 6" BY 6" SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER; THE PIT SHALL BE AT LEAST 3' DEEP.
  - BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
  - VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
  - SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP TRUCKS.
  - USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

November 2010 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 CWA-3

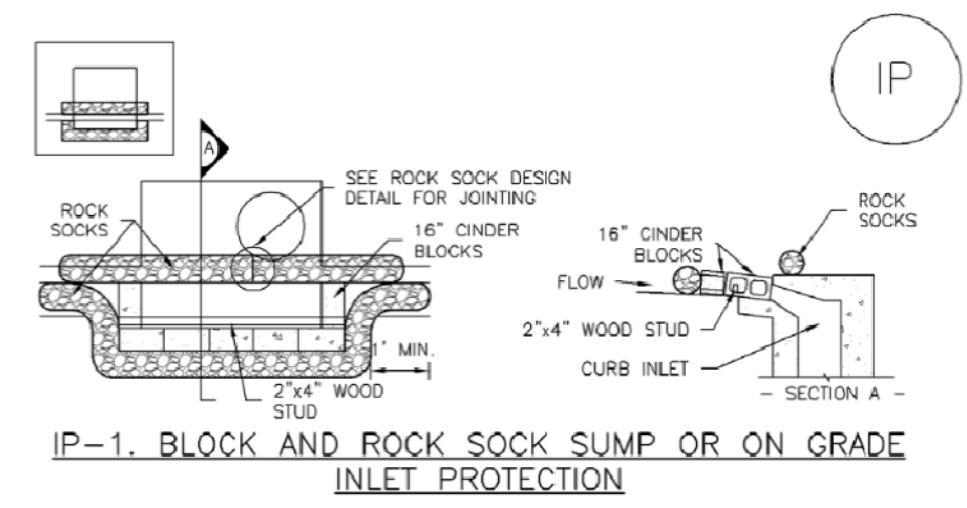
**Silt Fence (SF) SC-1**



**SF-1. SILT FENCE**

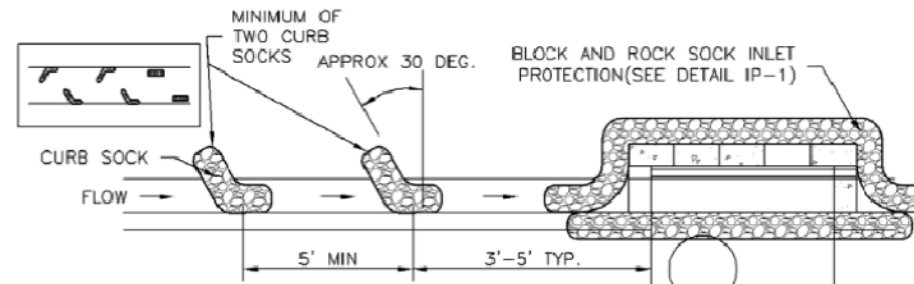
November 2010 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 SF-3

**SC-6 Inlet Protection (IP)**



**IP-1. BLOCK AND ROCK SOCK SUMP OR ON GRADE INLET PROTECTION**

- BLOCK AND CURB SOCK INLET PROTECTION INSTALLATION NOTES**
- SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
  - CONCRETE "CINDER" BLOCKS SHALL BE LAID ON THEIR SIDES AROUND THE INLET IN A SINGLE ROW, ABUTTING ONE ANOTHER WITH THE OPEN END FACING AWAY FROM THE CURB.
  - GRAVEL BAGS SHALL BE PLACED AROUND CONCRETE BLOCKS, CLOSELY ABUTTING ONE ANOTHER AND JOINTED TOGETHER IN ACCORDANCE WITH ROCK SOCK DESIGN DETAIL.

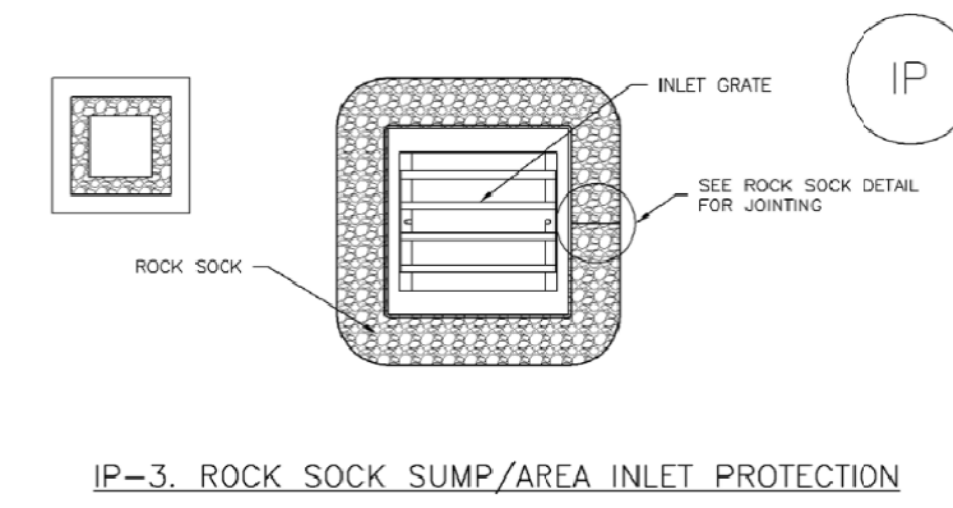


**IP-2. CURB ROCK SOCKS UPSTREAM OF INLET PROTECTION**

- CURB ROCK SOCK INLET PROTECTION INSTALLATION NOTES**
- SEE ROCK SOCK DESIGN DETAIL INSTALLATION REQUIREMENTS.
  - PLACEMENT OF THE SOCK SHALL BE APPROXIMATELY 30 DEGREES FROM PERPENDICULAR IN THE OPPOSITE DIRECTION OF FLOW.
  - SOCKS ARE TO BE FLUSH WITH THE CURB AND SPACED A MINIMUM OF 5 FEET APART.
  - AT LEAST TWO CURB SOCKS IN SERIES ARE REQUIRED UPSTREAM OF ON-GRADE INLETS.

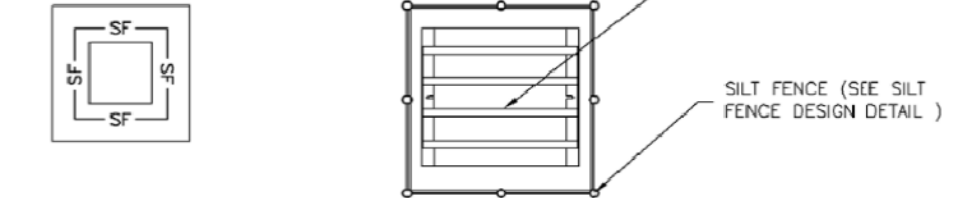
IP-4 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 August 2013

**SC-6 Inlet Protection (IP)**



**IP-3. ROCK SOCK SUMP/AREA INLET PROTECTION**

- ROCK SOCK SUMP/AREA INLET PROTECTION INSTALLATION NOTES**
- SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
  - STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF ROCK SOCKS FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.

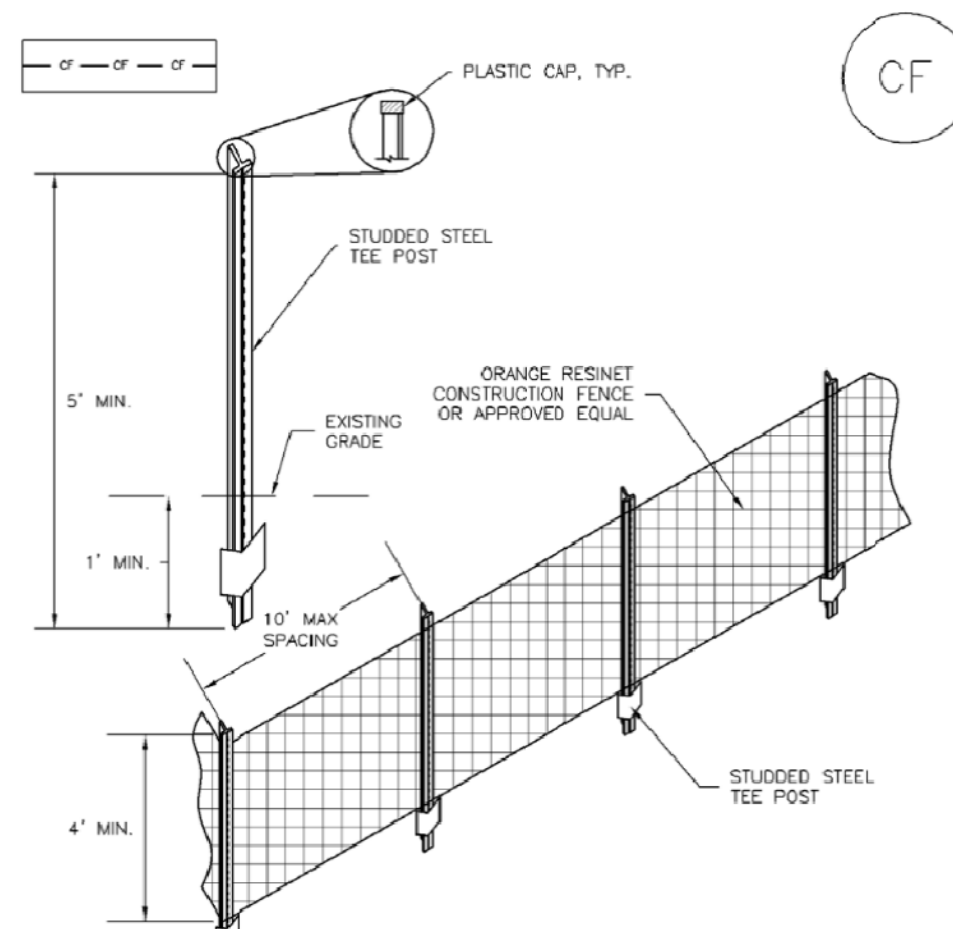


**IP-4. SILT FENCE FOR SUMP INLET PROTECTION**

- SILT FENCE INLET PROTECTION INSTALLATION NOTES**
- SEE SILT FENCE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
  - POSTS SHALL BE PLACED AT EACH CORNER OF THE INLET AND AROUND THE EDGES AT A MAXIMUM SPACING OF 3 FEET.
  - STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF SILT FENCE FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.

August 2013 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 IP-5

**SM-3 Construction Fence (CF)**



**CF-1. PLASTIC MESH CONSTRUCTION FENCE**

- CONSTRUCTION FENCE INSTALLATION NOTES**
- SEE PLAN VIEW FOR:
    - LOCATION OF CONSTRUCTION FENCE.
  - CONSTRUCTION FENCE SHOWN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
  - CONSTRUCTION FENCE SHALL BE COMPOSED OF ORANGE, CONTRACTOR-GRADE MATERIAL THAT IS AT LEAST 4" HIGH. METAL POSTS SHOULD HAVE A PLASTIC CAP FOR SAFETY.
  - STUDDED STEEL TEE POSTS SHALL BE UTILIZED TO SUPPORT THE CONSTRUCTION FENCE. MAXIMUM SPACING FOR STEEL TEE POSTS SHALL BE 10'.
  - CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO THE TOP, MIDDLE, AND BOTTOM OF EACH POST.

CF-2 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 November 2010

**GENERAL NOTES:**

- THE CONTRACTOR SHALL NOT STORE MATERIALS OR PARK VEHICLES OUTSIDE THE PROPERTY LINE.
- THE CONTRACTOR SHALL REMOVE THE TOP 6" OF SOIL FROM WITHIN THE CONSTRUCTION BOUNDARIES PRIOR TO FOUNDATION EXCAVATION. THIS MATERIAL SHALL BE STORED AND STABILIZED ACCORDING TO THE APPROVED CONSTRUCTION PLANS.
- DURING FINAL GRADING THE CONTRACTOR SHALL LEAVE ALL SLOPES AS ROUGH AS POSSIBLE ACCORDING TO THE REVEGETATION NOTES.
- DRAINAGE SWALES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL MAKE MINOR LOCATION CHANGES AS NECESSARY TO AVOID CUTTING THE ROOT ZONE OF TREES OVER 3" IN DIAMETER.
- CONTRACTOR SHALL REFER TO DRAWINGS AND APPLICABLE NOTES FOR COMPLETE LISTING OF MATERIALS AND METHODS OF PLACEMENT TO BE USED FOR TEMPORARY AND PERMANENT EROSION CONTROL.

**TEMPORARY EROSION CONTROL:**

- TEMPORARY SILTATION FENCE SHALL BE UTILIZED DURING THE CONSTRUCTION AND LANDSCAPING PERIODS. FENCE SHALL BE LOCATED ACCORDING TO THE EROSION CONTROL PLAN AND SHALL BE INSTALLED PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING THE RELEASE OF SEDIMENT LADEN WATER FROM THE CONSTRUCTION SITE, AND SHALL BE REQUIRED TO INSTALL ADDITIONAL CONTROL FACILITIES, SHOULD PROBLEMS OCCUR DURING CONSTRUCTION.

**PERMANENT EROSION CONTROL:**

- RUNOFF FROM PAVED SURFACES SHALL SHEET FLOW TO AREAS TO BE PLANTED WITH SELECTED GRASSES, TREES AND SHRUBS, UNLESS OTHER NOTED ON THE EROSION CONTROL PLANS.
- EXPOSED SOIL SHALL BE STABILIZED AND PROTECTED FROM EROSION FORCES AS SOON AS POSSIBLE, BUT NO LATER THAN 14 DAYS AFTER ACHIEVING FINISHED GRADE. APPROPRIATE SOIL STABILIZATION TECHNIQUES INCLUDE: MULCHING, ROLLED EROSION CONTROL PRODUCTS, PROPRIETARY GEOSYNTHETICS AND BONDED FIBER MATRIX.
- IN ADDITION TO THE SOIL STABILIZATION TECHNIQUES APPLIED, TEMPORARY REVEGETATION IS REQUIRED ON ALL DISTURBED AREAS HAVING A PERIOD OF EXPOSURE OF ONE YEAR OR LONGER PRIOR TO FINAL STABILIZATION. TEMPORARY SEEDING SHALL CONSIST OF AN ANNUAL GRASS COVER CROP AND MAY BE APPLIED HYDRAULICALLY, DRILLED, OR BROADCAST.
- PERMANENT REVEGETATION IS REQUIRED ON ALL DISTURBED AREAS THAT ARE EITHER AT FINISHED GRADE OR EXPECTED TO REMAIN DORMANT FOR A PERIOD LONGER THAN ONE YEAR. PERMANENT SEEDING SHALL CONSIST OF AN APPROPRIATE NATIVE PERENNIAL COVER CROP AS RECOMMENDED BY THE NATURAL RESOURCE CONSERVATION SERVICE OR APPROVED EQUAL.

PATH: P:\WHITE DEV\WINTER PARK\CADD\CIVIL\CD\20DET.DWG  
PLOT DATE: 8/21/2024 4:11 PM  
PLOT BY: SMD  
XREFS: 10TB\_CD, 10PPN

AUG 2024	ADDRESSING TOWN REVIEW COMMENTS
MARCH 2024	GRADING REVISION: LOWERED BUILDING FFE BY 3'
APRIL 2023	INITIAL CD SUBMITTAL
DATE	REVISION DESCRIPTION

Drawing Name	20DET.dwg
Job Number	WP OTL
Prepared For	WHITE DEVELOPMENT
Designer	SMD
Drafter	SN
Checked	SMD

**PES** Personalized Engineering Solutions  
Personalized Engineering Solutions, LLC  
9249 S. Broadway #200-388  
Highlands Ranch, CO 80129 720.388.8126  
www.pengsolutions.com  
Construction Management Civil Engineering Land Planning

**WINTER PARK - OLD TOWN LOT**  
**CONSTRUCTION DOCUMENTS**  
**SWMP DETAILS**

Sheet  
**DET3**  
of  
11  
Date  
APRIL 2023



# WINTER PARK - OLD TOWN LOT

1097 Winter Park Drive  
Winter Park, CO 80482  
2128

# MAJOR SITE PLAN

ISSUE DATE: 04/03/2023

## ITEM #6E - BUILDING ELEVATIONS

**OWNER:**

WHITE DEVELOPMENT, LLC  
P: 303.506.5995

CONTACT: DEVIN VISCIANO

**ARCHITECT:**

ROTH SHEPPARD ARCHITECTS, LLP  
1900 WAZEE STREET, SUITE 100  
DENVER, CO 80202

P: 303.534.7007  
F: 303.534.7722

ARCHITECT OF RECORD:  
ADAM HARDING, AIA

**MECHANICAL, ELECTRICAL AND  
PLUMBING ENGINEER:**

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DENVER, CO 80205

P: 720.598.0774

CONTACT: NATE MORRISON, E.I.

**CIVIL ENGINEER:**

PERSONALIZED ENGINEERING SOLUTIONS  
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HIGHLANDS RANCH, COLORADO 80129

P: 720.388.8126

CONTACT: STEPHEN DOUGLAS, PE

**LANDSCAPE ARCHITECT:**

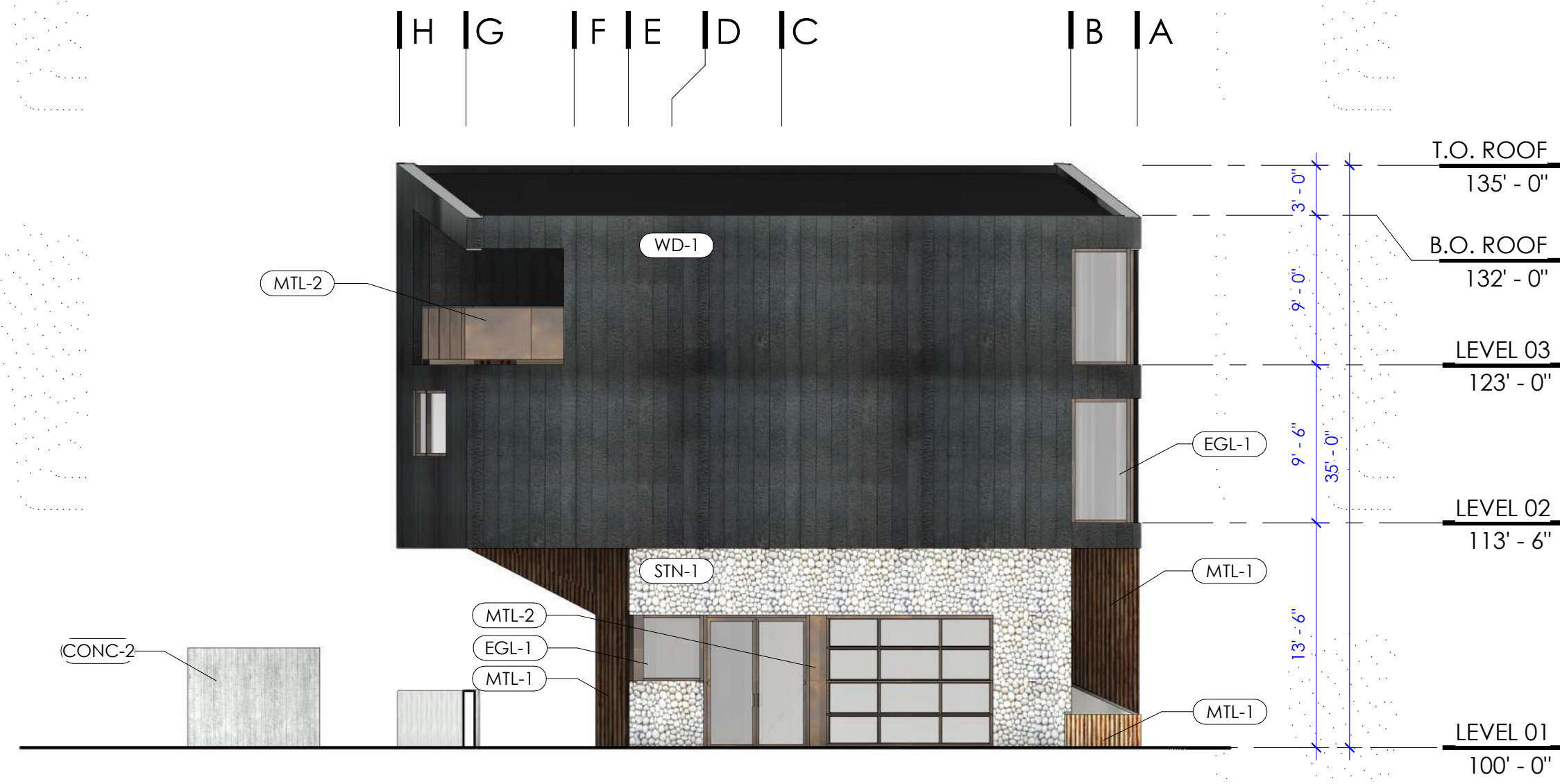
NEILS LUNCEFORD, INC.  
P.O. BOX 2130  
740 BLUE RIVER PARKWAY  
SILVERTHORNE, CO 80498

P: 970.468.0340

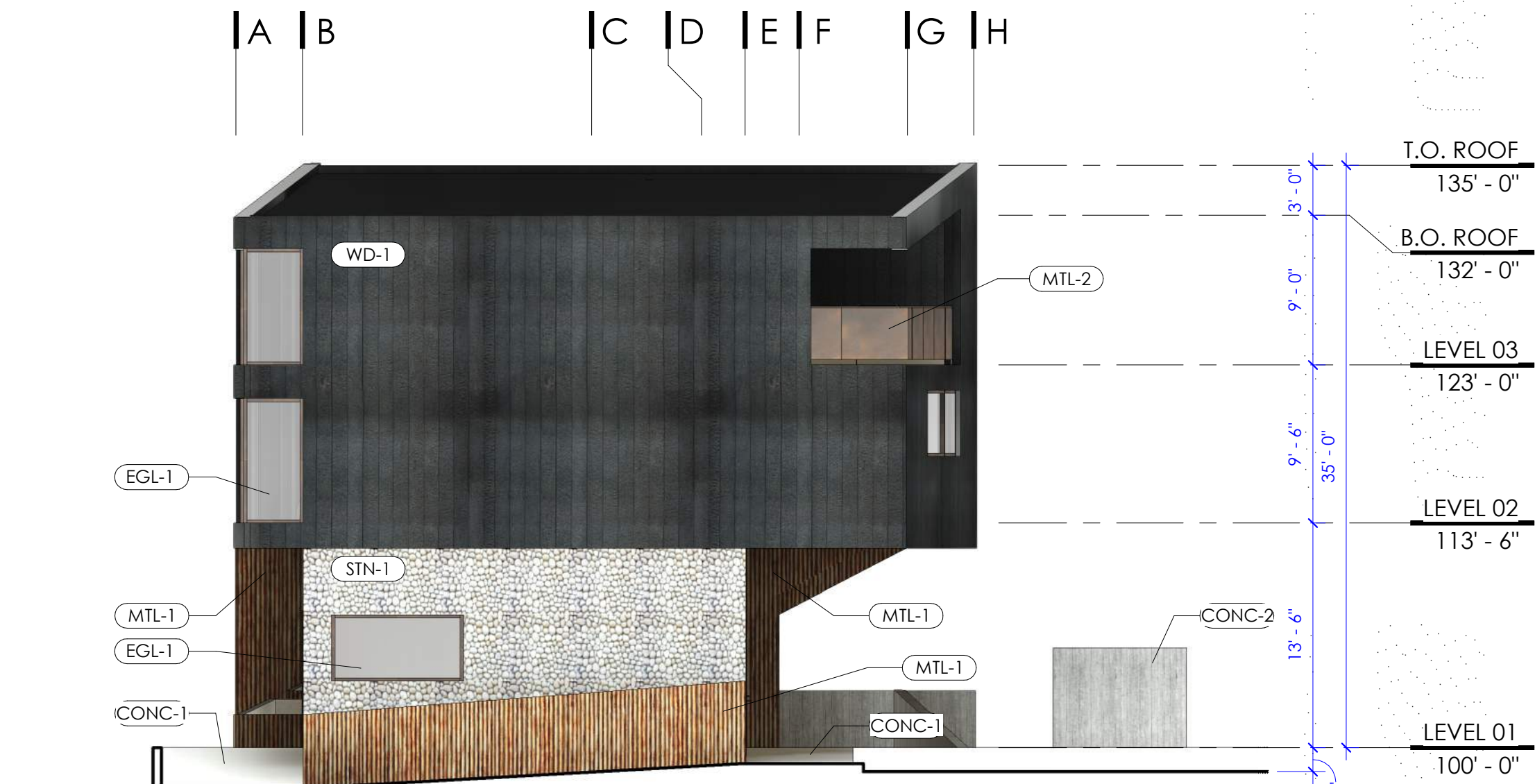
CONTACT: LAYLA LAZOUSKI



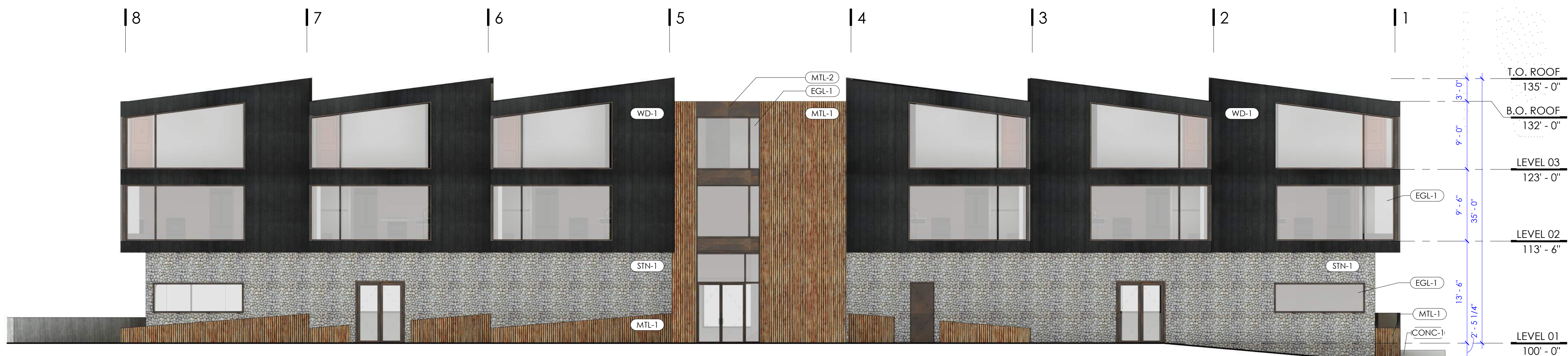




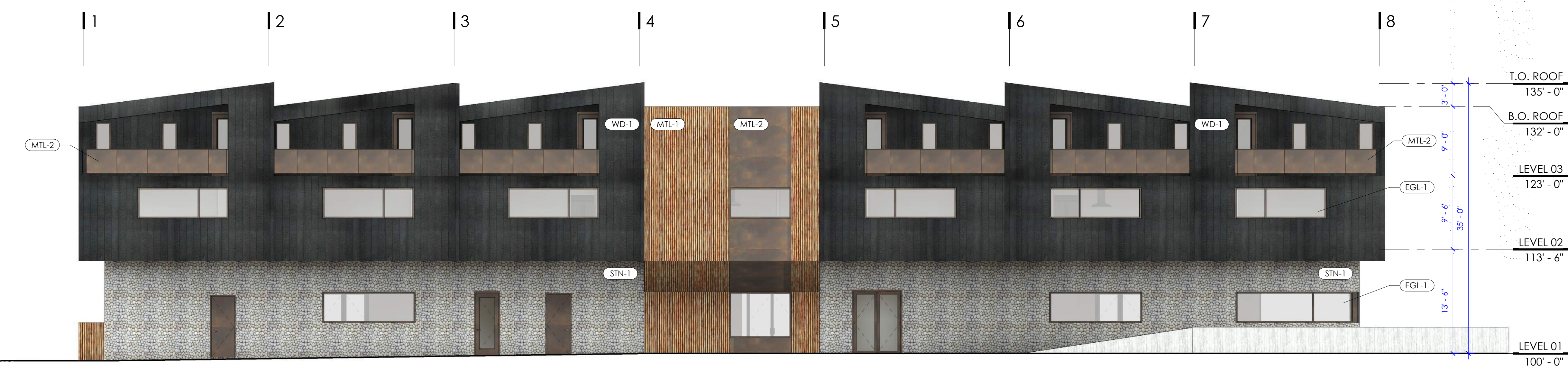
4 EXTERIOR ELEVATION - EAST  
A2.01 SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION - WEST  
A2.01 SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION - NORTH  
A2.01 SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION - SOUTH  
A2.01 SCALE: 1/8" = 1'-0"

MATERIAL LEGEND:

- CONC-1 CAST IN PLACE CONCRETE, BROOM FINISH
- CONC-2 BOARD FORM CONCRETE, VERTICAL ORIENTATION
- EGL-01 EXTERIOR GLAZING, LOW-E, ULTRA-CLEAR
- MTL-01 STEEL FLAT METAL PANEL, WEATHERED, 11 GA
- MTL-02 STEEL CORRUGATED METAL PANEL, WEATHERED, 22 GA
- STN-1 RIVER ROCK MASONRY
- WD-1 SHOU SUGI BAN WOOD, VERTICAL ORIENTATION

ARCHITECT:  
**ROTH SHEPPARD**  
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CONSULTANT:

WINTER PARK - OLD TOWN LOT  
1097 Winter Park Drive  
Winter Park, CO 80482  
PROJECT: 2109

ISSUANCE: MAJOR SITE PLAN DATE: 23-0404

STAMP:

DRAWING TITLE:  
EXTERIOR ELEVATIONS

SHEET NUMBER:  
**A2.01**



# WINTER PARK - OLD TOWN LOT

1097 Winter Park Drive  
Winter Park, CO 80482  
2128

# MAJOR SITE PLAN

ISSUE DATE: 04/03/2023

## ITEM #6F - FLOOR PLANS

**OWNER:**

WHITE DEVELOPMENT, LLC  
P: 303.506.5995

CONTACT: DEVIN VISCIANO

**ARCHITECT:**

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CONTACT: NATE MORRISON, E.I.

**CIVIL ENGINEER:**

PERSONALIZED ENGINEERING SOLUTIONS  
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HIGHLANDS RANCH, COLORADO 80129

P: 720.388.8126

CONTACT: STEPHEN DOUGLAS, PE

**LANDSCAPE ARCHITECT:**

NEILS LUNCEFORD, INC.  
P.O. BOX 2130  
740 BLUE RIVER PARKWAY  
SILVERTHORNE, CO 80498

P: 970.468.0340

CONTACT: LAYLA LAZOUSKI



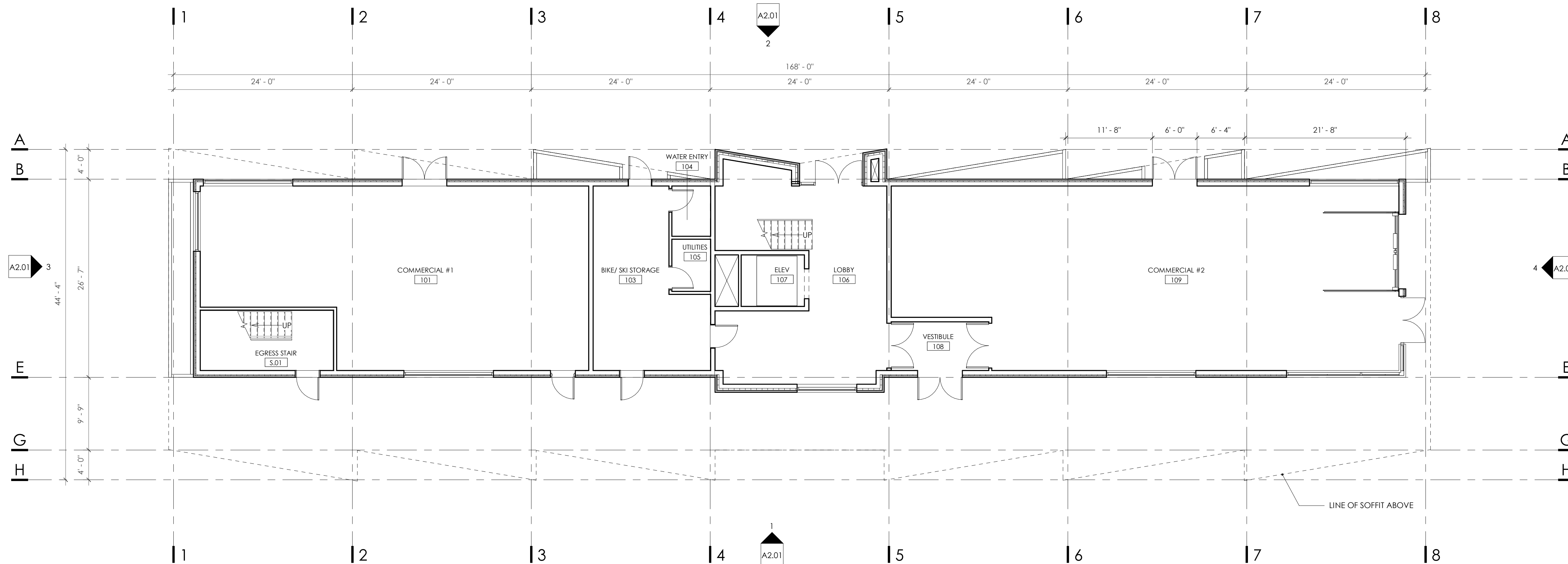


ARCHITECT:



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CONSULTANT:



WINTER PARK - OLD TOWN LOT

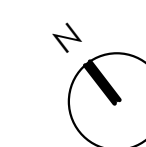
1097 Winter Park Drive  
Winter Park, CO 80482  
PROJECT: 2109

ISSUANCE: MAJOR SITE PLAN      DATE: 23-0404

STAMP:

DRAWING TITLE:  
OVERALL FLOOR PLAN -  
LEVEL 01

SHEET NUMBER:  
**A1.01**



1 OVERALL FLOOR PLAN - LEVEL 01  
A1.01 SCALE: 1/8" = 1'-0"

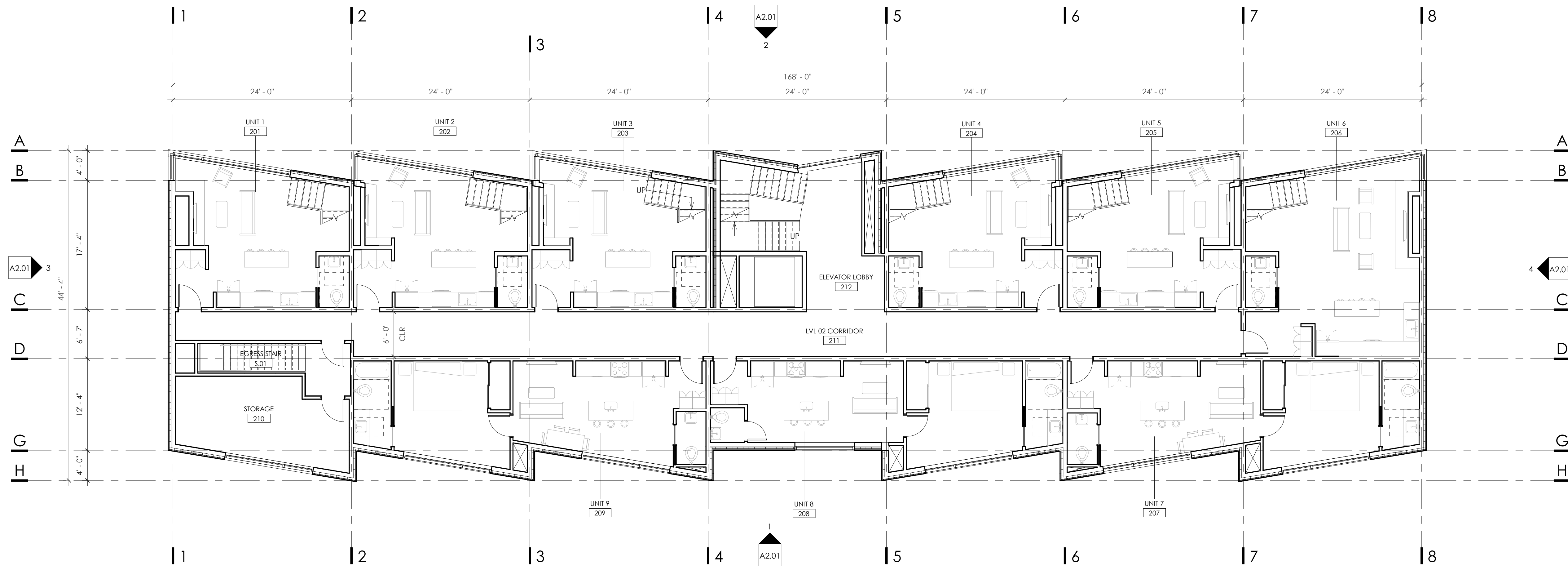


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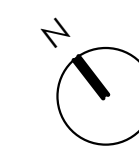
1097 Winter Park Drive  
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PROJECT: 2109

ISSUANCE: MAJOR SITE PLAN DATE: 23-0404

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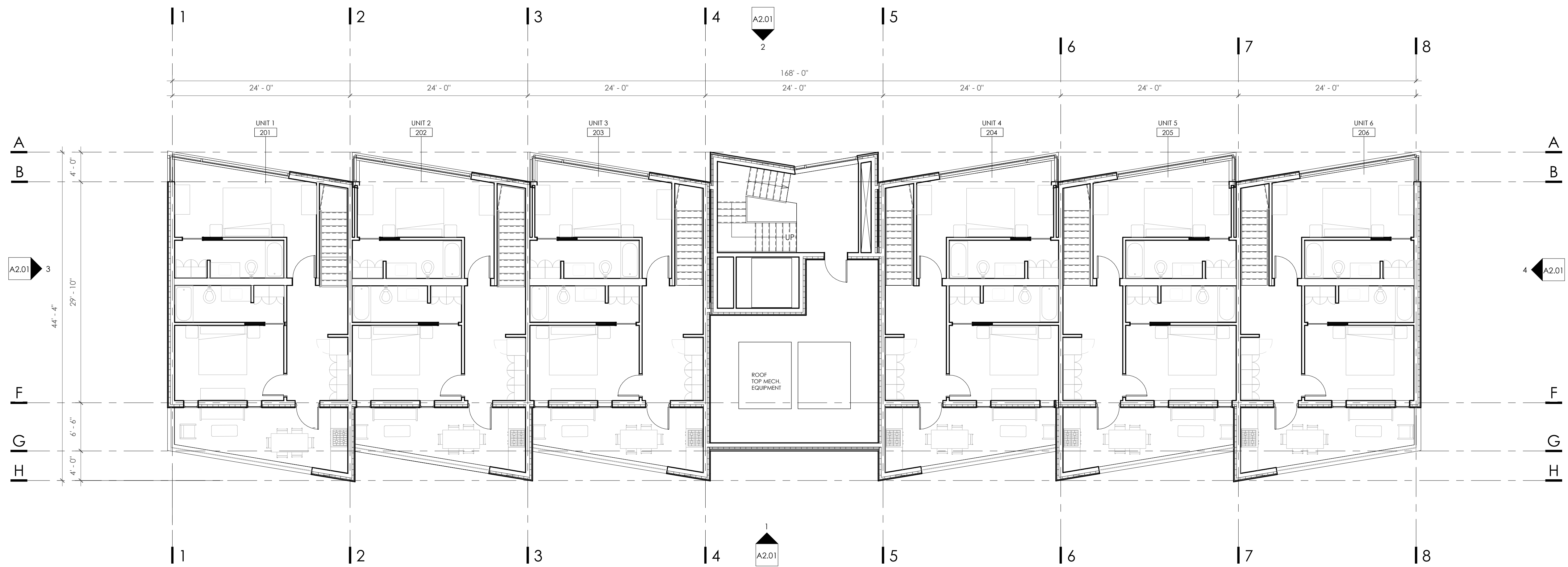
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LEVEL 02

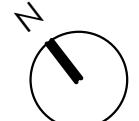
SHEET NUMBER:  
**A1.02**



1 OVERALL FLOOR PLAN - LEVEL 02  
A1.02 SCALE: 1/8" = 1'-0"






**1** OVERALL FLOOR PLAN LEVEL - 03  
 A1.03 SCALE: 1/8" = 1'-0"

ARCHITECT:



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CONSULTANT:

**WINTER PARK - OLD TOWN LOT**  
 1097 Winter Park Drive  
 Winter Park, CO 80482  
 PROJECT: 2109

ISSUANCE: MAJOR SITE PLAN      DATE: 23-0404

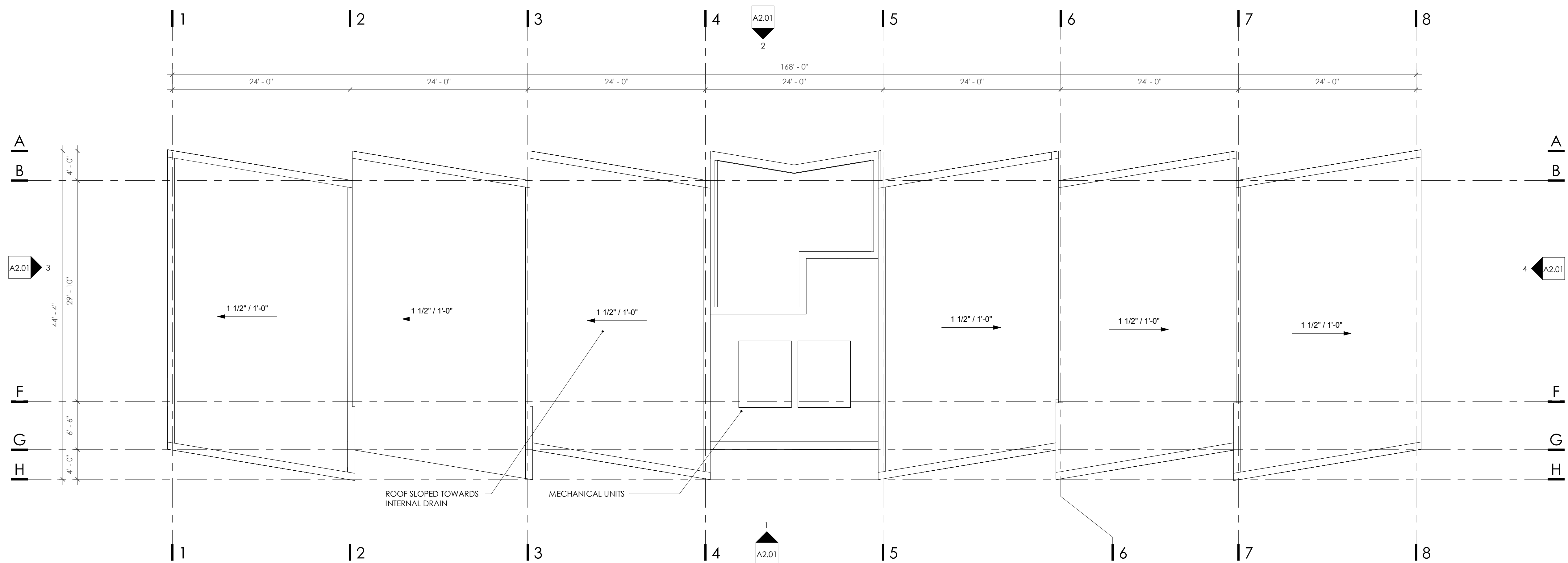
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DRAWING TITLE:  
**OVERALL FLOOR PLAN -  
 LEVEL 03**

SHEET NUMBER:  
**A1.03**



PLAN NOTES:		
1. RE-STRUCT FOR FOUNDATION WALL DIMENSIONS	5. ALL LOCATIONS OF ELECTRICAL DEVICES, FIRE ALARM DEVICES, SECURITY DEVICES AND ACCESS PANELS SHALL BE VERIFIED IN THE FIELD WITH THE ARCHITECT PRIOR TO ROUGH-IN.	9. ALL SLAB ON GRADE JOINTS, INCLUDING SLAB PERIMETER JOINTS, SHALL BE FILLED WITH SEALANT; SEALANT COLOR TO BE VERIFIED WITH ARCHITECT FOR ALL JOINTS EXPOSED TO VIEW.
2. TYP INTERIOR DIMS TAKEN FROM FACE OF GYP. UNLESS NOTED OTHERWISE	6. CONTRACTOR SHALL PROVIDE SLIP JOINTS AT ALL PARTITIONS AND PARTITION BRACES ATTACHED TO ROOF AND/OR WALL STRUCTURAL ASSEMBLIES; REFER TO A0.04-A0.05.	10. REFER TO A5.31-A5.32 FOR EXTERIOR 3D AXONOMETRIC VIEWS.
3. TYP EXTERIOR DIMS: ALL-GLASS ENTRIES - DIMS TO SYSTEM CL STOREFRONT - DIMS TO EXT FO FRAME (NOT INCLUDING EXTENDED MULLION CAP) CLERESTORY - DIMS TO EXT FO FRAME STONE RAINSCREEN - DIMS TO EXT FO STONE	7. DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE LOCATED 4" FROM THE FINISHED WALL OR PARTITION TO OUTSIDE FACE OF FINISHED JAMB.	11. REFER TO A0.13 FOR EXTERIOR AND INTERIOR WINDOW SCHEDULES
4. REFER TO A0.04 - A0.05 FOR PARTITION TYPES AND TYPICAL DETAILS; REFER TO A0.11 FOR MATERIALS AND FINISHES KEY; REFER TO A0.12 FOR EQUIPMENT AND FIXTURE SCHEDULES.	8. THE CONTRACTOR SHALL PROVIDE AND INSTALL A CONTINUOUS COMPRESSIBLE JOINT FILLER AT THE INTERIOR SLAB / GRADE PERIMETER AND AT INTERIOR COLUMN BLOCK-OUTS: 1/2" WIDTH.	



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CONSULTANT:

WINTER PARK - OLD TOWN LOT

1097 Winter Park Drive  
Winter Park, CO 80482  
PROJECT: 2109

ISSUANCE: MAJOR SITE PLAN DATE: 23-0404

STAMP:

DRAWING TITLE:  
ROOF PLAN

SHEET NUMBER:  
A1.21



# WINTER PARK - OLD TOWN LOT

1097 Winter Park Drive  
Winter Park, CO 80482  
2128

# MAJOR SITE PLAN

ISSUE DATE: 04/03/2023

## ITEM #8 - RENDERINGS

**OWNER:**

WHITE DEVELOPMENT, LLC  
P: 303.506.5995

CONTACT: DEVIN VISCIANO

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CONTACT: NATE MORRISON, E.I.

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CONTACT: STEPHEN DOUGLAS, PE

**LANDSCAPE ARCHITECT:**

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2 FRONT FACADE



1 SE PERSPECTIVE

ARCHITECT:

**ROTH  
SHEPPARD**

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CONSULTANT:

WINTER PARK - OLD TOWN LOT

1097 Winter Park Drive  
Winter Park, CO 80482  
PROJECT: 2109

ISSUANCE: MAJOR SITE PLAN      DATE: 23-0404

STAMP:

DRAWING TITLE:  
EXTERIOR PERSPECTIVES

SHEET NUMBER:  
**A9.00**



**PLANT SCHEDULE**

SYMBOL	DECIDUOUS TREES	CONTAINER	SIZE	QTY
	POPULUS TREMULOIDES / QUAKING ASPEN	COLLECTED	2" CAL	16
EVERGREEN TREES				
	PICEA PUNGENS / COLORADO SPRUCE	NG	6" HT	2
	PICEA PUNGENS / COLORADO SPRUCE	NG	8" HT	1
	PINUS LONGAEOVA / BRISTLECOONE PINE	COLLECTED	6" HT	9
DECIDUOUS SHRUBS				
	PHYSOCARPUS OPULIFOLIUS / DWARF NINEBARK		#5	5
	POTENTILLA FRUTICOSA / GOLD DROP POTENTILLA		#5	1
	PRUNUS VIRGINIANA / CHOKECHERRY		#5	1
	RIBES ALPNUM / ALPINE CURRANT		#5	5
	ROSA WOODSII / WOODS' ROSE		#5	1
	SALIX PURPUREA 'NANA' / DWARF ARCTIC WILLOW		#5	8
	CORNUS SERICEA / RED TWIG DOGWOOD		#5	3
EVERGREEN SHRUBS				
	JUNIPERUS SABINA 'BUFFALO' / BUFFALO JUNIPER		#5	16

**REFERENCE NOTES SCHEDULE**

SYMBOL	EDGER DESCRIPTION	QTY
	EDGER - METAL EDGER 4"	138 lf
GROUND COVER DESCRIPTION		
	ORNAMENTAL GRASSES / PERENNIAL FLOWERS 18" O.C.	1,790 sf
	NATIVE GRASS SEED	8,566 sf
	BROWN MEDIUM NUGGET MULCH	2,000 sf

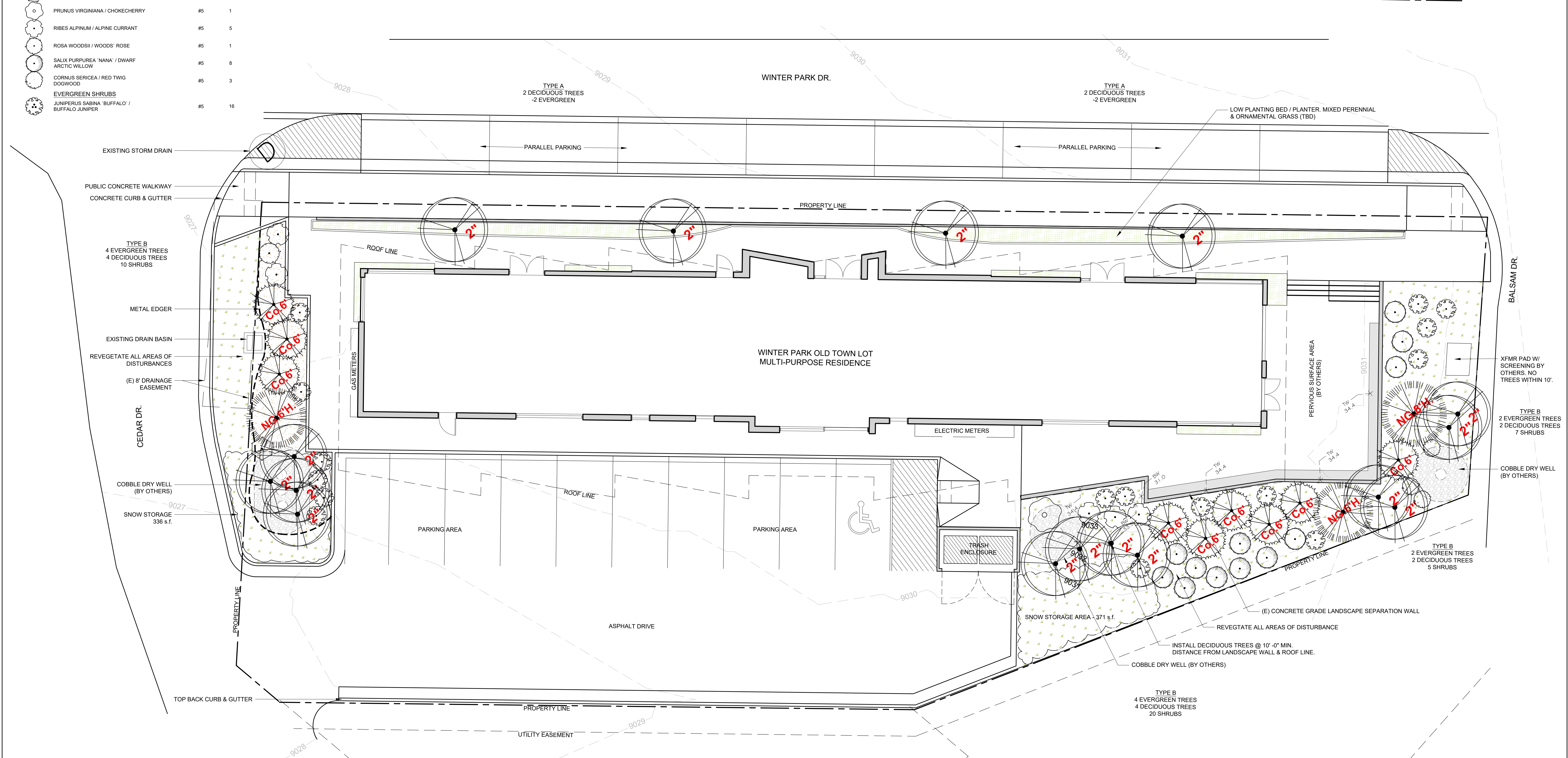
**GRASS SEED MIX**

REVEGETATE ALL DISTURBED AREA ON SITE. SEE LANDSCAPE MATERIALS PLAN.  
 NATIVE GRASS SEED MIX:  
 TALL FESCUE 80%  
 SLENDER WHEATGRASS 10%  
 ROCKY MOUNTAIN FESCUE 10%  
 SOW @ 2 lbs/1000S F.  
 SLOPES OVER 3:1 SHALL BE HAYED AND TACKIFIED OR NETTED.

**LANDSCAPE NOTES**

- INSTALL 6" DEPTH OF PLANT MIX IN PERENNIAL BEDS. TOPSOIL TO BE INSTALLED TO A DEPTH OF 3" IN ALL DISTURBED AREAS. ALL SOIL MUST BE APPROVED BY LANDSCAPE DESIGNER PRIOR TO INSTALLATION.
- TREE AND SHRUB WELLS TO BE BACK FILLED WITH 50% NATIVE SOIL AND 50% ORGANIC AMENDMENT.
- LOCATION OF ALL TREES SHALL BE STAKED BY CONTRACTOR AND APPROVED BY THE LANDSCAPE DESIGNER PRIOR TO INSTALLATION.
- SHREDDED WOOD MULCH WILL BE USED AS A GROUND COVER TREATMENT IN DESIGNATED AREAS WITH WEED BARRIER FABRIC. ALL SHRUB AND TREE PLANTING BEDS SHALL RECEIVE MEDIUM SHREDDED WOOD MULCH 3" DEEP OVER WEED BARRIER FABRIC. ALL PERENNIAL BEDS SHALL RECEIVE A MINIMUM OF 2" SMALL NUGGET BARK MULCH.
- ALL BOULDERS OVER 1.5' IN DIAMETER UNCOVERED DURING EXCAVATION WILL BE STOCKED ON SITE FOR USE AS LANDSCAPE BOULDERS AS SHOWN PER PLAN. FINAL BOULDER PLACEMENT TO BE APPROVED BY THE LANDSCAPE DESIGNER.
- LOCATE ALL PLANT MATERIAL TO AVOID SNOW SHED, SNOW REMOVAL LOCATIONS, SIGHT LINES, UTILITY LINES, FIRE HYDRANTS AND EASEMENTS.
- EXACT PLACEMENT AND SHAPE OF PLANTING BEDS SHALL BE REVIEWED BY LANDSCAPE DESIGNER PRIOR TO INSTALLATION OF IRRIGATION DRIP TUBING. SHRUBS, IN THEIR POTS, SHALL BE PLACED FOR REVIEW BY THE LANDSCAPE DESIGNER.
- PLANT QUANTITIES SYMBOLICALLY SHOWN ON PLAN TAKE PRECEDENCE OVER WRITTEN INSTRUCTIONS, ALIGN AND PLACE ALL TREES AND SHRUBS PER THESE NOTES AND DRAWINGS.
- EDGING TO BE 4" METAL EDGING. EDGING SHALL BE TACKED IN PLACE WITH 1 FOOT EDGING STRAPS AT EACH 10' SECTION AND ONCE IN THE MIDDLE. DISTANCE BETWEEN STRAPS SHALL NOT EXCEED 5'.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH PLANT MATERIAL FREE OF PESTS OR DISEASE. PRE-SELECTED, "TAGGED" MATERIAL MUST BE INSPECTED BY THE LANDSCAPE DESIGNER PRIOR TO INSTALLATION. THE CONTRACTOR MUST CERTIFY THAT ALL PLANT MATERIAL IS FREE OF PESTS AND DISEASE. THE CONTRACTOR MUST WARRANT ALL PLANT MATERIALS FOR HEALTH AND PROPER INSTALLATION FOR A PERIOD OF ONE YEAR AFTER INSTALLATION PER THEIR CONTRACT.
- ALL NEW TREES AND SHRUBS SHALL BE DRIP IRRIGATED UPON INSTALLATION. ALL PERENNIAL AREAS SHALL BE SPRAY IRRIGATED. A PERMANENT IRRIGATION SYSTEM IS REQUIRED.
- ALL TREE AND SHRUB SYMBOLS USED ARE REFLECTIVE OF PLANT SIZE IN 10-12 YEARS.
- THIS DOCUMENT, INFORMATION AND DESIGN IS PROPRIETARY DATA AND THE EXCLUSIVE PROPERTY OF NEILS LUNCEFORD, INC. REPRODUCTION OR USE OF THIS DOCUMENT IS PROHIBITED WITHOUT WRITTEN CONSENT.

- \*NOTE - ADDITIONAL LANDSCAPE COMMENTS:
- LANDSCAPING TO BE 5' FROM SIDEWALK EDGE AND ROW OF ROADS.
  - PLANTING TO REMAIN A DISTANCE FROM TRANSFORMER AND SCREEN (TREES) 10' FROM TRANSFORMER AND (SMALL SHRUBS) 2' MINIMUM FROM TRANSFORMER.
  - PLANTINGS AND BOULDERS TO REMAIN A MINIMUM OF 5' FROM GAS LINES.





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LUMINAIRE SCHEDULE												
TYPE	DESCRIPTION	MANUFACTURER OR APPROVED EQUIVALENT	CATALOG SERIES NUMBER OR APPROVED EQUIVALENT	LAMPS, CCT	INPUT VA	LUMENS	VOLTAGE	MOUNTING			AREA SERVED	NOTES
								R	S	P		
E1	LED TAPE LIGHT, RECESSED ALUMINUM CHANNEL WITH LENS, WALL WASH, IP66, MOUNTED AT CEILING/OVERHANG OF LEVEL 1	BEULUX	V-L90-IP66-CT30-SEE PLANS JE99-SL	LED 3000K	0.65/ FT	70/ FT	120	X				PERIMETER
E2	4" SQUARE DOWNLIGHT, LED, WET LISTED, MOUNTED IN CEILING/OVERHAND OF LEVEL 1	PRESCOLITE	LTR-4SQD-H-SL-06L-DMT LTR-4SQD-T-SL-27K-9-WD-S	LED 3000K	6	292	120	X				PERIMETER
EP	PEDESTRIAN POLE, 14' HEIGHT, TYPE 2 OPTICS	KIM LIGHTING	UR20-24L-CUSTOM-3K7-2-UNV-AD-04	LED 3000K	20	862	120		X			PARKING/DRIVE
(RL)	SIDEWALK/ROADWAY PEDESTRIAN POLE - RELOCATED	EXISTING	EXISTING	LED 4000K	75	7500	120		X			SIDEWALK

ABBREVIATIONS: BF - BOTTOM OF FIXTURE; OH - OVERALL FIXTURE HEIGHT; RD - RECESSED FIXTURE DEPTH; AFF - ABOVE FINISHED FLOOR

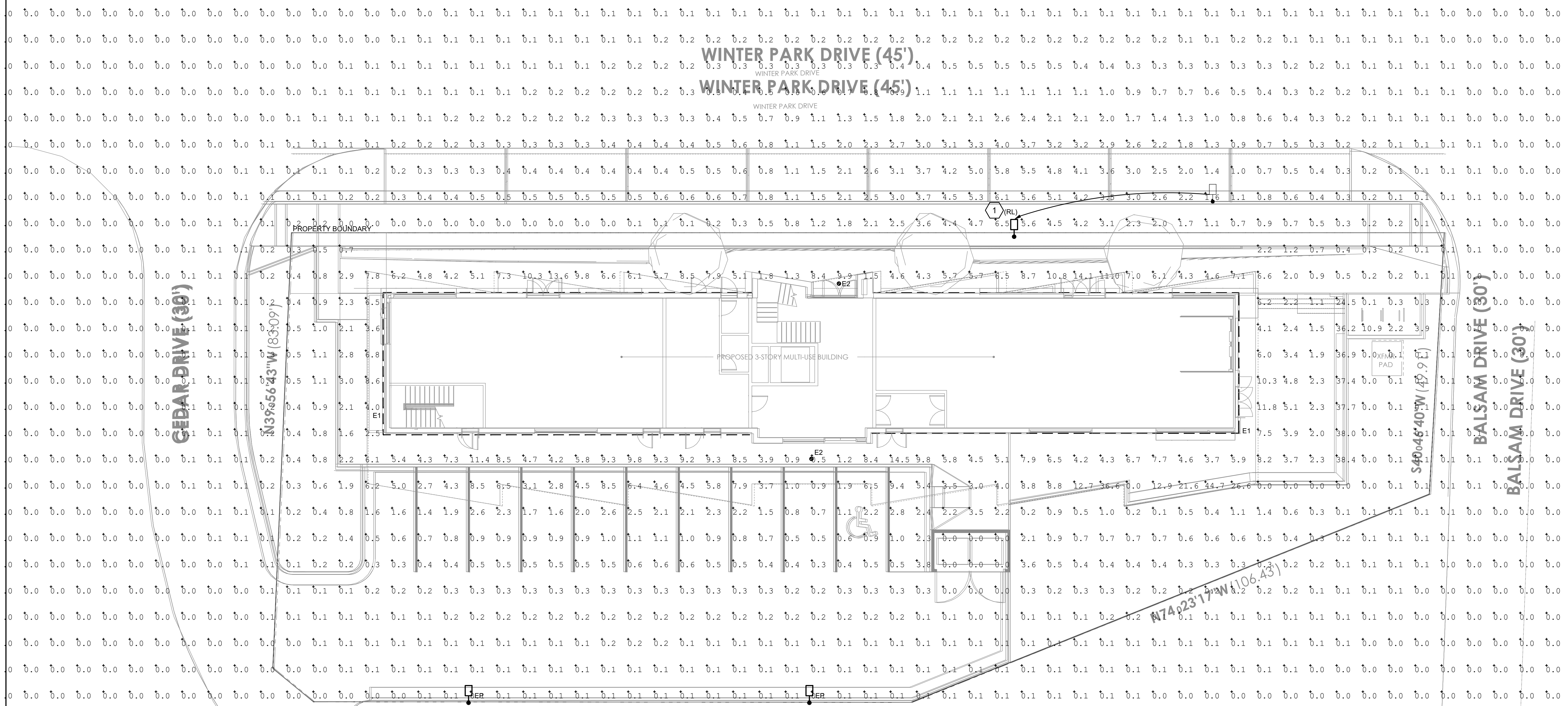
GENERAL NOTES:

- LUMINAIRE SHOWN WITH CATALOG NUMBERS ARE THE BASIS OF DESIGN. SIMILAR BY OTHER LISTED MANUFACTURERS ARE ACCEPTABLE.
- CONTRACTOR TO VERIFY LIGHT FIXTURE CATALOG NUMBER AND INSTALLATION REQUIREMENTS PRIOR TO ORDERING.
- VERIFY TRIM COMPATIBILITY WITH CEILING TYPE PRIOR TO SUBMITTALS.

SITE LIGHTING STATISTICS					
ZONE NAME	AVERAGE(fc)	MAXIMUM(fc)	MINIMUM(fc)	MAX./MIN.	AVERAGE/IN.
OVERALL SITE	0.59	2.2	0.0	N/A	N/A
PROPERTY LINE	0.07	0.4	0.0	N/A	N/A
PARKING AREA	0.3	0.8	0.2	4:1	1.5:1

- GENERAL NOTES** (THIS SHEET)
- NO SUBSTITUTIONS, ADDITIONS, OR CHANGES MAY BE MADE WITHOUT PRIOR APPROVAL BY WINTER PARK.
  - PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY THE CITY MAY REQUIRE CERTIFICATION THAT THE PROPERTY IS COMPLIANT WITH THE APPROVED PLANS AND REGULATIONS OF THE CITY.
  - ALL CALCULATIONS ARE DONE WITH LIGHT LOSS FACTOR OF 0.9.
  - ALL CALCULATION POINTS ARE AT GRADE.
  - ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE RIGHT OF WAY, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL IES LIGHTING STANDARDS FOR DISABILITY GLARE.
  - ALL OUTDOOR LIGHTING SHALL HAVE LIGHT SOURCES THAT ARE CONCEALED BY A FULL CUTOFF LIGHTING FIXTURE SO THAT THE LIGHT SOURCE IS NOT VISIBLE FROM ANY STREET RIGHT-OF-WAY OR ADJACENT PROPERTIES. IN ORDER TO DIRECT LIGHT DOWNWARD AND MINIMIZE THE AMOUNT OF LIGHT SPILL INTO THE NIGHT SKY AND ONTO ADJACENT PROPERTIES, ALL LIGHTING FIXTURES SHALL BE FULL CUTOFF LIGHTING FIXTURES.
  - SIGNAGE LIGHTING SHALL BE APPROVED AS PART OF A SEPARATE SIGN PERMIT.
  - LUMINAIRES SHALL BE SHIELDED AND DIRECTED TO AVOID GLARE AND OVERSPILL ONTO ADJACENT PROPERTY.
  - ALL EXTERIOR LIGHT FIXTURES SHALL BE FULL CUTOFF FIXTURES THAT ARE DIRECTED DOWNWARD (90 DEGREES FROM TRUE VERTICAL) AND SHALL HAVE FLAT LENSES, EMITTING NO MORE THAN 10 PERCENT OF THE TOTAL LUMENS BETWEEN 80 AND 90 DEGREES FROM TRUE VERTICAL. FIXTURES SHALL BE CONFIGURED SO THAT LIGHTS DO NOT CAUSE GLARE.
  - ALL LUMINAIRES TO HAVE ADAPTIVE CONTROLS THAT DIM LIGHT LEVELS BY A MINIMUM OF 50% AFTER 11:00PM.
  - EXISTING ROADWAY/PATHWAY POLE LUMINAIRE TO BE RELOCATED AS INDICATED. LIGHTING CALCULATIONS DO NOT INCLUDE THIS LUMINAIRE.

- KEY NOTES** (THIS SHEET)
- EXISTING POLE LUMINAIRE TO BE RELOCATED AND MOUNTED ON ELEVATED BASE TO ILLUMINATE NEW SIDEWALK. ILLUMINANCE LEVELS ARE APPROXIMATE BASED ON AS-BUILT DATA. NEW INSTALLATION TO MATCH EXISTING ROADWAY LIGHTING TO GREATEST EXTENT POSSIBLE. LIGHT LEVELS FOR THIS LUMINAIRE ARE NOT INCLUDED IN SITE LIGHTING STATISTICS.



**1 PHOTOMETRIC PLAN**  
SCALE: 1"=10'-0"

ARCHITECT:  
**ROTH SHEPPARD**  
ROTH SHEPPARD ARCHITECTS  
1900 WAZEE STREET, SUITE 100 | DENVER, COLORADO 80202  
T: 303.534.7007 F: 303.534.7722 | www.rothsheppard.com

CONSULTANT:  
**Ramirez, Johnson, & Associates**  
3301 Lawrence St, Ste 2  
Denver, CO 80205  
P: 720.598.0774

WINTER PARK - OLD TOWN LOT

1097 Winter Park Drive  
Winter Park, CO 80482  
PROJECT: 2109

ISSUANCE: MAJOR SITE PLAN DATE: 24-08-20

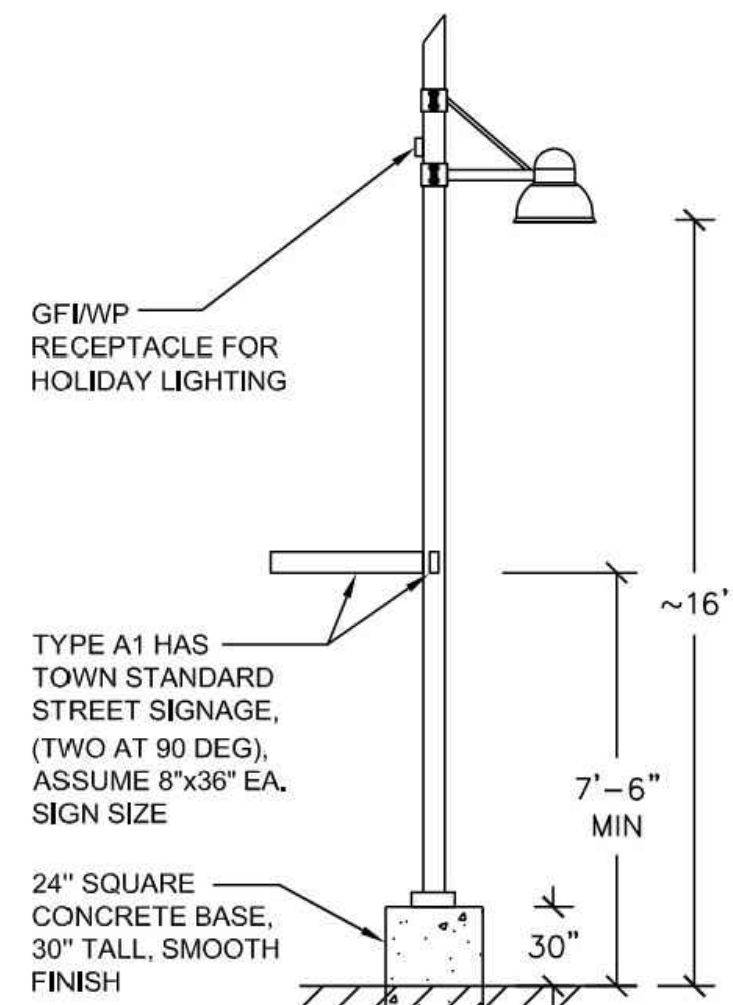
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DRAWING TITLE:  
**PHOTOMETRIC PLAN**

SHEET NUMBER:  
**E1.00**



RELOCATED STREET POLE



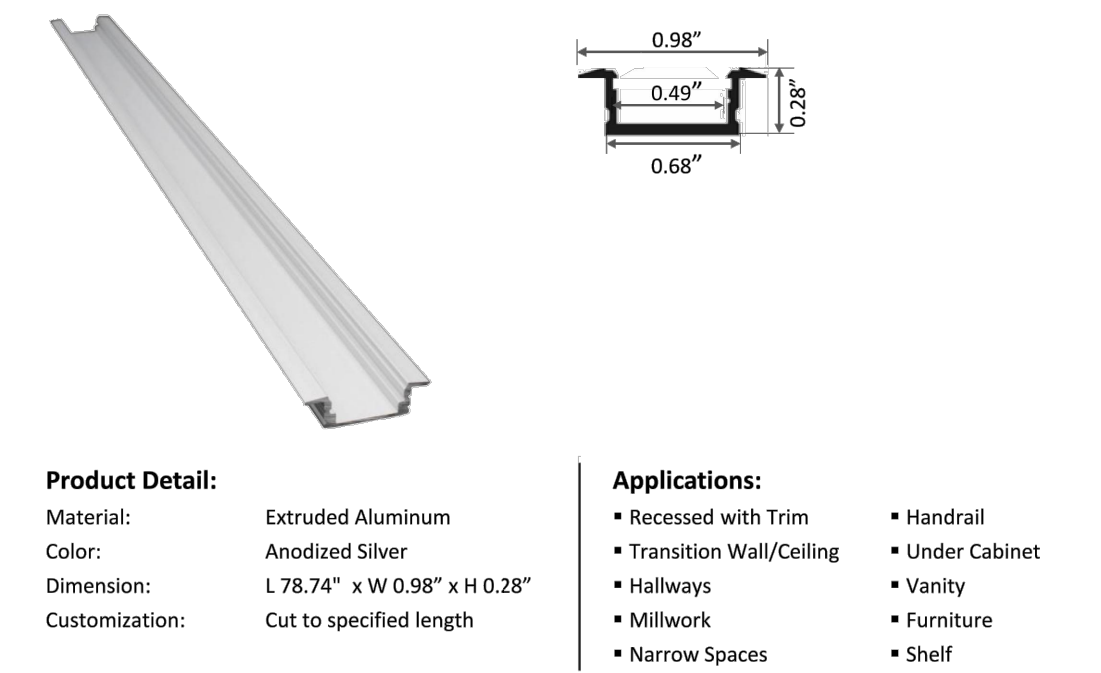
TYPE A: POLE MOUNTED PEDESTRIAN POLE LUMINAIRE - CAST ALUMINUM, BELL SHAPED HOUSING (19" H x 24" DIA), FULL CUT-OFF, TYPE 3 DISTRIBUTION, LED LAMPING, 4000K, 70W-80W, INTEGRAL DRIVER, 80+ LUMENS/WATT, STRAIGHT ARM MOUNTED WITH ANGLED SUPPORT ARM DECORATIVE CLAMP MOUNT TO A 4" SQUARE NON-TAPERED POLE, MOUNTED TO A 24" SQUARE CONCRETE BASE, 30" TALL. PROVIDE POLE LENGTH TO ACHIEVE BOTTOM OF LUMINAIRE HEAD AT 16' AFG.

Type A & A1 Pedestrian Pole Elevation  
Scale: N.T.S.

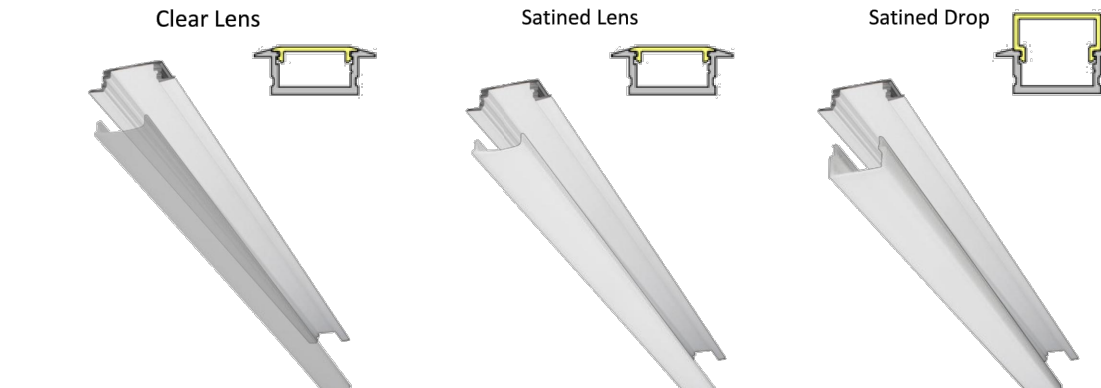
TYPE E1 CHANNEL

JE08 | Recessed Extrusion

The JE08 is a small recessed extrusion, built using high quality anodized aluminum. This extrusion offers great heat dissipation qualities making it best suited for the low-medium output tape light range. The JE line is known for its size and versatility in applications, which can help facilitate the project specification process.



**Product Detail:**  
Material: Extruded Aluminum  
Color: Anodized Silver  
Dimension: L 78.74" x W 0.98" x H 0.28"  
Customization: Cut to specified length



- Applications:**
- Recessed with Trim
  - Transition Wall/Ceiling
  - Hallways
  - Millwork
  - Narrow Spaces
  - Handrail
  - Under Cabinet
  - Vanity
  - Furniture
  - Shelf

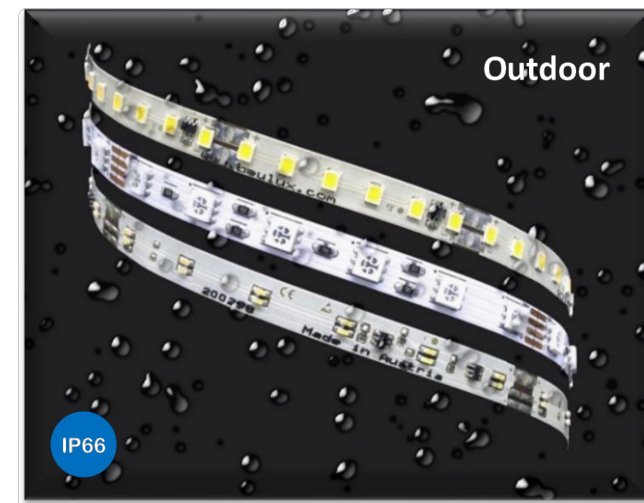
TYPE E1

Vienna LED Tapelight Specifications

Vienna is a high-end flexible tape light manufactured in Austria, Europe. Not only is it produced in Reel-to-Reel method with in-line testing but also uses exclusively components of highest quality (Osram LEDs, high copper content conductors). The constant current ICs guarantee uniform light levels even with longer run lengths. Binning to McAdam Step3, LM80 conformity and efficacy up to 118lm/Watt fulfill highest standards. Dimmable with all common dimming protocols. Equipped with 3M thermal dissipation adhesive tape. 24V DC. Discharge and reverse polarization protection.



This hydrophobic, plasma-enhanced and super-thin coating enhances the durability of this tape light without the problems that Silicone or Polyurethane coatings bear. Applied under vacuum condition in condensation method.



- Moisture resistance:** water and many other organic substances have no effect on this coating
- No light loss:** same lumen output as the IP00 tape
- No shift in color temperature:** CCTs stay the same as with IP00 tape
- No temperature increase:** no heat build-up as in encapsulated products guarantees longer lifetime and quality stability

TYPE E1

Vienna LED Tapelight Specifications

**Technical Information**

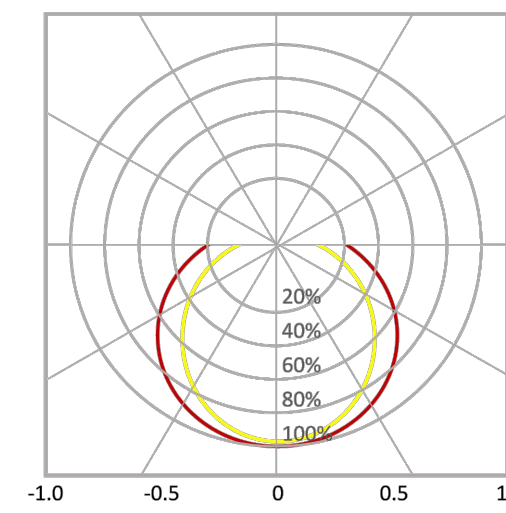
Product	Output (lm/ft)	LEDs/ft	Consump. (watt/ft)	Efficacy (lm/watt)	CRI	Voltage	Max run length	Cut increment
L90	~90	36	0.73	123	>80	24	75'	2"
L180	~180	36	1.62	111	>80	24	47'	2"
L270	~270	36	2.7	108	>80	24	34'	2"
L400	~400	36	3.9	109	>80	24	25'	2"
L610	~610	36	6.2	104	>80	24	18'	2"
L910	~910	36	9.7	104	>80	24	10'	2"

**Tapelight Ordering Codes**

Example: V-L400IP66CT27-4' (Vienna, ~400 lm/ft, Outdoor, 2700K, 4 ft)

PRODUCT LINE	OUTPUT	IP RATING	COLOR TEMP	RUN LENGTH
V Vienna	L90 ~90 lm/ft L180 ~180 lm/ft L270 ~270 lm/ft L400 ~400 lm/ft L610 ~610 lm/ft L910 ~910 lm/ft	IP00 Indoor IP66 Outdoor	CT22 2200K CT27 2700K CT30 3000K CT35 3500K CT40 4000K	Enter run length

Photometric



www.Beulux.com 408-661-2367 Mar-2021 Pg. 2

KIMLIGHTING

UR20 - Post Top ARCHITECTURAL AREA/SITE

- FEATURES**
- 20" size in single/dual arm post top, pole and wall mount
  - High performance optics up to 16,874 delivered lumens
  - Elegant form factor
  - Diffusion lens option
  - UL/ULX listed for wet locations, IP66 and 4G/1.5G vibration rated



CONTROL TECHNOLOGY

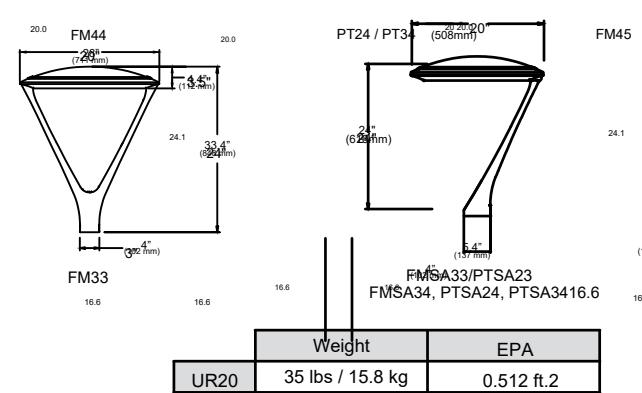


SPECIFICATIONS

- CONSTRUCTION**
- Low copper aluminum alloy die-casting is designed as one-piece.
  - Molded silicone gasket throughout insures the sealing between the two compartments and provides ingress protection.
  - All external fasteners are stainless steel.
  - Cover is secured to Lens frame by the latch and hinge.
- OPTICS**
- LEDs mount to a metal printed circuit board assembly (MCPCB).
  - Optical lenses are clear injection molded PMMA acrylic.
  - Optional Backlight Control on each LED module to completely control unwanted backlight.
  - Optional fixture finish optical surfaces will not exceed BUG ratings of the standard white finish.
- LENS**
- Standard lens (CLR) IK08
  - Clear Polycarbonate Lens (CP) IK10
- INSTALLATION**
- Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.
  - Wiring: No. 18AWG rated 105°C, wet rating.

TYPE EP

DATE: LOCATION:  
TYPE: PROJECT:  
CATALOG #:



Model	Weight	IP Rating
UR20	35 lbs / 15.8 kg	0.512 A.2

KIMLIGHTING

UR20 - Post Top ARCHITECTURAL AREA/SITE

ORDERING GUIDE Example: UR20-24L-25-3K9-3L1-UV-FMSA33-BLT-7PR-8C

**CATALOG #**

Model	LED Engine	CCT/CRI	Distribution	Rotation	Voltage
UR20 Quo No Lens or Clear Lens	24L-25 3,000 lm 24L-45 7,000 lm 24L-75 10,000 lm 24L-110 15,000 lm 24L-140 17,000 lm	24 2700K, 80 CRI 3K7 3000K, 70 CRI 3K9 3000K, 80 CRI 3K9 3500K, 80 CRI	FR Type 1 Front Row 2 Type II 3 Type III 4 Type IV HW Type V Wide HW Type V Square Medium HW Type V Square Narrow HW Type V Rectangular HW Type V Wide (Round) HW Type V Asymmetric HW Type V Symmetric	(Blank) Blank for no rotation + Optic rotation left + Optic rotation right	120V-277V 347 347V 480 480V Consult factory

Mounting	Fixture Finish	Control Options	Options	Control Accessories
FMS43	Flush in 3/8" OD pole fixture base	PPR-TL 7 pin PCR with sealed back photoport PPR-BC 7 pin PCR with charging cap PPR 7 pin PCR, wireless control enabled	Back-light Control Single Flange Double Flange Clear Lens Temper control latch Clear Polycarbonate Lens Wall Bracket Arm for FMS43 or FMS44 Twix Arm mount for FMS43 or FMS44	WVA-AME-L-EPD812+TM External Fixture Module Occ. Sensor for Round Pole (up to 30' Mtg) NX 7-Pin Twist-Lock with NX Networked Wireless Radio, Integrated Automatic Dimming Protocol, Integral Single Pole Relay with Dimming and Bluetooth Programming WBP84 Wall Bracket Arm for FMS43 or FMS44 Twix Arm mount for FMS43 or FMS44

1 Turtle Friendly  
2 Not available with 24.45 and the 56L-140 configuration of the LED Engine  
3 Not available with HDL option  
4 Not available with SCAL, SC24, and SHL distributions  
5 Consult factory for custom color, name and corporate finish options.  
6 Not available with other sensor or wireless control options.  
7 Not available with Solo Arm Post Top (FMSA1754).  
8 24L and 56L only  
9 Not available with HDL option  
10 Not available with SCAL, SC24, and SHL distributions  
11 IK10 rated. Consult factory for details  
12 Pole requires 2-3/8" x 4" pole base  
13 Order one for each pair of fixtures per pole.

prescolite

LTR-4SQD LITESTRY 4" SQUARE DOWNLIGHT

- FEATURES**
- 4" architectural LED downlight delivering 600 - 4000 lm
  - Five beam distributors from 0.4 to 1.2 Spacing Criteria
  - Quiet reflector appearance with superior 50° optical cutoff
  - 2700K - 5000K, 80+ and 90+ CRI options
  - Available in New Construction (non-IC), IC and Chicago Plenum applications
  - Variety of dimming protocol options including 0-10V, DALI, DMX and Lutron Ecosystem
  - NX Lighting Controls wired and wireless controls capability available

CONTROL TECHNOLOGY



SPECIFICATIONS

- CONSTRUCTION**
- Standard Non-IC Chicago Plenum and IC options
  - New Construction: Painted black durable steel platform with pre-installed bar hangers
  - Pre-wired junction box with snap-on covers for easy access
  - Snaps in connection from driver compartment allows easy installation
  - Light Engine connectors use plenum rated (CMP) cable
- OPTICS**
- Visually pleasing 50° cutoff for source and source image
  - The light distribution is free of distracting bright spots or pixelation and the perimeter has a smooth transition
  - Optical grade silicone lens integral to light engine
  - High purity four-panel aluminum reflector, self-forged
  - Large selection of anodized finishes and colors
  - Painted cones and flange options available

- ELECTRICAL**
- Chip-on-board (COB) LED with 2 SDCM
  - Multiple CCTs, 80+ or 90+ CRI
  - Long LED life, L90 at >55,000 hours (TM-2)
  - Universal voltage 120V-277V driver, 347V optional
  - UL Class 2, inherent short circuit and overload protection
  - Flicker free 0-10V dimming with 1% or <1% performance
  - DMX, DIMX and Lutron Ecosystem options
  - NX or Lutron Vibe control options available
  - Integral and remote emergency controller and battery pack options available
  - Refer to additional spec sheets for information on Specifications "Tunable White or Dim-to-Warm" solutions

- CERTIFICATIONS**
- c-ULus certified to UL 1598
  - Suitable for wet locations, covered ceiling, EMBAR. Suitable for damp locations.
  - Approved for 8 (4 inch) out No. 12AWG conductors rated for 90°C through wiring
  - When used with CE Bezel Trim Accessories: IP66/IP69K rating, also meets IK08 per IEC 60529-2.75 impact testing
  - EMEMER. Certified under UL 924 standard for emergency lighting and power equipment
  - EMERIT® (STAP) certified models available (For list and additional information, visit www.emeritstap.com)
  - This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction. Materials under Trade Agreements effective 6/6/2020.

**KEY DATA**

Lumen Range	600-4000
Wattage Range	8-52
Efficacy Range (LPW)	89-99*
Life Hours	150 / >55,000
Input Current (mA)	67-433 (200V)

\*Based on Specular, 35K, 80 CRI

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prescolite

LTR-4SQD LITESTRY 4" SQUARE DOWNLIGHT

ORDERING GUIDE Example: LTR-4SQD-H-SL10L-DM-LTR-4SQD-T-SL35K8MD-SS

**CATALOG #**

Appearance/Package Function	Lumen Package	Lumen Output	Driver Options	Control Options	Voltage	Housing Options
LTR-4SQD-H 4" Square Downlight New Construction Housing	CLR 2000 10L 1000 15L 1500 20L 2000 25L 2500 30L 3000 35L 3500 40L 4000	20K 2000 10K 1000 15K 1500 20K 2000 25K 2500 30K 3000 35K 3500 40K 4000	DMT 0-10V Dimming to 1% DMO1 0-10V Dimming to <1% DMX DMX with RDM dimming to <0% DALI DALI Dimming to 1% EDM Lutron-Hue Ecosystem Dimming to 1% <sup>1</sup>	NVC No Wire/No Chw R4S Snap/PTS IC case 1.5 NOW No Wire/No Chw Wireless Radio Module (NWRM) and Bluetooth Programming, without Sensor <sup>2</sup> LV Lutron Vibe Enabled, 0-10V (requires 0-10V driver) LVE Lutron Vibe Enabled, Ecosystem (requires ED9)	120V-277V 347V 480V Consult factory	CP Chicago Plenum <sup>1,4</sup> IC IC case 1.5 EM Emergency/Battery Pack with Integral test switch and indicator light <sup>1,5</sup> EMAR Emergency/Battery Pack with remote test switch and indicator light <sup>1,5</sup> GTD Generator Transfer Device <sup>1,5</sup> DTS Device Transfer Switch with Dimming Bypass <sup>1,5</sup> F Flange <sup>1</sup>

**TRIM CONTINUED**

Reflector Color	Flange Color Options	Lower Trim Options	Reflector Options
CLR Standard Clear	Standard matches reflector color	EM Pre-punched Reflector for Hinge Switch	AM Antimicrobial Coating <sup>13</sup>
CG Champagne Gold	WT White Flange <sup>8</sup>	FM Flush Mount Mod in Ring <sup>7</sup>	
BL Black	BT Black Flange <sup>8</sup>		
LW Light Walnut			
PW Pewter			
BC Painted Black Cone and Flange			
BC Painted Black Cone and Flange			

- Accessories**
- 824 Set of two (2) 24" bar hangers for T-bar ceilings
  - 86 Set of two bar hangers for ceiling, just up to 24" centers
  - FMS43 Flush Mount Flange Mod in Ring, 4" Square
  - LWR84 Flush Mount Flange Mod in Ring, 8" Square
  - UPS Series LightPur™ Micro Module, 20W, 25W, 35W
  - MOR450WH Metal Overhead Ring, 4" Square, White (8.25" outer diameter)
  - MOR450 Metal Overhead Ring, 4" Square, Black (8.25" outer diameter)
  - See next page for Bezel Trim Accessories for Complete Environment<sup>12</sup>

Current®

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ARCHITECT:



CONSULTANT:



3301 Lawrence St. Ste 2  
Denver, CO 80205  
P: 720.598.0774

WINTER PARK - OLD TOWN LOT

1097 Winter Park Drive  
Winter Park, CO 80482  
PROJECT: 2109

ISSUANCE:

MAJOR SITE PLAN

DATE:

24-08-20

STAMP:

DRAWING TITLE:  
LIGHTING  
CUTSHEETS

SHEET NUMBER:

E1.01



**Re: Case # PLN23-098**

Kevin Hughes <kmhughes300@gmail.com>

Wed 9/4/2024 10:25 AM

To: Shelia Booth <SBooth@PlanStrategize.com>

Cc: Michelle Franz <mfranz@allegiantmgmt.com>; Erica Fransen <erica@allegiantmgmt.com>; Linda Metsger <lmetsger33@gmail.com>; Kevin Hughes <kmhughes300@gmail.com>; Chris Eddy <chris\_eddy@hotmail.com>; Kaitlyn Eldridge <kaitlyn@alamocitymall.com>; Kathi Erber <kathi@erberggroup.com>; Krystyn Gay <krystyn@allegiantmgmt.com>; James Shockey <jshockey@wpgov.com>; Brian Kelly <bkelly@wpgov.com>; Lisa Hughes <lnoelh@gmail.com>

Shelia,

Thanks, the information provided is most useful.

I am concerned over the overall parking situation as you stated the residential parking requirements have been reduced from 13 to 10 and the retail/restaurant is allocated for 8 spaces for a total of 18 spaces.

However, based on the proposed retail and restaurant split, the number of parking spaces required for the first floor is 17 spaces. Therefore, the site is short 12 spaces. I calculated the parking based on Section 3.9.3 Parking Requirements. My first floor parking calculations are below..

I am most concerned with customers, visitors and owners not finding a space to park in the development and parking in Winter Park Place's lot. This is an ongoing issue that we have at Winter Park Place with non residents parking in our lot and it will only get worse.

I also notice that the site has ZERO on site snow storage. Therefore, the available parking will likely be reduced during heavy snow falls as the site requires all snow to be hauled away,

How will the city or development enforce the parking restrictions knowing that the site is under-parked?

Kevin Hughes  
1080 Winter Park Place #22

<b>SNOW STORAGE (PER TABLE 3-H-5-1)</b>	
TOTAL PAVED AREA (SF)	<b>6,324</b>
TOTAL SNOW STORAGE AREA REQ'D (SF)	<b>1,581</b>
TOTAL SNOW STORAGE AREA PROVIDED (SF)	<b>N/A</b>
<b>ON-SITE SNOW STORAGE AREA INSUFFICIENT; THIS SITE WILL REQUIRE OFF-SITE HAULING AND/OR SNOW MELTING.</b>	

(AVG. SLOPE WITHIN PARKING AREA = 2.0%)

Parking calculations:



**Project Details:** The planned building at the Project site is a three-story structure with two commercial units on the main level (1,362 sq. ft. retail space; 1,419 sq. ft. restaurant space with 1,000 sq. ft. outdoor patio) and nine residential units on the two floors above. There are a total of six (6) split level 2 bedroom/2.25 bath units and three (3) 1 bedroom/1 bath units. The residential units will be for-sale condominium units.

[(1,362 X .80 % / 400= 3 spaces) & (1,419 / 100 = 14 spaces)]

- (b) Multi-family dwellings (including apartments and condominiums) with one (1) bedroom, one (1) space per dwelling unit
- (c) Multi-family dwellings (including apartments and condominiums) with two (2)



bedrooms, one and one half (1 ½) spaces per dwelling unit.

- (d) Multi-family dwellings (including apartments and condominiums) with three (3) bedrooms or more, two (2) spaces per dwelling unit.
- (e) Dormitories, bunkhouses and similar group sleeping quarters, one (1) space for every three (3) beds.
- (f) Hotels, motels, lodges, studio units, three spaces for every four (4) units.
- (g) Rest homes, hospitals, sanitariums, one (1) space per bed.
- (h) Offices (professional, non-professional, including real estate, condominium rental offices), one (1) space for each four hundred (400) square feet of gross floor area.
- (i) Eating and drinking establishments, one (1) space for each one hundred (100) square feet of gross floor area.
- (j) Retail sales - one (1) space for every four hundred (400) square feet of gross floor area excluding areas devoted exclusively to storage and building maintenance.

On Tue, Sep 3, 2024 at 4:49 PM Shelia Booth <[SBooth@planstrategize.com](mailto:SBooth@planstrategize.com)> wrote:

Good Afternoon Mr. Hughes -

Below is a link to the active cases page of the Town's website. My apologies that this case was not previously listed on it. You can view all the documents associated with the application on this page.

In addition, here are answers to your questions.

- Is a proposed site plan available to review? - **Yes, please view the**
- How many bedrooms does each of the 9 residential units have? **Six 2-bedroom, 2.25-bath and three 1-bedroom, 1-bath units.**
- What is the proposed mix of the 1,750 SF commercial space? **Retail**
- How many parking spaces are proposed? **The Town of Winter Park Board of Adjustment approved a reduction in required off street parking for the residential units from 13 spaces to 10 off-street parking spaces. The commercial parking will be met with 8 on-street parking spaces.**



**documents**  
**[HERE.](#)**

**restaurant at**  
**this time.**

Shelia Booth, AICP

Director of CDS | CPS LLC

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**From:** Kevin Hughes <[kmhughes300@gmail.com](mailto:kmhughes300@gmail.com)>

**Sent:** Tuesday, September 3, 2024 9:01 AM

**To:** Shelia Booth <[SBooth@PlanStrategize.com](mailto:SBooth@PlanStrategize.com)>

**Subject:** Case # PLN23-098

Shelia,

I have a few questions about the upcoming planning commission meeting concerning case # PLN23-098 at Lot A Block 3 Winter Park Village.

Is a proposed site plan available to review?

How many bedrooms does each of the 9 residential units have?

What is the proposed mix of the 1,750 SF commercial space?

How many parking spaces are proposed?

Thanks,

Kevin M Hughes  
1080 Winter Park Dr #22