



**TOWN OF WINTER PARK  
PLANNING COMMISSION  
Tuesday, October 10, 2024 8:00 AM**

**A G E N D A**

**I. Call to Order**

**II. Roll Call of Commission Members**

**III. Public Comment**

*This time is reserved for anyone from the public to speak about items not on the agenda. The Planning Commission is not prepared to decide on matters brought up during this time, but if warranted, will place them on a future agenda.*

**IV. Conflict of Interest**

**V. Consent Agenda:**

- a. Minutes – September 10, 2024
- b. Minor Site Plan - Riverwalk at Winter Park - Lot 18 – 135 Apres Way (PLN24-048)
- c. Minor Site Plan - Riverwalk at Winter Park - Lot 13 – 118 Apres Way (PLN24-072)
- d. Minor Site Plan - Riverwalk at Winter Park - Lot 31 – 21 Apres Way (PLN24-082)
- e. Minor Site Plan - Riverwalk at Winter Park - Lot 21 – 113 Apres Way (PLN24-083)

**VI. General Business:**

- a) NO GENERAL BUSINESS

**VII. Director's Report:**

*This time is reserved for specific items from staff requiring Commission direction and for relaying important information to the Commission.*

**VIII. Planning Commission Items of Discussion**

*This time is reserved for Commission discussion items that are not listed on the agenda.*

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<https://us02web.zoom.us/j/81725744995?pwd=RnVOb2hpVmN1SXBydzFBZEc3NGhGZz09>

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- +1 719 359 4580 US
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- +1 669 900 6833 US (San Jose)
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**TOWN OF WINTER PARK  
PLANNING COMMISSION  
Tuesday, September 10, 2024 8:00 AM**

**MINUTES**

**DATE:** Tuesday, September 10, 2024

**MEETING:** Winter Park Planning Commission

**PLACE:** Town Hall Council Chambers and Zoom Meeting Call

**PRESENT:** Chair Dave Barker, Commissioners Doug Robbins, Dale McCaw, Eric Mowrey, Shawn Cullingford, Thomas McDonald Angela McDonough are present. Also present are Community Development Director James Shockey, Senior Planner Brian Kelly, Planning Consultant Sheila Booth and Town Attorney Mr. Kunal Parikh.

**OTHERS  
PRESENT:** None.

**I. Call to Order**

Chair Barker calls the meeting to order at 8:012 a.m.

**II. Roll Call of Commission Members**

All Commissioners are present today.

**III. Public Comment**

No one comes forward.

**IV. Conflict of Interest**

No one comes forward.

**Consent Agenda:**

- a. Minutes – August 27, 2024

Commissioner McDonough would like to remove item - Minor Site Plan - Riverwalk at Winter Park - Lot 18 – 135 Apres Way (PLN24-048) from the consent agenda since there are eleven (11) items that are not satisfactory. Director Shockey states that some of those unaddressed items can be resolved at the administrative level. The Commissioner would like to see an updated submittal from the applicant. The applicant is not able to submit a Building Application until all the items are satisfactory. The Commission can either deny the application or table it.

Commissioner McDonough moves, and Commissioner McDonald seconds the motion approving the consent agenda and tabling item - Minor Site Plan - Riverwalk at Winter Park - Lot 18 – 135 Apres Way (PLN24-048) until the applicant resubmits an updated application. Motion carries 7,0.

**V. General Business:**

- a) Election of Vice Chair.

Commissioner Robbins nominates himself based on his seniority. All the Commissioners vote and elect Commissioner Doug Robbins as Vice Chair. Motion carries 7,0.

b) PUBLIC HEARING: Major Site Plan – 1097 Winter Park Drive (PLN23-098)

The Commission swaps the order of the items to be addressed today.

Planning Consultant Sheila Booth begins her presentation by outlining the background of this Major Site Plan application and states staff recommends approval of the Major Site Plan with fifteen (15) conditions.

The applicant, Mr. Devon Visciano comes forward. Mr. Visciano talks about the scope of this project. His presentation covers the Town's long vision for the area and its relation to this project. Mr. Visciano talks about some of the challenges and the proposals his team suggests to overcome these challenges. Due to the configuration of the area, the parking (both commercial and residential) has been particularly analyzed. Mr. Visciano then lays out their proposal for parking on the screen.

Mr. Visciano then continues by talking about the conditions for approval. He describes how his team has handled the comments sent by MPE, Xcel Energy and the Winter Park Water and Sanitation District and how they are planning on addressing them.

The Commission and the applicant have a brief discussion about the comments sent by MPE. Mr. Visciano describes how the lines and the transformer would be located, clearances, design. Another topic discussed is the retail spaces and the parking spaces that would be assigned to specific units. There is mention of parking restrictions and clear signage for the public parking. Mr. Visciano mentions that his team and the Town can collaborate to make sure the public makes good use of the parking spaces.

Chair Baker opens the Public Hearing. Mr. Kevin Hughes (online) has a comment about parking enforcement especially during the winter.

With no one else coming forward, Chair Barker closes the Public Hearing.

Commissioner Robbins moves, and Commissioner McDonough seconds the motion approving Major Site Plan – 1097 Winter Park Drive (PLN23-098). Motion carries 7,0.

c) Presentation of Community Development Department & UDC Audit

Mr. Keith Riesberg, Town Manager, comes forward with a presentation for the Commission and the public. Mr. Riesberg thanks the Commission members for their hard work. Then, Mr. Riesberg goes over his presentation. This is the same presentation made to the Council earlier in the year. The Assessment was conducted to address the community concerns related to the Community Development Department and the Unified Development Code.

**Director's Report:**

Director Shockey informs the Commission that he will be absent at the next Planning Commission meeting on September 24th, 2024.

There is mention of the upcoming items for the next Planning Commission meetings.

**VI. Planning Commission Items of Discussion**

There being no further business to discuss, upon a motion regularly adopted, the meeting was adjourned at 9:45 a.m.

The next scheduled meeting of the Planning Commission will be Tuesday, September 24<sup>th</sup>, 2024, at 8:00 a.m.

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Irene Kilburn, Planning and Building Technician II



## MEMO

**TO** Planning Commission  
**FROM** James Shockey, Community Development Director  
**DATE** September 10, 2024  
**RE** Riverwalk at Winter Park, Lot 18 (PLN24-048)

**Property Owner:** Riverwalk, LLC

**Applicant:** Adam Casias, Studio 1

**Location:** West side of Apres Way, north of Ski Idlewild Road.

**Legal Description:** Lots 18, Riverwalk at Winter Park

**Architects:** Adam Casias, Studio 1

**Zoning:** R-2 (Multiple Family, Residential) (Riverwalk Final Development Plan (FDP))

**Authority:**

Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Director considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park and Minor Site Plan approval is required before building permit issuance.

**Variances:**

No Board of Adjustment (BOA) or administrative variance requests were requested with this application.

**Architecture:**

Satisfactory. One (1) new single-family detached dwelling unit (DU) is proposed on vacant unimproved land. The building utilizes a contemporary, pitched roof form with deep eaves with timber architectural features, and the building shape clearly identifies the entrance. The building has a V-shaped footprint with a two-car garage underneath a second-floor porch. Patios are located along each façade. The architecture is consistent with Mountain Town character seen throughout Winter Park. The proposed single family dwelling complies with Winter Park Design Guidelines.

**Title Commitment:**

Unsatisfactory. The submitted title commitment is dated October 23, 2023. A Title commitment shall not be more than six months older than the submittal date.

- The applicant shall provide an updated Title Commitment that is not older than 6 months from initial submittal date.

**Homeowner’s Association Review:**

Satisfactory. The applicant provided a letter from the HOA with blanket approval of all residential lots and improvements. The Roam Design Review Committee has provided a letter stating its approval of all elements of Riverwalk.

**Material and Color:**

Satisfactory. The material palette shows a stone veneer base, a combination of gabled standing seam metal roofing, and cedar lap siding visually dividing the stories. The roof has timber snow guards. The design primarily utilizes stone and natural wood colors with the exception of black metal features on the roof, roof caps, and patio metal railings. Use of materials is balanced and matches architectural character of the Town. Black metal-lined windows appear inset to visually strengthen the wall. The proposed design complies with Winter Park Design Guidelines.

**Outdoor Lighting:**

Unsatisfactory. One (1) type of exterior fixture is proposed with a total of 19 fixtures throughout the site. The fixture does not contain the International Dark Sky Association (IDA) approval stamp (UDC, § 3-K-3(A)(1)). Spec sheet from manufacturer states it is Dark Sky compliant but does not have the IDA stamp nor does the fixture appear on the IDA website. The applicant states the total lumens per fixture is 575 per fixture and there are 19 fixtures. According to sec. 3-K-5(A), the maximum lumens for a single family property is 5,100. Based on the provided lumen values, the proposed lighting exceeds the code requirement by 5,825 lumens

- The applicant shall provide a light fixture with the International Dark Sky Association stamp and reduce the total lumens on sight to 5,100 CCT or less.

	<b>Fixture Name</b>	<b>Proposed # of Fixtures</b>	<b>Proposed Lumens per Fixture</b>	<b>Proposed CCT</b>
<b>Lot 18</b>	<b>Hinkley Wall mount barn light</b>	19	575 per fixture	3000

**Accessory Dwelling Unit (ADU):**

N/A, not proposed. One ADU is permitted on each lot, according to the FDP.

**Site Plan:**

Unsatisfactory. Overall, the Site Plan for Lot 18 provides all information required for staff review; however, there are two additional items that must be clarified. First, a five-foot tall, three-rail fence is proposed on the western and northern property lines per the FDP but the site plan does not show the fence. Secondly, the Limit of Disturbance line extends beyond the property line.

- Applicant shall verify when the proposed fence approved with the FDP will be constructed, and if it will be constructed on the subject property.
- Provide clarity in site plan notes that adjacent properties that are under separate ownership will not be disturbed permanently nor temporarily during all phases of construction. Specifically, show that the limit of disturbance does not include any of the adjacent jurisdictional wetlands.

### **Floorplans:**

Unsatisfactory. There are three floors total. Floor plans do not indicate the square footage for individual rooms or entire floor. A roof plan was not included in the submittal. Notes indicate that the elevation documents contain additional information on the roof, but the elevation plans primarily outline materials.

- Applicant shall provide a roof plan as another sheet with the floor plans.
- Applicant shall provide square footage for each room in the floor plan or provide total square footage of each floor in the floor plan.

### **Building Elevations:**

Unsatisfactory. Elevation plan includes all materials required for review. As previously noted, the proposed building is compliant with the Winter Park Design Guidelines. Elevation markers do not provide enough information for staff to properly measure height.

- The Elevation plans shall be modified to accurately depict and measure building height from top of existing grade or top of exposed foundation.

### **Setbacks:**

Unsatisfactory. Some architectural features encroach into setback requirements, such as column and roof, but the FDP permits these items to extend up to 24-inches into required setback. The proposed hot tub and firepit are encroaching into the 10-foot rear setback and a step or similar structure appears to encroach 3-inches into the side setback.

- Identify the structure on the southside of the garage, it appears to be a step, but there is no door. The structure identified encroaches the 5-ft side setback approximately 3 inches.
- Applicant shall remove or relocate the fire pit and hot tub from the proposed location in the rear setback. Alternatively, the Applicant may seek a setback variance from the Board of Adjustment.
- The structure on the south side of the garage shall be modified to stay within the 5-ft setback.

### **Building Coverage:**

Unsatisfactory. The building coverage maximum is 40 percent (40%) as required by the R-2 zoning district and the approved FDP. Based on building coverage measurement standards found in Sec. 3-A-7, the proposed building coverage exceeds the maximum permitted 40 percent (40%) by approximately four percent (4%).

- Update the site plan to reduce total building coverage by approximately four percent (4%) to meet the 40 percent (40%) building coverage requirement.

### **Building Height:**

Unsatisfactory. The elevation plans accurately state the maximum height of 35-feet, per the Riverwalk FDP but the height appears to be measured from "concrete". As previously noted, the Elevation plan shall be updated so that building height may be accurately reviewed for compliance.

### **Parking:**

Unsatisfactory. All on-site parking as designed is permissible. The site includes a two-car garage and a driveway. All parking shall be located on-site in accordance with the requirements of the FDP. Construction parking is shown on the adjacent Trust property.

- Applicant shall provide confirmation that construction staging and parking are acceptable on

adjacent property, owned by the Wheeler Trust.

**Landscaping:**

Unsatisfactory. The FDP, states that lots in Riverwalk are required to follow the Town of Winter Park Landscape Design Regulations and Guidelines. Tree Removal and Protection plans are not required for single family minor site plans. According to the FDP, a Residential LTZ (B) is located along the northern property line. The landscape plan is not at a proper scale to effectively evaluate the buffer. The buffer yard details are included in the site plan application but indicate the total, instead of those specific to Lot 18. The overall buffer yard provided was approved with the FDP. The applicant shall update the Landscape Plan in compliance with the UDC and FDP.

- The landscape plan does not provide a landscaping plan specific to Lot 18. It only depicts the overall landscape plan approved with the FDP. Provide a Landscape Plan, scale of 1' = 20', for Lot 18 that includes the following:
  - a. Proposed species name.
  - b. Property lines labeled with required bufferyard types.
  - c. Structures, existing and proposed.
  - d. Landscaping, existing and proposed.
  - e. Hardscaping, existing and proposed.
  - f. Top-of-wall and bottom-of-wall elevations of all retaining walls and site walls.

**Snow Storage:**

Partially satisfactory. The FDP has an approved Snow Storage Plan; however this submittal does not include site specific snow storage locations. According to the approved snow storage plan, snow storage is located on the subject property. Provide snow storage locations and amounts on the Site Plan.

- Applicant shall provide a snow storage table that includes landscaped area, hardscape area, required snow storage, and provided snow storage.

Lot #	Landscape Area (SF)	Asphalt Hardscape (SF)	Snow Storage required (SF)	Snow Storage provided. (SF)
18				

**Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:**

Satisfactory. The overall grading and drainage plan and drainage report were approved with the FDP and the submitted plan has been stamped by professional engineer.

**Driveway:**

Unsatisfactory. The proposed driveway slope is 2.1 percent (2.1%) which is an acceptable slope; however, the driveway is too short. At midpoint it is approximately 18.5 feet in length. The length of the driveway, as shown on the FDP, is approximately 24-feet. The driveway does not meet the road at a perpendicular angle. The driveway at its shortest is 15-ft and at its longest is 21.5-ft.

- Applicant shall redesign driveway to be consistent with the approved FDP.

**Utility Review:**

N/A, the overall utility plan was approved with the FDP. Applicant has submitted a utility plan which shows sanitary sewer and water mains abutting the subject property. Utility easements are shown along eastern and northern property lines.

**Inspection:**

Building Division staff have not performed a Pre-Disturbance inspection of the property.

- No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

**Staff Recommendation:**

Staff approves the Minor Site Plan with the following conditions:

1. The applicant shall provide an update Title Commitment that is not older than 6 months from initial submittal date.
2. The applicant shall provide a light fixture with the International Dark Sky Association stamp, and reduce the total lumens on sight to 5,100 CCT or less.
3. Applicant shall verify when the proposed fence that approved with the FDP will be constructed, and if it will be constructed on the subject property.
4. Identify the structure on the southside of the garage and verify it is allowed in to encroach into the 5-ft side setback.
5. The Elevation plans shall be modified to accurately depict and measure building height from top of existing grade or top of exposed foundation.
6. Applicant shall remove or relocate the fire pit and hot tub from the proposed location in the rear setback or seek a setback variance from the Board of Adjustment. The structure on the south side of the garage shall be modified to stay with the 5-ft setback.
7. Limit of Disturbance line extends beyond the property line. Provide clarity in note that adjacent properties under separate ownership will not be disturbed permanently nor temporarily during all phases of construction. Specifically, show that the limit of disturbance does not include any of the adjacent jurisdictional wetlands.
8. Applicant shall provide a roof plan as another sheet with the floor plans.
9. Applicant shall provide the square footage for each room on the floor plan or provide total square footage of each floor in the floor plan.
10. Applicant shall provide confirmation that construction staging and parking are acceptable on adjacent property, owned by the Wheeler Trust.
11. Update the landscape plan to provide landscaping specific to Lot 18.
12. Update the site plan to provide a snow storage table that includes landscaped area, hardscape area, required snow storage, and provided snow storage specific to Lot 18.
13. Applicant shall redesign driveway to be compliant with the approved FDP.
14. Revise the site plan and site design to reduce total building coverage by approximately 4 percent (4%) to comply with maximum building coverage regulations.
15. No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

**Required Permits:**

- ✓ Building Permit
- ✓ Driveway Permit
- ✓ SFD/Duplex Deposit Agreement

September 10, 2024

Adam Casias  
Studio 1  
255 Saint Paul Street  
Denver, CO 80206  
*Sent via email to: adam@studio1.company*

Re: Planning Commission Action – Lot 18, Riverwalk Single-Family Structure Minor Site Plan  
(PLN24-048)

Dear Mr. Casias,

Pursuant to the Winter Park Unified Development Code (the "UDC") § 5-E-1, Site Plan, the Planning Commission considered the minor site plan request for the Riverwalk Lot 18, Single Family structure at its September 10, 2024, meeting. The Planning Commission reviewed the application and continued the item to a future meeting date pending resolution of some of the major site design issues. The Planning Commission expressed concern with anticipated redesign due to setback, building coverage and height calculations. The Commission expects the revised drawings to address those comments prior to their review and approval. Below are the conditions of approval that were proposed to the Commission:

1. The applicant shall provide an update Title Commitment that is not older than 6 months from initial submittal date.
2. The applicant shall provide a light fixture with the International Dark Sky Association stamp and reduce the total lumens on sight to 5,100 CCT or less.
3. Applicant shall verify when the proposed fence that approved with the FDP will be constructed, and if it will be constructed on the subject property.
4. Identify the structure on the southside of the garage and verify it is allowed in to encroach into the 5-ft side setback.
5. The Elevation plans shall be modified to accurately depict and measure building height from top of existing grade or top of exposed foundation.
6. Applicant shall remove or relocate the fire pit and hot tub from the proposed location in the rear setback or seek a setback variance from the Board of Adjustment. The structure on the south side of the garage shall be modified to stay with the 5-ft setback.
7. Limit of Disturbance line extends beyond the property line. Provide clarity in note that adjacent properties under separate ownership will not be disturbed permanently nor temporarily during all phases of construction. Specifically, show that the limit of disturbance does not include any of the adjacent jurisdictional wetlands.
8. Applicant shall provide a roof plan as another sheet with the floor plans.
9. Applicant shall provide square footage for each room on the floor plan or provide total square footage of each floor in the floor plan.
10. Applicant shall provide confirmation that construction staging and parking are acceptable on adjacent property, owned by the Wheeler Trust.
11. Update the landscape plan to provide landscaping specific to Lot 18.
12. Update the site plan to provide a snow storage table that includes landscaped area, hardscape area, required snow storage, and provided snow storage specific to Lot 18.



*Town of Winter Park  
Lot 18, Riverwalk Single Family  
September 10, 2024  
2 of 2*

13. Applicant shall redesign the driveway to be compliant with the approved FDP.
14. Revise the site plan and site design to reduce total building coverage by approximately 4 percent (4%) to comply with maximum building coverage regulations.
15. No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Please resubmit the applicable documents at your earliest convenience. We anticipate this item could be considered by the Planning Commission at its October 8<sup>th</sup> or 22<sup>nd</sup> meeting. In order to be scheduled for the October 8, 2024, Planning Commission meeting, revised documents will need to be submitted by September 23, 2024.

Please contact me if you have any questions.

Sincerely,  
**COMMUNITY PLANNING STRATEGIES, LLC**



Shelia Booth, AICP  
Contracted Town Planner  
[SBooth@planstrategize.com](mailto:SBooth@planstrategize.com)  
719.839.5807

cc: James Shockey, AICP, Development Director, Town of Winter Park  
Brian Kelly, Senior Planner, Town of Winter Park

**From:** [adam casias](#)  
**To:** [Shelia Booth](#); [David Nassar](#); [Zachary Nassar](#)  
**Cc:** [James Shockey](#); [Brian Kelly](#)  
**Subject:** RE: Planning Commission Action: Riverwalk, Lot 18 Single-family structure Minor Site Plan (PLN24-048)  
**Date:** Tuesday, September 17, 2024 9:50:46 PM  
**Attachments:** [image001.png](#)  
[Title\\_20240911.pdf](#)  
[Lighting\\_20240911.pdf](#)  
[Elevations\\_20240911.pdf](#)  
[Site\\_plan\\_minor\\_app\\_20240911.pdf](#)  
[Construction\\_plan\\_20240911.pdf](#)  
[Floorplans\\_20240917.pdf](#)  
[Landscaping\\_20240911.pdf](#)  
[Site\\_plan\\_20240911.pdf](#)

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Caution! This message was sent from outside your organization.

Shelia + James and Brian,

Please see the attached and below.

Please let us know if you have any questions.

Thank you!

1. The applicant shall provide an update Title Commitment that is not older than 6 months from initial submittal date.

Please see the attached for the updated title commitment as requested.

2. The applicant shall provide a light fixture with the International Dark Sky Association stamp and reduce the total lumens on sight to 5,100 CCT or less.

Please refer to the updated lighting fixture which is dark sky compliant. I have also updated the elevations and application form.

3. Applicant shall verify when the proposed fence that approved with the FDP will be constructed, and if it will be constructed on the subject property.

Acknowledged.

4. Identify the structure on the southside of the garage and verify it is allowed in to encroach into the 5-ft side setback.

The structure is an egress light well that is no longer in the sideyard setback. Please see the attached revised plans as requested.

5. The Elevation plans shall be modified to accurately depict and measure building height from top of existing grade or the top of the exposed foundation.

Please refer to the updated elevations which denote the building heights pulled from the point of the lowest pre-construction elevation on any building face.(existing grade)

6. Applicant shall remove or relocate the fire pit and hot tub from the proposed location in the rear setback or seek a setback variance from the Board of Adjustment. The structure on the south side of the garage shall be modified to stay with the 5-ft setback.

Acknowledged.

7. Limit of Disturbance line extends beyond the property line. Provide clarity in note that adjacent properties under separate ownership will not be disturbed permanently nor temporarily during all phases of construction. Specifically, show that the limit of disturbance does not include any of the adjacent jurisdictional wetlands.

Please refer to the limit of disturbance on the newly / updated grading plans on Sheet C-101.

8. Applicant shall provide a roof plan as another sheet with the floor plans.

Please see roof plan on Sheet A2.4.

9. Applicant shall provide square footage for each room on the floor plan or provide total square footage of each floor in the floor plan.

Please refer to the newly updated plans which denote the rooms sizes and plan square footage as requested.

10. Applicant shall provide confirmation that construction staging and parking are acceptable on adjacent property, owned by the Wheeler Trust.

Yes, the owner has approved all construction staging and parking to the adjacent Wheeler Lots.

11. Update the landscape plan to provide landscaping specific to Lot 18.

Please refer to the newly added Landscape plan for Lot 18.

12. Update the site plan to provide a snow storage table that includes landscaped area, hardscape area, required snow storage, and provided snow storage specific to Lot 18.

Please refer to the updated site plan as requested.

13. Applicant shall redesign the driveway to be compliant with the approved FDP.

Please see the attached for the 24'-0" compliant driveway as requested. (site plan)

14. Revise the site plan and site design to reduce total building coverage by approximately 4 percent (4%) to comply with maximum building coverage regulations.

Please see the new plans and overhangs which are compliant to the 40 percent total coverage as required.

15. No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance

Checklist has been implemented on the site.

Acknowledged.

**ADAM CASIAS** | Studio1 LLC |

255 Saint Paul Street Denver, Colorado 80206

PO Box 10306 Aspen, Colorado 81612

| 970 948 9836 | [www.studio1.company](http://www.studio1.company)

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**From:** Shelia Booth <SBooth@PlanStrategize.com>

**Sent:** Friday, September 13, 2024 10:24 AM

**To:** adam casias <Adam@studio1.company>

**Cc:** James Shockey <jshockey@wpgov.com>; Brian Kelly <bkelly@wpgov.com>

**Subject:** Planning Commission Action: Riverwalk, Lot 18 Single-family structure Minor Site Plan (PLN24-048)

Good Morning Adam - Attached is the PC action letter for PLN24-048. This item was continued at the September 10<sup>th</sup> PC meeting. The letter outlines next steps to have the application rescheduled. Please contact me if you have any questions.



**Shelia Booth, AICP**

*Director of CDS*

PO Box 2382 Silverthorne, CO 80498

Mobile: 719.839.5807 | Office: 970.368.3114 x 1003

SBooth@PlanStrategize.com | [www.PlanStrategize.com](http://www.PlanStrategize.com)



River Walk by Nassar Development LLC  
River Walk Owners Association (ROA)  
3000 Airport Drive  
Unit 203  
Erie, CO 80516  
303-775-5502  
[roa@riverwalkwp.com](mailto:roa@riverwalkwp.com)

Narrative – pln24-048 137 Apres Way – Lot 18

- A. Project Name – Lot 18
- B. Street Address – 137 Apres Way
- C. Name - River Walk by Nassar Development LLC  
Address – 3000 Airport Drive, Unit 203 Erie, Colorado 80516  
email and telephone number - [david@nassardevelopment.com](mailto:david@nassardevelopment.com) , 303-775-5502  
applicant - River Walk by Nassar Development LLC  
HOA - River Walk Owners Association (ROA)  
project manager – Zach Nassar  
architecture – ADAM CASIAS, Studio 1  
engineer – David Mitchell, Front Range Structural Engineering  
surveyor - CORE CONSULTANTS, LLC  
and land planner - River Walk by Nassar Development LLC
- D. Legal description - A REPLAT OF TRACT F-1, IDLEWILD MINOR SUBDIVISION A PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE 6TH P.M.TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO
- E. Zoning district - R-2 (MULTIPLE FAMILY RESIDENTIAL)
- F. Lot size – 10579 SF
- G. All proposed uses – single family residence
- H. Number of dwelling units - 1
- I. Number of bedrooms per dwelling unit - 5
- J. Size of residential space – 7500 sf
- K. Number of proposed off-street parking spaces - 1
- L. Construction schedule indicating major milestones for project – Start Construction 09.01.2024



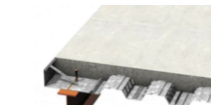
KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL, CLASS A ROOF ASSEMBLY
2.03	6" HORIZONTAL CEDAR WOOD SIDING - SEMI TRANSPARENT STAIN - CHARCOAL DARK GREY/TONE
2.04	THIN DEPTH NATURAL STONE VENEER - TELLURIDE GOLD BLEND
2.05	EXPOSED STEEL - MC CHANNEL WALL CAP - PAINTED BLACK COLOR
2.06	DECORATIVE CHIMNEY SHROUD - STEEL PAINTED BLACK COLOR
2.07	S4S WOOD HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE
2.10	ALUMINUM CLAD WINDOWS AND DOORS, BLACK COLOR
2.12	CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE
2.14	ARCHITECTURAL STEEL RAILING - PAINTED BLACK
2.15	HEAVY TIMBER - SNOW GUARDS
2.19	MC CHANNEL HEADER - PAINTED BLACK PATINA
3.00	HEAVY TIMBER HEADER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE



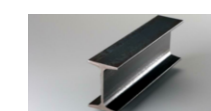
0.04 - EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY



0.13 - 2X6 CEDAR WOOD SOFFIT - SEMI TRANSPARENT STAIN



1.09 - CONCRETE PAN DECKING - CONCRETE



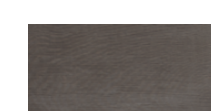
2.05 - MC CHANNEL



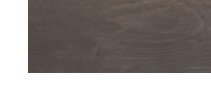
1.16 - NATURAL STONE CAP



2.01 - STANDING SEAM METAL ROOFING - PATINA COPPER



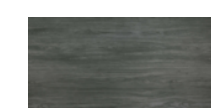
2.03 - 6" LAP SIDING



2.04 - STONE VENEER - TELLURIDE GOLD BLEND



2.07 - S4S HEAVY TIMBER - GREY SEMI-TRANSPARENT STAIN



2.10 - METAL CLAD WINDOWS/DOORS - METAL CLAD BLACK DUAL GLAZING U=0.28, SHGC=0.30 CLAD WOOD CASING CONTINUOUS FOAM WEATHER STRIP ON FRAME



2.12 - CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN



2.14 - ARCHITECTURAL STEEL RAILING-PAINTED BLACK



2.15 - HEAVY TIMBER - SNOW GUARDS



2.19 - STEEL HEADER



3.00 - HEAVY TIMBER HEADER

1 MATERIAL VIEW  
1/4" = 1'-0"

MATERIAL LEGEND



1 2 3 4 5 6

### KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL, CLASS A ROOF ASSEMBLY
2.02	UL LISTED - SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12 USA STANDARD GAUGE WIRE (0.1046 INCH (2.66 MM) HAVING OPENINGS NOT EXCEEDING 1/8 INCH (12.7 MM), THE NET FREE AREA OF THE SPARK ARRESTER SHALL NOT BE LESS THAN FOUR TIMES THE NET FREE AREA OF THE OUTLET OF THE CHIMNEY.
2.03	6" HORIZONTAL CEDAR WOOD SIDING - SEMI TRANSPARENT STAIN - CHARCOAL DARK GREY TONE
2.04	THIN DEPTH NATURAL STONE VENEER - TELLURIDE GOLD BLEND
2.05	EXPOSED STEEL - MC CHANNEL WALL CAP - PAINTED BLACK COLOR
2.06	DECORATIVE CHIMNEY SHROUD - STEEL PAINTED BLACK COLOR
2.07	S4S WOOD HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE
2.08	SHEET METAL FLASHING DRIP EDGE - PATINA COPPER
2.09	ALUMINUM CLAD / RECLAIMED WOOD-OVERHEAD GARAGE DOOR, BLACK COLOR
2.10	ALUMINUM CLAD WINDOWS AND DOORS, BLACK COLOR
2.12	CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE
2.14	ARCHITECTURAL STEEL RAILING - PAINTED BLACK
2.15	HEAVY TIMBER - SNOW GUARDS
2.19	MC CHANNEL HEADER - PAINTED BLACK PATINA
3.00	HEAVY TIMBER HEADER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE



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Consultant

Issue/Revisions Date No.

Project Information

Sheet Information

Sheet Title:  
**EXTERIOR ELEVATIONS**

MINOR SITE PLAN APPLICATION 2024.09.11  
Sheet Number:

**A3.1**

Nassar Project: 2024.037

**137 APRES WAY**  
RIVERWALK - LOT 18  
WINTER PARK, COLORADO 80482



**2 EAST ELEVATION**  
3/16" = 1'-0"



**1 NORTH ELEVATION**  
3/16" = 1'-0"

**MATERIAL LEGEND**

- 0.04 - EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
- 0.13 - 2X6 CEDAR WOOD SOFFIT - SEMI TRANSPARENT STAIN
- 1.09 - CONCRETE PAN DECKING - CONCRETE
- 2.05 - MC CHANNEL
- 1.16 - NATURAL STONE CAP
- 2.01 - STANDING SEAM METAL ROOFING - PATINA COPPER
- 2.03 - 6" LAP SIDING
- 2.04 - STONE VENEER - TELLURIDE GOLD BLEND
- 2.07 - S4S HEAVY TIMBER - GREY SEMI-TRANSPARENT STAIN
- 2.10 - METAL CLAD WINDOWS/DOORS-METAL CLAD BLACK DUAL GLAZING U-0.28, SHGC-0.30 CLAD WOOD CASING CONTINUOUS FOAM WEATHER STRIP ON FRAME
- 2.12 - CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN
- 2.14 - ARCHITECTURAL STEEL RAILING-PAINTED BLACK
- 2.15 - HEAVY TIMBER - SNOW GUARDS
- 2.19 - STEEL HEADER
- 3.00 - HEAVY TIMBER HEADER

SCALE: 3/16" = 1'-0"

21'-4"

12'

6'

0'

9/17/2024 9:50:23 AM

1 2 3 4 5 6



**KEYNOTE LEGEND**

KEY VALUE	KEYNOTE TEXT
0.02	TRANSFORMER
1.01	GAS METER
1.03	ELECTRICAL METER
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL, CLASS A ROOF ASSEMBLY
2.02	UL LISTED - SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12 USA STANDARD GAUGE WIRE (0.1046 INCH) (2.66 MM) HAVING OPENINGS NOT EXCEEDING 1/4 INCH (12.7 MM). THE NET FREE AREA OF THE SPARK ARRESTER SHALL NOT BE LESS THAN FOUR TIMES THE NET FREE AREA OF THE OUTLET OF THE CHIMNEY.
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2.08	SHEET METAL FLASHING DRIP EDGE - PATINA COPPER
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2.15	HEAVY TIMBER - SNOW GUARDS
2.19	MC CHANNEL HEADER - PAINTED BLACK PATINA
3.00	HEAVY TIMBER HEADER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE



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**Issue/Revisions Date No.**

**Project Information**

**Sheet Information**

Sheet Title:  
**EXTERIOR ELEVATIONS**

MINOR SITE PLAN APPLICATION 2024.09.11  
Sheet Number:

**A3.2**

Nassar Project: 2024.037



**2 WEST ELEVATION**  
3/16" = 1'-0"



**1 SOUTH ELEVATION**  
3/16" = 1'-0"

	0.04 - EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
	0.13 - 2X6 CEDAR WOOD SOFFIT - SEMI TRANSPARENT STAIN
	1.09 - CONCRETE PAN DECKING - CONCRETE
	2.05 - MC CHANNEL
	1.16 - NATURAL STONE CAP
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	2.03 - 6" LAP SIDING
	2.04 - STONE VENEER - TELLURIDE GOLD BLEND
	2.07 - S4S HEAVY TIMBER - GREY SEMI-TRANSPARENT STAIN
	2.10 - METAL CLAD WINDOWS/DOORS - METAL CLAD BLACK DUAL GLAZING (U-0.28, SHGC-0.30) CLAD WOOD CASING CONTINUOUS FOAM WEATHER STRIP ON FRAME
	2.12 - CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN
	2.14 - ARCHITECTURAL STEEL RAILING-PAINTED BLACK
	2.15 - HEAVY TIMBER - SNOW GUARDS
	2.19 - STEEL HEADER
	3.00 - HEAVY TIMBER HEADER

**MATERIAL LEGEND**

SCALE: 3/16" = 1'-0"  
21'-4"  
12"  
6"  
0' 2"

E  
D  
C  
B  
A

E  
D  
C  
B  
A

1 2 3 4 5 6

1 2 3 4 5 6



1 2 3 4 5 6

### KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL CLASS A ROOF ASSEMBLY
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Consultant

Issue/Revisions Date No.

Project Information

Sheet Information

Sheet Title:  
**EXTERIOR ELEVATIONS**

MINOR SITE PLAN APPLICATION 2024.09.11  
Sheet Number:

**137 APRES WAY**  
RIVERWALK - LOT 18  
WINTER PARK, COLORADO 80482

**A3.3**  
Nassar Project: 2024.037



**2 NORTH ELEVATION - PARTIAL**  
3/16" = 1'-0"



**1 EAST ELEVATION - PARTIAL**  
3/16" = 1'-0"

**MATERIAL LEGEND**

- 0.04 - EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
- 0.13 - 2X6 CEDAR WOOD SOFFIT - SEMI TRANSPARENT STAIN
- 1.09 - CONCRETE PAN DECKING - CONCRETE
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- 2.14 - ARCHITECTURAL STEEL RAILING-PAINTED BLACK
- 2.15 - HEAVY TIMBER - SNOW GUARDS
- 2.19 - STEEL HEADER
- 3.00 - HEAVY TIMBER HEADER

SCALE: 3/16" = 1'-0"  
21'-4"  
12"  
6"  
0' 2"

1 2 3 4 5 6



1 2 3 4 5 6

E  
D  
C  
B  
A

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL, CLASS A ROOF ASSEMBLY
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2.07	S4S WOOD HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE
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2.15	HEAVY TIMBER - SNOW GUARDS
2.19	MC CHANNEL HEADER - PAINTED BLACK PATINA
3.00	HEAVY TIMBER HEADER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE



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**Issue/Revisions Date No.**

**Project Information**

**Sheet Information**

MINOR SITE  
PLAN  
APPLICATION 2024.09.11  
Sheet Number:

**A3.4**

Nassar Project: 2024.037

**137 APRES WAY**  
RIVERWALK - LOT 18  
WINTER PARK, COLORADO 80482



	0.04 - EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
	0.13 - 2X6 CEDAR WOOD SOFFIT - SEMI TRANSPARENT STAIN
	1.09 - CONCRETE PAN DECKING - CONCRETE
	2.05 - MC CHANNEL
	1.16 - NATURAL STONE CAP
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	2.12 - CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN
	2.14 - ARCHITECTURAL STEEL RAILING-PAINTED BLACK
	2.15 - HEAVY TIMBER - SNOW GUARDS
	2.19 - STEEL HEADER
	3.00 - HEAVY TIMBER HEADER

**MATERIAL LEGEND**

**1 WEST ELEVATION - PARTIAL**  
3/16" = 1'-0"



KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.02	TRANSFORMER
0.03	PROPOSED DRIVEWAY
0.09	SNOW STORAGE
0.10	STORAGE AREAS FOR SOIL, CONSTRUCTION EQUIPMENT, AND OTHER MATERIALS
0.16	SIDEWALK
1.01	GAS METER
1.03	ELECTRICAL METER
1.15	CONSTRUCTION PARKING



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**Issue/Revisions Date No.**

**Project Information**

**Sheet Information**

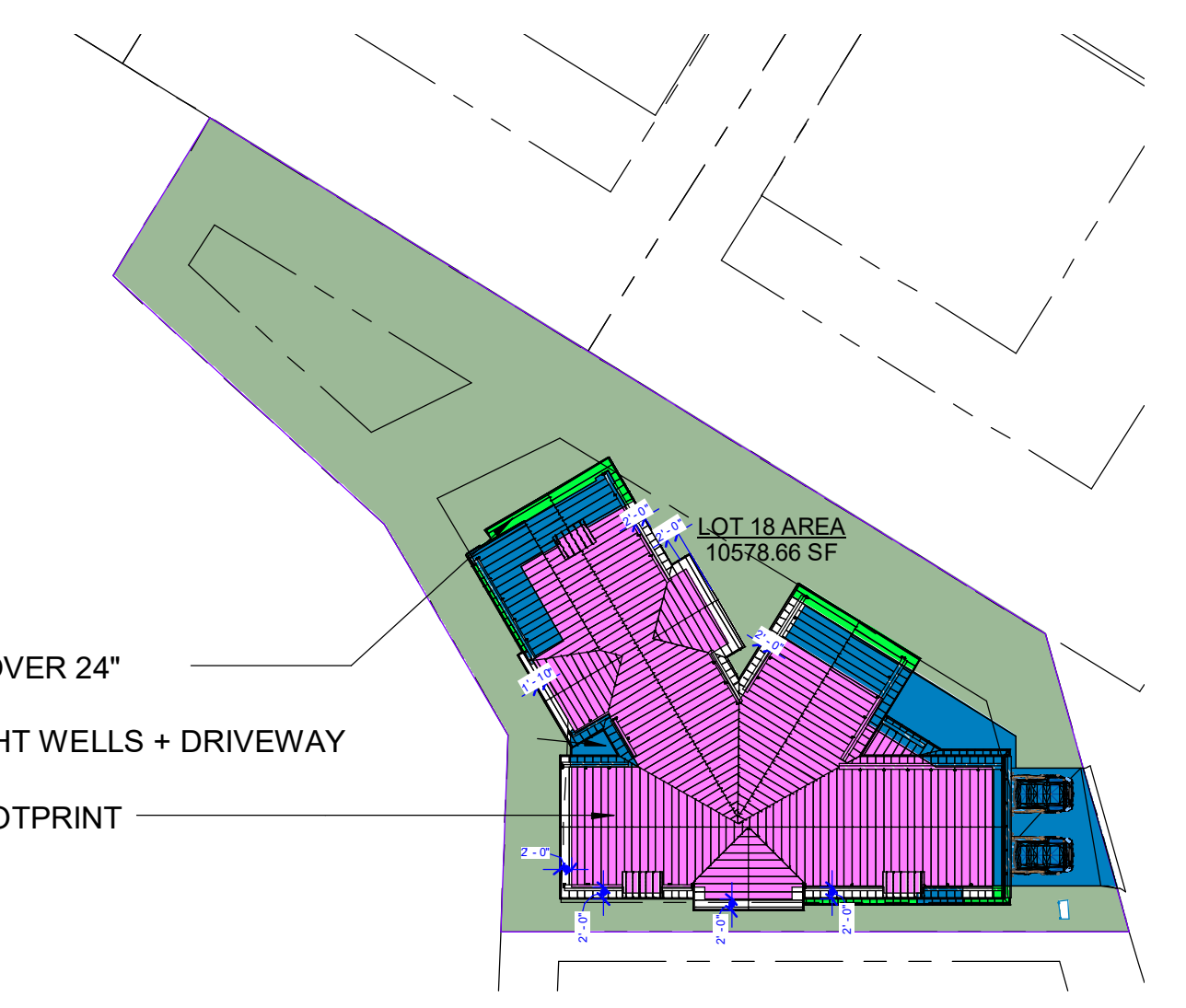
Sheet Title: **SITE PLAN**

MINOR SITE PLAN APPLICATION 2024.09.11  
Sheet Number:

**A1.0**

Nassar Project: 2024.037

- GENERAL SITE PLAN NOTES:**
- ALL DIMENSIONS TO FACE OF FOUNDATION WALL OR STRUCTURAL STRATA, UNLESS NOTED OTHERWISE.
  - VERIFY ALL SITE PARAMETERS: PROPERTY BOUNDARIES, EASEMENTS AND SETBACKS) PRIOR TO STAKING TO DEMOLITION AND CONSTRUCTION.
  - CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND TO ARRANGE PROPER DISCONTINUANCE AND/OR RELOCATION PRIOR TO DEMOLITION.
  - PROVIDE TREE AND SHRUB PROTECTION FOR EXISTING LANDSCAPING, ESPECIALLY FOR MATURE TREES MARKED TO BE SAVED.
  - PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING PERIMETER; 10% MINIMUM SLOPE FOR FIRST 10'. IT IS ESSENTIAL THAT SITE GRADING BE PROVIDED TO PREVENT INFILTRATION OF SURFACE WATER INTO THE FOUNDATION SYSTEM. REFER TO CIVIL DRAWINGS FOR GRADING AND DRAINAGE.
  - REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE, EXTERIOR LANDSCAPE LIGHTING AND IRRIGATION PLANS.
  - MECHANICALLY COMPACT ALL FILL AROUND THE BUILDING, INCLUDING THE BACKFILL. IMPROPER BACKFILL COMPACTION CAN CAUSE SETTLEMENT OF EXTERIOR SLABS SUCH AS WALKS, PATIOS AND DRIVEWAYS.
  - DISCHARGE ROOF DOWN SPOUTS AND ALL OTHER WATER COLLECTION SYSTEMS MINIMUM 5' BEYOND PERIMETER OF STRUCTURE. RE: CIVIL DRAWINGS FOR HARD-PIPED DRAINS. NO IRRIGATION WITHIN 5' OF THE FOUNDATION. AVOID HEAVY WATERING OF ANY FOUNDATION PLANTINGS.
  - PHOTOVOLTAIC SOLAR PANELS TO BE REVIEWED AND APPROVED UNDER SEPERATE PERMIT.
  - SITE WALLS UNDER SEPERATE PERMIT.



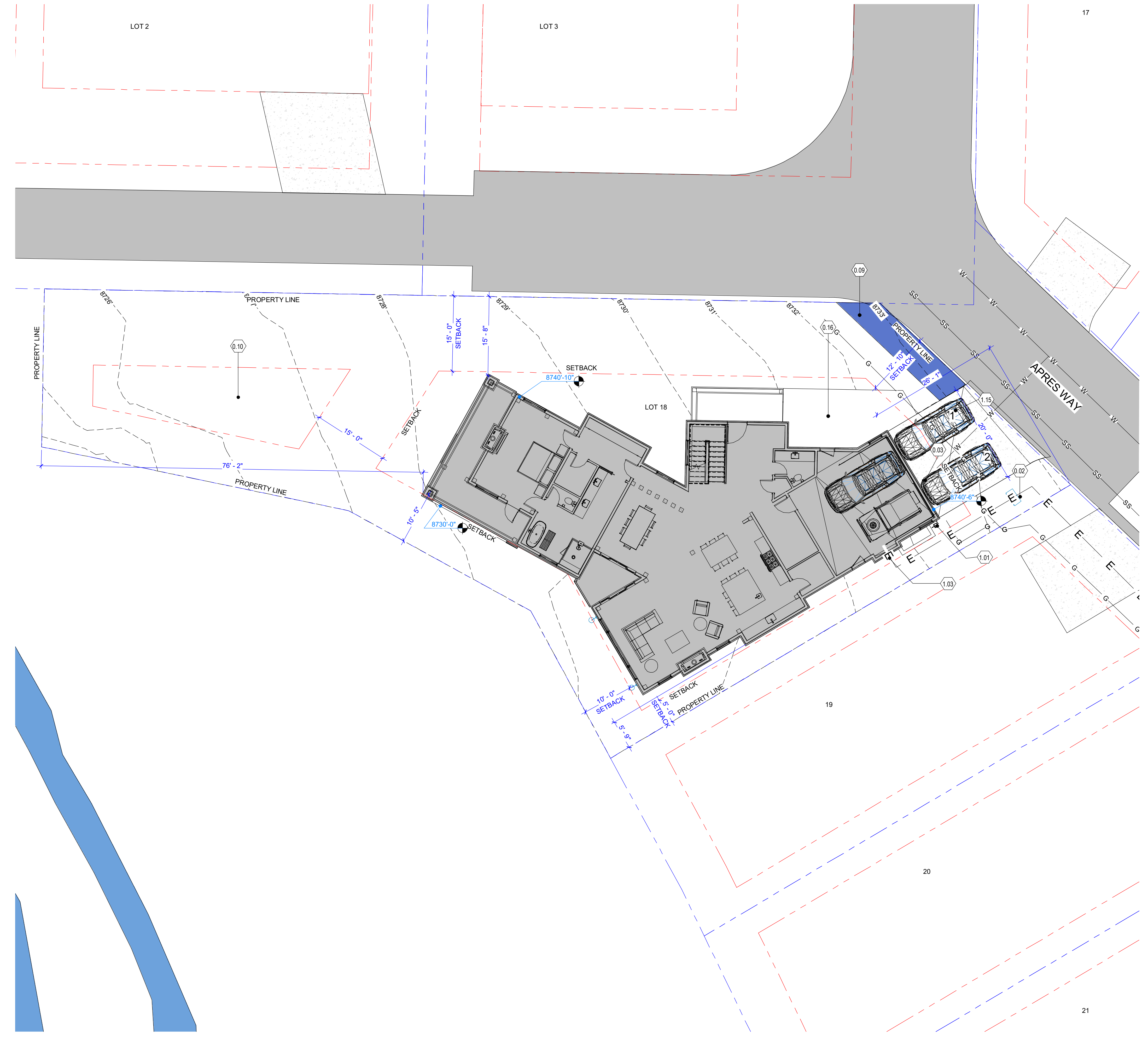
178 SF - OVERHANGS OVER 24"  
1089 SF - PATIOS + LIGHT WELLS + DRIVEWAY  
2971 SF - BUILDING FOOTPRINT

**2 LOT COVERAGE PLAN**  
1" = 30'-0"

LOT COVERAGE	
BUILDING COVERAGE	4138 SF
TOTAL LOT AREA	10579 SF
TOTAL LOT COVERAGE	4138 / 10579 = 39%

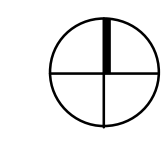
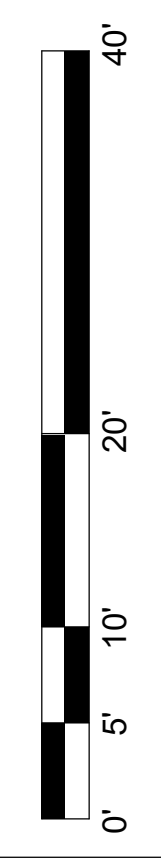
SNOW STORAGE TABLE				
LOT	LANDSCAPE AREA	CONCRETE DRIVEWAY AREA	SNOW STORAGE AREA REQUIRED	SNOW STORAGE PROVIDED
LOT 18 - 10579 SF	6507 SF	450 SF	113 SF	115 SF

- GENERAL PROTECTION NOTES:**
- NO DISTURBANCE, GRADING, OR REMOVAL OF SIGNIFICANT NATURAL FEATURES AND VEGETATION WILL OCCUR BEYOND THE "LIMIT OF DISTURBANCE" LINE, AS SHOWN ON THIS PLAN.
  - THE "LIMIT OF DISTURBANCE" LINE SHALL BE DELINEATED PRIOR TO CONSTRUCTION WITH FLAGS, ROPING, FOUR FOOT (4) TALL ORANGE CONSTRUCTION FENCING, OR OTHER ACCEPTABLE MEANS.
  - THERE IS NO TREE REMOVAL ON ENTIRE SITE. NO PROTECTION PLAN IS NEEDED.



**1 SITE PLAN**  
1" = 10'-0"

SCALE: 1" = 10'-0"





KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.01	PROPOSED SINGLE FAMILY RESIDENCE
0.03	PROPOSED DRIVEWAY
0.09	SNOW STORAGE
0.16	SIDEWALK
1.44	ENTRY PORCH STONE WALL - 3'-0" AFF



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**Consultant**

**Issue/Revisions Date No.**

**Project Information**

**Sheet Information**

**Sheet Title:**  
LANDSCAPE PLAN

MINOR SITE  
PLAN  
APPLICATION 2024.09.11  
Sheet Number:

**L-1**  
Nassar Project: 2024.037

- GENERAL SITE PLAN NOTES:**
- ALL DIMENSIONS TO FACE OF FOUNDATION WALL OR STRUCTURAL STRATA, UNLESS NOTED OTHERWISE.
  - VERIFY ALL SITE PARAMETERS: PROPERTY BOUNDARIES, EASEMENTS AND SETBACKS) PRIOR TO STAKING TO DEMOLITION AND CONSTRUCTION.
  - CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND TO ARRANGE PROPER DISCONTINUANCE AND/OR RELOCATION PRIOR TO DEMOLITION.
  - PROVIDE TREE AND SHRUB PROTECTION FOR EXISTING LANDSCAPING, ESPECIALLY FOR MATURE TREES MARKED TO BE SAVED.
  - PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING PERIMETER; 10% MINIMUM SLOPE FOR FIRST 10'. IT IS ESSENTIAL THAT SITE GRADING BE PROVIDED TO PREVENT INFILTRATION OF SURFACE WATER INTO THE FOUNDATION SYSTEM. REFER TO CIVIL DRAWINGS FOR GRADING AND DRAINAGE.
  - REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE, EXTERIOR LANDSCAPE LIGHTING AND IRRIGATION PLANS.
  - MECHANICALLY COMPACT ALL FILL AROUND THE BUILDING, INCLUDING THE BACKFILL. IMPROPER BACKFILL COMPACTION CAN CAUSE SETTLEMENT OF EXTERIOR SLABS SUCH AS WALKS, PATIOS AND DRIVEWAYS.
  - DISCHARGE ROOF DOWN SPOUTS AND ALL OTHER WATER COLLECTION SYSTEMS MINIMUM 5' BEYOND PERIMETER OF STRUCTURE. RE: CIVIL DRAWINGS FOR HARD-PIPED DRAINS. NO IRRIGATION WITHIN 5' OF THE FOUNDATION. AVOID HEAVY WATERING OF ANY FOUNDATION PLANTINGS.
  - PHOTOVOLTAIC SOLAR PANELS TO BE REVIEWED AND APPROVED UNDER SEPERATE PERMIT.
  - SITE WALLS UNDER SEPERATE PERMIT.

LEGEND	
CONCRETE	
LAWN - 4" POP-UP SPRAY IRRIGATION	
HIGH ALTITUDE SHORT GRASSES	
45% POA ALPINA (ALPINE BLUEGRASS)	
45% FESTUCA SAXIMONTANA (ROCKY MT FESCUE)	
5% KOELERIA MACRANTHA (JUNEGRASS)	
5% TRisetum SPICATUM (MARMOTGRASS)	
REDOSIER DOGWOOD - CORNUS SERICEA - 31 SHRUBS	
ASPEN - DISAMBIGUATION - 7 TREES	
COLORADO BLUE SPRUCE - 7 TREES	

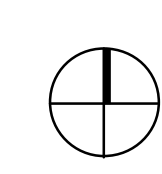
- GENERAL PROTECTION NOTES:**
- NO DISTURBANCE, GRADING, OR REMOVAL OF SIGNIFICANT NATURAL FEATURES AND VEGETATION WILL OCCUR BEYOND THE "LIMIT OF DISTURBANCE" LINE, AS SHOWN ON THIS PLAN.
  - THE "LIMIT OF DISTURBANCE" LINE SHALL BE DELINEATED PRIOR TO CONSTRUCTION WITH FLAGS, ROPING, FOUR FOOT (4) TALL ORANGE CONSTRUCTION FENCING, OR OTHER ACCEPTABLE MEANS.
  - THERE IS NO TREE REMOVAL ON ENTIRE SITE. NO PROTECTION PLAN IS NEEDED.



SCALE: 1" = 10'-0"

40'  
20'  
10'  
5'  
0'

**1 LANDSCAPE PLAN**  
1" = 10'-0"







## MEMO

**TO** Planning Commission  
**FROM** James Shockey, AICP, Community Development Director  
**THROUGH** Brian P. Kelly, Senior Planner  
**DATE** October 8, 2024  
**RE** Minor Site Plan – 118 Apres Way - Lot 13 Riverwalk (PLN24-072)

**Property Owner:** River Walk by Nassar Development LLC

**Applicant:** River Walk by Nassar Development LLC

**Architect:** ADAM CASIAS, Studio 1

**Location:** 118 Apres Way - Lot 13 Riverwalk ("The Property")

**Zoning:**  
R-2, P-D (A Replat of Tract F-1, Idlewild Minor Subdivision, Riverwalk Filing 2)

**Authority:**  
Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Director considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park Minor Site Plan approval is required before building permit issuance.

**Variances:**  
N/A: No Board of Adjustment (BOA) variance requests were requested with this application.

**Architecture:**  
The applicant proposes one (1) new single-family detached dwelling unit (DU) on vacant unimproved land with an attached two-car (two parking spaces) garage. Plans show a southeast covered entry on the first level, primary axis oriented towards the Town of Winter Park and State Highway 40. The structure has two roof forms: gable and shed. The total building footprint is 2,001 square feet and has a floor area of 4,515 square feet.

**Title Commitment (Item 5):**  
Satisfactory. A title commitment was submitted and dated 09/06/2024.

**Homeowner's Association Review (Item 6):**  
Satisfactory. The Riverwalk Owners Association (ROA) provided a letter stating its approval of the plans.

**Accessory Dwelling Unit (ADU):**  
N/A. No ADU is proposed.

**PROJECT DRAWINGS (Item 8)**

Satisfactory. The submitted drawings provide the required minimal information that determine the development project is compliant with the UDC. The applicant should revise and resubmit drawings to include any requested information for greater clarity prior to issuance Building Permit:

**Construction Plans (Item 8B):**

Satisfactory.

**Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:**

TBD: The Town Engineer will review the plans for erosion control, drainage, and grading.

- If required by the Town Engineer, applicant shall revise erosion control, drainage, and grading plans to address the comments.

**Site Plan (Item 8C):**

Satisfactory. Per Item number 8C of the Minor Site Plan Application, the packet. The following items minimally meet the requirements as listed on the Minor Site Plan Application. Certain information will be required at time of building permit or during the building process:

**Building Coverage:**

Satisfactory. The proposed dwelling utilizes approximately 39 percent building coverage, and the maximum allowable is 40 percent for the lot.

**Driveway:**

Satisfactory. According to the Site Plan and Construction Plans, the slope of the driveway is 5% for a distance of approximately 24-feet. This is compliant with the Standards and Specifications for Design and Construction (SSDC), Sec. 4.4, Alignment.

**Limit of Disturbance:**

Satisfactory. Per Chapter 2.1.5 of the SSDC, Limits of Disturbance should be shown on either the grading and drainage plans or the site plan along with existing and proposed contours for the subject lot.

**Setbacks:**

Satisfactory. The proposed development appears compliant with the Riverwalk FDP Development Standards (Exhibit C). However, an Improvement Location Certificate (ILC) will be required to verify distances do not encroach the setbacks or exceed 24-inches beyond the required setbacks as determined by the FDP.

- An Improvement Location Certificate (ILC) and a Setback and Elevation Certificate completed by a licensed Colorado Surveyor shall be required for all new foundations within the Town of Winter Park (**R106.3.1.2 Survey Requirements**) prior to underground plumbing inspection.

**Snow Storage:**

Satisfactory. UDC 3-H-5 requires that a minimum of 25% of all driving surfaces, including gravel shoulders, parking areas, and pedestrian walkways is designated for snow storage.

Lot #	Landscape Area (SF)	Asphalt Hardscape (SF)	Snow Storage required (SF)	Snow Storage provided. (SF)
13	3814	396	99	100

**Building Elevations (Item 8D):**

Satisfactory. The proposed residential dwelling features gable and shed roof forms. The proposed dwelling aligns with the requirements of the Town of Winter Park Design Guidelines (the “Guidelines”) and is consistent with architectural design in the neighborhood.

**Building Height:**

Satisfactory. The proposed maximum height is approximately 32’ 8” and is measured from lowest point of exposed foundation at existing grade. The maximum height permitted is 35-feet. The height is in conformance, as measured per the UDC § 3-A-7(E).

**Material and Color:**

Satisfactory. The elevations feature a grey/buff stone veneer extending full side on the south elevation and secondary elements accented by brown horizontal siding that creates visual interest of architectural features. Similar stone veneer is used for the chimney and provide material variety to the west elevation. Primary materials utilize earth tones that are consistent with residential development in the subdivision.

**Outdoor Lighting:**

Satisfactory. Six (6) exterior light fixtures are proposed. Photometric plans are not required for single-family homes. The proposed light fixture specification sheet properly indicates a dark sky compliant fixture.

**Floorplans (Item 8E):**

Satisfactory. The floor plan includes all required information, such as square footage and proper notes. It is consistent with the provided renderings and elevations.

**Landscaping (Item 8F):**

Satisfactory. This property shall be landscaped in compliance with the UDC Sec. 3-I, Landscaping, Buffering, and Screening. Single Family detached uses are required to provide a Type A bufferyard, as referenced in Table 3-I-5-2, District Bufferyard standards. A landscape plan is required to include an acceptable scale, quantity of plant materials, species name, existing and proposed landscaping, existing and proposed hardscaping, and design of drainage in southern portion of lot.

**Parking:**

Satisfactory. As seen in UDC Sec. 3-H-3, Required Parking, two (2) off-street parking spaces are required per Single-Family dwelling unit. Four (4) total spaces are provided, two (2) in garage and two (2) uncovered. The uncovered parking spaces lie within the front setback, which is permitted for single-family land uses as seen in § 3-H-5(C), Parking Standards for Single-Family Detached and Attached Land Use Types.

**Utility Review:**

N/A

**Wetlands:**

N/A

**Inspection:**

Building Division staff have not performed a Pre-Disturbance inspection of the property.

- No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

**Staff Recommendation:**

Approve the Minor Site Plan at this time with the following conditions expected **at Building Permit**:

**Standard Conditions**

1. If required by the Town Engineer, applicant shall revise erosion control, drainage, and grading plans to address the comments.
2. An Improvement Location Certificate (ILC) and a Setback and Elevation Certificate completed by a licensed Colorado Surveyor shall be required for all new foundations within the Town of Winter Park (R106.3.1.2 Survey Requirements) prior to underground plumbing inspection.
3. No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

**Required Permits:**

- ✓ Building Permit
- ✓ Driveway Permit
- ✓ SFD/Duplex Deposit Agreement





River Walk by Nassar Development LLC  
River Walk Owners Association (ROA)  
3000 Airport Drive  
Unit 203  
Erie, CO 80516  
303-775-5502  
[roa@riverwalkwp.com](mailto:roa@riverwalkwp.com)



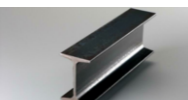
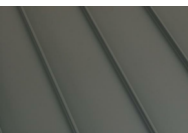

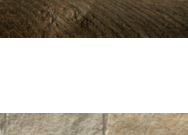
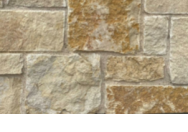
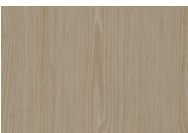


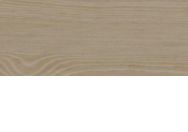

#### Narrative – 118 Apres Way – Lot 13

- A. Project Name – Lot 13
- B. Street Address – 118 Apres Way
- C. Name - River Walk by Nassar Development LLC  
Address – 3000 Airport Drive, Unit 203 Erie, Colorado 80516  
email and telephone number - [david@nassardevelopment.com](mailto:david@nassardevelopment.com) , 303-775-5502  
applicant - River Walk by Nassar Development LLC  
HOA - River Walk Owners Association (ROA)  
project manager – Zach Nassar  
architecture – ADAM CASIAS, Studio 1  
engineer – David Mitchell, Front Range Structural Engineering  
surveyor - CORE CONSULTANTS, LLC  
and land planner - River Walk by Nassar Development LLC
- D. Legal description - A REPLAT OF TRACT F-1, IDLEWILD MINOR SUBDIVISION A PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE 6TH P.M.TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO
- E. Zoning district - R-2 (MULTIPLE FAMILY RESIDENTIAL)
- F. Lot size – 4883 SF
- G. All proposed uses – single family residence
- H. Number of dwelling units - 1
- I. Number of bedrooms per dwelling unit - 5
- J. Size of residential space – 4515 sf
- K. Number of proposed off-street parking spaces - 1
- L. Construction schedule indicating major milestones for project – Start Construction 09.01.2024



KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.04	EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL, CLASS A ROOF ASSEMBLY
2.03	6" HORIZONTAL CEDAR WOOD SIDING - SEMI TRANSPARENT STAIN - CHARCOAL DARK GREY/TONE
2.04	THIN DEPTH NATURAL STONE VENEER - TELLURIDE GOLD BLEND
2.06	DECORATIVE CHIMNEY SHROULD - STEEL PAINTED BLACK COLOR
2.07	HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE
2.09	ALUMINUM CLAD-OVERHEAD GARAGE DOOR - TRANSLUCENT GLASS, -BLACK COLOR
2.10	ALUMINUM CLAD WINDOWS AND DOORS, BLACK COLOR
2.12	CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE
2.15	HEAVY TIMBER - SNOW GUARDS
2.16	ARCHITECTURAL STEEL - PAINTED BLACK
2.18	1X4 T&G VG HEMLOCK FIR SOFFIT - SEMI TRANSPARENT STAIN
2.19	MC CHANNEL HEADER - PAINTED BLACK PATINA
3.00	HEAVY TIMBER HEADER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE

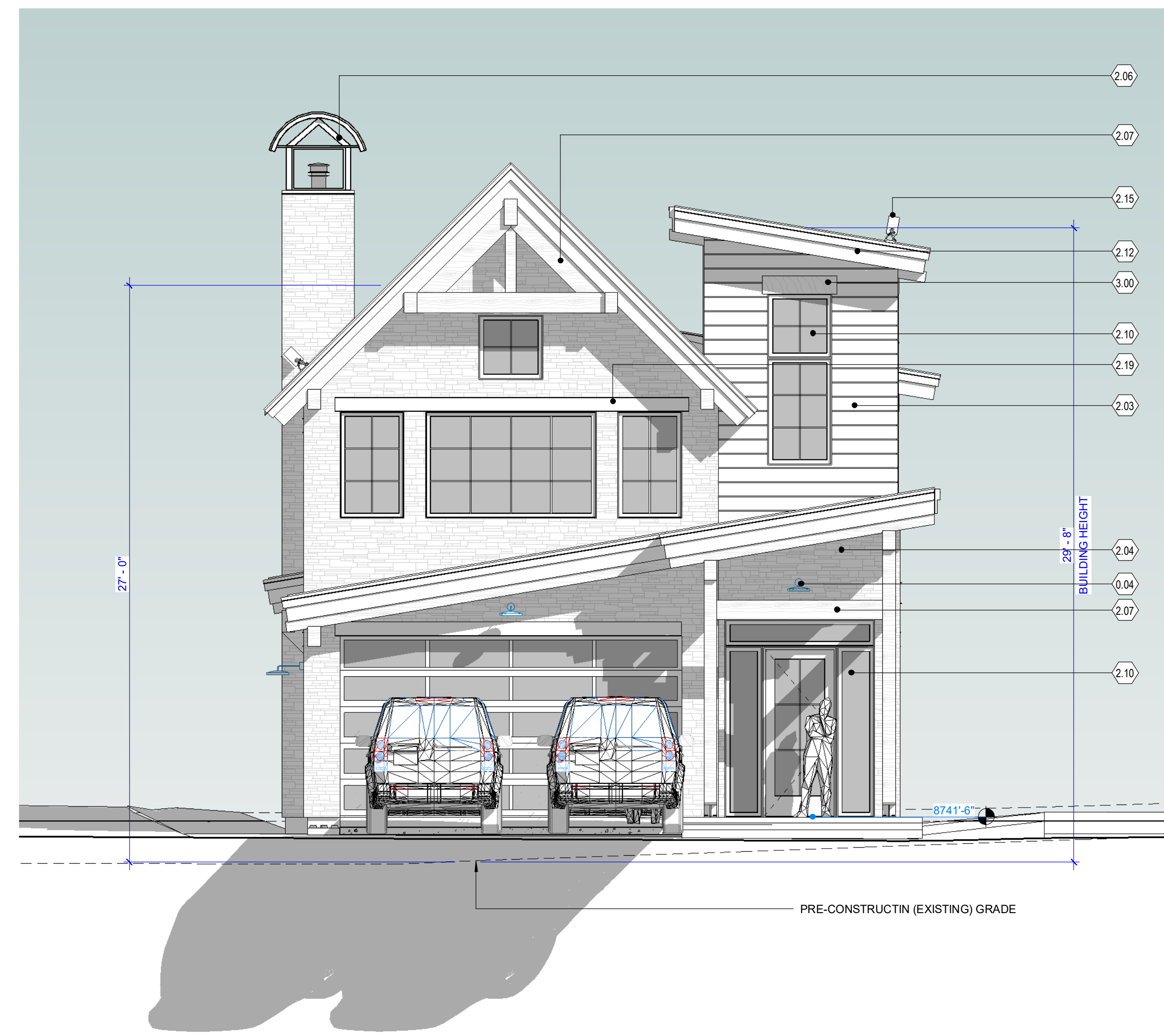


	0.04 - EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
	2.18 - 1X4 T&G VG HEMLOCK FIR SOFFIT - SEMI TRANSPARENT STAIN
	2.13 - MC CHANNEL
	2.01 - STANDING SEAM METAL ROOFING - PATINA COPPER
	2.03 - 2x6 LAP SIDING - RANCHWOOD TACKROOM
	2.04 - STONE VENEER - LIMESTONE BLEND
	2.07 - HEAVY TIMBER - GREY SEMI-TRANSPARENT STAIN
	2.10 - METAL CLAD WINDOWS/DOORS- METAL CLAD BLACK DUAL GLAZING U-0.28, SHGC-0.30 CLAD WOOD CASING CONTINUOUS FOAM WEATHER STRIP ON FRAME
	2.12 - CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN
	2.15 - HEAVY TIMBER - SNOW GUARDS
	2.19 - STEEL HEADER
	3.00 - HEAVY TIMBER HEADER

2 MATERIAL RENDERING  
1/2" = 1'-0"

MATERIAL LEGEND




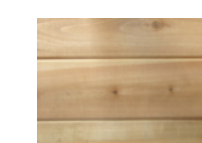
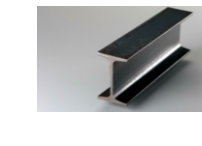
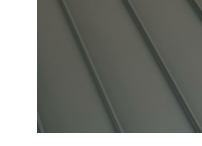

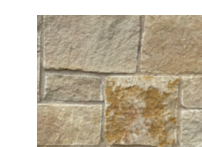
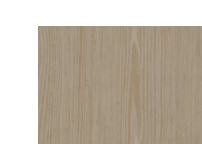

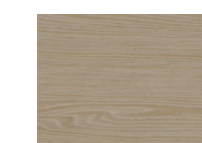


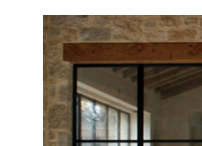


1 SOUTH ELEVATION  
1/4" = 1'-0"



2 WEST ELEVATION  
1/4" = 1'-0"

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.04	EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL CLASS A ROOF ASSEMBLY
2.03	6" HORIZONTAL CEDAR WOOD SIDING - SEMI TRANSPARENT STAIN - CHARCOAL DARK GREY TONE
2.04	THIN DEPTH NATURAL STONE VENEER - TELLURIDE GOLD BLEND
2.06	DECORATIVE CHIMNEY SHROUD - STEEL PAINTED BLACK COLOR
2.07	HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE
2.10	ALUMINUM CLAD WINDOWS AND DOORS, BLACK COLOR
2.12	CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE
2.15	HEAVY TIMBER - SNOW GUARDS
2.19	MC CHANNEL HEADER - PAINTED BLACK PATINA
3.00	HEAVY TIMBER HEADER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE

	0.04 - EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
	2.18 - 1X4 T&G VG HEMLOCK FIR SOFFIT - SEMI TRANSPARENT STAIN
	2.13 - MC CHANNEL
	2.01 - STANDING SEAM METAL ROOFING - PATINA COPPER
	2.03 - 2x6 LAP SIDING - RANCHWOOD TACKROOM
	2.04 - STONE VENEER - LIMESTONE BLEND
	2.07 - HEAVY TIMBER - GREY SEMI-TRANSPARENT STAIN
	2.10 - METAL CLAD WINDOWS/DOORS- METAL CLAD BLACK DUAL GLAZING U-0.28, SHGC-0.30 CLAD WOOD CASING CONTINUOUS FOAM WEATHER STRIP ON FRAME
	2.12 - CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN
	2.15 - HEAVY TIMBER - SNOW GUARDS
	2.19 - STEEL HEADER
	3.00 - HEAVY TIMBER HEADER

MATERIAL LEGEND



**BOULDER** david@nassardevelopment.com  
303.775.5502

**DENVER** zach@nassardevelopment.com  
303.775.8522

**ERIE** wes@nassardevelopment.com  
303.775.5523

Consultant

Issue/Revisions Date No.

Project Information

118 APRES WAY - LOT 13  
RIVERWALK  
WINTER PARK, COLORADO

Sheet Information

Sheet Title:  
EXTERIOR  
ELEVATIONS

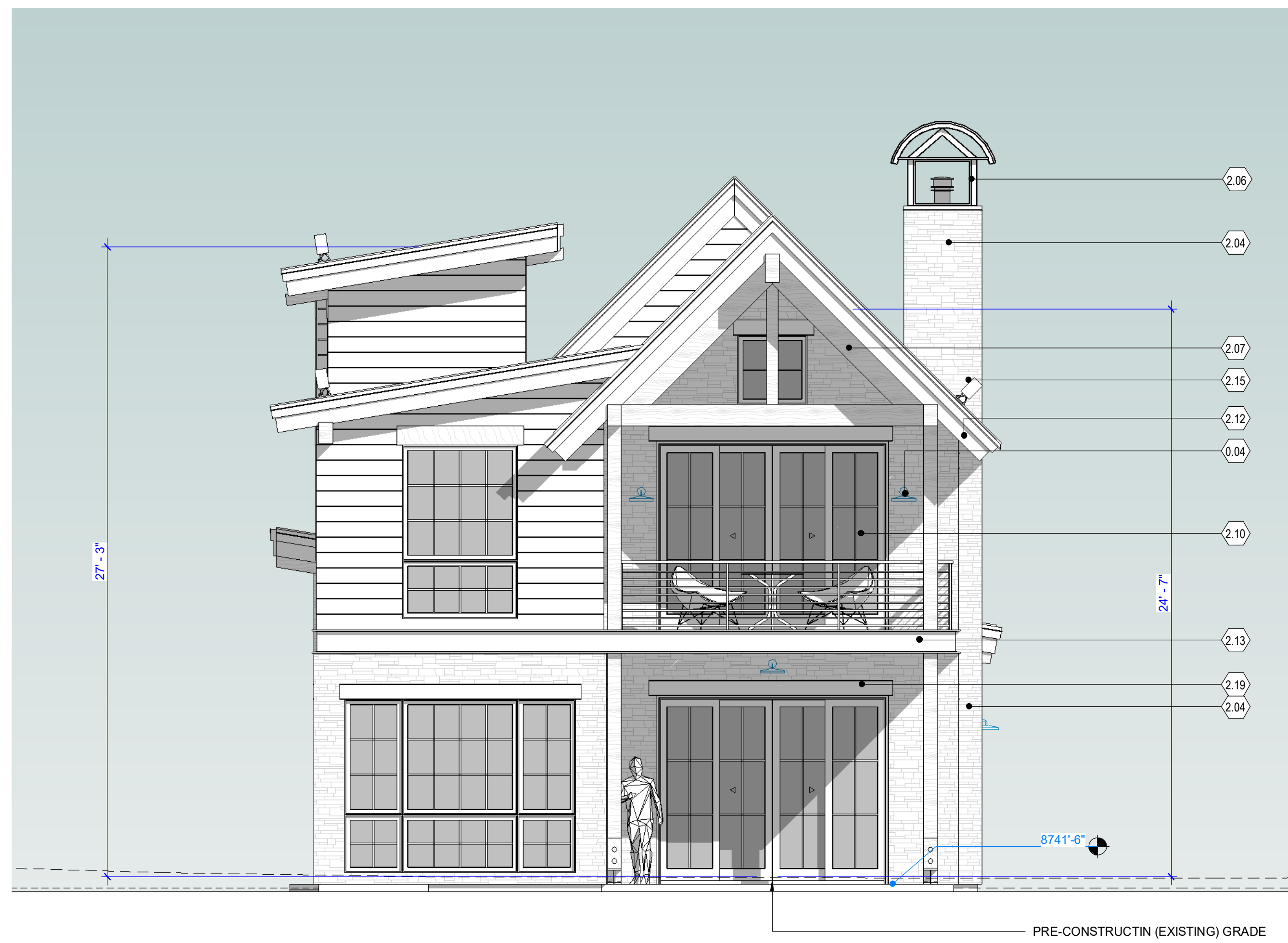
MINOR SITE  
PLAN  
APPLICATION 2024.09.24  
Sheet Number:

A3.1

Nassar Project: 2024.037



E  
D  
C  
B  
A



1 NORTH ELEVATION  
1/4" = 1'-0"



2 EAST ELEVATION  
1/4" = 1'-0"

SCALE: 1/4" = 1'-0"  
16'  
8'  
4'  
2'  
0'

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.04	EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
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2.03	6" HORIZONTAL CEDAR WOOD SIDING - SEMI TRANSPARENT STAIN - CHARCOAL, DARK GREY TONE
2.04	THIN DEPTH NATURAL STONE VENEER - TELLURIDE GOLD BLEND
2.06	DECORATIVE CHIMNEY SHROUD - STEEL PAINTED BLACK COLOR
2.07	HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE
2.10	ALUMINUM CLAD WINDOWS AND DOORS, BLACK COLOR
2.12	CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE
2.13	EXPOSED STEEL - MC SHAPE SURROUND RIM, PAINTED -BLACK
2.15	HEAVY TIMBER - SNOW GUARDS
2.19	MC CHANNEL HEADER - PAINTED BLACK PATINA



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Consultant

Issue/Revisions Date No.

Project Information

118 APRES WAY - LOT 13  
RIVERWALK  
WINTER PARK, COLORADO



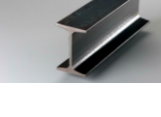









Sheet Information

Sheet Title:  
EXTERIOR ELEVATIONS

MINOR SITE PLAN APPLICATION 2024.09.24  
Sheet Number:

A3.2

Nassar Project: 2024.037

-  0.04 - EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
-  2.18 - 1X4 T&G VG HEMLOCK FIR SOFFIT - SEMI TRANSPARENT STAIN
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-  2.07 - HEAVY TIMBER - GREY SEMI-TRANSPARENT STAIN
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-  2.15 - HEAVY TIMBER - SNOW GUARDS
-  2.19 - STEEL HEADER
-  3.00 - HEAVY TIMBER HEADER

MATERIAL LEGEND



KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.01	PROPOSED SINGLE FAMILY RESIDENCE
0.03	PROPOSED DRIVEWAY
0.06	PARKING AREAS FOR CONSTRUCTION WORKER'S VEHICLES
0.08	SNOW STORAGE AREAS
0.10	STORAGE AREAS FOR SOIL, CONSTRUCTION EQUIPMENT, AND OTHER MATERIALS
1.00	EGRESS WINDOW WELL



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**Consultant**

**Issue/Revisions Date No.**

**Project Information**

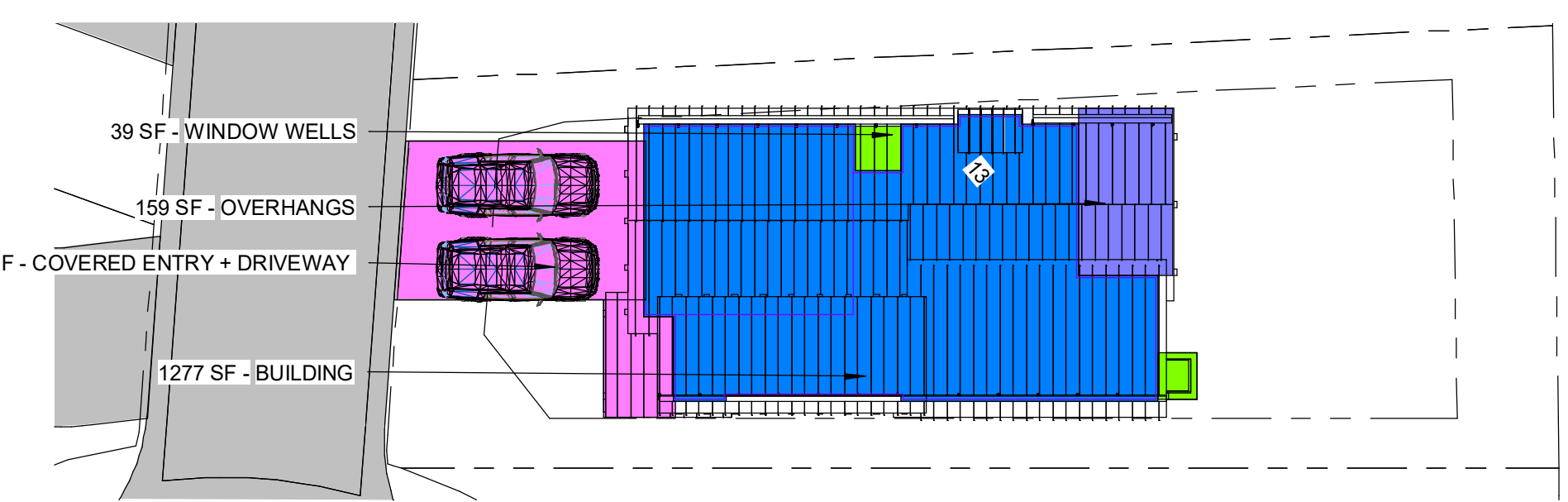
**118 APRES WAY - LOT 13**  
RIVERWALK  
WINTER PARK, COLORADO

**Sheet Information**  
Sheet Title:  
**SITE PLAN**

MINOR SITE  
PLAN  
APPLICATION 2024.09.24  
Sheet Number:

**A1.0**  
Nassar Project: 2024.037

- GENERAL SITE PLAN NOTES:**
- ALL DIMENSIONS TO FACE OF FOUNDATION WALL OR STRUCTURAL STRATA, UNLESS NOTED OTHERWISE.
  - VERIFY ALL SITE PARAMETERS (PROPERTY BOUNDARIES, EASEMENTS AND SETBACKS) PRIOR TO STAKING TO DEMOLITION AND CONSTRUCTION.
  - CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND TO ARRANGE PROPER DISCONTINUANCE AND/OR RELOCATION PRIOR TO DEMOLITION.
  - PROVIDE TREE AND SHRUB PROTECTION FOR EXISTING LANDSCAPING, ESPECIALLY FOR MATURE TREES MARKED TO BE SAVED.
  - PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING PERIMETER; 10% MINIMUM SLOPE FOR FIRST 10'. IT IS ESSENTIAL THAT SITE GRADING BE PROVIDED TO PREVENT INFILTRATION OF SURFACE WATER INTO THE FOUNDATION SYSTEM. REFER TO CIVIL DRAWINGS FOR GRADING AND DRAINAGE.
  - REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE, EXTERIOR LANDSCAPE LIGHTING AND IRRIGATION PLANS.
  - MECHANICALLY COMPACT ALL FILL AROUND THE BUILDING, INCLUDING THE BACKFILL. IMPROPER BACKFILL, COMPACTION CAN CAUSE SETTLEMENT OF EXTERIOR SLABS SUCH AS WALKS, PATIOS AND DRIVEWAYS.
  - DISCHARGE ROOF DOWN SPOUTS AND ALL OTHER WATER COLLECTION SYSTEMS MINIMUM 5' BEYOND PERIMETER OF STRUCTURE. RE: CIVIL DRAWINGS FOR HARDPIPED DRAINS.
  - NO IRRIGATION WITHIN 5' OF THE FOUNDATION. AVOID HEAVY WATERING OF ANY FOUNDATION PLANTINGS.
  - PHOTOVOLTAIC SOLAR PANELS TO BE REVIEWED AND APPROVED UNDER SEPERATE PERMIT
  - SITE WALLS UNDER SEPERATE PERMIT



**2 LOT COVERAGE CALCS**  
1/16" = 1'-0"

LOT COVERAGE	
BUILDING COVERAGE	1941 SF
TOTAL LOT AREA	4883 SF
TOTAL LOT COVERAGE	1941/4883 = 39%

SNOW STORAGE TABLE				
LOT	LANDSCAPE AREA	CONCRETE DRIVEWAY AREA	SNOW STORAGE REQUIRED	SNOW STORAGE PROVIDED
LOT 13 - 4883 SF	3814 SF	396 SF	99 SF	100 SF

LEGEND	
	PROPRTY LINE
	SETBACK

- PROTECTION SITE PLAN NOTES:**
- NO DISTURBANCE, GRADING, OR REMOVAL OF SIGNIFICANT NATURAL FEATURES AND VEGETATION WILL OCCUR BEYOND THE LIMIT OF DISTURBANCE LINE, AS SHOWN ON THIS PLAN.
  - THE LIMIT OF DISTURBANCE LINE SHALL BE DELINEATED PRIOR TO CONSTRUCTION WITH FLAGS, ROPIING, FOUR FOOT (4') TALL ORANGE CONSTRUCTION FENCING, OR OTHER ACCEPTABLE MEANS.



**1 SITE PLAN**  
1" = 10'-0"





**1 LANDSCAPE PLAN**  
1" = 10'-0"

SCALE: 1" = 10'-0"  
40'  
20'  
10'  
5'  
0'

**KEYNOTE LEGEND**

KEY VALUE	KEYNOTE TEXT
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**GENERAL SITE PLAN NOTES:**

- ALL DIMENSIONS TO FACE OF FOUNDATION WALL OR STRUCTURAL STRATA, UNLESS NOTED OTHERWISE.
- VERIFY ALL SITE PARAMETERS: PROPERTY BOUNDARIES, EASEMENTS AND SETBACKS) PRIOR TO STAKING TO DEMOLITION AND CONSTRUCTION.
- CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND TO ARRANGE PROPER DISCONTINUANCE AND/OR RELOCATION PRIOR TO DEMOLITION.
- PROVIDE TREE AND SHRUB PROTECTION FOR EXISTING LANDSCAPING, ESPECIALLY FOR MATURE TREES MARKED TO BE SAVED.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING PERIMETER; 10% MINIMUM SLOPE FOR FIRST 10'. IT IS ESSENTIAL THAT SITE GRADING BE PROVIDED TO PREVENT INFILTRATION OF SURFACE WATER INTO THE FOUNDATION SYSTEM. REFER TO CIVIL DRAWINGS FOR GRADING AND DRAINAGE.
- REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE, EXTERIOR LANDSCAPE LIGHTING AND IRRIGATION PLANS.
- MECHANICALLY COMPACT ALL FILL AROUND THE BUILDING, INCLUDING THE BACKFILL. IMPROPER BACKFILL COMPACTION CAN CAUSE SETTLEMENT OF EXTERIOR SLABS SUCH AS WALKS, PATIOS AND DRIVEWAYS.
- DISCHARGE ROOF DOWN SPOUTS AND ALL OTHER WATER COLLECTION SYSTEMS MINIMUM 5' BEYOND PERIMETER OF STRUCTURE. RE: CIVIL DRAWINGS FOR HARD-PIPED DRAINS.
- NO IRRIGATION WITHIN 5' OF THE FOUNDATION. AVOID HEAVY WATERING OF ANY FOUNDATION PLANTINGS.
- PHOTOVOLTAIC SOLAR PANELS TO BE REVIEWED AND APPROVED UNDER SEPERATE PERMIT.
- SITE WALLS UNDER SEPERATE PERMIT.

**LEGEND**

CONCRETE	
LAWN - 4" POP-UP SPRAY IRRIGATION	
HIGH ALTITUDE SHORT GRASSES	
45% POA ALPINA (ALPINE BLUEGRASS)	
45% FESTUCA SAXIMONTANA (ROCKY MT FESCUE)	
5% KOELERIA MACRANTHA (JUNEGRASS)	
5% TRisetum SPICATUM (MARMOTGRASS)	
ASPEN - DISAMBIGUATION - 9 TREES	
COLORADO BLUE SPRUCE - 9 TREES	

**GENERAL NOTES:**

- NO DISTURBANCE, GRADING, OR REMOVAL OF SIGNIFICANT NATURAL FEATURES AND VEGETATION WILL OCCUR BEYOND THE "LIMIT OF DISTURBANCE" LINE, AS SHOWN ON THIS PLAN.
- THE "LIMIT OF DISTURBANCE" LINE SHALL BE DELINEATED PRIOR TO CONSTRUCTION WITH FLAGS, ROPING, FOUR FOOT (4) TALL ORANGE CONSTRUCTION FENCING, OR OTHER ACCEPTABLE MEANS.
- THERE IS NO TREE REMOVAL ON ENTIRE SITE. NO PROTECTION PLAN IS NEEDED.
- ANY DISTURBED AREAS ON THE SITE SHALL BE REVEGETATED WITH THE SEED MIX RECOMMENDED BY THE GRAND COUNTY NATURAL RESOURCE CONSERVATION SERVICE, WHICH MIX COMPOSITION IS DESCRIBED IN SECTION 7.4 OF THE STANDARDS AND SPECIFICATIONS FOR DESIGN AND CONSTRUCTION.



**BOULDER** david@nassardevelopment.com  
303.775.5502

**DENVER** zach@nassardevelopment.com  
303.775.8522

**ERIE** wes@nassardevelopment.com  
303.775.5523

**Consultant**

**Issue/Revisions Date No.**

**Project Information**

**118 APRES WAY - LOT 13**  
RIVERWALK  
WINTER PARK, COLORADO

**Sheet Information**

Sheet Title:  
**LANDSCAPE PLAN**

MINOR SITE  
PLAN  
APPLICATION 2024.09.24  
Sheet Number:

**L1**

Nassar Project: 2024.037





## MEMO

**TO** Planning Commission  
**FROM** James Shockey, AICP, Community Development Director  
**THROUGH** Brian P. Kelly, Senior Planner  
**DATE** October 8, 2024  
**RE** Minor Site Plan – 21 Apres Way - Lot 31 Riverwalk (PLN24-082)

**Property Owner:** River Walk by Nassar Development LLC

**Applicant:** River Walk by Nassar Development LLC

**Architect:** ADAM CASIAS, Studio 1

**Location:** 21 Apres Way - Lot 31 Riverwalk ("The Property")

**Zoning:**  
R-2, P-D (A Replat of Tract F-1, Idlewild Minor Subdivision, Riverwalk Filing 2)

**Authority:**  
Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Director considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park Minor Site Plan approval is required before building permit issuance.

**Variances:**  
N/A: No Board of Adjustment (BOA) variance requests were requested with this application.

**Architecture:**  
The applicant proposes one (1) new single-family detached dwelling unit (DU) on vacant unimproved land with an attached two-car (two parking spaces) garage. Plans show a northeast covered entry on the first level, primary axis oriented towards the Town of Winter Park and State Highway 40. The structure has three roof forms: gable, shed and flat. The total building coverage is approximately 1,954 square feet and has a floor area of 4,195 square feet.

**Title Commitment (Item 5):**  
Satisfactory. A title commitment was submitted and dated 09/06/2024.

**Homeowner's Association Review (Item 6):**  
Satisfactory. The Riverwalk Owners Association (ROA) provided a letter stating its approval of the plans.

**Accessory Dwelling Unit (ADU):**  
N/A. No ADU is proposed.

**PROJECT DRAWINGS (Item 8)**

Satisfactory. The submitted drawings provide the required minimal information that determine the development project is compliant with the UDC. The applicant should revise and resubmit drawings to include any requested information for greater clarity prior to issuance Building Permit:

**Construction Plans (Item 8B):**

Satisfactory.

**Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:**

TBD: The Town Engineer will review the plans for erosion control, drainage, and grading.

- If required by the Town Engineer, applicant shall revise erosion control, drainage, and grading plans to address the comments.

**Site Plan (Item 8C):**

Unsatisfactory. Per Item number 8C of the Minor Site Plan Application, please organize drawing packet accordingly. The following items do not meet the requirements as listed on the Minor Site Plan Application:

**Building Coverage:**

Satisfactory. The proposed dwelling utilizes approximately 39 percent building coverage, and the maximum allowable is 40 percent for the lot.

**Driveway:**

Unsatisfactory. According to the Site Plan and Construction Plans, the driveway is approximately 6-feet from the side property line. Per the Chapter 4.3.2 of the Town of Winter Park Standards and Specifications for Design and Construction (SSCD) all edges of driveways shall be a minimum of 7-feet from the adjacent property line.

- ***At building permit*** submit revised plans demonstrating a driveway design that meets the SSCD for driveway setback from property line.

**Limit of Disturbance:**

Satisfactory. Per Chapter 2.1.5 of the SSCD, Limits of Disturbance should be shown on either the grading and drainage plans or the site plan along with existing and proposed contours for the subject lot.

**Setbacks:**

Satisfactory. The proposed development appears compliant with the Riverwalk FDP Development Standards (Exhibit C). However, an Improvement Location Certificate (ILC) will be required to verify distances do not encroach the setbacks or exceed 24-inches beyond the required setbacks as determined by the FDP.

- An Improvement Location Certificate (ILC) and a Setback and Elevation Certificate completed by a licensed Colorado Surveyor shall be required for all new foundations within the Town of Winter Park (**R106.3.1.2 Survey Requirements**) prior to underground plumbing inspection.



**Snow Storage:**

Satisfactory. UDC 3-H-5 requires that a minimum of 25% of all driving surfaces, including gravel shoulders, parking areas, and pedestrian walkways is designated for snow storage.

Lot #	Landscape Area (SF)	Concrete Hardscape (SF)	Snow Storage required (SF)	Snow Storage provided. (SF)
31	3033	432	180	450

**Building Elevations (Item 8D):**

Unsatisfactory. The proposed residential dwelling features gable and shed roof forms. The proposed dwelling aligns with the requirements of the Town of Winter Park Design Guidelines (the “Guidelines”) and is consistent with architectural design in the neighborhood.

**Building Height:**

Unsatisfactory. The proposed maximum height is approximately 40-feet and approximately 34-feet and 5-inches to the midpoint of the pitched roof as measured from lowest point of exposed foundation or the existing grade whichever is more restrictive. The maximum height permitted is 35-feet to the midpoint of the pitched roof. However, the Flat Roof shown in the South and West Elevations is greater than 35-feet as measured from the lowest point of the exposed foundation. The height is not in conformance, as measured per the UDC § 3-A-7(E.1).

- ***At building permit*** submit revised plans demonstrating the flat roof is in compliance with the maximum height restriction of 35-feet. BE AWARE plans do not indicate how drainage will be handled from the gable roof toward the flat roofed structure.

**Material and Color:**

Satisfactory. The elevations feature a grey/buff stone veneer extending full side on the south elevation and secondary elements accented by brown horizontal siding that creates visual interest of architectural features. Similar stone veneer is used for the chimney and provide material variety to the west elevation. Primary materials utilize earth tones that are consistent with residential development in the subdivision.

**Outdoor Lighting:**

Satisfactory. Six (6) exterior light fixtures are proposed. Photometric plans are not required for single-family homes. The proposed light fixture specification sheet properly indicates a dark sky compliant fixture.

**Floorplans (Item 8E):**

Satisfactory. The floor plan includes all required information, such as square footage and proper notes. It is consistent with the provided renderings and elevations.

**Landscaping (Item 8F):**

Satisfactory. This property shall be landscaped in compliance with the UDC Sec. 3-I, Landscaping, Buffering, and Screening. Single Family detached uses are required to provide a Type A bufferyard, as referenced in Table 3-I-5-2, District Bufferyard standards. A landscape plan is required to include an acceptable scale, quantity of plant materials, species name, existing and proposed landscaping, existing and proposed hardscaping, and design of drainage in southern portion of lot.

**Parking:**

Satisfactory. As seen in UDC Sec. 3-H-3, Required Parking, two (2) off-street parking spaces are required per Single-Family dwelling unit. Four (4) total spaces are provided, two (2) in garage and two (2) uncovered. The uncovered parking spaces lie within the front setback, which is permitted for single-family land uses as seen in § 3-H-5(C), Parking Standards for Single-Family Detached and Attached Land Use Types.

**Utility Review:**

N/A

**Wetlands:**

N/A

**Inspection:**

Building Division staff have not performed a Pre-Disturbance inspection of the property.

- No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

**Staff Recommendation:**

Approve the Minor Site Plan at this time with the following conditions expected *at Building Permit*:

1. At building permit submit revised plans demonstrating a driveway design that meets the SSCD for driveway setback from property line.
2. At building permit submit revised plans demonstrating the flat roof is in compliance with the maximum height restriction of 35-feet. BE AWARE plans do not indicate how drainage will be handled from the gable roof toward the flat roofed structure.

**Standard Conditions**

3. If required by the Town Engineer, applicant shall revise erosion control, drainage, and grading plans to address the comments.
4. An Improvement Location Certificate (ILC) and a Setback and Elevation Certificate completed by a licensed Colorado Surveyor shall be required for all new foundations within the Town of Winter Park (R106.3.1.2 Survey Requirements) prior to underground plumbing inspection.
5. No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

**Required Permits:**

- ✓ Building Permit
- ✓ Driveway Permit
- ✓ SFD/Duplex Deposit Agreement



River Walk by Nassar Development LLC  
River Walk Owners Association (ROA)  
3000 Airport Drive  
Unit 203  
Erie, CO 80516  
303-775-5502  
[roa@riverwalkwp.com](mailto:roa@riverwalkwp.com)



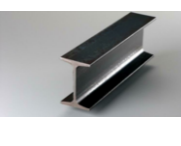


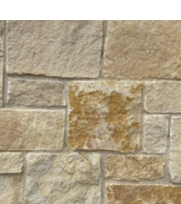
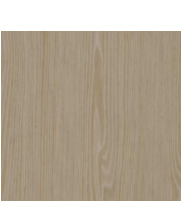

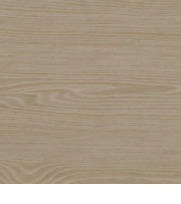



#### Narrative – 21 Apres Way – Lot 31

- A. Project Name – Lot 31
- B. Street Address – 21 Apres Way
- C. Name - River Walk by Nassar Development LLC  
Address – 3000 Airport Drive, Unit 203 Erie, Colorado 80516  
email and telephone number - [david@nassardevelopment.com](mailto:david@nassardevelopment.com) , 303-775-5502  
applicant - River Walk by Nassar Development LLC  
HOA - River Walk Owners Association (ROA)  
project manager – Zach Nassar  
architecture – ADAM CASIAS, Studio 1  
engineer – David Mitchell, Front Range Structural Engineering  
surveyor - CORE CONSULTANTS, LLC  
and land planner - River Walk by Nassar Development LLC
- D. Legal description - A REPLAT OF TRACT F-1, IDLEWILD MINOR SUBDIVISION A PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE 6TH P.M.TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO
- E. Zoning district - R-2 (MULTIPLE FAMILY RESIDENTIAL)
- F. Lot size – 4902 SF
- G. All proposed uses – single family residence
- H. Number of dwelling units - 1
- I. Number of bedrooms per dwelling unit - 5
- J. Size of residential space – 4195 sf
- K. Number of proposed off-street parking spaces - 2
- L. Construction schedule indicating major milestones for project – Start Construction 09.01.2024



KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL, CLASS A ROOF ASSEMBLY
2.04	THIN DEPTH NATURAL STONE VENEER - TELLURIDE GOLD BLEND
2.07	HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE
2.09	ALUMINUM CLAD-OVERHEAD GARAGE DOOR - TRANSLUCENT GLASS - BLACK COLOR
2.10	ALUMINUM CLAD WINDOWS AND DOORS - BLACK COLOR
2.12	CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE
2.15	HEAVY TIMBER - SNOW GUARDS
2.18	1X4 T&G VG HEMLOCK FIR SOFFIT - SEMI TRANSPARENT STAIN
2.19	MC CHANNEL HEADER - PAINTED BLACK PATINA
3.00	HEAVY TIMBER HEADER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE

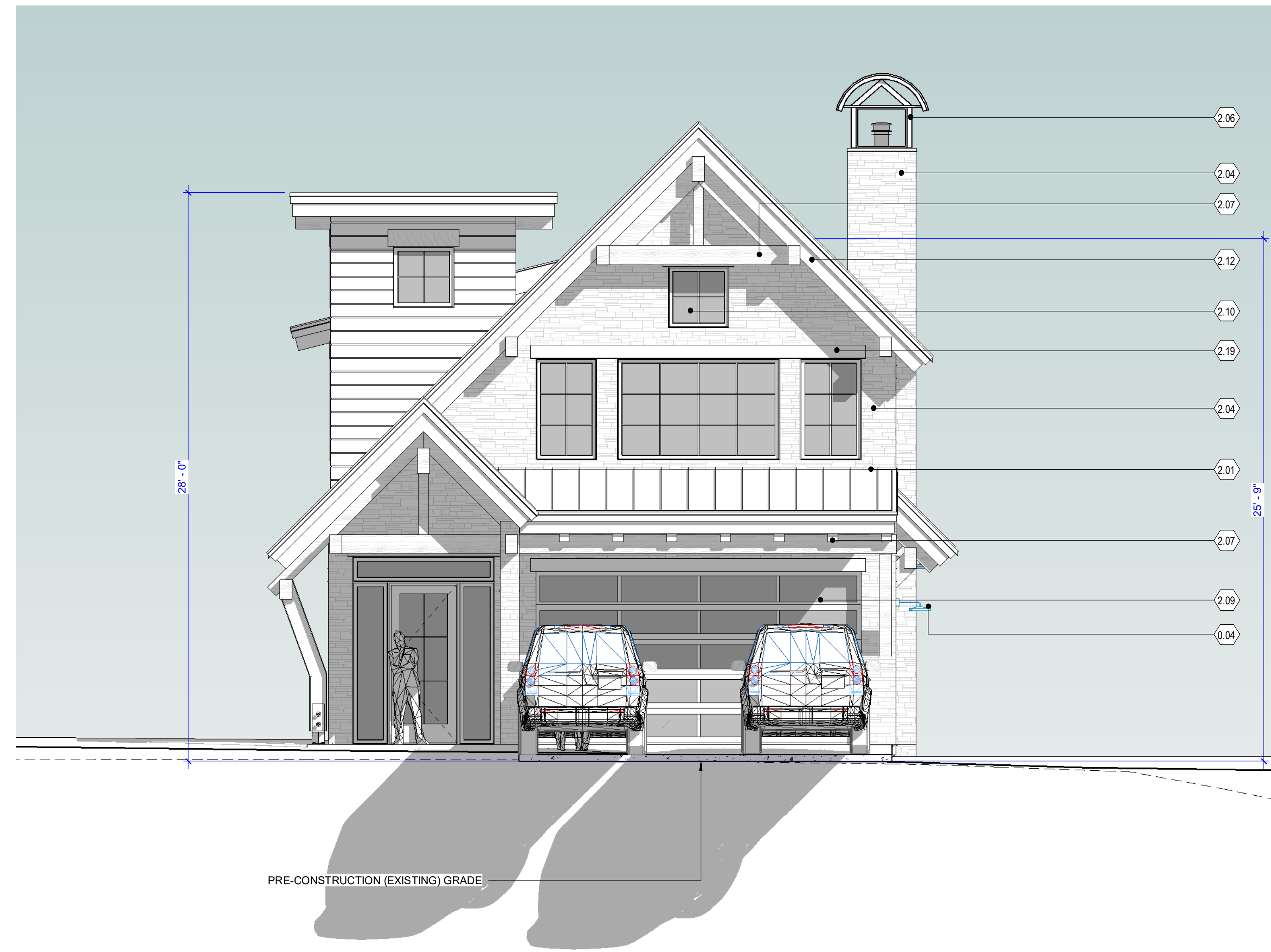


-  0.04 - EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
-  2.18 - 1X4 T&G VG HEMLOCK FIR SOFFIT - SEMI TRANSPARENT STAIN
-  2.13 - MC CHANNEL
-  2.01 - STANDING SEAM METAL ROOFING - PATINA COPPER
-  2.03 - 2X6 LAP SIDING - RANCHWOOD TACKROOM
-  2.04 - STONE VENEER - LIMESTONE BLEND
-  2.07 - HEAVY TIMBER - GREY SEMI-TRANSPARENT STAIN
-  2.10 - METAL CLAD WINDOWS/DOORS- METAL CLAD BLACK DUAL GLAZING U-0.28, SHGC-0.30 CLAD WOOD CASING CONTINUOUS FOAM WEATHER STRIP ON FRAME
-  2.12 - CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN
-  2.15 - HEAVY TIMBER - SNOW GUARDS
-  2.19 - STEEL HEADER
-  3.00 - HEAVY TIMBER HEADER

② MATERIAL RENDERING  
1/2" = 1'-0"

**MATERIAL LEGEND**





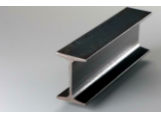


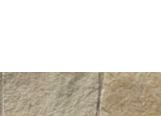
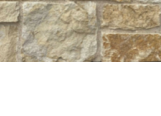


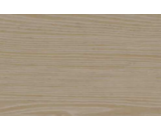





2 EAST ELEVATION  
1/4" = 1'-0"



1 NORTH ELEVATION  
1/4" = 1'-0"

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.04	EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL, CLASS A ROOF ASSEMBLY
2.04	THIN DEPTH NATURAL STONE VENEER - TELLURIDE GOLD BLEND
2.06	DECORATIVE CHIMNEY SHROUD - STEEL PAINTED BLACK COLOR
2.07	HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE
2.09	ALUMINUM CLAD-OVERHEAD GARAGE DOOR - TRANSLUCENT GLASS - BLACK COLOR
2.10	ALUMINUM CLAD WINDOWS AND DOORS, BLACK COLOR
2.12	CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE
2.13	EXPOSED STEEL - MC SHAPE SURROUND RIM, PAINTED -BLACK
2.14	ARCHITECTURAL STEEL RAILING - PAINTED BLACK
2.19	MC CHANNEL HEADER - PAINTED BLACK PATINA

	0.04 - EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
	2.18 - 1X4 T&G VG HEMLOCK FIR SOFFIT - SEMI TRANSPARENT STAIN
	2.13 - MC CHANNEL
	2.01 - STANDING SEAM METAL ROOFING - PATINA COPPER
	2.03 - 2x6 LAP SIDING - RANCHWOOD TACKROOM
	2.04 - STONE VENEER - LIMESTONE BLEND
	2.07 - HEAVY TIMBER - GREY SEMI-TRANSPARENT STAIN
	2.10 - METAL CLAD WINDOWS/DOORS- METAL CLAD BLACK
	DUAL GLAZING U-0.28, SHGC-0.30 CLAD WOOD CASING CONTINUOUS FOAM WEATHER STRIP ON FRAME
	2.12 - CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN
	2.15 - HEAVY TIMBER - SNOW GUARDS
	2.19 - STEEL HEADER
	3.00 - HEAVY TIMBER HEADER

MATERIAL LEGEND



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Consultant

Issue/Revisions Date No.

Project Information

21 APRES WAY - LOT 31  
RIVERWALK  
WINTER PARK, COLORADO

Sheet Information

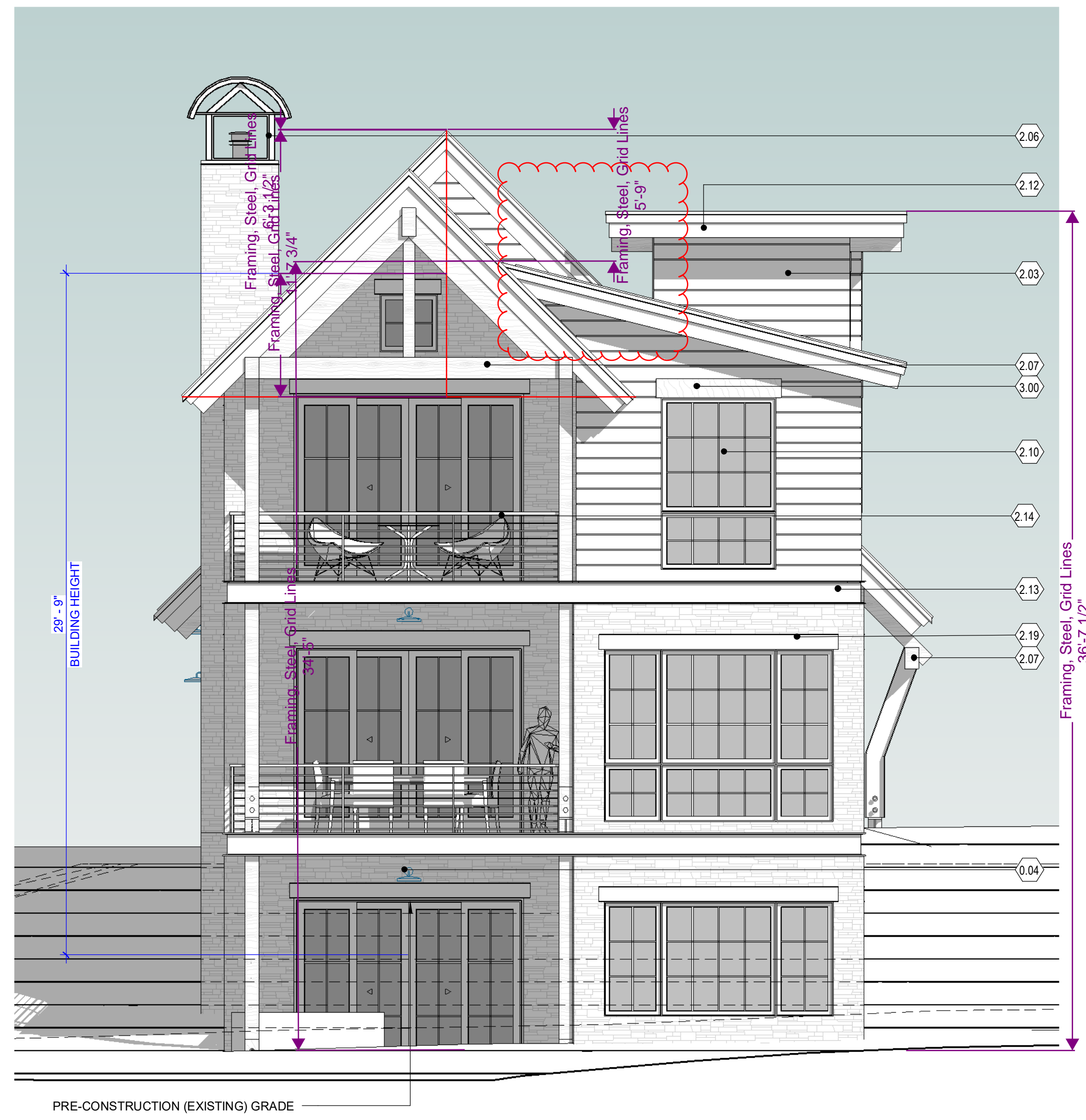
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EXTERIOR  
ELEVATIONS

SCHEMATIC  
DESIGN 2024.09.19  
Sheet Number:

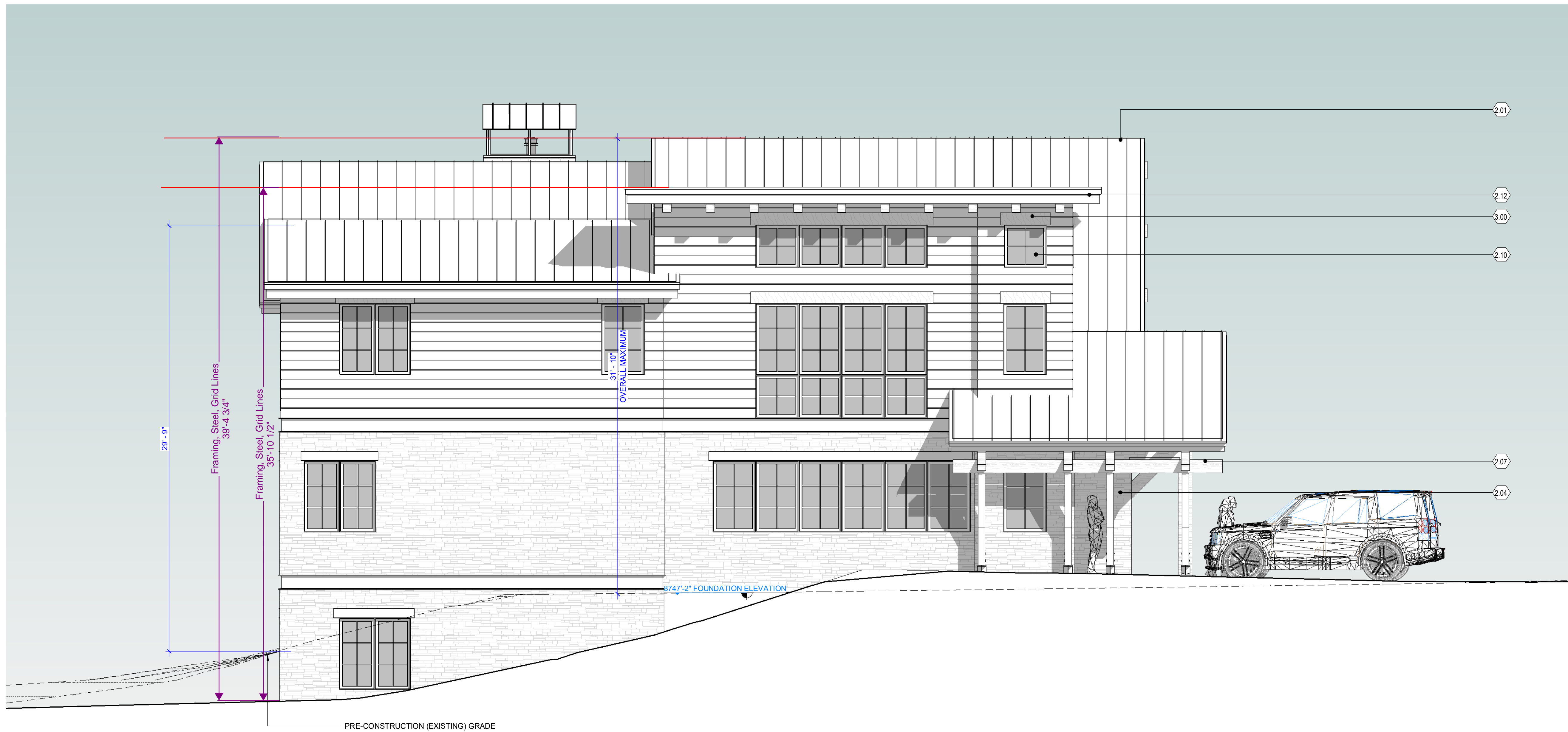
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Nassar Project: 2024.037





2 WEST ELEVATION  
1/4" = 1'-0"



1 SOUTH ELEVATION  
1/4" = 1'-0"

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.04	EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL CLASS A ROOF ASSEMBLY
2.03	6" HORIZONTAL CEDAR WOOD SIDING - SEMI TRANSPARENT STAIN - CHARCOAL, DARK GREY/TONE
2.04	THIN DEPTH NATURAL STONE VENEER - TELLURIDE GOLD BLEND
2.06	DECORATIVE CHIMNEY SHROUD - STEEL PAINTED BLACK COLOR
2.07	HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE
2.10	ALUMINUM CLAD WINDOWS AND DOORS, BLACK COLOR
2.12	CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE
2.13	EXPOSED STEEL - MC SHAPE SURROUND RIM, PAINTED -BLACK
2.14	ARCHITECTURAL STEEL RAILING - PAINTED BLACK
2.19	MC CHANNEL HEADER - PAINTED BLACK PATINA
3.00	HEAVY TIMBER HEADER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY/TONE



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**Consultant**

**Issue/Revisions Date No.**

**Project Information**

**21 APRES WAY - LOT 31**  
RIVERWALK  
WINTER PARK, COLORADO




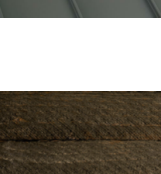
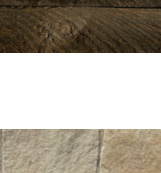
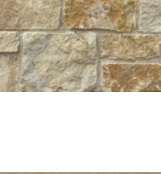
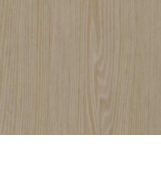

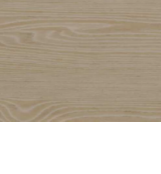



**Sheet Information**

Sheet Title:  
**EXTERIOR ELEVATIONS**

SCHEMATIC DESIGN 2024.09.19  
Sheet Number:

**A3.2**

Nassar Project: 2024.037

	0.04 - EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
	2.18 - 1X4 T&G VG HEMLOCK FIR SOFFIT - SEMI TRANSPARENT STAIN
	2.13 - MC CHANNEL
	2.01 - STANDING SEAM METAL ROOFING - PATINA COPPER
	2.03 - 2x6 LAP SIDING - RANCHWOOD TACKROOM
	2.04 - STONE VENEER - LIMESTONE BLEND
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	2.10 - METAL CLAD WINDOWS/DOORS- METAL CLAD BLACK DUAL GLAZING U-0.28, SHGC-0.30 CLAD WOOD CASING CONTINUOUS FOAM WEATHER STRIP ON FRAME
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	2.15 - HEAVY TIMBER - SNOW GUARDS
	2.19 - STEEL HEADER
	3.00 - HEAVY TIMBER HEADER

**MATERIAL LEGEND**



**Consultant**

**Issue/Revisions Date No.**

**Project Information**

**21 APRES WAY - LOT 31**  
RIVERWALK  
WINTER PARK, COLORADO

**Sheet Information**

Sheet Title:  
**SITE PLAN**

SCHEMATIC DESIGN 2024.09.19  
Sheet Number:

**A1.0**

Nassar Project: 2024.037

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.01	PROPOSED SINGLE FAMILY RESIDENCE
0.03	PROPOSED DRIVEWAY
0.06	PARKING AREAS FOR CONSTRUCTION WORKER'S VEHICLES
0.08	SNOW STORAGE AREAS
0.10	STORAGE AREAS FOR SOIL, CONSTRUCTION EQUIPMENT, AND OTHER MATERIALS
1.00	EGRESS WINDOW WELL

**GENERAL SITE PLAN NOTES:**

- ALL DIMENSIONS TO FACE OF FOUNDATION WALL OR STRUCTURAL STRATA, UNLESS NOTED OTHERWISE.
- VERIFY ALL SITE PARAMETERS (PROPERTY BOUNDARIES, EASEMENTS AND SETBACKS) PRIOR TO STAKING TO DEMOLITION AND CONSTRUCTION.
- CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND TO ARRANGE PROPER DISCONTINUANCE AND/OR RELOCATION PRIOR TO DEMOLITION.
- PROVIDE TREE AND SHRUB PROTECTION FOR EXISTING LANDSCAPING, ESPECIALLY FOR MATURE TREES MARKED TO BE SAVED.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING PERIMETER; 10% MINIMUM SLOPE FOR FIRST 10'. IT IS ESSENTIAL THAT SITE GRADING BE PROVIDED TO PREVENT INFILTRATION OF SURFACE WATER INTO THE FOUNDATION SYSTEM. REFER TO CIVIL DRAWINGS FOR GRADING AND DRAINAGE.
- REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE, EXTERIOR LANDSCAPE LIGHTING AND IRRIGATION PLANS.
- MECHANICALLY COMPACT ALL FILL AROUND THE BUILDING, INCLUDING THE BACKFILL. IMPROPER BACKFILL COMPACTION CAN CAUSE SETTLEMENT OF EXTERIOR SLABS SUCH AS WALKS, PATIOS AND DRIVEWAYS.
- DISCHARGE ROOF DOWN SPOUTS AND ALL OTHER WATER COLLECTION SYSTEMS MINIMUM 5' BEYOND PERIMETER OF STRUCTURE. RE: CIVIL DRAWINGS FOR HARD-PIPED DRAINS. NO IRRIGATION WITHIN 5' OF THE FOUNDATION. AVOID HEAVY WATERING OF ANY FOUNDATION PLANTINGS.
- PHOTOVOLTAIC SOLAR PANELS TO BE REVIEWED AND APPROVED UNDER SEPERATE PERMIT.
- SITE WALLS UNDER SEPERATE PERMIT.

**2 LOT COVERAGE CLACS**  
1/16" = 1'-0"



**LOT COVERAGE**

BUILDING COVERAGE	1954 SF
TOTAL LOT AREA	4902 SF
TOTAL LOT COVERAGE	1954/4902 = 39%

**SNOW STORAGE TABLE**

LOT	LANDSCAPE AREA	CONCRETE DRIVEWAY AREA	SNOW STORAGE REQUIRED	SNOW STORAGE PROVIDED
LOT 31 - 4902 SF	3033 SF	432 SF	180 SF	450 SF

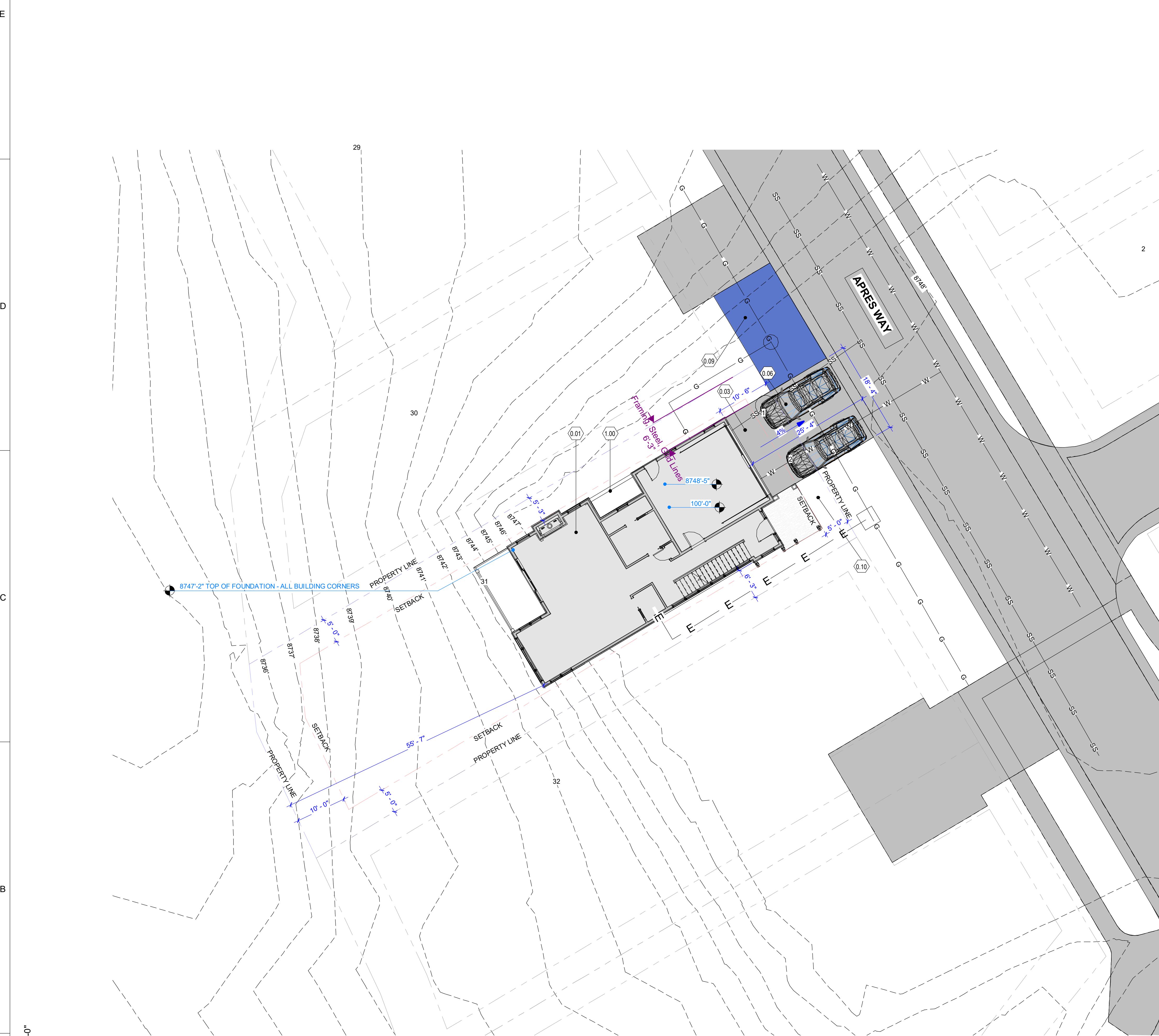
**LEGEND**

- PROPERTY LINE
- SETBACK

**PROTECTION SITE PLAN NOTES:**

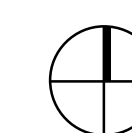
A. NO DISTURBANCE, GRADING, OR REMOVAL OF SIGNIFICANT NATURAL FEATURES AND VEGETATION WILL OCCUR BEYOND THE LIMIT OF DISTURBANCE LINE, AS SHOWN ON THIS PLAN.

B. THE LIMIT OF DISTURBANCE LINE SHALL BE DELINEATED PRIOR TO CONSTRUCTION WITH FLAGS, ROPIING, FOUR FOOT (4') TALL ORANGE CONSTRUCTION FENCING, OR OTHER ACCEPTABLE MEANS.

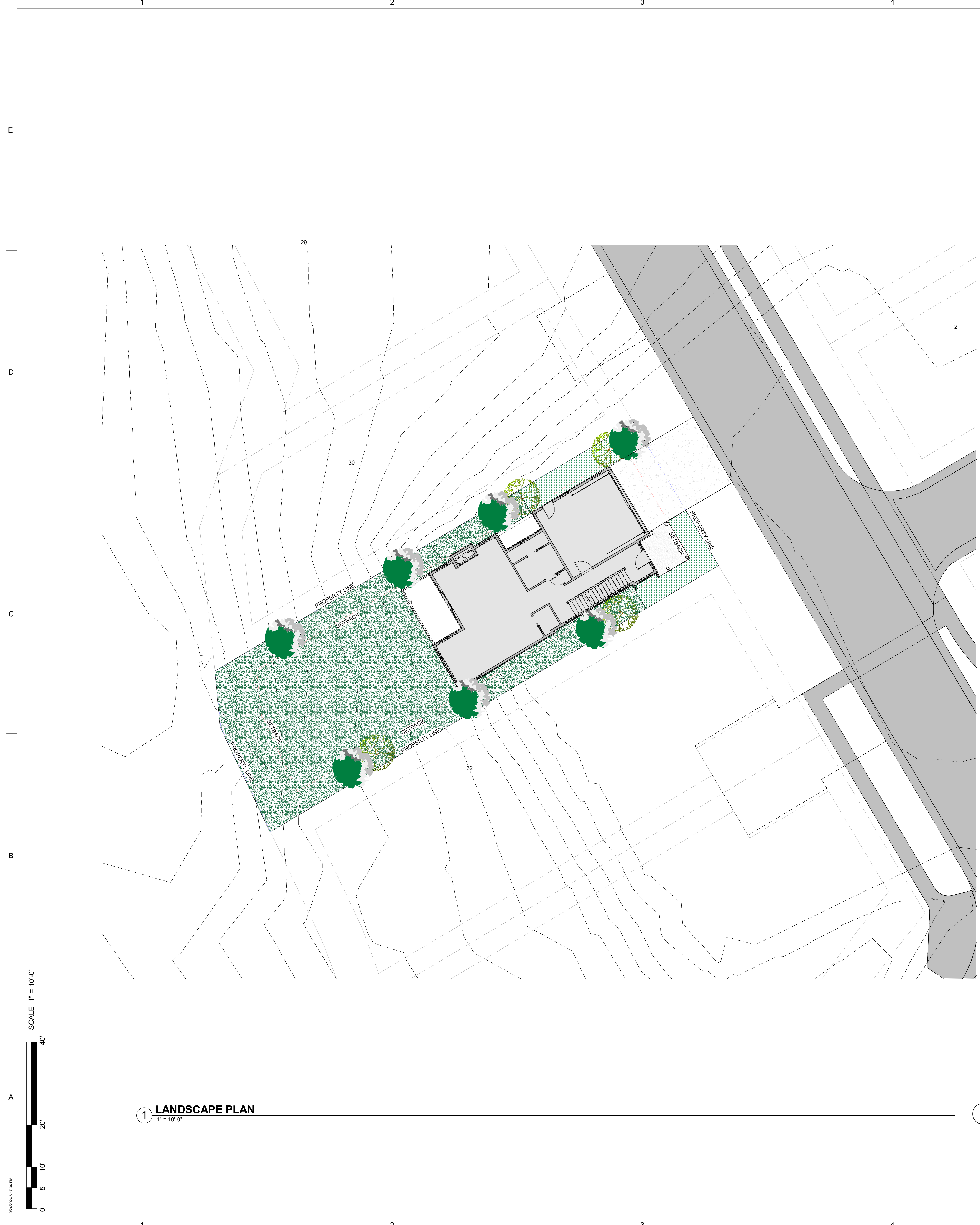


SCALE: 1" = 10'-0"  
0' 5' 10' 20' 40'

**1 SITE PLAN**  
1" = 10'-0"







**1 LANDSCAPE PLAN**  
1" = 10'-0"

SCALE: 1" = 10'-0"  
40'  
20'  
10'  
5'  
0'

**KEYNOTE LEGEND**

KEY VALUE	KEYNOTE TEXT
BOULDER	david@nassardevelopment.com 303.775.5502
DENVER	zach@nassardevelopment.com 303.775.8522
ERIE	wes@nassardevelopment.com 303.775.5523

- GENERAL SITE PLAN NOTES:**
- ALL DIMENSIONS TO FACE OF FOUNDATION WALL OR STRUCTURAL STRATA, UNLESS NOTED OTHERWISE.
  - VERIFY ALL SITE PARAMETERS: PROPERTY BOUNDARIES, EASEMENTS AND SETBACKS) PRIOR TO STAKING TO DEMOLITION AND CONSTRUCTION.
  - CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND TO ARRANGE PROPER DISCONTINUANCE AND/OR RELOCATION PRIOR TO DEMOLITION.
  - PROVIDE TREE AND SHRUB PROTECTION FOR EXISTING LANDSCAPING, ESPECIALLY FOR MATURE TREES MARKED TO BE SAVED.
  - PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING PERIMETER; 10% MINIMUM SLOPE FOR FIRST 10'. IT IS ESSENTIAL THAT SITE GRADING BE PROVIDED TO PREVENT INFILTRATION OF SURFACE WATER INTO THE FOUNDATION SYSTEM. REFER TO CIVIL DRAWINGS FOR GRADING AND DRAINAGE.
  - REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE, EXTERIOR LANDSCAPE LIGHTING AND IRRIGATION PLANS.
  - MECHANICALLY COMPACT ALL FILL AROUND THE BUILDING, INCLUDING THE BACKFILL. IMPROPER BACKFILL COMPACTION CAN CAUSE SETTLEMENT OF EXTERIOR SLABS SUCH AS WALKS, PATIOS AND DRIVEWAYS.
  - DISCHARGE ROOF DOWN SPOUTS AND ALL OTHER WATER COLLECTION SYSTEMS MINIMUM 5' BEYOND PERIMETER OF STRUCTURE. RE: CIVIL DRAWINGS FOR HARD-PIPED DRAINS.
  - NO IRRIGATION WITHIN 5' OF THE FOUNDATION. AVOID HEAVY WATERING OF ANY FOUNDATION PLANTINGS.
  - PHOTOVOLTAIC SOLAR PANELS TO BE REVIEWED AND APPROVED UNDER SEPERATE PERMIT.
  - SITE WALLS UNDER SEPERATE PERMIT.

**LEGEND**

CONCRETE	
LAWN - 4" POP-UP SPRAY IRRIGATION	
HIGH ALTITUDE SHORT GRASSES	
45% POA ALPINA (ALPINE BLUEGRASS)	
45% FESTUCA SAXIMONTANA (ROCKY MT FESCUE)	
5% KOELERIA MACRANTHA (JUNEGRASS)	
5% TRisetum SPICATUM (MARMOTGRASS)	
ASPEN - DISAMBIGUATION - 7 TREES	
COLORADO BLUE SPRUCE - 7 TREES	

- GENERAL NOTES:**
- NO DISTURBANCE, GRADING, OR REMOVAL OF SIGNIFICANT NATURAL FEATURES AND VEGETATION WILL OCCUR BEYOND THE "LIMIT OF DISTURBANCE" LINE, AS SHOWN ON THIS PLAN.
  - THE "LIMIT OF DISTURBANCE" LINE SHALL BE DELINEATED PRIOR TO CONSTRUCTION WITH FLAGS, ROPING, FOUR FOOT (4) TALL ORANGE CONSTRUCTION FENCING, OR OTHER ACCEPTABLE MEANS.
  - THERE IS NO TREE REMOVAL ON ENTIRE SITE. NO PROTECTION PLAN IS NEEDED.
  - ANY DISTURBED AREAS ON THE SITE SHALL BE REVEGETATED WITH THE SEED MIX RECOMMENDED BY THE GRAND COUNTY NATURAL RESOURCE CONSERVATION SERVICE, WHICH MIX COMPOSITION IS DESCRIBED IN SECTION 7.4 OF THE STANDARDS AND SPECIFICATIONS FOR DESIGN AND CONSTRUCTION.



**BOULDER** david@nassardevelopment.com  
303.775.5502

**DENVER** zach@nassardevelopment.com  
303.775.8522

**ERIE** wes@nassardevelopment.com  
303.775.5523

**Consultant**

**Issue/Revisions Date No.**

**Project Information**

**21 APRES WAY - LOT 31**  
RIVERWALK  
WINTER PARK, COLORADO

**Sheet Information**

Sheet Title:  
**LANDSCAPE PLAN**

SCHEMATIC DESIGN 2024.09.19  
Sheet Number:

**L1**

Nassar Project: 2024.037





## MEMO

**TO** Planning Commission  
**FROM** James Shockey, AICP, Community Development Director  
**THROUGH** Brian P. Kelly, Senior Planner  
**DATE** October 8, 2024  
**RE** Minor Site Plan – 113 Apres Way - Lot 21 Riverwalk (PLN24-083)

**Property Owner:** River Walk by Nassar Development LLC

**Applicant:** River Walk by Nassar Development LLC

**Architect:** ADAM CASIAS, Studio 1

**Location:** 113 Apres Way - Lot 21 Riverwalk ("The Property")

**Zoning:**  
R-2, P-D (A Replat of Tract F-1, Idlewild Minor Subdivision, Riverwalk Filing 2)

**Authority:**  
Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Director considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park Minor Site Plan approval is required before building permit issuance.

**Variances:**  
N/A: No Board of Adjustment (BOA) variance requests were requested with this application.

**Architecture:**  
The applicant proposes one (1) new single-family detached dwelling unit (DU) on vacant unimproved land with an attached two-car (two parking spaces) garage. Plans show a northeast covered entry on the first level, primary axis oriented towards the Town of Winter Park and State Highway 40. The structure has a shed roof form at three levels. The total building coverage is approximately 2,052 square feet and has a floor area of 4,072 square feet.

**Title Commitment (Item 5):**  
Satisfactory. A title commitment was submitted and dated 09/06/2024.

**Homeowner's Association Review (Item 6):**  
Satisfactory. The Riverwalk Owners Association (ROA) provided a letter stating its approval of the plans.

**Accessory Dwelling Unit (ADU):**  
N/A. No ADU is proposed.

**PROJECT DRAWINGS (Item 8)**

Satisfactory. The submitted drawings provide the required minimal information that determine the development project is compliant with the UDC. The applicant should revise and resubmit drawings to include any requested information for greater clarity prior to issuance Building Permit:

**Construction Plans (Item 8B):**

Satisfactory.

**Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:**

TBD: The Town Engineer will review the plans for erosion control, drainage, and grading.

- If required by the Town Engineer, applicant shall revise erosion control, drainage, and grading plans to address the comments.

**Site Plan (Item 8C):**

Satisfactory. Per Item number 8 of the Minor Site Plan Application, please correct drawing packet accordingly, all pages shall be ARCH D (24" x 36"). The following items meet or need revision to comply with the requirements as listed on the Minor Site Plan Application:

**Building Coverage:**

Satisfactory. The proposed dwelling utilizes approximately 39 percent building coverage, and the maximum allowable is 40 percent for the lot.

**Driveway:**

Satisfactory. According to the Site Plan and Construction Plans, the driveway meets the requirements per Chapter 4 of the Town of Winter Park Standards and Specifications for Design and Construction (SSCD).

**Limit of Disturbance:**

Satisfactory. Per Chapter 2.1.5 of the SSDC, Limits of Disturbance should be shown on either the grading and drainage plans or the site plan along with existing and proposed contours for the subject lot.

**Setbacks:**

Satisfactory. The proposed development appears compliant with the Riverwalk FDP Development Standards (Exhibit C). However, an Improvement Location Certificate (ILC) will be required to verify distances do not encroach the setbacks or exceed 24-inches beyond the required setbacks as determined by the FDP.

- An Improvement Location Certificate (ILC) and a Setback and Elevation Certificate completed by a licensed Colorado Surveyor shall be required for all new foundations within the Town of Winter Park (**R106.3.1.2 Survey Requirements**) prior to underground plumbing inspection.



**Snow Storage:**

Satisfactory. UDC 3-H-5 requires that a minimum of 25% of all driving surfaces, including gravel shoulders, parking areas, and pedestrian walkways is designated for snow storage.

Lot #	Landscape Area (SF)	Concrete Hardscape (SF)	Snow Storage required (SF)	Snow Storage provided. (SF)
21	3163	437	109	125

**Building Elevations (Item 8D):**

Satisfactory. The proposed residential dwelling features shed roof forms. The proposed dwelling aligns with the requirements of the Town of Winter Park Design Guidelines (the “Guidelines”) and is consistent with architectural design in the neighborhood.

**Building Height:**

Satisfactory. The proposed maximum height is approximately 40-feet and approximately 34-feet and 10-inches to the midpoint of the major pitched roof as measured from lowest point of exposed foundation or the existing grade whichever is more restrictive. The maximum height permitted is 35-feet to the midpoint of the pitched roof. An auxiliary shed roof structure extends above this limit as shown in the South and West elevations as greater than 35-feet measured from the lowest point of the exposed foundation. The height does not exceed the maximum 42-foot height requirement, as measured per the UDC § 3-A-7(E.1).

- BE AWARE plans do not indicate how drainage will be handled from most of the primary shed roof toward the upper secondary shed roof structure shown on the west elevation.

**Material and Color:**

Satisfactory. The elevations feature a grey/buff stone veneer wrapping the lower and first level on the north, south and west elevations and secondary elements accented by brown horizontal siding that creates visual interest of architectural features. Similar stone veneer is used for the chimney and provide material variety to the north elevation. Primary materials utilize earth tones that are consistent with residential development in the subdivision.

**Outdoor Lighting:**

Satisfactory. Six (6) exterior light fixtures are proposed. Photometric plans are not required for single-family homes. The proposed light fixture specification sheet properly indicates a dark sky compliant fixture.

**Floorplans (Item 8E):**

Satisfactory. The floor plan includes all required information, such as square footage and proper notes. It is consistent with the provided renderings and elevations.

**Landscaping (Item 8F):**

Satisfactory. This property shall be landscaped in compliance with the UDC Sec. 3-I, Landscaping, Buffering, and Screening. Single Family detached uses are required to provide a Type A bufferyard, as referenced in Table 3-I-5-2, District Bufferyard standards. A landscape plan is required to include

an acceptable scale, quantity of plant materials, species name, existing and proposed landscaping, existing and proposed hardscaping, and design of drainage in southern portion of lot.

- Thirty-one (31) Redosier dogwoods (*Cornus sericea*) are shown in the legend of the Landscape Plan but are not located on the plan. At Building Permit please revise the landscape plan to demonstrate the location of the specified species of shrubs.

**Parking:**

Satisfactory. As seen in UDC Sec. 3-H-3, Required Parking, two (2) off-street parking spaces are required per Single-Family dwelling unit. Four (4) total spaces are provided, two (2) in garage and two (2) uncovered. The uncovered parking spaces lie within the front setback, which is permitted for single-family land uses as seen in § 3-H-5(C), Parking Standards for Single-Family Detached and Attached Land Use Types.

**Utility Review:**

N/A

**Wetlands:**

N/A

**Inspection:**

Building Division staff have not performed a Pre-Disturbance inspection of the property.

- No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

**Staff Recommendation:**

Approve the Minor Site Plan at this time with the following conditions expected **at Building Permit:**

1. Provide locations of thirty-one (31) deciduous Redosier dogwood shrubs on Landscape Plan.
2. BE AWARE Drawings should be sized **ARCHD (24" x 36")**.
3. BE AWARE plans do not indicate how drainage will be handled from most of the primary shed roof toward the upper secondary shed roof structure shown on the west elevation.

**Standard Conditions**

4. If required by the Town Engineer, applicant shall revise erosion control, drainage, and grading plans to address the comments.
5. An Improvement Location Certificate (ILC) and a Setback and Elevation Certificate completed by a licensed Colorado Surveyor shall be required for all new foundations within the Town of Winter Park (R106.3.1.2 Survey Requirements) prior to underground plumbing inspection.
6. No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

**Required Permits:**

- ✓ Building Permit
- ✓ Driveway Permit
- ✓ SFD/Duplex Deposit Agreement





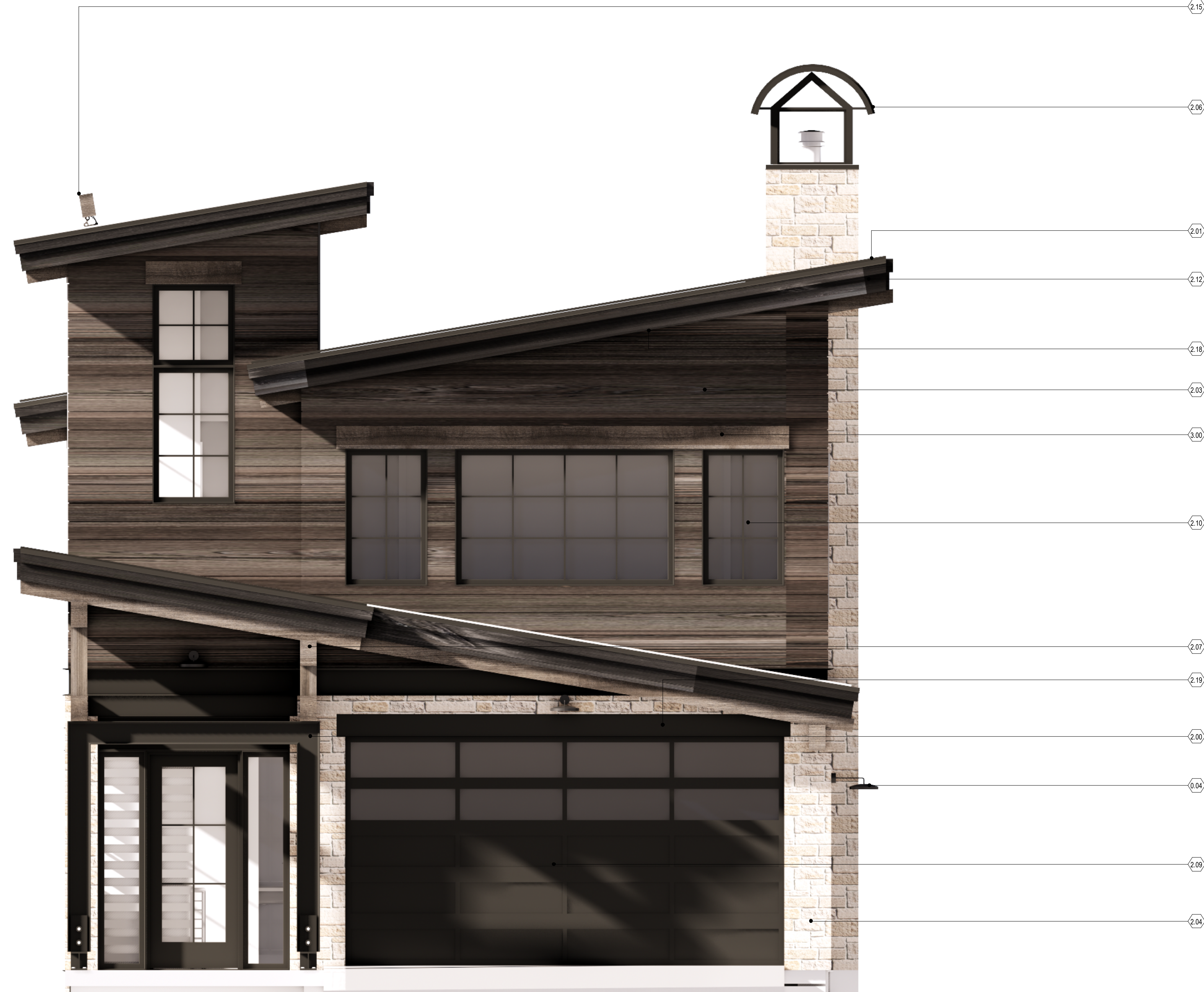
River Walk by Nassar Development LLC  
River Walk Owners Association (ROA)  
3000 Airport Drive  
Unit 203  
Erie, CO 80516  
303-775-5502  
[roa@riverwalkwp.com](mailto:roa@riverwalkwp.com)




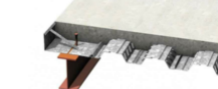
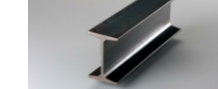
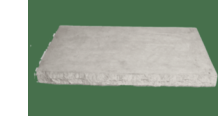


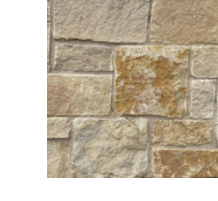







#### Narrative – 113 Apres Way – Lot 21

- A. Project Name – Lot 21
- B. Street Address – 113 Apres Way
- C. Name - River Walk by Nassar Development LLC  
Address – 3000 Airport Drive, Unit 203 Erie, Colorado 80516  
email and telephone number - [david@nassardevelopment.com](mailto:david@nassardevelopment.com) , 303-775-5502  
applicant - River Walk by Nassar Development LLC  
HOA - River Walk Owners Association (ROA)  
project manager – Zach Nassar  
architecture – ADAM CASIAS, Studio 1  
engineer – David Mitchell, Front Range Structural Engineering  
surveyor - CORE CONSULTANTS, LLC  
and land planner - River Walk by Nassar Development LLC
- D. Legal description - A REPLAT OF TRACT F-1, IDLEWILD MINOR SUBDIVISION A PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE 6TH P.M.TOWN OF WINTER PARK, COUNTY OF GRAND, STATE OF COLORADO
- E. Zoning district - R-2 (MULTIPLE FAMILY RESIDENTIAL)
- F. Lot size – 5221 SF
- G. All proposed uses – single family residence
- H. Number of dwelling units - 1
- I. Number of bedrooms per dwelling unit - 5
- J. Size of residential space – 4072 sf
- K. Number of proposed off-street parking spaces - 2
- L. Construction schedule indicating major milestones for project – Start Construction 09.01.2024



KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.04	EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
2.00	EXPOSED STEEL - W-BEAM SHAPE, PAINTED-CHARCOAL BLACK
2.01	STANDING SEAM METAL ROOFING - PATINA COPPER - TEE-PANEL, CLASS A ROOF ASSEMBLY
2.03	HORIZONTAL CEDAR WOOD SIDING - SEMI TRANSPARENT STAIN - WESTERN-CS-1 COLOR
2.04	THIN DEPTH NATURAL STONE VENEER - CHOCTAW-BROWN BLEND
2.06	DECORATIVE CHIMNEY SHROUD - STEEL PAINTED BLACK COLOR
2.07	HEAVY TIMBER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY-TONE
2.09	ALUMINUM CLAD-OVERHEAD GARAGE DOOR - TRANSLUCENT GLASS - BLACK COLOR
2.10	ALUMINUM CLAD WINDOWS AND DOORS, BLACK COLOR
2.12	CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY-TONE
2.15	HEAVY TIMBER - SNOW GUARDS
2.18	1X4 T&G VG HEMLOCK FIR SOFFIT - SEMI TRANSPARENT STAIN
2.19	MC CHANNEL HEADER - PAINTED BLACK PATINA
3.00	HEAVY TIMBER HEADER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY-TONE

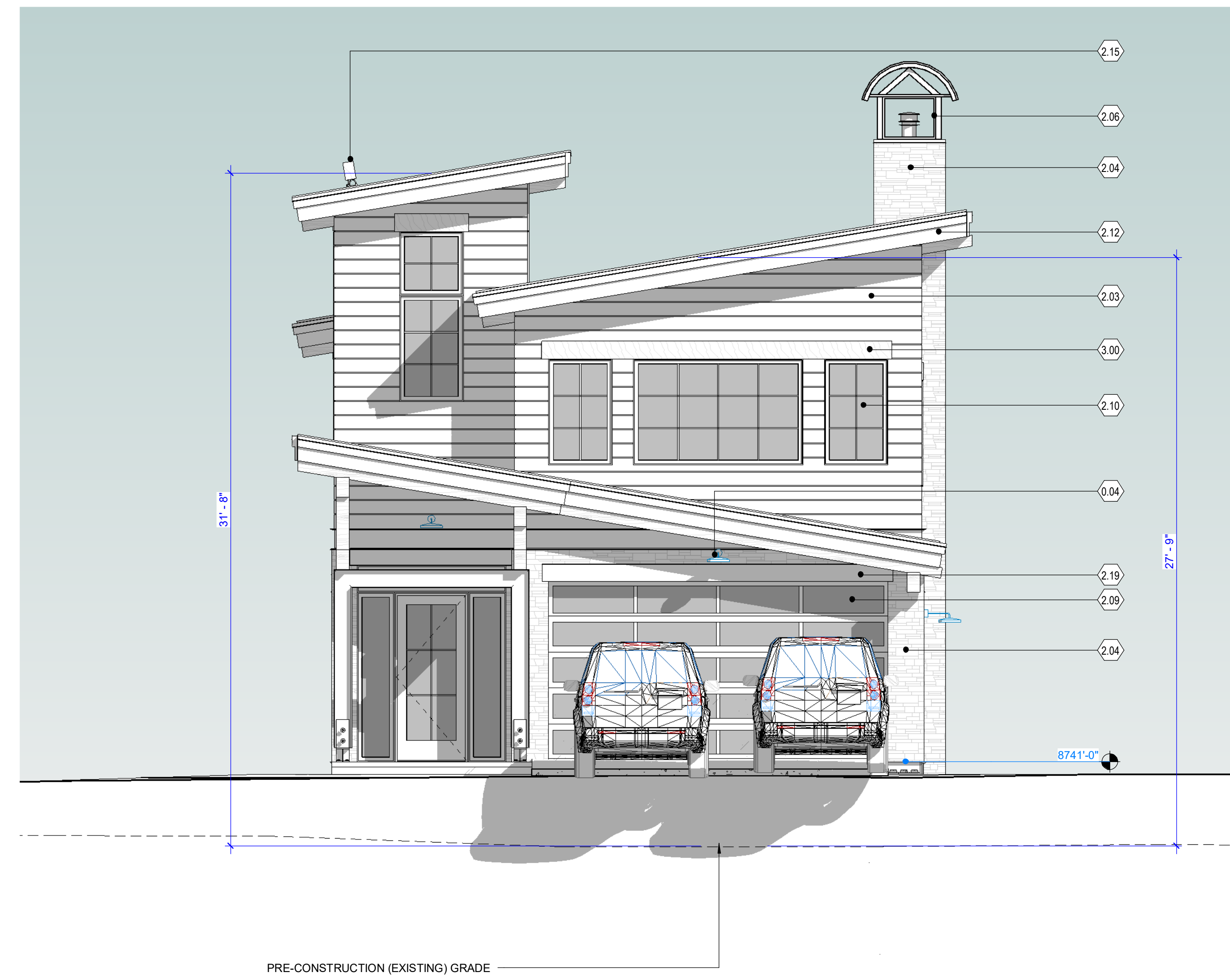


-  0.04 - EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
-  0.08 - METAL PANEL SYSTEM - PATINA FINISH
-  2.18 - 2X6 CEDAR WOOD SOFFIT - SEMI TRANSPARENT STAIN
-  1.09 - CONCRETE PAN DECKING - CONCRETE
-  2.05 - MC CHANNEL
-  1.16 - NATURAL STONE CAP
-  2.01 - STANDING SEAM METAL ROOFING - PATINA COPPER
-  2.03 - LAP SIDING - WESTERN-CS-1
-  2.04 - STONE VENEER - CHOCTAW-BROWN BLEND
-  2.07 - S4S HEAVY TIMBER - GREY SEMI-TRANSPARENT STAIN
-  2.10 - METAL CLAD WINDOWS/DOORS- METAL CLAD BLACK  
DUAL GLAZING U-0.28, SHGC-0.30  
CLAD WOOD CASING  
CONTINUOUS FOAM WEATHER STRIP ON FRAME
-  2.12 - CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN
-  2.14 - ARCHITECTURAL STEEL RAILING-PAINTED BLACK
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-  2.19 - STEEL HEADER
-  3.00 - HEAVY TIMBER HEADER

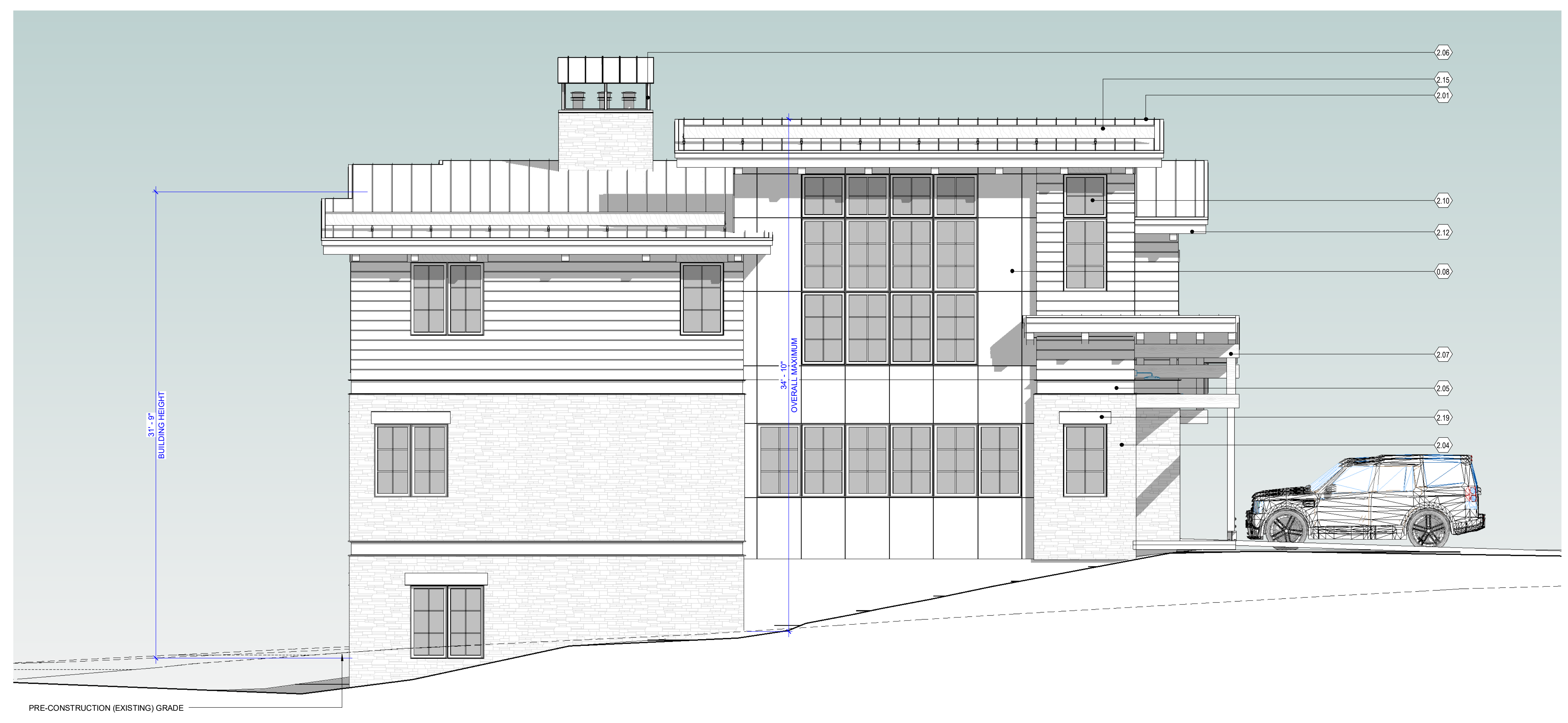
1 MATERIAL VIEW  
1/2" = 1'-0"

MATERIAL LEGEND





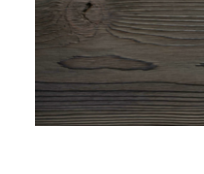


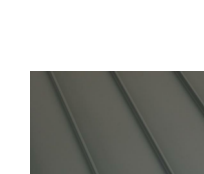
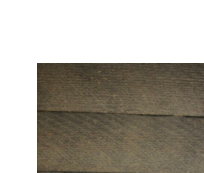
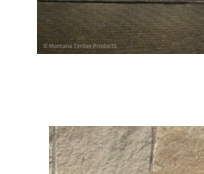



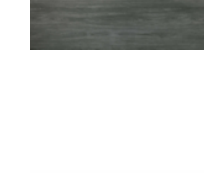



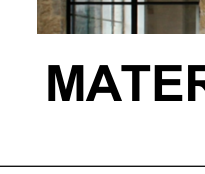


1 EAST ELEVATION  
1/4" = 1'-0"



2 SOUTH ELEVATION  
1/4" = 1'-0"

KEYNOTE LEGEND	
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2.06	DECORATIVE CHIMNEY SHROUD - STEEL PAINTED BLACK COLOR
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	3.00 - HEAVY TIMBER HEADER

MATERIAL LEGEND



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303.775.5502

**DENVER** zach@nassardevelopment.com  
303.775.8522

**ERIE** wes@nassardevelopment.com  
303.775.5523

Consultant

Issue/Revisions Date No.

Project Information

113 APRES WAY - LOT 21  
RIVERWALK  
WINTER PARK, COLORADO 80482

Sheet Information

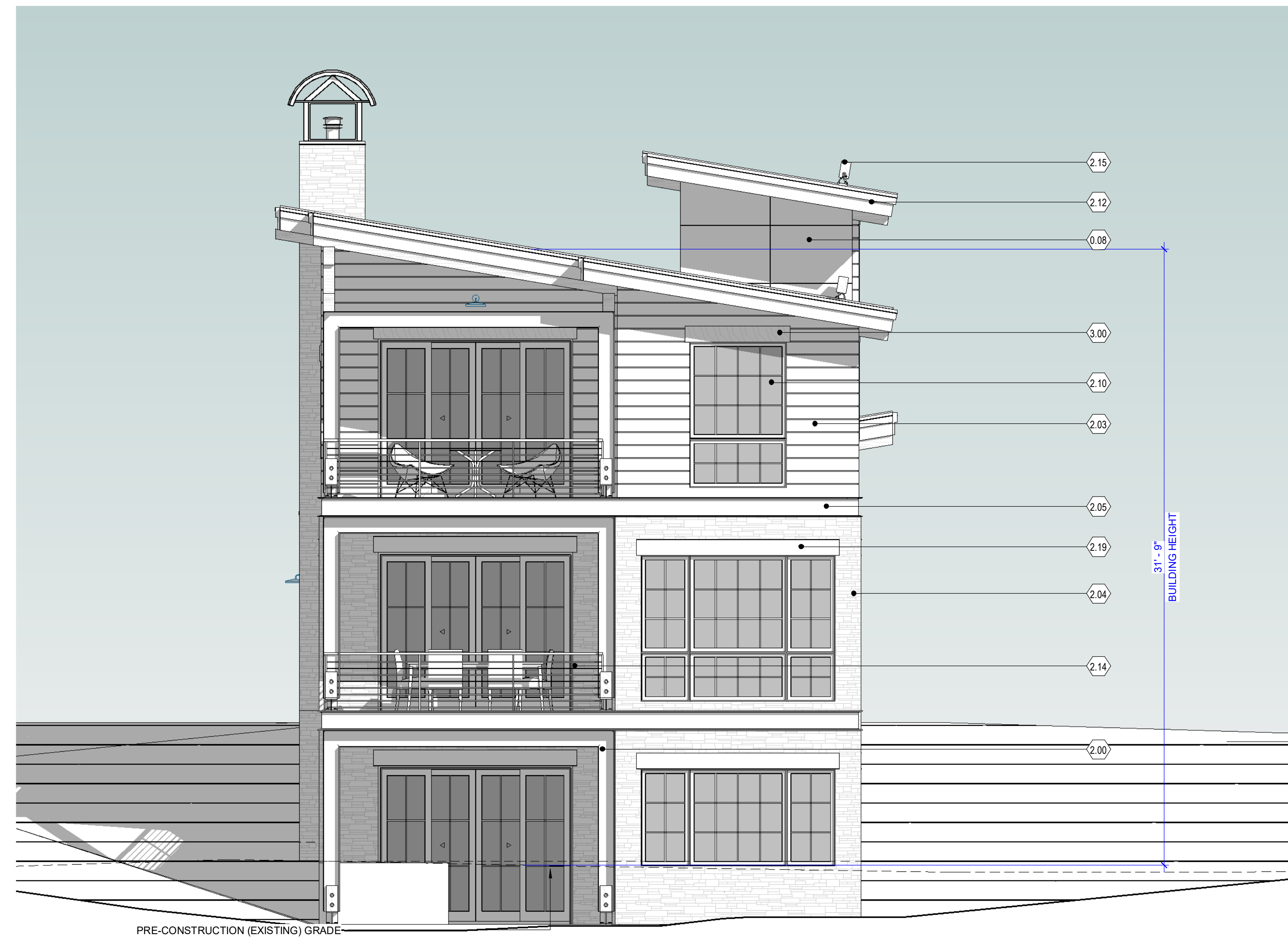
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MINOR SITE PLAN APPLICATION 2024.09.24  
Sheet Number:

A3.1

Nassar Project: 2024.037






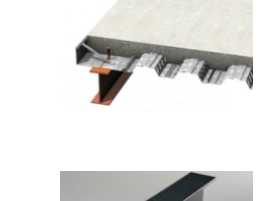
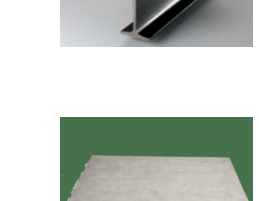
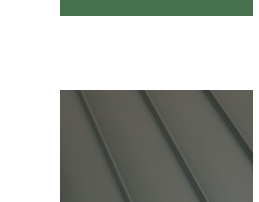
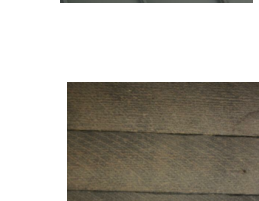
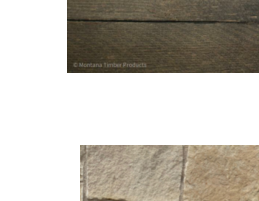



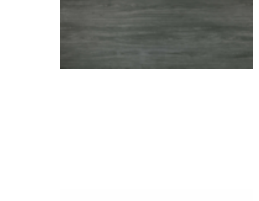



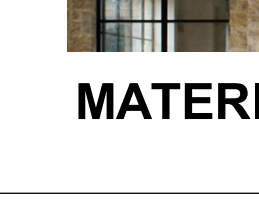


1 WEST ELEVATION  
1/4" = 1'-0"



2 NORTH ELEVATION  
1/4" = 1'-0"

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2.19	MC CHANNEL HEADER - PAINTED BLACK PATINA
3.00	HEAVY TIMBER HEADER - SEMI TRANSPARENT STAIN - LIGHT CHARCOAL GREY TONE

-  0.04 - EXTERIOR LIGHT FIXTURE, DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY
-  0.08 - METAL PANEL SYSTEM - PATINA FINISH
-  2.18 - 2X6 CEDAR WOOD SOFFIT - SEMI TRANSPARENT STAIN
-  1.09 - CONCRETE PAN DECKING - CONCRETE
-  2.05 - MC CHANNEL
-  1.16 - NATURAL STONE CAP
-  2.01 - STANDING SEAM METAL ROOFING - PATINA COPPER
-  2.03 - LAP SIDING - WESTERN-CS-1
-  2.04 - STONE VENEER - CHOCTAW-BROWN BLEND
-  2.07 - S4S HEAVY TIMBER - GREY SEMI-TRANSPARENT STAIN
-  2.10 - METAL CLAD WINDOWS/DOORS - METAL CLAD BLACK  
DUAL GLAZING U-0.28, SHGC-0.30  
CLAD WOOD CASING  
CONTINUOUS FOAM WEATHER STRIP ON FRAME
-  2.12 - CEDAR WOOD FASCIA - SEMI TRANSPARENT STAIN
-  2.14 - ARCHITECTURAL STEEL RAILING-PAINTED BLACK
-  2.15 - HEAVY TIMBER - SNOW GUARDS
-  2.19 - STEEL HEADER
-  3.00 - HEAVY TIMBER HEADER

**MATERIAL LEGEND**



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**Consultant**

**Issue/Revisions Date No.**

**Project Information**

**113 APRES WAY - LOT 21**  
RIVERWALK  
WINTER PARK, COLORADO 80482

**Sheet Information**

Sheet Title:  
**EXTERIOR ELEVATIONS**

MINOR SITE  
PLAN  
APPLICATION 2024.09.24  
Sheet Number:

**A3.2**

Nassar Project: 2024.037



KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
0.01	PROPOSED SINGLE FAMILY RESIDENCE
0.03	PROPOSED DRIVEWAY
0.06	PARKING AREAS FOR CONSTRUCTION WORKER'S VEHICLES
0.08	SNOW STORAGE AREAS
0.10	STORAGE AREAS FOR SOIL, CONSTRUCTION EQUIPMENT, AND OTHER MATERIALS
1.00	EGRESS WINDOW WELL



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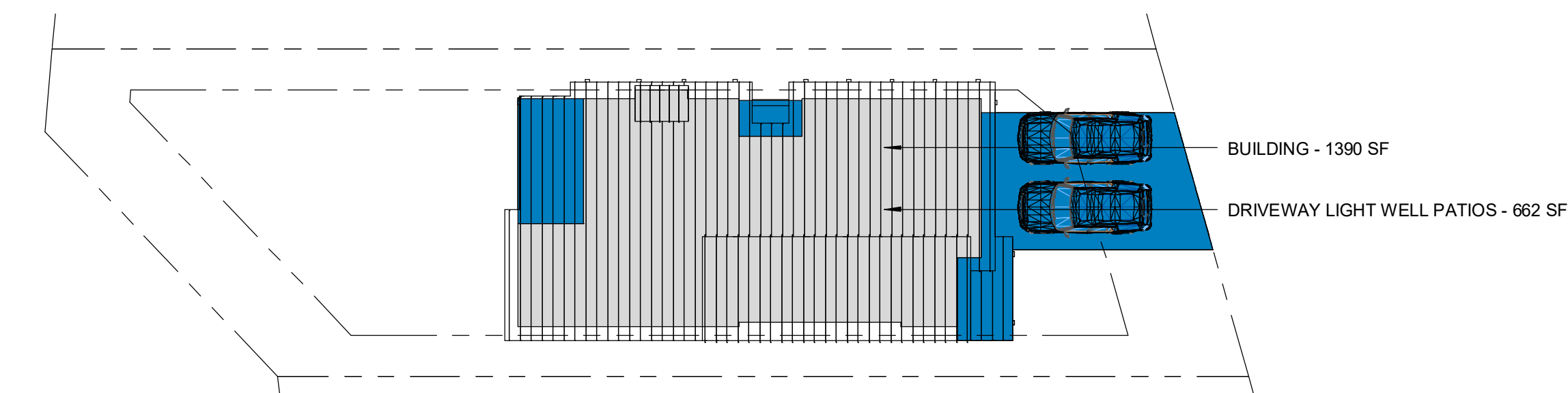
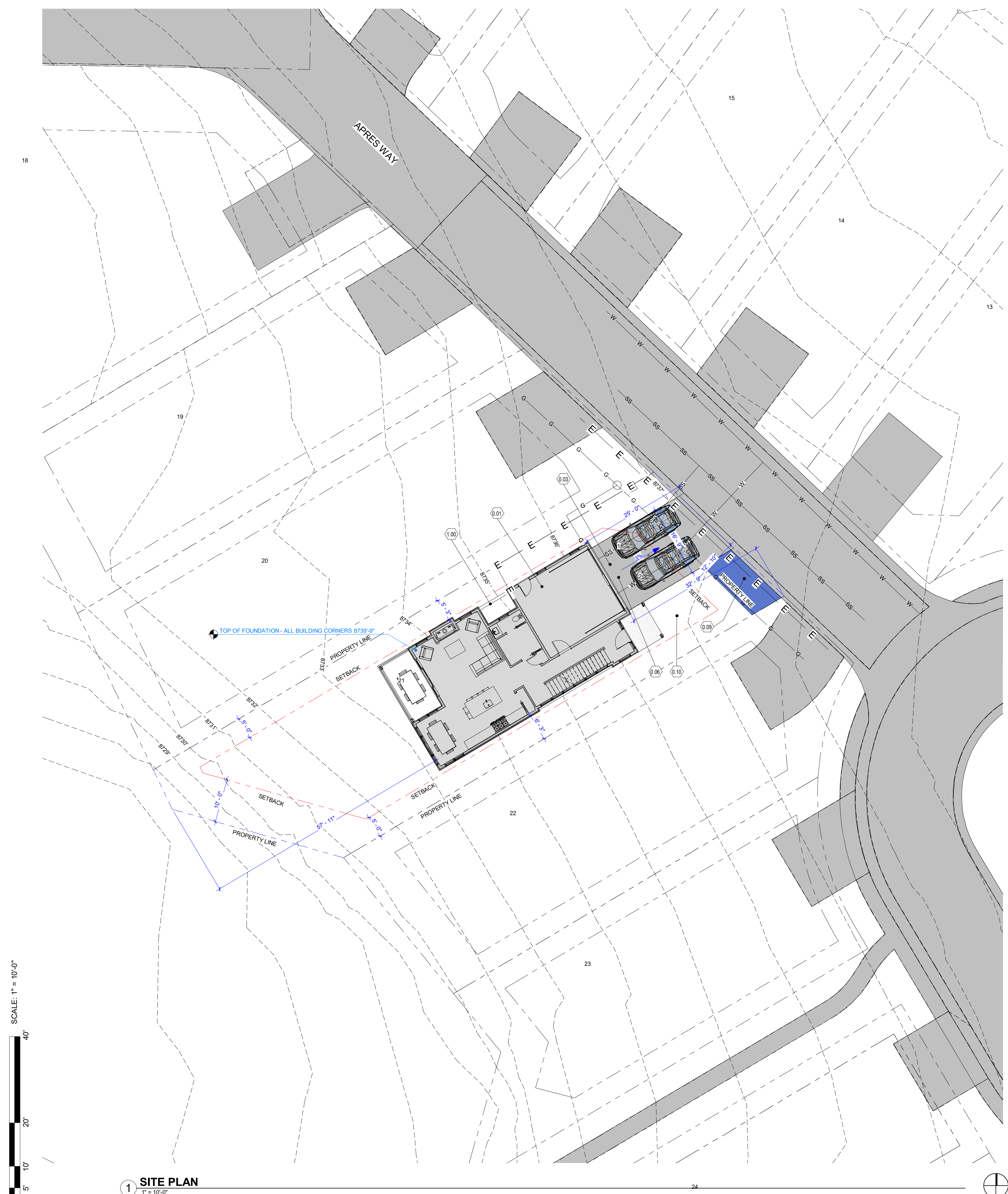
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- GENERAL SITE PLAN NOTES:**
- ALL DIMENSIONS TO FACE OF FOUNDATION WALL OR STRUCTURAL STRATA, UNLESS NOTED OTHERWISE.
  - VERIFY ALL SITE PARAMETERS: PROPERTY BOUNDARIES, EASEMENTS AND SETBACKS) PRIOR TO STAKING TO DEMOLITION AND CONSTRUCTION.
  - CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND TO ARRANGE PROPER DISCONTINUANCE AND/OR RELOCATION PRIOR TO DEMOLITION.
  - PROVIDE TREE AND SHRUB PROTECTION FOR EXISTING LANDSCAPING, ESPECIALLY FOR MATURE TREES MARKED TO BE SAVED.
  - PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING PERIMETER; 10% MINIMUM SLOPE FOR FIRST 10'. IT IS ESSENTIAL THAT SITE GRADING BE PROVIDED TO PREVENT INFILTRATION OF SURFACE WATER INTO THE FOUNDATION SYSTEM. REFER TO CIVIL DRAWINGS FOR GRADING AND DRAINAGE.
  - REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE, EXTERIOR LANDSCAPE LIGHTING AND IRRIGATION PLANS.
  - MECHANICALLY COMPACT ALL FILL AROUND THE BUILDING, INCLUDING THE BACKFILL. IMPROPER BACKFILL COMPACTION CAN CAUSE SETTLEMENT OF EXTERIOR SLABS SUCH AS WALKS, PATIOS AND DRIVEWAYS.
  - DISCHARGE ROOF DOWN SPOUTS AND ALL OTHER WATER COLLECTION SYSTEMS MINIMUM 5' BEYOND PERIMETER OF STRUCTURE. RE: CIVIL DRAWINGS FOR HARD-PIPED DRAINS. NO IRRIGATION WITHIN 5' OF THE FOUNDATION. AVOID HEAVY WATERING OF ANY FOUNDATION PLANTINGS.
  - PHOTOVOLTAIC SOLAR PANELS TO BE REVIEWED AND APPROVED UNDER SEPERATE PERMIT.
  - SITE WALLS UNDER SEPERATE PERMIT.

**Consultant**

**Issue/Revisions Date No.**

**Project Information**



2 LOT COVERAGE CALCS  
1/16" = 1'-0"

LOT COVERAGE	
BUILDING COVERAGE	2052 SF
TOTAL LOT AREA	5221 SF
TOTAL LOT COVERAGE	2052 / 5221 = 40%

SNOW STORAGE TABLE				
LOT	LANDSCAPE AREA	CONCRETE DRIVEWAY AREA	SNOW STORAGE AREA REQUIRED	SNOW STORAGE PROVIDED
LOT 21 - 5221 SF	3163 SF	437 SF	109 SF	125 SF

- GENERAL PROTECTION NOTES:**
- NO DISTURBANCE, GRADING, OR REMOVAL OF SIGNIFICANT NATURAL FEATURES AND VEGETATION WILL OCCUR BEYOND THE "LIMIT OF DISTURBANCE" LINE, AS SHOWN ON THIS PLAN.
  - THE "LIMIT OF DISTURBANCE" LINE SHALL BE DELINEATED PRIOR TO CONSTRUCTION WITH FLAGS, ROPING, FOUR FOOT (4') TALL ORANGE CONSTRUCTION FENCING, OR OTHER ACCEPTABLE MEANS.
  - THERE IS NO TREE REMOVAL ON ENTIRE SITE. NO PROTECTION PLAN IS NEEDED.
  - ANY DISTURBED AREAS ON THE SITE SHALL BE REVEGETATED WITH THE SEED MIX RECOMMENDED BY THE GRAND COUNTY NATURAL RESOURCE CONSERVATION SERVICE, WHICH MIX COMPOSITION IS DESCRIBED IN SECTION 7.4 OF THE STANDARDS AND SPECIFICATIONS FOR DESIGN AND CONSTRUCTION.

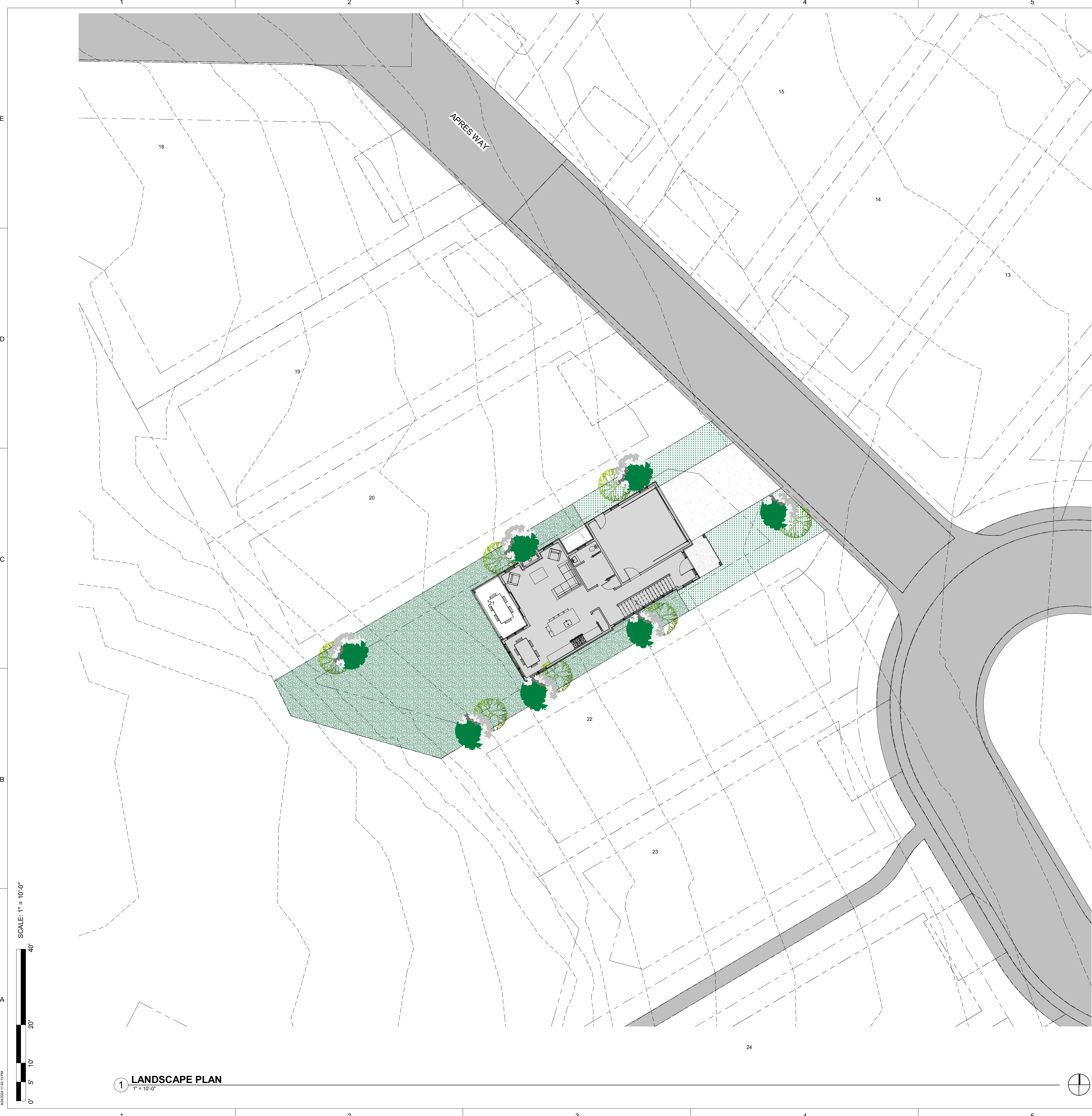
**113 APRES WAY - LOT 21**  
RIVERWALK  
WINTER PARK, COLORADO 80482

**Sheet Information**  
Sheet Title:  
**SITE PLAN**

MINOR SITE PLAN APPLICATION 2024.09.24  
Sheet Number:

**A1.0**  
Nassar Project: 2024.037





KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT

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  - SITE WALLS UNDER SEPERATE PERMIT.

LEGEND	
CONCRETE	
LAWN - 4" POP-UP SPRAY IRRIGATION	
HIGH ALTITUDE SHORT GRASSES	
45% POA ALPINA (ALPINE BLUEGRASS)	
45% FESTUCA SAXIMONTANA (ROCKY MT FESCUE)	
5% KOELERIA MACRANTHA (JUNEGRASS)	
5% TRISTETUM SPICATUM (MARMOTGRASS)	
REDOSIER DOGWOOD - CORNUS SERICEA - 31 SHRUBS	
ASPEN - DISAMBIGUATION - 7 TREES	
COLORADO BLUE SPRUCE - 7 TREES	

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**Project Information**

**113 APRES WAY - LOT 21**  
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WINTER PARK, COLORADO 80482

**Sheet Information**

**Sheet Title:**  
LANDSCAPE PLAN

MINOR SITE  
PLAN  
APPLICATION 2024.09.24  
Sheet Number:

**L-1**

Nassar Project: 2024.037

SCALE: 1" = 10'-0"  
0' 5' 10' 20' 40'

**1 LANDSCAPE PLAN**  
1" = 10'-0"