

TOWN OF WINTER PARK PLANNING COMMISSION Tuesday, September 9, 2025 8:00 AM

AGENDA

- I. Call to Order
- II. Roll Call of Commission Members

III. Public Comment

This time is reserved for anyone from the public to speak about items not on the agenda. The Planning Commission is not prepared to decide on matters brought up during this time, but if warranted, will place them on a future agenda.

IV. Conflict of Interest

- V. Consent Agenda:
 - a. Minutes August 26, 2025
 - b. Minor Site Plan 487 Leland Creek Way (PLN25-077)
 - c. Minor Site Plan 70 Cub Creek Way (PLN25-079)
- VI. General Business:
- VII. **Director's Report:**

VIII. Planning Commission Items of Discussion

This time is reserved for Commission discussion items that are not listed on the agenda.

Online Meeting Login Instructions - See next page

Computer Login Instructions

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Passcode: 20252026

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- +1 719 359 4580 US
- +1 669 444 9171 US
- +1 669 900 6833 US (San Jose)
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- +1 253 215 8782 US (Tacoma)
- +1 346 248 7799 US (Houston)
- +1 929 436 2866 US (New York)
- +1 301 715 8592 US (Washington DC)
- +1 305 224 1968 US
- +1 309 205 3325 US
- +1 312 626 6799 US (Chicago)
- +1 360 209 5623 US
- +1 386 347 5053 US
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Webinar ID: 862 0555 9892

Passcode: 20252026

International numbers available: https://us02web.zoom.us/u/kdr9la1HH0

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TOWN OF WINTER PARK PLANNING COMMISSION Tuesday, August 26, 2025 8:00 AM

MINUTES

DATE: Tuesday, August 26, 2025.

MEETING: Winter Park Planning Commission

PLACE: Town Hall Council Chambers and Zoom Meeting Call

PRESENT: Chair Dave Barker, Vice Chair Doug Robbins, Commissioners Shawn Cullingford

(online), Dale McCaw, Thomas McDonald (online), Justin Bontrager and Eric Mowrey are present. Also present are Community Development Director James Shockey, Senior Town Planner Brian Kelly, Town Planner II Adam Springer

(virtual) and Town Attorney Kunal Parikh (online).

I. Call to Order

Chair Barker calls the meeting to order at 8:03 a.m.

II. Roll Call of Commission Members

All Commissioners are present today.

III. Public Comment

No one comes forward.

IV. Conflict of Interest

No one comes forward.

V. Consent Agenda:

- a. Minutes August 12, 2025
- b. Minor Site Plan 288 Bridger Trail (PLN25-071)
- c. Minor Site Plan 148 Beaver Lodge (PLN25-072)

Commissioner Robbins moves to approve the consent agenda with Staff comments. Commissioner Mowrey seconds. The consent agenda is approved 7, 0.

VI. General Business:

None presented

VII. **Director's Report:**

Director Shockey informs the Commissioners about an upcoming joint workshop with Town Council.

The Staff has been working on establishing a policy regarding construction hours by contacting

other jurisdictions and getting feedback from them.

The Town Council is working on putting together Affordable Housing special regulations and considerations. Director Shockey will send a calendar invite to the Commissioners.

Regarding the Sign Code update, there is a brief conversation about electronic message display for new and existing signs around Town. The Staff would like to receive comments from the Commissioners regarding this topic so they can send the information to the business community. Planner Kelly expects to have a final document by October to be approved in November.

Planner Springer gives an update to the Commissioners about building height and the conversations that have been taking place with surveyors and developers. He expects to have an update in the upcoming days.

Finally, the Commissioners are informed about the Public Notice already posted for a height variance. There is a brief conversation about how this Variance, if granted, might not be in compliance with the upcoming update to building height measurement (UDC\3-A-7(E)).

VIII. Planning Commission Items of Discussion

There being no further business to discuss, Commissioner Robbins makes motion to adjourn, Commissioner McCaw seconds motion, by unanimous "aye", the meeting is adjourned at 8:10 a.m.

The next scheduled meeting of the Planning Commission will be Tuesday, September 9, 2025, at 8:00 a.m.

Irene Kilburn, Building and Planning Technician II





TO Planning Commission

FROM Brian P. Kelly, Senior Planner

THROUGH James Shockey, AICP, Community Development Director

DATE September 9, 2025

Minor Site Plan - 487 Leland Creek Way - Lot 26, Leland Creek Subdivision -RE

Wymore/Lowery Residence (PLN25-077)

Property Owner: Erica Wymore and Christopher Lowery

Applicant: Jill Swent, Steffen Builders West, Inc.

Location: 487 Leland Creek Way - Lot 26, Leland Creek (the "Property")

Zoning:

R-1 (Single Family Residential)

<u>Authority</u>:
Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Director considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park. Pursuant to § 5-E-1(A)(3) of the UDC, Minor Site Plan approval is required before building permit issuance.

Variances:

N/A: No Board of Adjustment (BOA) variance requests were proposed with this application.

Architecture:

The applicant proposes one (1) new single-family detached dwelling unit (SFD) on a vacant lot of approximately 1.13 acres. The proposed SFD is 6,189 square feet (SF), has three (3) conforming bedrooms, two (2) non-conforming "Bunk Rooms", five (5) full baths, one (1) half-bath and demonstrates five (5) off street parking spaces. The structure has an attached two-car garage (two parking spaces) with an additional garage storage area attached to the main garage. The SFD has a cross-gable roofing type with a modern mountain architecture that includes wood siding, asphalt shingle and metal roofing, and stone cladding. The entry to the house faces Leland Creek Way (a cul-de-sac) and is generally facing north. The total building coverage is approximately 5.641 SF. The lot is approximately 49,213 SF or 1.13 AC. The structure covers approximately 18% of the lot.

Title Commitment (Item 5):

Unsatisfactory. Included with the application. Dated May 4, 2021.

Before Building Permit application, submit a Title Commitment Letter dated within six (6)



months of the application submittal.

Homeowners Association Review (Item 6):

See Attached Letter. Leland Creek Design Review Committee provided a letter of approval with conditions dated February 24, 2025.

- ➤ **At building permit,** confirm submitted plans comply with the Leland Creek Subdivision Design Guidelines as noted below:
 - o The triangular windows will not be considered please revise
 - Lighting locations and specifications are not included
 - Utility meters shall be located on the structure and screened from view. Ensure design meets the requirements of MPEI and Xcel Energy
 - Materials:
 - Railings design, materials and colors
 - Windows SDLs required. Wood Aluminum clad required
 - Posts for decks require stone bases on all posts. Scale of the posts and the base are critical to the appearance of the decks
 - Fascia 2x12 dimensional lumber preferred
 - Soffits dimensional natural wood required (Fiber cement siding material "Hardie" will not be allowed on soffits)
 - Exterior wall vertical and horizontal siding. Unbroken wall plans will not be allowed to have a vertical material transition. See crude redline, we suggest board and bat siding where vertical redlines are drawn so material on a wall plane is consistent.
 - Stone shall be natural stone veneer. No faux stone will be allowed.

Accessory Dwelling Unit (ADU):

N/A. No ADU is proposed.

PROJECT DRAWINGS (Item 8)

Partially Satisfactory. The submitted drawings do not provide all the required minimal information that determines the development project is compliant with the UDC. The applicant will revise and resubmit drawings as requested below:

Construction Plans (Item 8B):

Partially Satisfactory.

Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:

The Construction Plans demonstrate general location of the limits of disturbance (LOD). Location of all perimeter control devices or any use of silt fencing is provided. Soil stockpile location is indicated; Off-site soil removal and/or storage may be necessary.

- At building permit, submit revised plans to include all best management practices (BMP) for construction site stabilization, staging, stockpiles, and any tree protection. Provide details of installation of erosion control devices.
 - Plans must show all areas of disturbance for any construction activity including appropriate movement clearances of construction vehicles and machinery.
 - o Plans must show details (plan and profile) of erosion control measures (ECM) to



be installed for contractors understanding and inspection sign-off.

Site Plan (Item 8C):

Partially Satisfactory. Per Item number 8 of the Minor Site Plan Application, please ensure all drawing packet pages shall be ARCH D (24" x 36"). The following items meet or need revision to comply with the requirements as listed on the Minor Site Plan Application:

Building Coverage:

Satisfactory. The proposed SFD development covers approximately 9,210 SF of the lot, utilizing approximately 18.7% of the total lot size (1.13 AC). Per the UDC Sec. 3-A-3 and Table 3-A-3, the maximum allowable building coverage in the R-1 zoning district is 40 percent. The proposed development type meets this requirement.

Driveway:

Unsatisfactory. The proposed driveway is a minimum of approximately 273 FT in length and approximately 12FT in width and more than approximately 10 FT from the nearest side property line. The slope of the driveway does not exceed 10% and demonstrates a proper 5% initial approach from Leland Creek Way Right-of-Way (ROW). However, the first twenty-four (24) FT shall not exceed 5%, of which this grade only extends approximately twenty (20) FT. Additionally, there should be a transition zone of ten (10) FT from a 5 % grade to a 10% grade. Driveways greater than two hundred (200) FT in length must provide a turnaround. The proposed driveway does not meet the requirements of the Town of Winter Park Standards and Specifications for Design and Construction.

At building permit, submit driveway and access plans designed to be constructed meeting the SSDC Chapter 4 Driveway Design Standards, §4.4 Alignment.

Limit of Disturbance:

Satisfactory. The plans show the entire area of proposed disturbance. Per Chapter 2.1.5 of the SSDC, Limits of Disturbance should be shown on either the grading and drainage plans or the site plan along with existing and proposed contours for the subject lot.

Setbacks:

Satisfactory. The proposed development appears to comply with the setback requirements for the R-1 zoning district. However, an Improvement Location Certificate (ILC) will be required to verify distances do not encroach the setbacks or exceed beyond the required setbacks as determined by the UDC.

➤ An Improvement Location Certificate (ILC) and a Setback and Elevation Certificate completed by a licensed Colorado Surveyor shall be required for all new foundations within the Town of Winter Park (R106.3.1.2 Survey Requirements) prior to underground plumbing inspection.

Snow Storage:

Satisfactory. The site plan indicates 1,303 SF of snow storage is provided. The proposed hardscape that includes uncovered walkways, patios, and driveways is calculated by staff to be approximately 5,177 SF requiring 25% or 1,294 SF of snow storage. UDC 3-H-5



requires that a minimum of 25% of all driving surfaces, including gravel shoulders, parking areas, and pedestrian walkways is designated for snow storage. This requirement is met.

Building Elevations (Item 8D):

Satisfactory. The proposed residential dwelling features primarily gable roof forms. The proposed dwelling aligns with the requirements of the Town of Winter Park Design Guidelines (the "Guidelines") and is consistent with architectural design in the neighborhood.

Building Height:

Satisfactory. The proposed maximum height is approximately 39 FT 11 IN as measured from the lowest point of exposed foundation or the existing grade, whichever is more restrictive. The maximum height permitted is 35 feet to the midpoint of the pitched roof. The height does not exceed the maximum 42-foot height requirement of a SFD, as measured per the UDC § 3-A-7(E.1).

Material and Color:

Satisfactory. The elevations feature natural materials of gray stone veneer, dark bronze or black metal, and stained wood of mahogany and "dark espresso". Roofing materials are mainly asphalt shingle in black color and some standing seam metal in dark bronze. Primary materials are consistent with residential development in this area.

Outdoor Lighting:

Satisfactory. Nineteen (19) exterior light fixtures are proposed. Photometric plans are not required for single-family homes. The lighting specification sheet indicates that each fixture meets the requirements for outdoor lighting (UDC Sec. 3-K-3 General Requirements). Specifically, each fixture delivers 202 lumens for a total of 3,838 lumens, which does not exceed the 5,100-lumen requirement for SFR's. Additionally, each fixture does not exceed 3000 K Correlated Color Temperature (CCT). The proposed light fixture specification sheet does not specifically indicate a dark sky compliant fixture. Web URL: https://www.fxl.com provide more details and certifies IDA compliance.

> At the time of building permit submittal, the Applicant shall provide evidence that the proposed lighting meets IDA standards.

Floorplans (Item 8E):

Satisfactory. The floor plan includes all required information, such as square footage and proper notes. It is consistent with the provided renderings and elevations.

Landscaping (Item 8F):

Satisfactory. This property shall be landscaped in compliance with the UDC Article 3-I *Landscaping, Buffering, and Screening*. R-1 zoning districts abutting R-1 zoning districts are required to provide a Type B bufferyard, as referenced in Table 3-I-5-2, District Bufferyard Standards. The landscape must follow Leland Creek DRC Requirements.



A landscape plan is required to include an acceptable scale, quantity of plant materials, common and scientific name conventions, existing and proposed landscaping, existing and proposed hardscaping, and design of drainage if applicable.

- > **NOTE:** Landscape requirements must meet the Leland Creek Development Review Committee standards. Greater bufferyard requirements are permitted
- > **NOTE:** Per UDC§3-I-8(G) *Irrigation:*
 - No automated irrigation system shall be installed unless authorized by a permit based on irrigation plans approved by the Director, or an appointee.
 - Xeriscaping is encouraged in lieu of traditional landscaping. Irrigation requirements set out in this Section may be waived per the Director in favor of xeriscaping.
- > At time of final inspection, the landscape material installed must demonstrate the minimum requirements of the Type B bufferyard or Leland Creek DRC whichever is greater.

Parking:

Satisfactory. The floor plan proposes two (2) off-street parking spaces provided within the attached garage, as seen in UDC § 3-H-3 *Required Parking*, two (2) parking spaces are required per SFD. The proposed parking exceeds this requirement

Utility Review:

N/A

Wetlands:

N/A

Inspection:

Building Division staff have not performed a Pre-Disturbance inspection of the property.

> No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Staff Recommendation:

Approve the Minor Site Plan at this time with the following six (6) conditions expected **At Building Permit**:

- 1. Submit a Title Commitment Letter dated within six (6) months of the application submittal.
- 2. Submit plans to comply with the conditions of Leland Creek Subdivision Design Guidelines as noted in the Approval Letter.
- Submit revised Construction Plans to include all best management practices (BMP) for construction site stabilization, staging, stockpiles, and any tree protection. Provide details of installation of BMP.
- 4. Submit driveway and access plans designed to be constructed meeting the SSDC Chapter 4 Driveway Design Standards, §4.4 Alignment.
- 5. Submit a tree protection detail with the landscape plan, if applicable.



6. Provide evidence that the proposed lighting meets IDA standards.

Standard Conditions

- 7. If required by the Town Engineer, applicant shall revise erosion control, drainage, and grading plans to address the comments.
- 8. Retaining wall design shall be signed and sealed by a Colorado Professional Engineer, architect or landscape architect for all retained heights. Calculations shall be submitted for all retaining wall heights over 4 feet in height and a separate Building Permit application is required.
- 9. An Improvement Location Certificate (ILC) and a Setback and Elevation Certificate completed by a licensed Colorado Surveyor shall be required for all new foundations within the Town of Winter Park (R106.3.1.2 Survey Requirements) prior to underground plumbing inspection.
- 10. No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site, including tree protection.
- 11. Final landscape installation must demonstrate the minimum requirements of the Type B bufferyard or Leland Creek DRC whichever is greater. Automatic irrigation must be removed or disconnected after an establishment period of 2 growing seasons.

Required Permits:

- √ Building Permit
- √ Driveway Permit
- √ SFD/Duplex Deposit Agreement

NARRATIVE

A. The Wymore/Lowery Residence

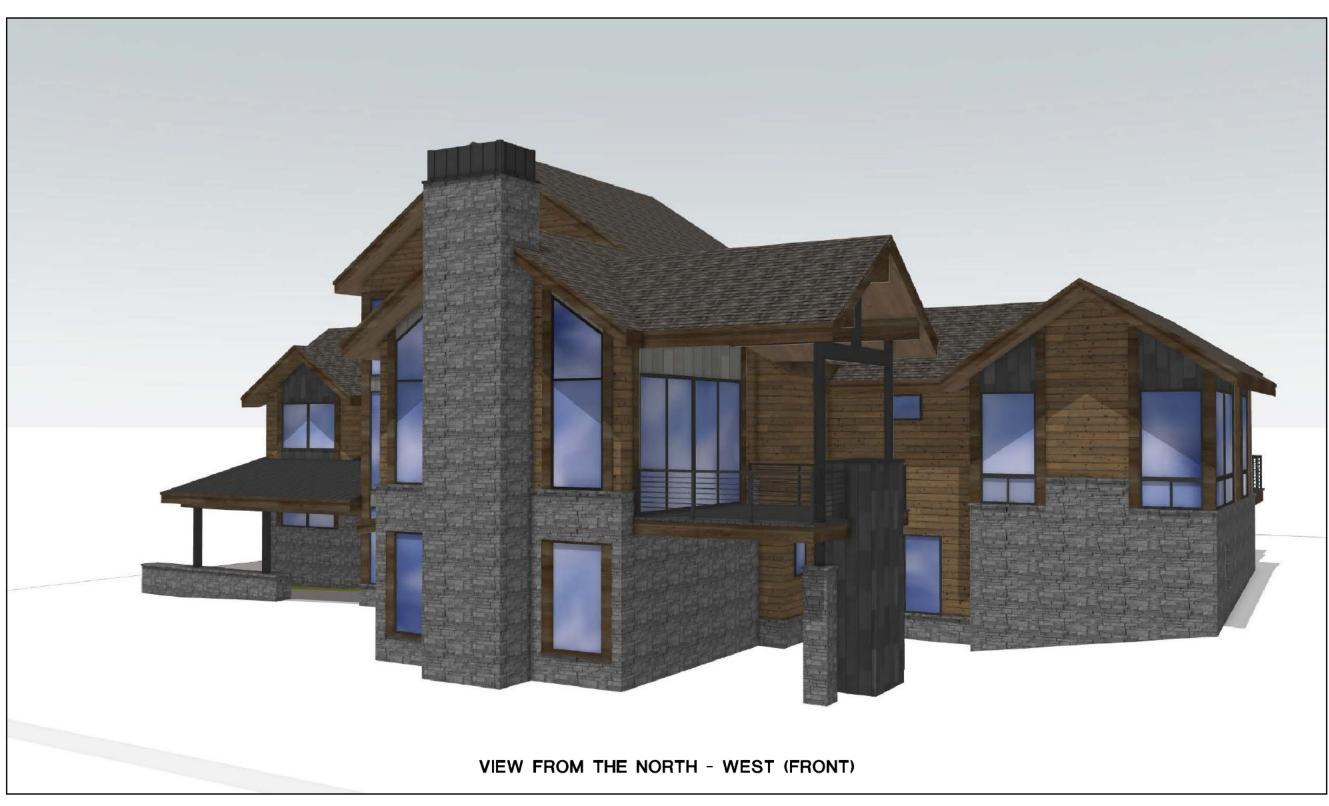
487 Leland Creek Way, Owners:	Winter Park, CO 80482 Christopher Lowery & Erica Wymore
Applicant:	Jill Swent, Steffen Builders West, Inc.
HOA:	N/A
Project Manager:	Matt Stefanski, Steffen Builders West, Inc.
Architect:	Scott Adams
Engineer:	Fulcrum Structural
Surveyor:	Mike Kervin
Land Planner:	Scott Adams

- D. Leland Creek, Lot 26
- E. Residential R-1
- F. 49223 sq ft, 1.13 acres
- G. Single Family Residence
- H. One single family dwelling
- I. 5 Bedrooms
- J. 6189 sq ft
- K. Off street parking spaces provided in residence driveway
- L. Construction schedule to be finalized after building permit is issued.











JAMES HARDIE FIBER CEMENT WOODTONE LAP SIDING "DARK ESPRESSO"



LOON LAKE DRY STACK NATURAL THIN-STONE VENEER



ASPHALT SHINGLES "BLACK"



STANDING SEAM METAL ROOFING "DARK BRONZE"



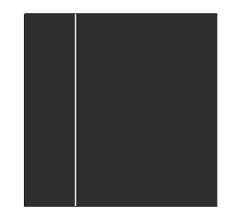
CMG BONDERIZED METAL PANELS
"UNPAINTED"



1x4 TONGUE AND GROOVE STAINED WOOD SOFFITS "DARK ESPRESSO"



STAINED WOOD **FASCIAS AND** TRIM "MAHOGANY"



RAILINGS AND EXPOSED STRUCTURAL STEEL MEMBERS "BLACK"



METAL CLAD WINDOWS
"DARK BRONZE"

SHEET



ARCHITECT SCOTT ADAMS ARCHITECT 2460 W 29TH AVE UNIT 104 DENVER, CO 80211 303 746 7354

ENGINEER FULCRUM STRUCTURAL P.O. BOX 811 GRANBY, CO 80446 575 650 9368

CONTRACTOR STEFFEN **BUILDERS WEST** PO BOX 1575 WINTER PARK, CO 970 531 0060

The Architect and his consultants do not warrant or guarantee the accuracy and completeness of the work product herein beyond a reasonable diligence. If any mistakes, omissions or discrepancies are found to exist within the work product, the Architect shall be promptly notified so that he may have the opportunity to take whatever steps necessary to resolve them. Failure to promptly notify the Architect of such conditions shall absolve the Architect from any responsibility for the consequences of such discrepancies. Actions

taken without the knowledge and consent of the Architect or in contradiction to the Architects work product or recommendations, shall become the responsibility not of the Architect, but of the parties responsible for taking such action.

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NOT FOR CONSTRUCTION

DRAWING

EXTERIOR RENDERINGS AND MATEIRAL

MINOR SITE

PLAN

07-07-2025









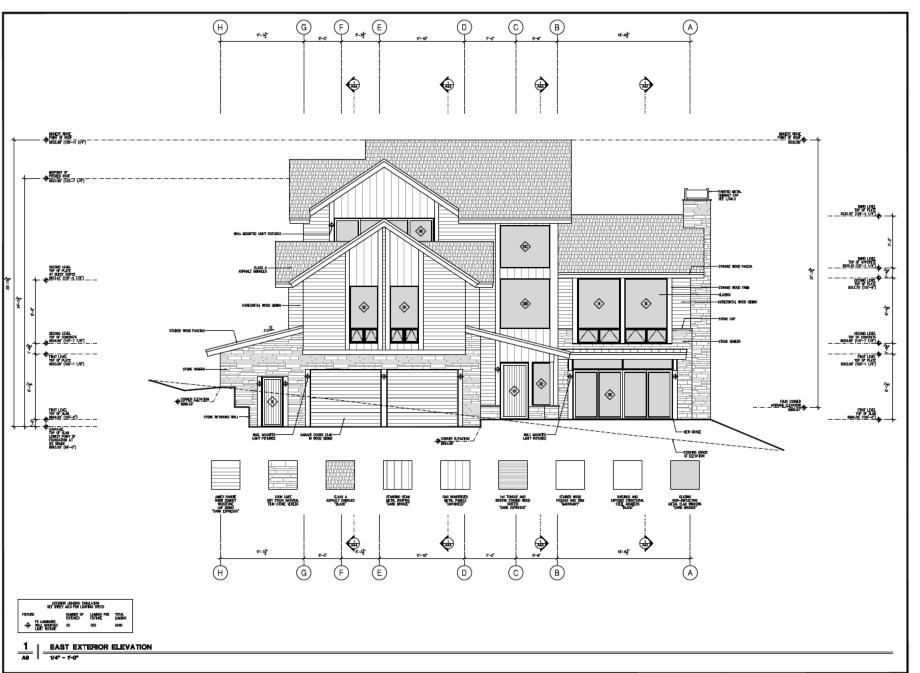




NOT FOR CONSTRUCTION

NORTH BURNER ELEVATION

FINAL DESIGN REVIEW 07-09-2025



PROJECT
LOWERY WYMORE
REMODINGE
467 LELAND CREEK CIR.
WINTER PARK, CO.
50482

ARCHITECT SCOTT ADAMS ARCHITECT 9460 W 36TH AVE UNIT 104 EXEMPT, 00 506H 306 746 7384

ENGINEER FULCRUM STRUCTURM. P.O. BOX 611 GRANEY, CO 20040 675 650 9006

CONTRACTOR STEPPEN BULDERS WEST PO BOX 1575 WINTER PARK, CO 970 521 0080

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EXTERIOR ELEVATION BURNEY

FINAL DESIGN REVIEW 07-08-2025







ENGINEER FULCHUM STRUCTURAL P.O. BOX 611 GRANEY, 00 80446 675 660 9998

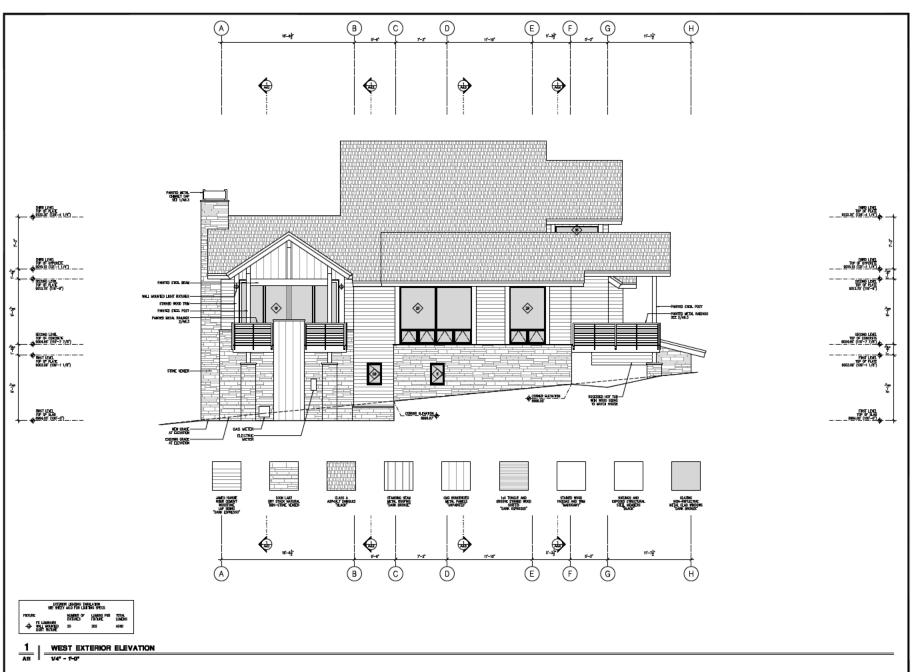
CONTRACTOR STEPPIN BULDING WEST PO BOX 1576 WHITER PARK, CO 970 521 0080



NOT FOR CONSTRUCTION

SOUTH BUILDING BUILDING SUITENION BUILDING ELEVATION

FINAL DESIGN REVIEW 07-09-2025









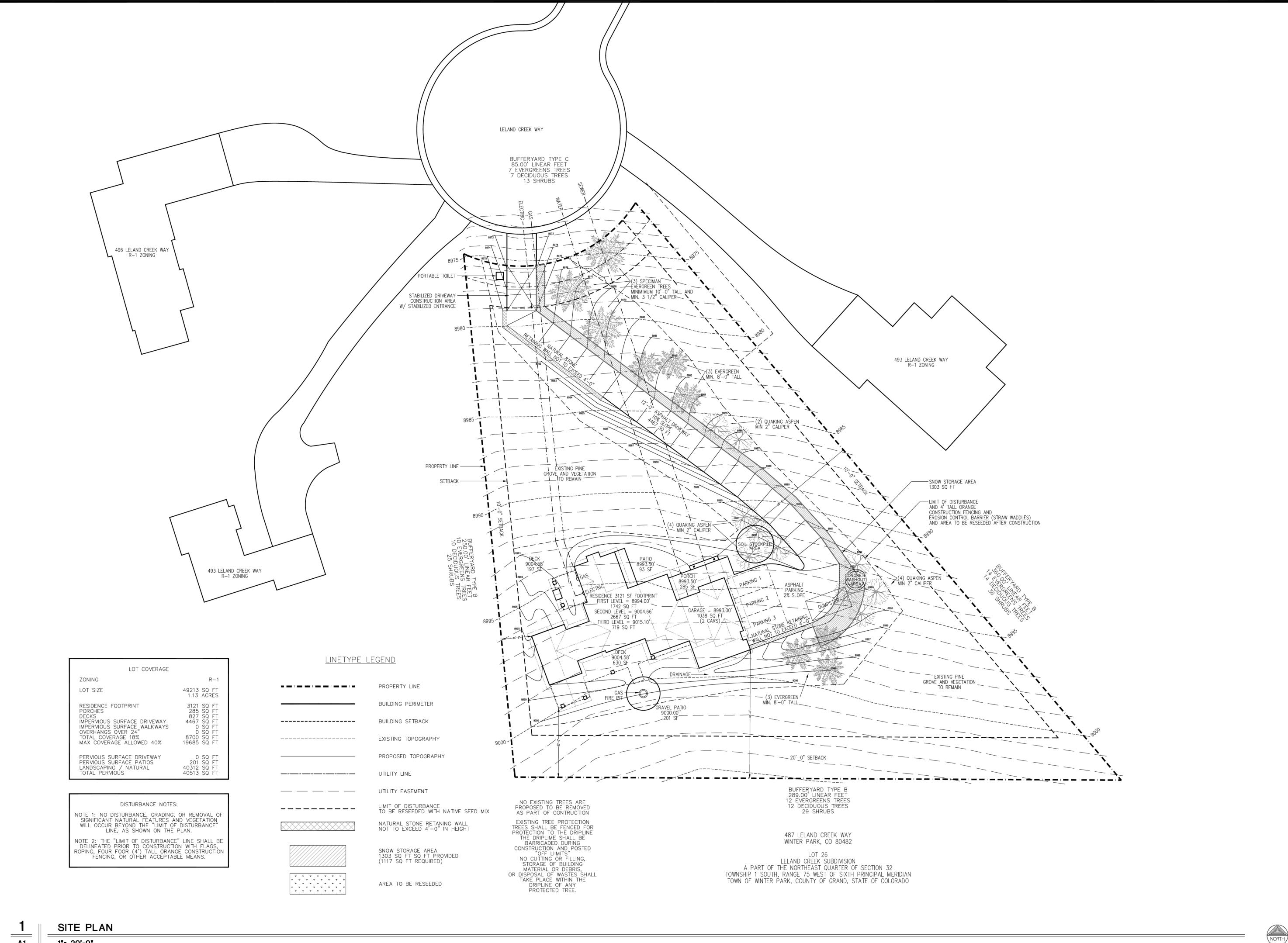




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WEST BURNELEYATION MANA

FINAL DESIGN REVIEW 07-09-2025



PROJECT LOWERY WYMORE RESIDENCE 487 LELAND CREEK CIR WINTER PARK, CO 80482

ARCHITECT SCOTT ADAMS **ARCHITECT** 2460 W 29TH AVE UNIT 104 DENVER, CO 80211 303 746 7354

ENGINEER FULCRUM STRUCTURAL P.O. BOX 811 GRANBY, CO 80446 575 650 9368

CONTRACTOR STEFFEN **BUILDERS WEST** PO BOX 1575 WINTER PARK, CO 970 531 0060

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knowledge and consent of the Architect or in contradiction to the Architects work product or recommendations, shall become the responsibility

not of the Architect, but

of the parties responsible

for taking such action.

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NOT FOR CONSTRUCTION

DRAWING

Д S

MINOR SITE PLAN 07-07-2025

A1



DESIGN REVIEW COMMITTEE

MEMORANDUM

DATE: February 24, 2025

TO: Scott Adams & Tyler Huber

FROM: Clark Lipscomb

PAGES: 2

RE: 487 Leland Creek Way - Lot 26, Leland Creek Subdivision Preliminary Plan Review

Comments

The design review committee have reviewed your preliminary plan submittal and have the following comments to address. As a courtesy, we have highlighted sections of the Leland Creek Design Guidelines to assist with direction:

- 1. The triangular windows will not be considered please revise
- 2. Lighting locations and specifications are not included
- 3. Utility meters shall be located on the structure and screened from view. Insure design meets the requirements of MPEI and Xcel Energy
- 4. Materials:
 - a. Railings design, materials and colors
 - b. Windows SDLs required. Wood Aluminum clad required
 - c. Posts for decks require stone bases on all posts. Scale of the posts and the base are critical to the appearance of the decks
 - d. Fascia 2x12 dimensional lumber preferred
 - e. Soffits dimensional natural wood required (hardi will not be allowed on soffits)
 - f. Exterior wall vertical and horizontal siding. Unbroken wall plans will not be allowed to have a vertical material transition. See crude redline, we suggest board and bat siding where vertical redlines are drawn so material on a wall plane is consistent.
 - g. Stone shall be natural stone veneer. No faux stone will be allowed.

МЕМО



TO Planning Commission

FROM Adam Springer, Planner II

THROUGH James Shockey, AICP, Community Development Director

DATE September 09, 2025

RE Minor Site Plan - 70 Cub Creek Way- Lot 4, Lakota Point Filing No. 1 - Single

Family Residence (PLN25-079)

Property Owner: 70 Cub Creek Way LLC

<u>Applicant:</u> Jenelle Tennigkeit – Mountain Division Construction

Location: 70 Cub Creek Way- Tract 48, Lakota Point Filing No. 1 (the "Property")

Zoning:

PD - (R-2)

<u>Authority</u>:
Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Director considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park. Pursuant to § 5-E-1(3) of the UDC, Minor Site Plan approval is required before building permit issuance.

Variances:

N/A: No Board of Adjustment (BOA) variance requests were proposed with this application.

Architecture:

The applicant proposes one (1) new single-family detached dwelling unit (SFD) on a vacant lot of approximately 11,325.6 SF or .26 Acres. The proposed SFD is 4,493 SF of interior residential space and 559 SF of garage space - it includes 5 bedrooms and an attached two (2) car garage and will be the only dwelling unit on the property. The SFD has primarily low sloping roofs with a modern mountain architecture that includes browns, warm gray stone cladding, and black trim and metal roofing. The entry to the house faces Cub Creek Way and is generally facing North. The total building coverage is 4,192 SF. The lot is 10,542 SF. The structure covers approximately 40% of the lot.

Title Commitment (Item 5):

Satisfactory. Included with the application. Dated March 6, 2025.

50 Vasquez Rd | P.O. Box 3327 Winter Park, Colorado 80482 970-726-8081 www.wpgov.com



Homeowners Association Review (Item 6):

Satisfactory. Lakota Point Design Review Committee (DRC) provided a letter of approval with a list of common conditions dated August 22, 2025.

Accessory Dwelling Unit (ADU):

N/A. No ADU is proposed.

Project Drawings (Item 8)

Partially Satisfactory. The submitted drawings do not provide all the required minimal information that determines the development project is compliant with the UDC. The applicant will revise and resubmit drawings as requested below:

Construction Plans (Item 8B):

Satisfactory.

Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:

The Construction Plans demonstrate general location of the limits of disturbance (LOD). Location of all perimeter control devices or any use of silt fencing and straw waddles are provided.

Site Plan (Item 8C):

Satisfactory. Per Item number 8 of the Minor Site Plan Application, all drawing packet pages shall be ARCH D (24" x 36"). The following items meet or need revision to comply with the requirements as listed on the Minor Site Plan Application:

Building Coverage:

Satisfactory. The total building coverage is 4,192 SF. The lot is 10,542 SF. The structure covers approximately 40% of the lot. Per the UDC § 3-A-3 and Table 3-A-3, the maximum allowable building coverage in the R-2 zoning district is 40%. The proposed development type meets this requirement.

Driveway:

Partially Satisfactory. The proposed driveway appears to meet the required standards for width and approach. However, due to site characteristics the driveway does not adhere to the following component of section 4.3.2 (Driveway Setback from Property Line) and 4.4 (Alignment) in the Town of Winter Park Standards and Specifications for Design and Construction (SSDC).

"4.3.2 Driveway Setback from Property Line

All edges of driveways shall be a minimum of seven feet (7') from the adjacent property line....."

"4.4 Alignment

Unless otherwise required by the Town Subdivision Process, the first twenty-four feet (24') shall not exceed 5% and after the first twenty-four feet (24') the following is required for all driveways"



Therefore, as outlined above in the Construction Plan portion of the application, Staff recommends adding the following condition of approval:

> At the time of building permit submittal, the driveway shall either comply with the standards outlined in the SSDC or be reviewed and approved through the applicable deviation procedures associated with these standards.

Limit of Disturbance:

Satisfactory. The Limit of Disturbance is clearly identified on the Construction and Site Plan. Additionally, erosion control measures and protection notes, as required within the Minor Site Plan Application, have been provided. Per Chapter 2.1.5 of the SSDC, the Limit of Disturbance should be shown on either the grading and drainage plans or the site plan, along with existing and proposed contours for the subject lot.

Setbacks:

Satisfactory. The subject structure appears to comply with the setbacks established in the Lakota Pointe Filing No. 1 Subdivision. The required setbacks are 15 feet in the front for side-loading garages, 15 feet in the rear, and 8 feet on the sides in accordance with § 3-A-7(H) of the UDC. However, an Improvement Location Certificate (ILC) will be required to verify that the structure does not encroach into these setbacks or exceed the limits established by § 3-A-7(H) of the UDC.

An Improvement Location Certificate (ILC) and a Setback and Elevation Certificate completed by a licensed Colorado Surveyor shall be required for all new foundations within the Town of Winter Park (R106.3.1.2 Survey Requirements) prior to underground plumbing inspection.

<u>Retaining Walls</u>: Two stone retaining walls are located within the west side setback of the subject property. Retaining walls may be approved by the Planning Commission to encroach into setbacks if it is determined that they satisfy the circumstances outlined in Section 2-B-4(F.2) of the UDC. As part of their application, the applicant has provided a formal memo (attached) that addresses this requirement and explains how the proposed retaining walls meet the applicable criteria. Based on the information provided, it appears that the subject retaining walls conform to these standards.

Snow Storage:

Satisfactory. UDC § 3-H-5 requires that a minimum of 25% of all driving surfaces, including gravel shoulders, parking areas, and pedestrian walkway areas have designated snow storage. The Site Plan provided the following information that demonstrates conformance to this applicable regulation:

1,102 SF of hard surfaces that are not covered. 25% of 1,102 is 276 SF of required snow storage. The applicant is providing 300 SF of snow storage.



Building Elevations (Item 8D):

Satisfactory. The proposed residential dwelling features primarily low sloping roof forms. The proposed dwelling aligns with the requirements of the Town of Winter Park Design Guidelines (the "Guidelines") and is consistent with architectural design in the neighborhood.

Building Height:

Satisfactory. The subject structure features low-sloping roofs at a 1:12 pitch, which is sufficiently steep to not be classified as a flat roof under the UDC. The structure complies with the height requirements, remaining below the 35-foot midpoint of gable and the 42-foot overall maximum, as measured from the lowest point of exposed foundation or existing grade, whichever is more restrictive, in accordance with UDC § 3-A-7(E.1).

Material and Color:

Satisfactory. The SFD has primarily slow sloping roofs with a modern mountain architecture that includes browns, warm gray stone cladding, and black trim and metal roofing.

Outdoor Lighting:

Partially Satisfactory. The applicant proposes 7 Nate Outdoor Wall Sconces at 62 lumens each, 9 Luminess Step Lights at 30 lumens each, and 7 Luna LED Outdoor Ceiling Lights at 600 lumens each, for a total of 4,904 lumens. This total complies with the maximum 5,100-lumen allowance for single-family residences. Photometric plans are not required for single-family homes. All fixtures are rated at or below 3,000K Correlated Color Temperature (CCT). It should be noted that the applicant's original submittal exceeded the lumen allowance; however, a revised lighting plan has been provided that is now compliant with the applicable standards. The elevation plans will need to be updated, if applicable, to reflect this revised lighting plan.

Therefore, Staff recommends the following condition to ensure compliance with this criterion (UDC Sec. 3-K-3, General Requirements):

At the time of building permit submittal, the applicant shall revise the elevation drawings to match the outdoor lighting tabulation and cut sheets, ensuring the plans fully demonstrate compliance with UDC requirements.

Floorplans (Item 8E):

Satisfactory. The floor plan includes all required information, such as square footage and proper notes. It is consistent with the provided renderings and elevations.

Landscaping (Item 8F):

Satisfactory. All proposed landscaping is subject to the 1997 Landscape Design Regulations and Guidelines – Guideline 11. While it appears that the applicant meets this standard based on the general landscaping plan shown in the attached site plan, Staff is adding a provision condition to ensure that landscaping adheres to these guidelines through review of the subject building permit.

- > **NOTE:** Per UDC §3-I-8(G) *Irrigation:*
 - No automated irrigation system shall be installed unless authorized by a permit based on irrigation plans approved by the Director, and an appointee.
 - Xeriscaping is encouraged in lieu of traditional landscaping. Irrigation requirements set



- out in this Section may be waived per the Director in favor of xeriscaping.
- Landscape up-lighting is not permitted; all landscape installed lighting must be dark-sky compliant. Location and quantity of landscape light fixtures will be reviewed at building permit.

Parking:

Satisfactory. The floor plan offers three (3) off-street parking spaces; 2 spaces in the attached garage and 1 space in the driveway. § 3-H-3 requires 2 parking spaces per SFD. The proposed parking meets this requirement

Utility Review:

N/A

Inspection:

Building Division staff have not performed a Pre-Disturbance inspection of the property.

No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Staff Recommendation:

Approve the Minor Site Plan at this time with the following conditions expected At Building Permit.

1. Driveway

The driveway shall either comply with the standards outlined in the SSDC or be reviewed and approved through the applicable deviation procedures associated with these standards.

Liahtina:

The applicant shall revise the elevation drawings to match the outdoor lighting tabulation and cut sheets, ensuring the plans fully demonstrate compliance with UDC requirements.

Standard Conditions

- 3. If required by the Town Engineer, applicant shall revise erosion control, drainage, and grading plans to address the comments. This includes the review and approval of any proposed driveway to ensure compliance with the standards found in the Town of Winter Park Standards and Specifications for Design and Construction (SSDC).
- 4. An Improvement Location Certificate (ILC) and a Setback and Elevation Certificate completed by a licensed Colorado Surveyor shall be required for all new foundations within the Town of Winter Park (R106.3.1.2 Survey Requirements) prior to underground plumbing inspection.
- 5. No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site, including tree protection.
- 6. Final landscape installation must demonstrate the minimum requirements of the 1997 Landscape Design Regulations and Guidelines. Automatic irrigation must be removed or disconnected after an establishment period of 2 growing seasons.



7. All hot tubs shall be permitted and plumbed according to applicable Local and State regulations.

Required Permits:

- ✓ Building Permit✓ Driveway Permit
- ✓ SFD/Duplex Deposit Agreement



Minor Site Plan Application: Narrative - 70 Cub Creek Way

August 21, 2025

To: Town of Winter Park: Planning Division
50 Vasquez Road, P.O. Box 3327, Winter Park CO 80482

permits@wpgov.com

A. Project Name70 Cub Creek

B. Street Address

70 Cub Creek Way, Winter Park CO, 80482

- C. Name, address, email and telephone number of owner, applicant, HOA, project manager, architect, engineer, surveyor, and land planner as applicable.
 - Owner: 70 Cub Creek Way LLC



• Applicant: Jenelle Tennigkeit – Mountain Division Construction



HOA: Lakota Pointe



• Architect: Jeff von Breitenfeld



D. Legal Description

Lakota Pointe Filing No. 1 As Located in Tract 48, Township 2 South, Range 75 West of the 6th Principal Meridian, Town of Winter Park, Grand County, Colorado, Reception Number 2024005808

E. Zoning District

P-D (R-2)

F. Lot size (acreage and square footage)

0.26 Acres or 11,325.6 Square Feet

G. All Proposed Uses

Single Family Residential

H. Number of Dwelling Units

1 Dwelling Unit

I. Number of bedrooms per dwelling unit

5 Bedrooms

J. Size of residential space (square footage)

4,493 Square Feet of interior residential space 559 Square Feet of garage

K. Number of proposed off-street parking spaces

2 Garage parking spaces

2 driveway parking spaces

L. Construction schedule indicating major milestones for project

Excavation and Foundation: Fall 2025

Framing and Dry-In: Winter and Spring 2026

MEP Rough-In: Spring/Summer 2026

Insulation and Drywall: Summer/Fall 2026

Landscape: Fall 2026

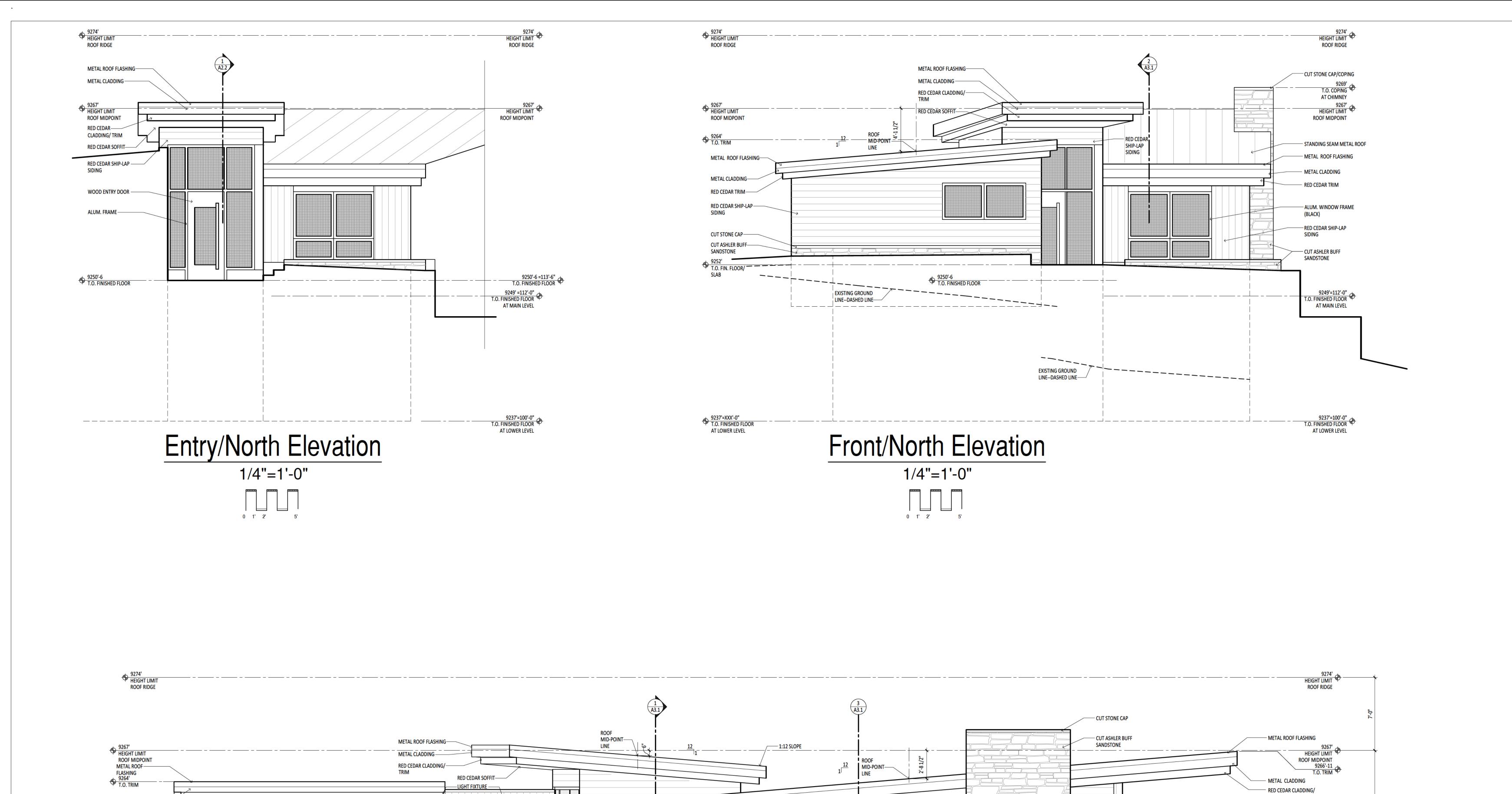
Trim and Finish: Fall/Winter 2026

Please reach out with any questions.

Sincerely,

Jenelle Tennigkeit





METAL CLADDING

RED CEDAR CLADDING/— TRIM

RED CEDAR SOFFIT — LIGHT FIXTURE ——— RED CEDAR SHIP-LAP— SIDING ON GARAGE DOOR

CUT STONE CAP ——

CUT ASHLER BUFF
SANDSTONE

9252'
T.O. FIN. FLOOR/SLAB

EXISTING GROUND LINE--DASHED LINE---

T.O. UPPER BOULDER

9237'=100'
T.O. FINISHED FLOOR
AT LOWER LEVEL

RETAINING WALL-

RETAINING WALL

_BOULDER__ _ _ _ _ _ _ _ _ _ _ _ _ _

RED CEDAR SHIP-LAP-

PROJECTED WALL

RETAINING WALL---**CUT ASHLER BUFF**

> RETAINING WALL--**CUT ASHLER BUFF**

> > Side/West Elevation

1/4"=1'-0"



PROJECT

INFORMATION

RECEPTION NUMBER 2024005808

7381 South Glencoe Way

Centennial Colorado 80122

303-564-7641

LAKOTA POINTE

FILING NUMBER 1

OWNER & BUILDER

70 Cub Creek Way, LLC

Wheat Ridge CO 80033 Phil De Coster

3825 Pierce Street

720-633-7270

Nick Glassner

602-320-7272

ARCHITECT

Habitation Solutions

Jeff von Breitenfeld 303-564-7641

LOT NUMBER 4

CONTACTS:

- ALUM. WINDOW FRAME

- RED CEDAR SHIP-LAP

— RED CEDAR CLADDING/TRIM

— CUT STONE CAP

— CUT ASHLER BUFF SANDSTONE

—9232'--BASE POINT FOR HEIGHT LIMIT

EXISTING GROUND LINE--DASHED LINE —

9249'=112'-0" T.O. FINISHED FLOOR

9237'=100'-0" T.O. FINISHED FLOOR AT LOWER LEVEL

9232'-0 HEIGHT BASEPOINT

—metal guardrail

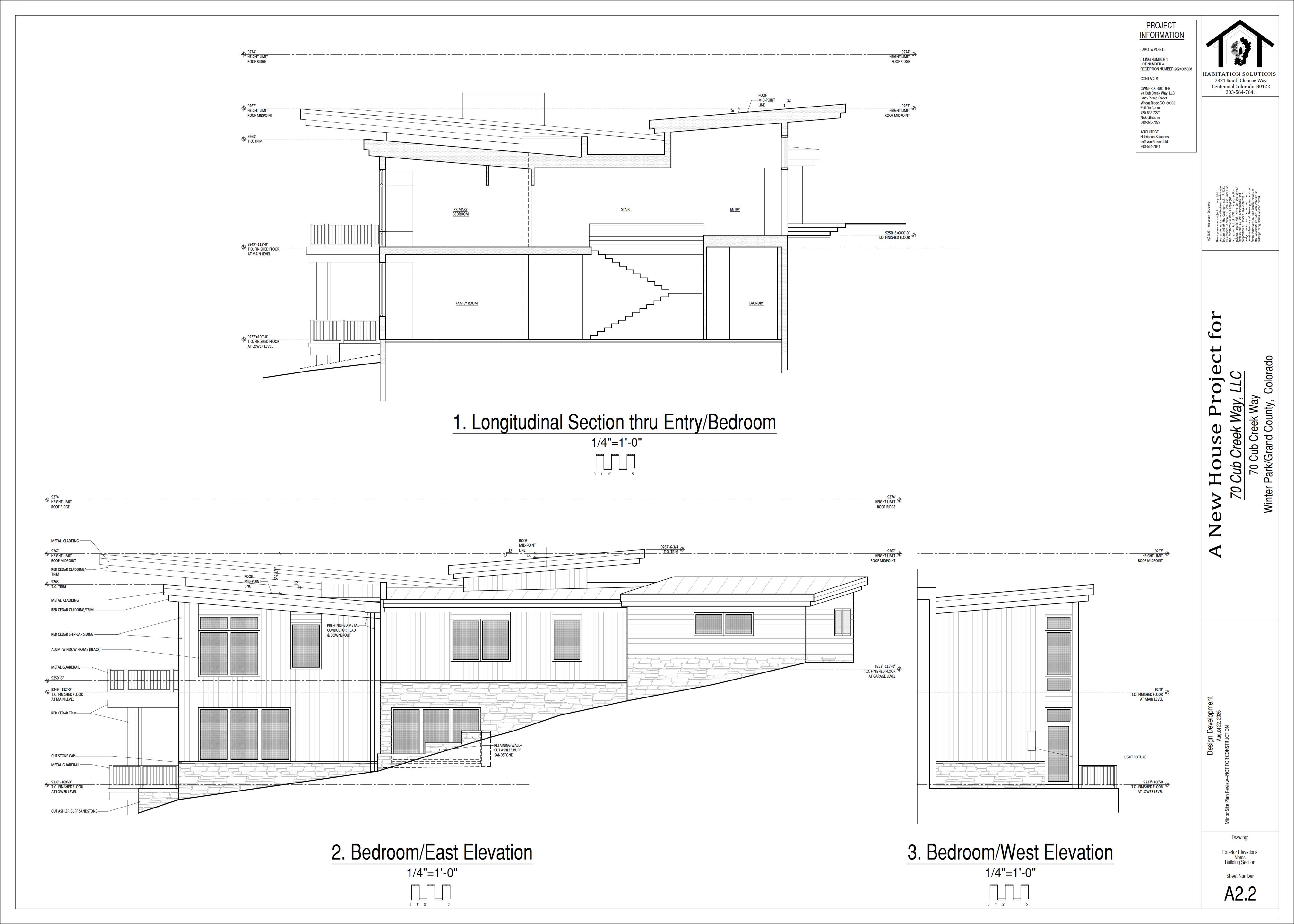
AT MAIN LEVEL

(BLACK)

Exterior Elevations Notes

Sheet Number A2.0

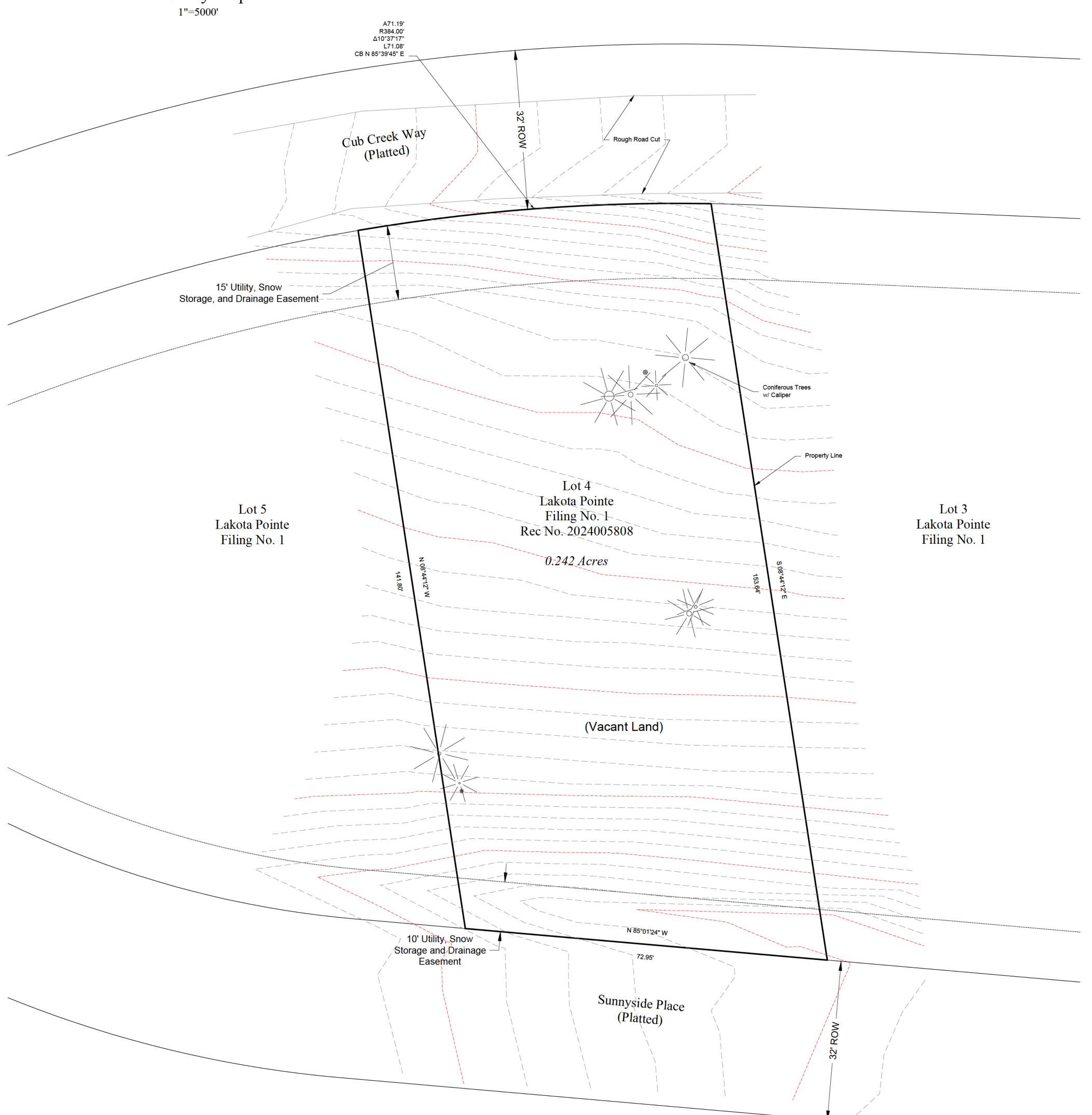




Lot 4 Design Survey Lakota Pointe Filing No. 1

As Located in Tract 48, Township 2 South, Range 75 West of the 6th Principal Meridian, Town of Winter Park, Grand County, Colorado Reception Number 2024005808

Vicinity Map



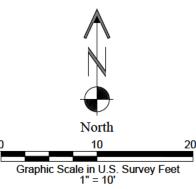
Notes:

- 1 Site Benchmark is KR1, a 2 inch aluminum cap stamped "TOPO CP" at the northwest corner of the intersection of Lakota Park Drive and Lupine Lane, with an elevation of
- 2 This plan was prepared for the purpose of a topographic survey and is not a boundary survey This survey does not constitute a title search by this surveyor of the property shown and described hereon to determine: a) ownership of the tract of land

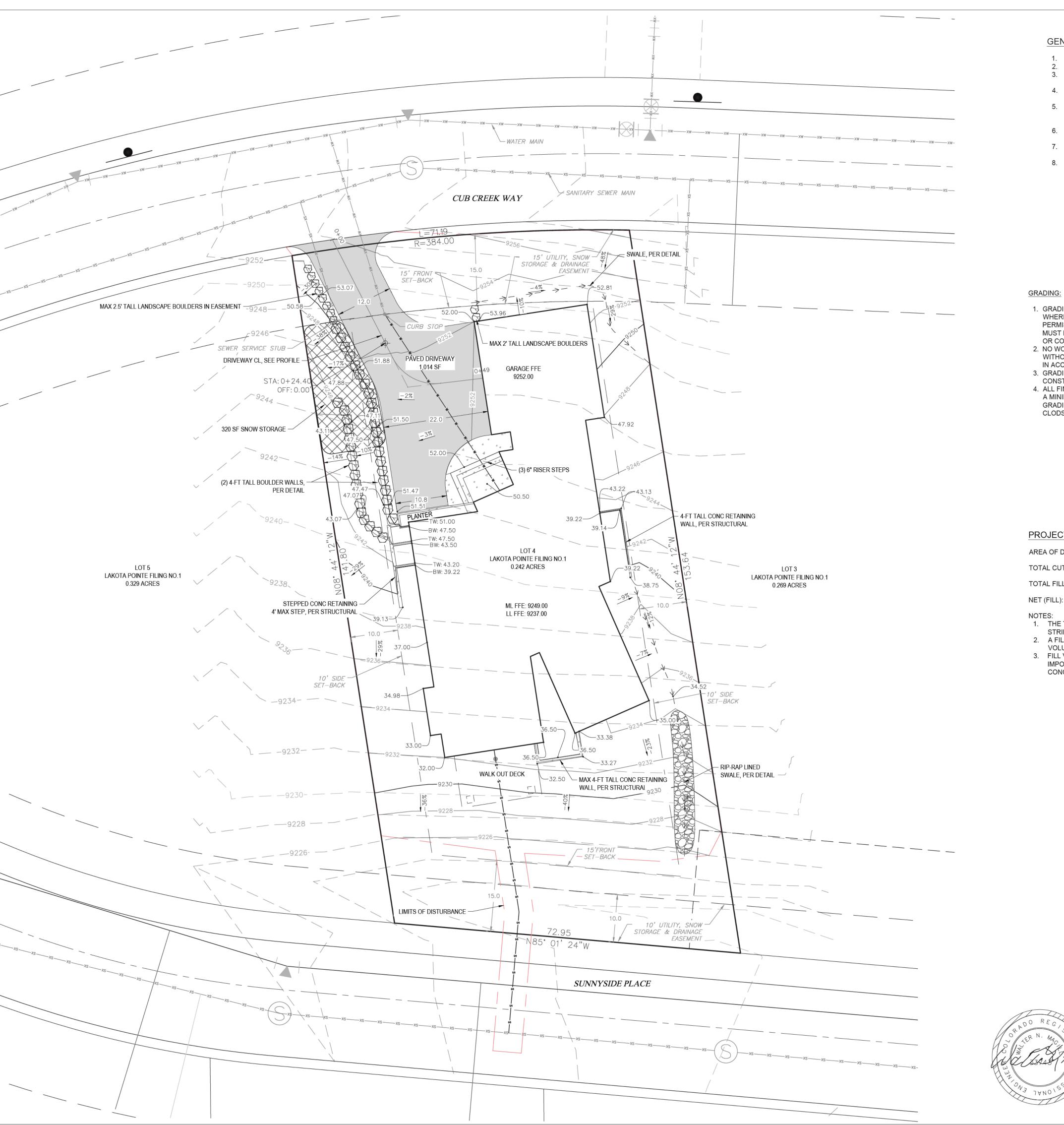
b) compatibility of this description with those of adjacent tracts of land

- c) rights of way, easements and encumbrances of record affecting this tract of land 3 Underground utilities as shown hereon are based on best physical evidence as found in the field and may not be accurate or complete All utilities are to be field located and verified
- by the proper entity 4 This survey was conducted during the month of February 2025 with 24-36" of snow cover
- this survey within three years after you first discover such defect In no event may any
- 5 According to Colorado Law you must commence any legal action based upon any defect in action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon
- 6 Any person who knowingly removes, alters or defaces any public land survey monument or land boundary monument or accessory commits a Class Two (2) Misdemeanor pursuant to State Statute 18-4-508, C R S
- 7 Boundary lines as shown hereon were established by plat Lakota Pointe Filing No 1 as recorded at Reception Number 2024005808

	Point #,Northing,Easting,Elevation,Description												
KR1	1204111.27	2927775.17	9312.38	2 inch Alum. Cap									
KR3	1205300.39	2924884.73	9024.28	2 inch Alum. Cap									
KR4	1206746.26	2925891.62	9441.94	3.25 inch Brass Cap AP1 Tract 48 BLM									
KR5 1204356.89 2925954.58 9057.83 Brass Cap													
KR6	1205966.61	2927231.49	9375.48	Spike									
KR49003	KR49003 1205786.06 2926387.21 9308.12 No. 4 Rebar												
KR49004	1205469.93	2926822.03	9269.24	2 inch Alum. Cap									
KR49005 1205517.68 2925927.78 9257.30 2 inch Alum. Cap													







GENERAL NOTES:

ESTABLISHED PER THE LANDSCAPING PLAN.

TO CONDUCTING ANY SITE WORK.

- 1. TOPOGRAPHIC DATA GENERATED FROM FIELD SURVEY DATA. DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.
- ALL FINISHED BARE GROUND SURFACES SHALL RECEIVE A MINIMUM OF 6" OF NATIVE TOPSOIL FOR FINAL
- GRADING AND SHALL BE RELATIVELY FREE OF STONES, CLODS, STICKS, AND OTHER DEBRIS. 4. ALL FINISHED GROUND SHALL BE PROPERLY SEEDED, FERTILIZED, MULCHED AND VEGETATION
- ALL FINISHED GROUND SHALL BE STABILIZED WITH ENGINEER APPROVED STRAW EROSION CONTROL BLANKET. APPLY GRASS SEED AND FERTILIZER OF OWNER'S CHOICE BEFORE AND AFTER STRAW BLANKET
- INSTALLATION AT THE APPROPRIATE SPECIFIC SEEDING RATE. 6. ALL DISTURBED AREAS NOT RECEIVING GRAVEL SURFACING SHALL BE RE-VEGETATED WITHIN ONE
- CONSTRUCTION SEASON. 7. ALL DETAILS PROVIDED SHALL BE ADHERED TO UNLESS OTHERWISE APPROVED BY CIVIL ENGINEER OR
- 8. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES. CALL THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-800-922-1987 AND ANY NECESSARY PRIVATE UTILITY TO PERFORM LOCATES PRIOR

- 1. GRADING SHALL OCCUR WITHIN THE PROPERTY LIMITS. WHERE OFF-SITE WORK IS APPROVED, WRITTEN PERMISSION OF THE ADJACENT PROPERTY OWNER MUST BE OBTAINED PRIOR TO ANY OFF-SITE GRADING
- OR CONSTRUCTION. 2. NO WORK SHALL OCCUR IN WETLANDS OR FLOODPLAINS WITHOUT APPROPRIATE PERMITS. ANY WORK SHALL BE
- IN ACCORDANCE WITH THE ISSUED PERMITS. 3. GRADING DESIGN DOES NOT CALL FOR THE CONSTRUCTION OF SLOPES GREATER THAN 2:1.
- 4. ALL FINISHED BARE GROUND SURFACES SHALL RECEIVE A MINIMUM OF 6" OF NATIVE TOPSOIL FOR FINAL GRADING AND SHALL BE RELATIVELY FREE OF STONES, CLODS, STICKS, AND OTHER DEBRIS.

EROSION CONTROL NOTES:

- 1. CONTRACTOR SHALL WORK IN A MANNER THAT MINIMIZES THE POTENTIAL FOR EROSION.
- 2. CONTRACTOR SHALL PROPERLY INSTALL PERIMETER EROSION CONTROL MEASURES ON ALL DOWNSLOPE LIMITS OF DISTURBANCE (E.G. STRAW WATTLE SOCKS, SILT FENCE).
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, INSPECTING, AND MAINTAINING ALL NECESSARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION AND REMOVING EROSION CONTROL WHEN PROJECT IS COMPLETE AND VEGETATION IS ESTABLISHED.
- 4. ANY AREA DISTURBED BY CONSTRUCTION AND NOT PAVED OR NATURAL ROCK SURFACE SHALL BE REVEGETATED WITHIN ONE CONSTRUCTION SEASON.

PROJECT TOTAL EARTHWORK QUANTITIES:

AREA OF DISTURBANCE: 9,310 SQ. FT.

TOTAL CUT: 450 CU. YDS. TOTAL FILL: 575 CU. YDS.

125 CU. YDS. NET (FILL):

- 1. THE TOTAL CUT VOLUME INCLUDES TOPSOIL STRIPPING.
- 2. A FILL FACTOR OF 1.10 WAS USED FOR CUT-FILL VOLUME CALCULATIONS.
- 3. FILL VOLUME INCLUDES NATIVE MATERIAL AND ALL IMPORT MATERIALS. (I.E. GRAVEL, ASPHALT, CONCRETE, ETC.)

SHEET INDEX:

- C1 SITE PLAN & NOTES C2 DRIVEWAY PROFILE & DETAILS
- C3 UTILITY PLAN

LEGEND

ADJACENT PROPERTY BOUNDARY EXISTING EASEMENT ----- EXISTING SETBACK LINES EXISTING 2' CONTOUR

EXISTING 10' CONTOUR PROPOSED 2' CONTOUR

PROPERTY BOUNDARY

PROPOSED 10' CONTOUR PROPOSED BUILD NG OUTL NE PROPOSED RETAIN NG WALL

EXISTING STORM SEWER PROPOSED STORM SEWER

----s----s----- EXISTING SEWER SERVICE

------ PROPOSED DECK PROPOSED PLANTER BOX PROPOSED SEWER MANHOLE

PROPOSED GRAVEL SURFACING PROPOSED ASPHALT PAVING PROPOSED CONCRETE PAVING

PROPOSED PARKING STR PING EXISTING BU LDING FOOTPR NT PROPOSED BUILD NG FOOTPRINT PROPOSED BUILD NG OVERHANG

X PROPOSED FENC NG

SNOW STORAGE LIMITS OF DISTURBANCE

EXISTING — EXISTING LABEL PROPOSED PROPOSED LABEL 410 S. Lincoln Ave, Unit 15

P.O. Box 775966 Steamboat Springs, CO 80487 (970)-871-6772 www.fourpointsse.com

Horizontal Scale

SCALE: 1" = 10' Contour Interval = 2 ft DATE: 8-11-2025 JOB #: 2208-011

DRAWN BY: CKB **DESIGN BY:CFB** REVIEW BY:WNM IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 24" X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.

SHEET#



BOTTOM OF WALL BLDG BUILDING CENTERLINE CMU CONCRETE MASONRY UNITS CO CLEAN OUT CONC CONCRETE ELEV ELEVATION EOC EDGE OF CONCRETE EOG EDGE OF GRAVEL EXISTING EX FINISHED FLOOR ELEVATION FOUNDATION FND HIGH POINT INVERT

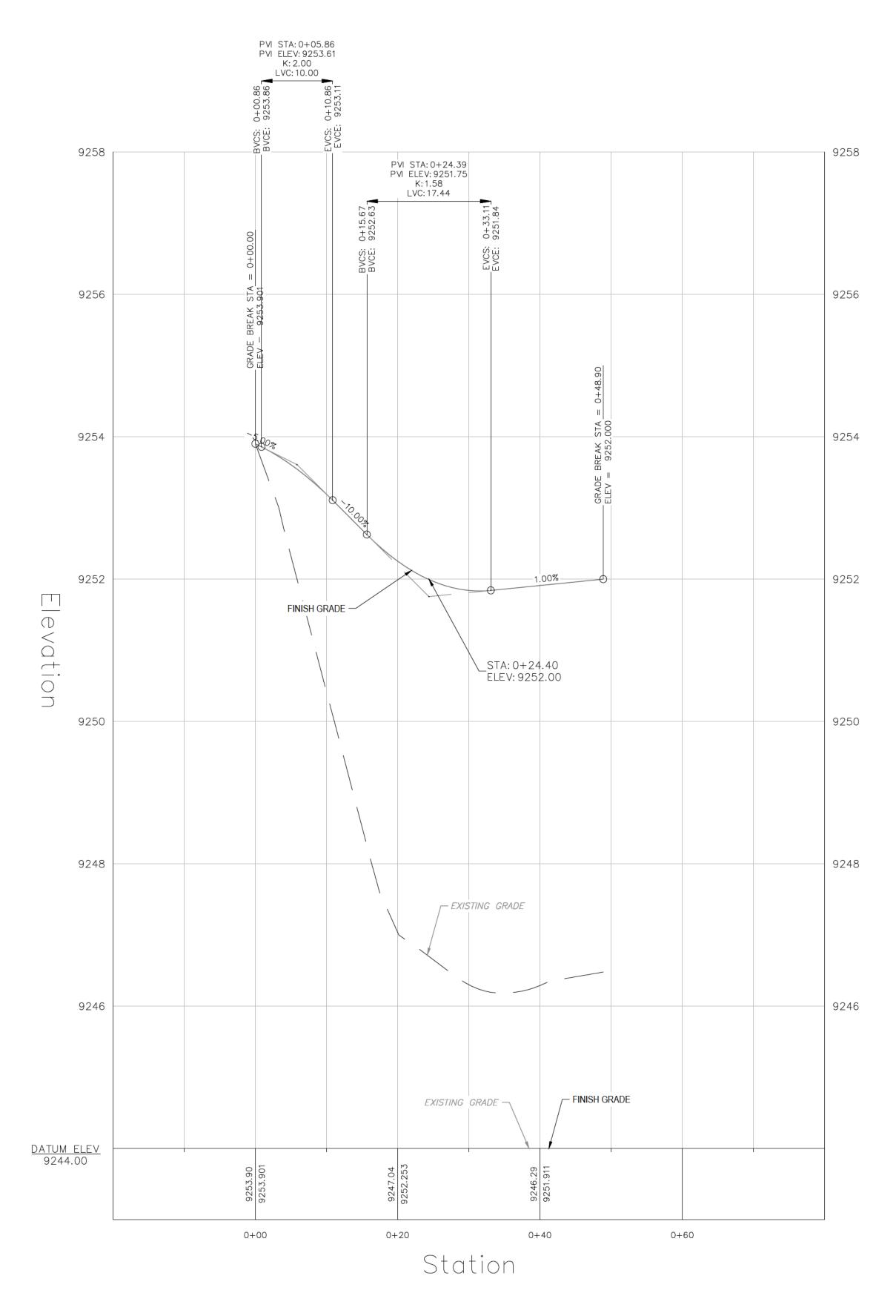
LINEAR FEET PROPOSED SCHEDULE

SQUARE FEET

SNOW STORAGE

TOW

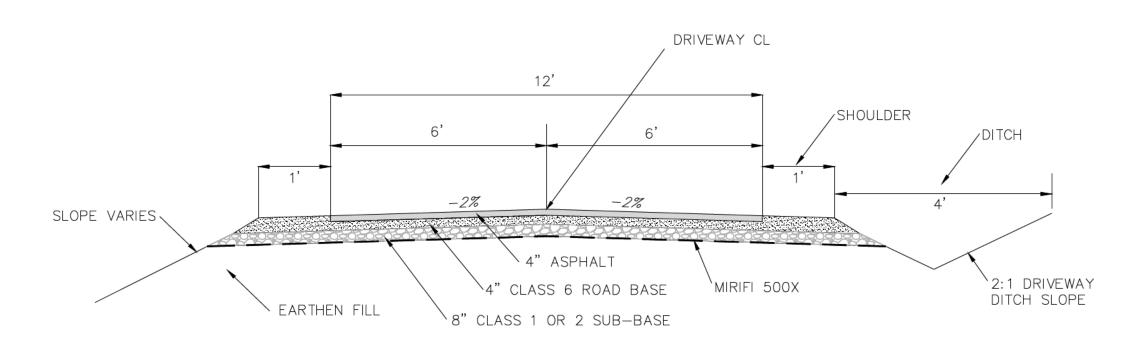
TOP OF WALL



DRIVEWAY VERTICAL PROFILE

HORIZONTAL SCALE: 1"=10"

VERTICAL SCALE: 1"=1"

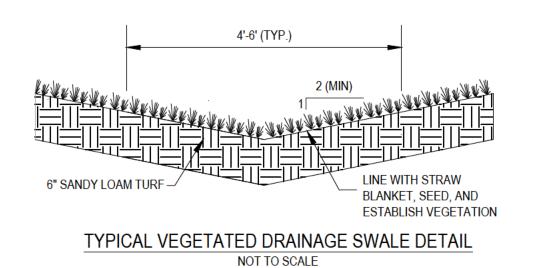


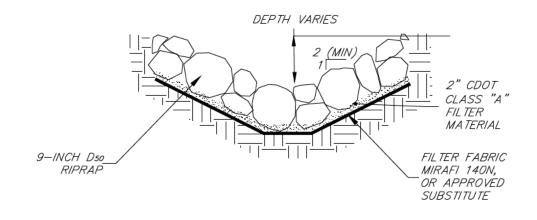
DRIVEWAY CROSS SECTION DETAIL: 12' DRIVEWAY W/ 1' SHOULDERS N.T.S.

PAVING NOTES:

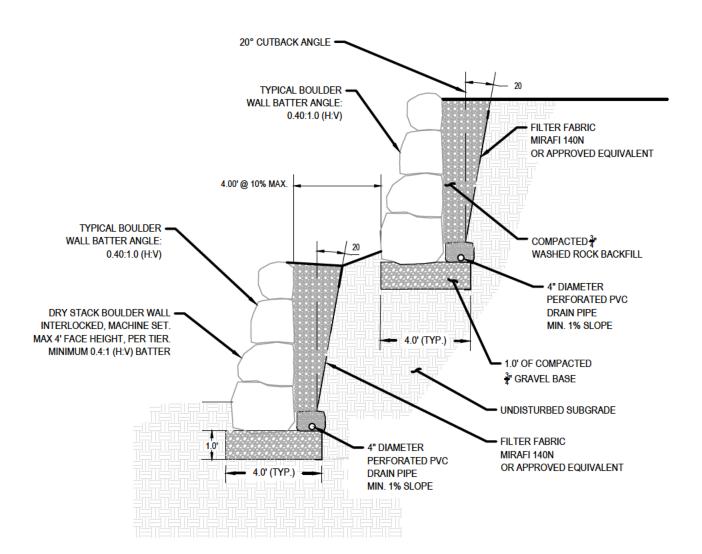
1. PRIOR TO THE PLACEMENT OF SUB-BASE AGGREGATES, THE EXPOSED SUB-GRADE SOILS SHALL BE UNIFORMLY SCARIFIED, MIXED, AND MOISTURE TREATED TO WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT, AND THEN RE-COMPACTED TO AT LEAST 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY.

ROAD BASE AND SUB-BASE AGGREGATES SHALL MEET THE CDOT CLASS 6 ABC AND CLASS 1
OR 2 ABC SPECIFICATIONS, RESPECTIVELY. BASE COURSE AND SUB-BASE AGGREGATES
SHALL BE PLACED IN ONE LIFT AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM
MODIFIED PROCTOR DENSITY IN ACCORDANCE WITH ASTM 1557.





RIP-RAP SWALE STABILIZATION SECTION DETAIL
NOT TO SCALE



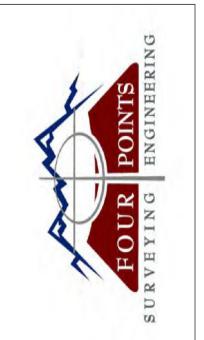
TIERED RETAINING WALL TYPICAL DETAIL NOT TO SCALE

BOULDER WALL NOTES:

- 1. THIS CONSTRUCTION DETAIL WAS DEVELOPED FOR A SAFETY FACOR OF 1.5 AGAINST LATERAL SLIDING AND OVERTURNING BY REFERENCING 'ROCKERY DESIGN AND CONSTRUCTION GUIDELINES' PUBLICATION BY THE U.S. DEPARTMENT OF TRANSPORTATION AND THE FEDERAL HIGHWAY ADMINISTRATION.
- 2. COMPACT SUB-GRADE SOILS TO 95% OF THE MAXIMUM MODIFIED PROCTOR.
- 3. BACKFILL MATERIALS SHALL BE CAREFULLY PLACED IN UNIFORM LIFTS AT A MAXIMUM 8" DEEP LOOSE LIFTS AND COMPACTED TO AT LEAST 95%
- OF THE MAXIMUM STANDARD PROCTOR DENSITY AND NEAR THE OPTIMUM MOISTURE CONTENT.

 4. PRIOR TO PLACEMENT, ANY BACKFILL MATERIALS MUST BE SAMPLED AND RECEIVE A SOILS REPORT.
- INSTALL MIRAFI 140N FILTER FABRIC, OR APPROVED EQUIVALENT, TO PROTECT WASHED ROCK BACKFILL FROM NATURAL SOIL BACKFILL.
 COMPACT WASHED ROCK BACKFILL WITH VIBRATORY COMPACTOR.
- COMPACT WASHED ROCK BACKFILL WITH VIBRATORY COMP
 MINIMUM 20 CUTBACK ANGLE TO BE PROVIDED.
- 8. OVERALL MAXIMUM HEIGHT PER WALL TIER IS 4.0 FEET.





410 S. Lincoln Ave, Unit 15 P.O. Box 775966 Steamboat Springs, CO 80487 (970)-871-6772

www.fourpointsse.com									
N									
REVISIONS									
DATE									

POINTE FILING NO.1 CREEK WAY

OI 4, LANOIA FOINI

DATE: 8-11-2025 JOB #: 2208-011 DRAWN BY: CKB

DESIGN BY:CFB

REVIEW BY:WNM

IF THIS DRAWING IS PRESENTED IN
FORMAT OTHER THAN 24" X 38" T

IF THIS DRAWNG IS PRESENTED IN A FORMAT OTHER THAN 24" X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.

RIVEWAY PROFI AND DETAILS

מת

SHEET#

C2





ABBREVIATIONS:

EX

BOTTOM OF WALL

EDGE OF CONCRETE EDGE OF GRAVEL

CONCRETE MASONRY UNITS

FINISHED FLOOR ELEVATION

BUILDING

CENTERLINE

CLEAN OUT

CONCRETE ELEVATION

EXISTING

FOUNDATION

HIGH POINT INVERT

LINEAR FEET PROPOSED

SCHEDULE

SQUARE FEET SNOW STORAGE

TOP OF WALL

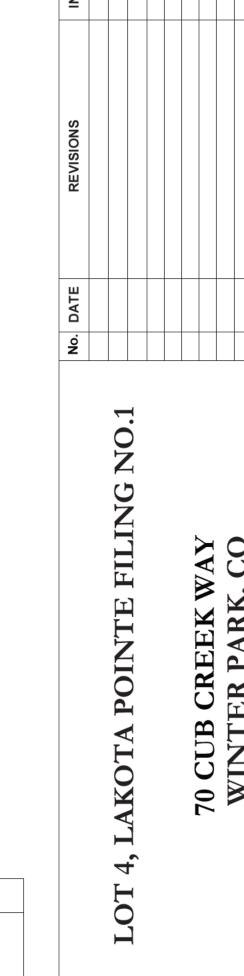
- 1. EXISTING DRY UTILITY LOCATIONS WERE OBTAINED FROM UTILITY MAPPING, FIELD SURVEYING AND HAVE NOT BEEN VERIFIED WITH ANY ADDITIONAL UNDERGROUND POTHOLING.
- 2. MINIMUM SEPARATION BETWEEN PARALLEL WATER AND SEWER MAINS AND SERVICES IS TEN (10') FEET.
- 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE TOWN OF WINTER PARK STANDARDS AND SPECIFICATIONS.
- 4. MINIMUM COVER FROM FINISHED GRADE TO TOP OF WATER MAIN LINE IS SEVEN (9) FEET. ALL WATER SERVICE LINES SHALL BE TYPE "K" COPPER AND SEAMLESS BETWEEN FITTINGS.
- 5. MINIMUM COVER FROM FINISHED GRADE TO TOP OF SEWER SERVICE LINE IS FOUR (4) FEET. MINIMUM SLOPE FOR SEWER SERVICE LINE IS 2%. SEWER SERVICE LINES BETWEEN STRUCTURE AND CLEAN OUT SHALL BE SCHEDULE 40 PVC PIPE, ALL OTHER SEWER SERVICE LINES SHALL BE SDR 35 PVC PIPE.
- 6. VALVES SHALL BE OPERATED BY UTILITY PERSONNEL ONLY, UNLESS PERMISSION OF THE UTILITY COMPANY IS OBTAINED.

LEGEND PROPERTY BOUNDARY ADJACENT PROPERTY BOUNDARY EXISTING EASEMENT ----- EXISTING SETBACK LINES EXISTING 2' CONTOUR EXISTING 10' CONTOUR PROPOSED 2' CONTOUR PROPOSED 10' CONTOUR PROPOSED BUILD NG OUTL NE — PROPOSED RETAIN NG WALL EXISTING STORM SEWER PROPOSED STORM SEWER ----s----s----- EXISTING SEWER SERVICE ------ PROPOSED DECK PROPOSED PLANTER BOX PROPOSED SEWER MANHOLE PROPOSED GRAVEL SURFACING PROPOSED ASPHALT PAVING PROPOSED CONCRETE PAVING PROPOSED PARKING STR PING EXISTING BU LDING FOOTPR NT PROPOSED BUILD NG FOOTPRINT PROPOSED BUILD NG OVERHANG PROPOSED FENC NG NOW STORAGE

LIMITS OF DISTURBANCE

EXISTING _____ EXISTING LABEL

PROPOSED — PROPOSED LABEL



410 S. Lincoln Ave, Unit 15

(970) - 871 - 6772www.fourpointsse.com

P.O. Box 775966 Steamboat Springs, CO 80487

Horizontal Scale

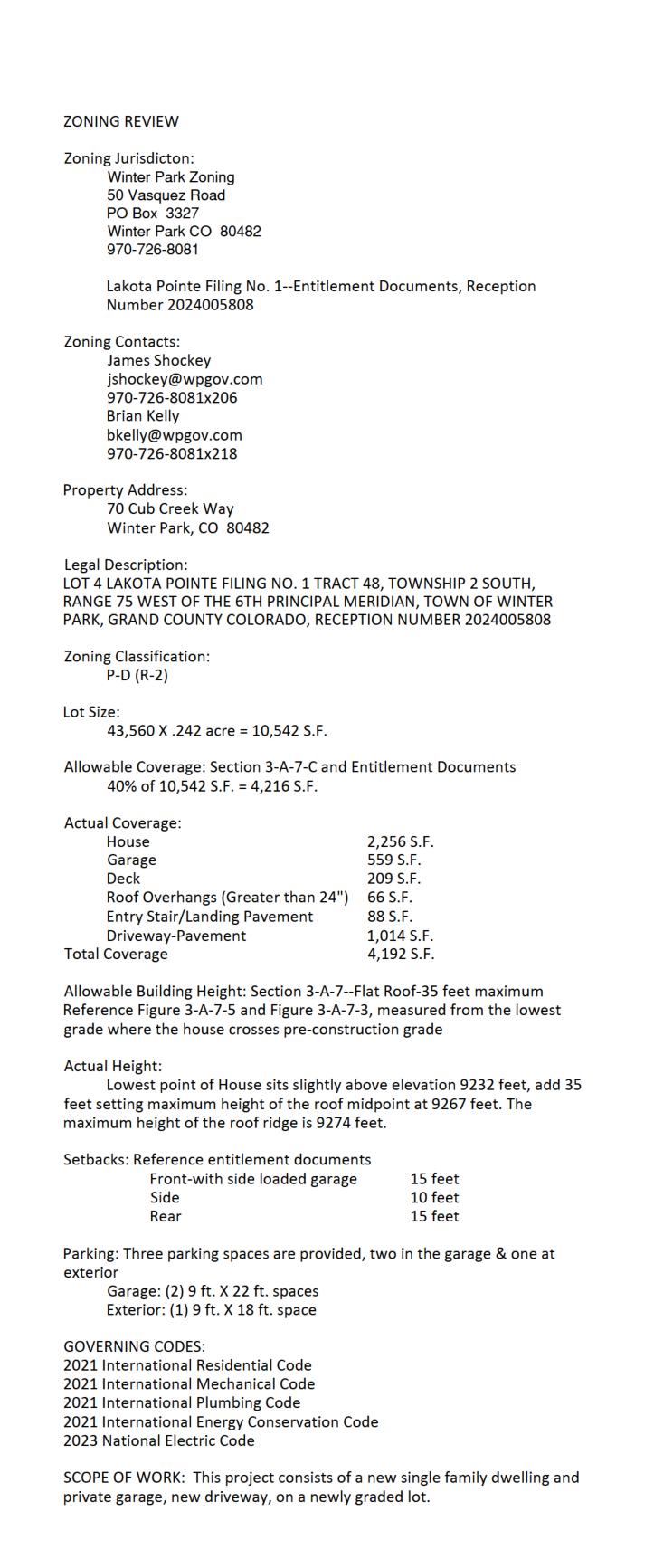
SCALE: 1" = 10'

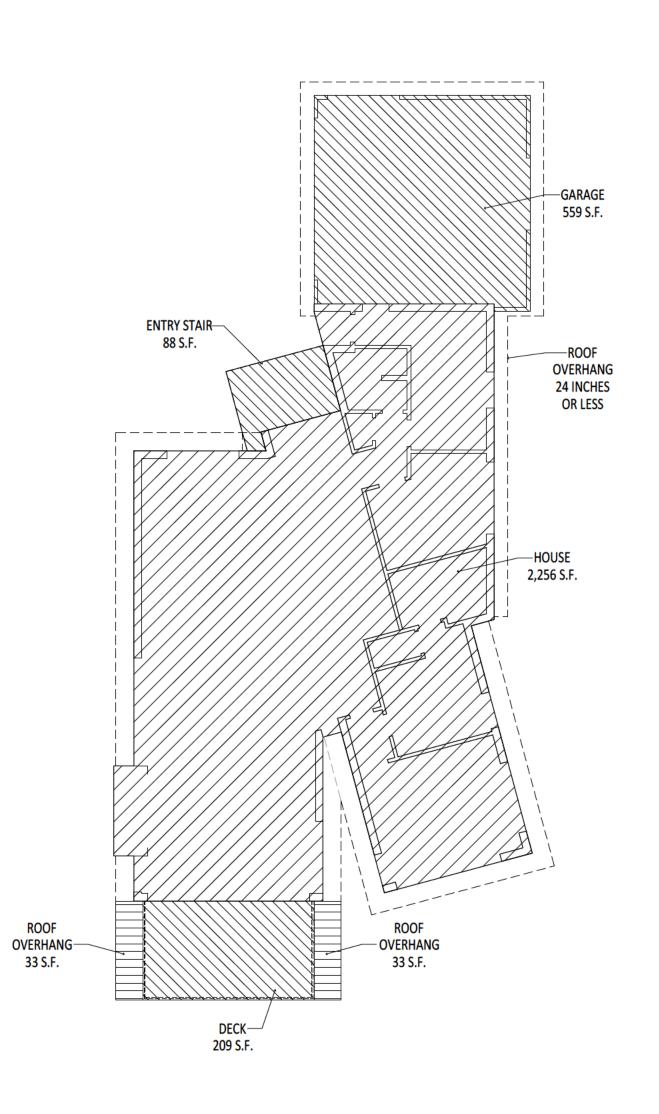
Contour Interval = 2 ft DATE: 8-11-2025

JOB #: 2208-011 DRAWN BY: CKB DESIGN BY:CFB REVIEW BY:WNM

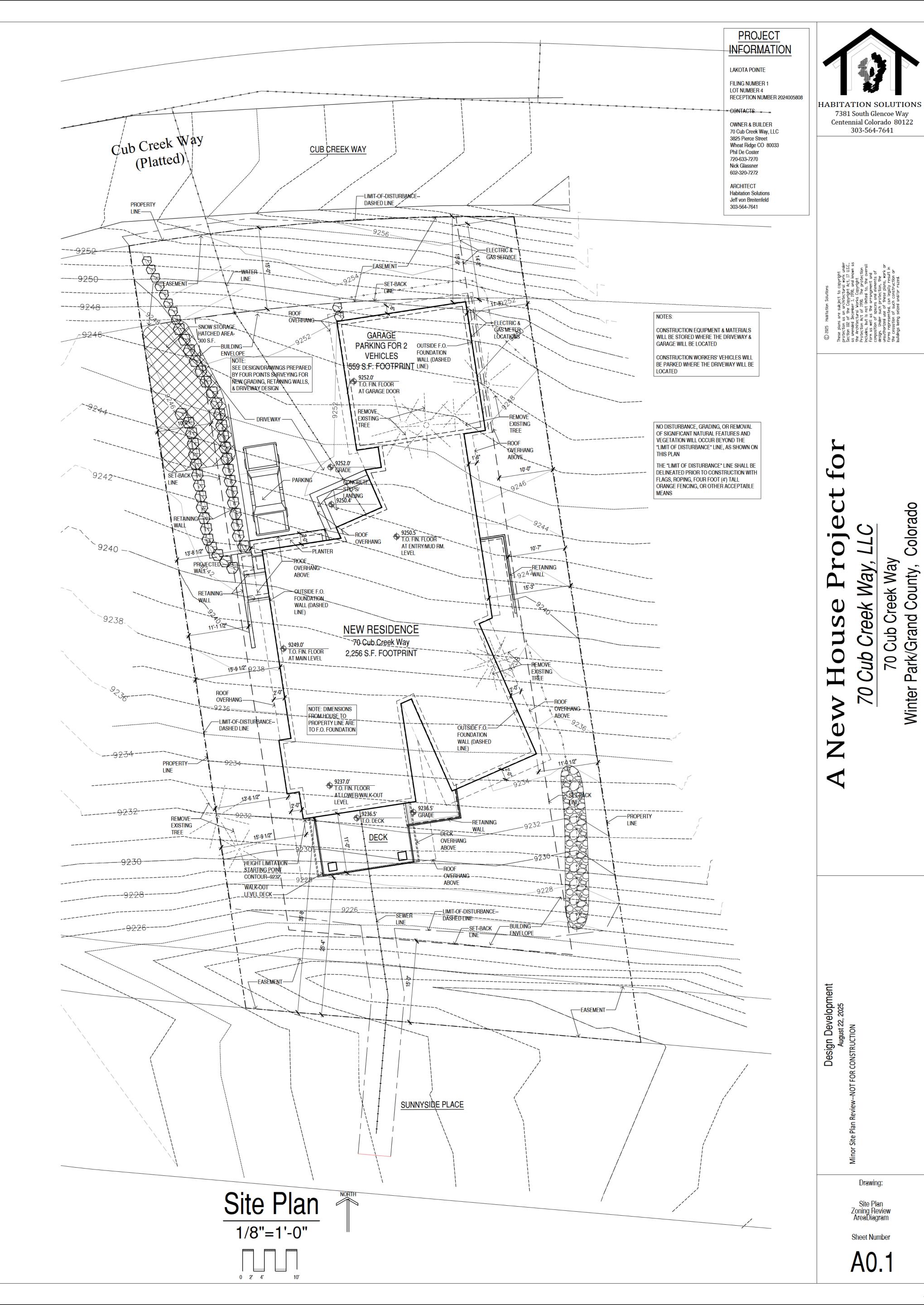
IF THIS DRAWNG IS PRESENTED IN A FORMAT OTHER THAN 24" X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.

SHEET#





Area Diagram 3/32"=1'-0"



70 Park/

CUB CREEK WAY MAX. 2.5' TALL LANDSCAPE -BOULDERS IN EASEMENT - MAX 2' TALL LANDSCAPE BOULDERS ROLL TOP — STEEL EDGER 320 SF SNOW STORAGE -(2) 4 FT TALL BOULDER WALLS -4 FT TALL CONC RETAINING WALL SEE STRUCTURAL 10 CUB CREEK WAY — STEPPED CONC RETAINING 4' MAX STEP, PER STRUCTURAL MAX 4 FT TALL CONC — RETAINING WALL PER STRUCTURAL

PLANT LIST

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
TREES	PE9	PICEA ENGELMANNII	ENGELMANN SPRUCE	6`	4
	PCL	PINUS CONTORTA LATIFOLIA	LODGEPOLE PINE	6`	5
	PTA	POPULUS TREMULOIDES	ASPEN TREE	6 8' CLUMP, 2.5" TOTAL CAL.	10
SHRUBS					
33000000000000000000000000000000000000	CSD	CORNUS SERICEA	RED TWIG DOGWOOD	5 GAL.	4
	CAC	COTONEASTER ACUTIFOLIA	COTONEASTER PEKING	3 GAL	4
	J9B	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	5 GAL.	8
	PON	PHYSOCARPUS OPULIFOLIUS NANUS	DWARF NINEBARK	5 GAL.	5
}	PPM	PICEA PUNGENS MRS CESARINI	MRS CESARINI SPRUCE	5 GAL.	3
5 - 5 - 5 - 5 - 5 - 5 - 5 - 5 - 5 - 5 -	RM9	RHUS GLABRA 'CISMONTANA'	ROCKY MOUNTAIN SUMAC	5 GAL.	14
ANNUALS	/PERENN	IIALS			
*	HBS	CAMPANULA ROTUNDIFOLIA 'OLYMPICA'	HAREBELL BLUEBELLS OF SCOTLAND	1 GAL.	13
300	MRC	MAHONIA REPENS	CREEPING OREGON GRAPE HOLLY	1 GAL.	9

LEGEND

1 1/2" RIVER ROCK MULCH

| + + + + | HIGH MOUNTAIN NATIVE GRASS SEED MIX - NOT TO EXCEED 24" IN HEIGHT

GREY CONCRETE (RE:CIVIL)

WINTER PARK LANDSCAPE REQUIREMENTS

			WINTER PARK	LANDSCAPE R	EQUREMENTS						
AREA OUTSIDE OF	TOTAL TREES REQUIRED (1 PER	TOTAL SHRUBS REQUIRED (5 PER		PROPOSED TREES		PROPOSED SHRUBS					
LTZ (SF)	1,500 SF)	1,500 SF)	DECIDUOUS TREES	EVERGREEN TREES	PERCENT OF EVERGREEN TREES	DECIDUOUS SHRUBS	EVERGREEN SHRUBS	PERCENT OF EVERGREEN SHRUBS			
6,177	5	25	10	9	47%	27	11	29%			

WINTER PARK BUFFERYARD REQUIREMENTS

	V	VINTER PARK	(LANDSCAPE	REQUREME	NTS			
	EVERGREEN TREES REQUIRED	EVERGREEN TREES PROVIDED	DECIDUOUS TREES REQUIRED	DECIDUOUS TREES PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED	BERM HEIGHT	DEFICIENCY
N BOUNDARY LENGTH: 72 LINEAR FEET ADJACENT PROPERTIES ARE ZONED:R-1 BUFFER YARD TYPE: A	1.5	1	1.5	2	0	0	N/A	N/A
S BOUNDARY LENGTH:73 LINEAR FEET ADJACENT PROPERTIES ARE ZONES: R-1 BUFFER YARD TYPE: A	1.5	2	1.5	1	0	0	N/A	N/A
E BOUNDARY LENGTH:162 LINEAR FEET ADJACENT PROPERTIES ARE ZONES: R-1 BUFFER YARD TYPE: A	3	3	4	4	0	0	N/A	N/A
W BOUNDARY LENGTH:151 LINEAR FEET ADJACENT PROPERTIES ARE ZONES: R-1 BUFFER YARD TYPE: A	3	3	3	3	0	0	N/A	N/A

DESIGN BY LH DESIGN CC

/U CUB CREEK WAY,
ANDSCAPE DESIGN
70 CUB CREEK WAY, LOT 4, WINTER

SHEET: -L002

DRAFTED BY: -LHOWELL

SCALE: -1"=10'

DATE: -8-22-2025

REVISIONS: -



23'-10"

15'-8"

PROJECT INFORMATION

> LAKOTA POINTE FILING NUMBER 1 **LOT NUMBER 4**

OWNER & BUILDER 70 Cub Creek Way, LLC

3825 Pierce Street Wheat Ridge CO 80033 Phil De Coster

720-633-7270 Nick Glassner 602-320-7272

ARCHITECT **Habitation Solutions** Jeff von Breitenfeld 303-564-7641

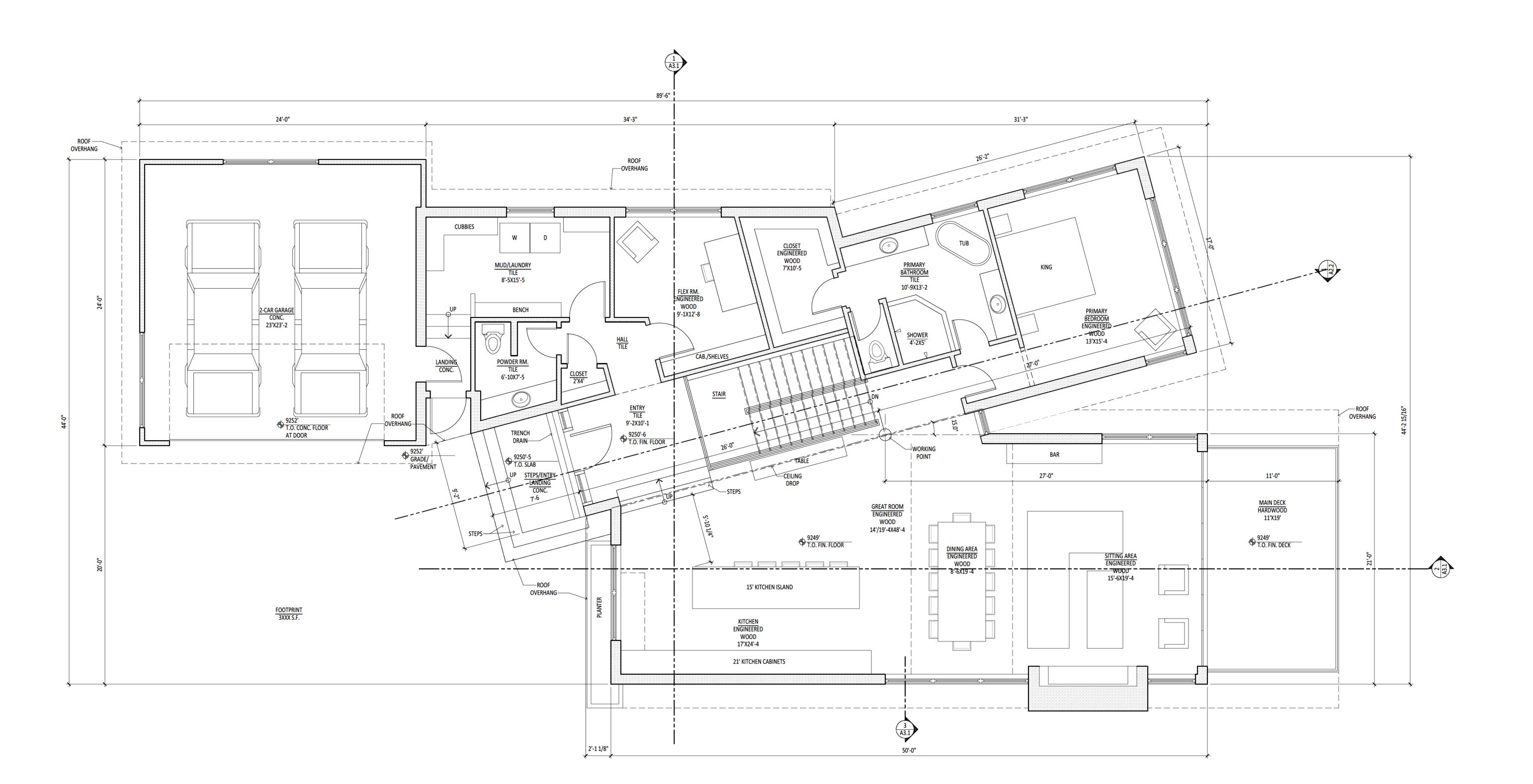
RECEPTION NUMBER 2024005808 CONTACTS:

HABITATION SOLUTIONS 7381 South Glencoe Way Centennial Colorado 80122 303-564-7641

Sheet Number A1.0

Lower Level Plan NORTH 1/4"=1'-0" 2237 S.F. GROSS FLOOR PLATE

ARCHITECT Habitation Solutions Jeff von Breitenfeld 303-564-7641



Sheet Number A1.1

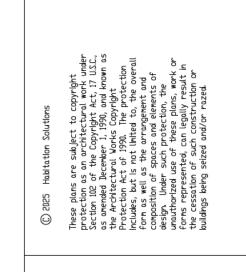
Main Level Plan

1/4"=1'-0" 0 1' 2' 5'

2256 S.F. GROSS FLOOR PLATE 559 S.F. GARAGE 209 S.F. DECK

602-320-7272

ARCHITECT Habitation Solutions Jeff von Breitenfeld 303-564-7641



House Project for Jub Creek Way, LLC

A New House Fro

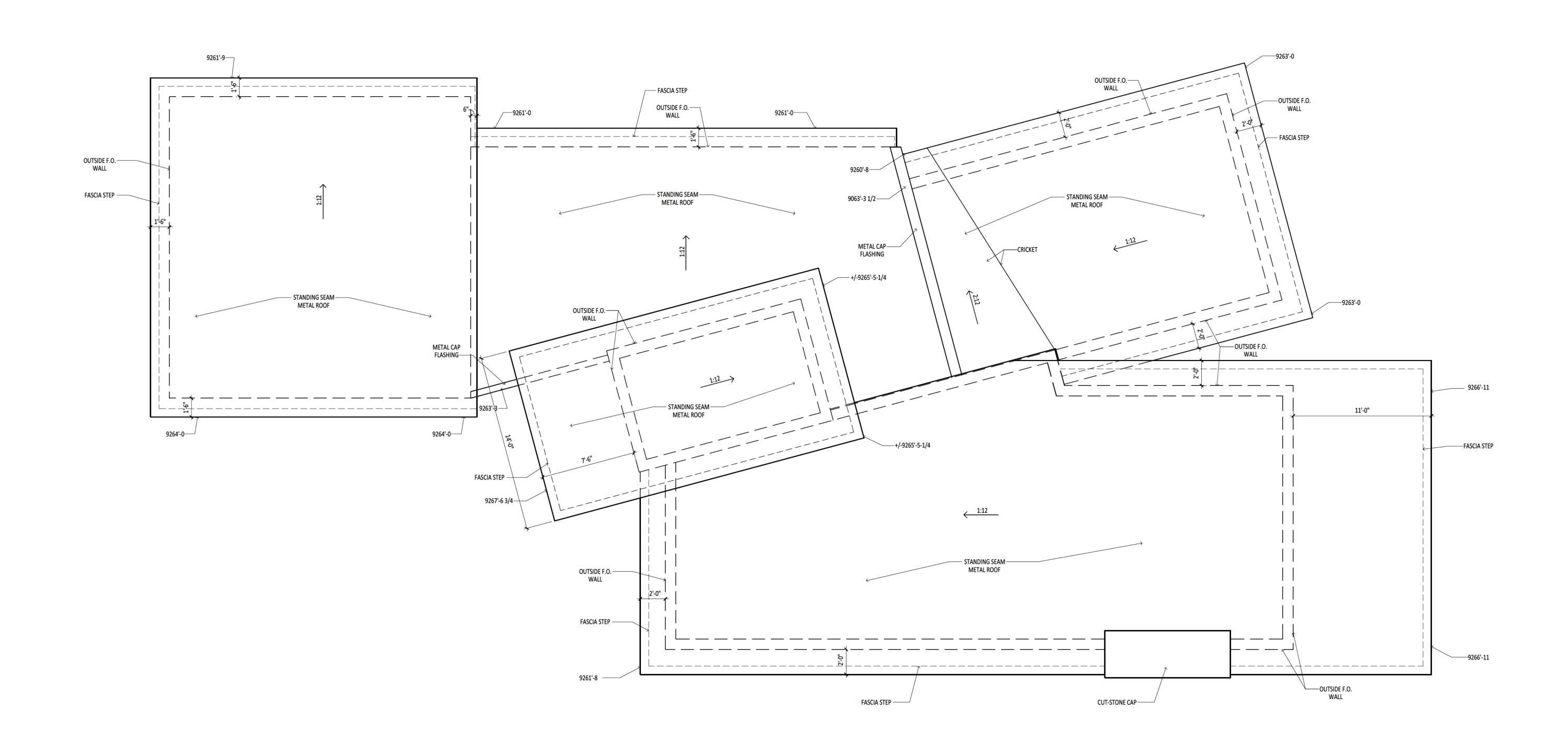
A New 70

Design Developmen |
August 22, 2025
Plan Review--NOT FOR CONSTRUCTION

Drawing:
Roof/Parapets Plan
Notes

Sheet Number

Sheet Number
A1.2



Roof/Parapets Plan

1/4"=1'-0"

0 1' 2' 5'

70 CUB CREE EXTERIOR MATERIALS



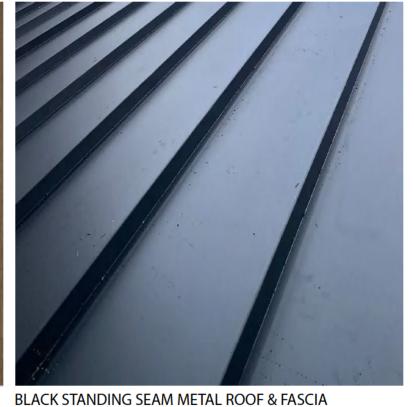




WOOD SOFFIT



CEDAR SIDING - STAIN COLOR: BERTHOUD





PATINA'D FRONT & GARAGE DOOR





Disclaimer: Digital preview; actual materials may vary

70 CUB CREEK

EXTERIOR LIGHTS



Company:	
Location:	Fixture Type:
SPEC #: TLG493295	



Project:	
Company:	
Location:	Fixture Type:
SPEC #: HIN502751	
Approved On:	Approved By:



Nate Outdoor Wall Sconce By Visual Comfort Modern



Luna LED Outdoor Ceiling Light Fixture By Hinkley Lighting

The Luna LED Outdoor Ceiling Flush Mount

features a Bronze, or Satin Black finish with an

etched glass lens. Dimmable with a CL Type

dimmer (SSL7A), 0-10V on 277V.



Shown in satin black / etched glass







Vessel Outdoor Down Wall Light By Modern Forms



Description

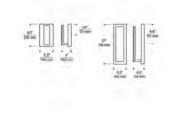
The Nate Outdoor Wall Sconce presents a bold, sleek profile inspired by modern lever door hardware. LED light is cast towards the backplate and wall, delivering indirect ambient lighting and a grazing effect on architectural surfaces. Aluminum construction with stainless steel mounting hardware, a powder coat finish, and impact-resistant UV-stabilized frosted acrylic lensing ensure durability against outdoor elements. With its clean look and contemporary finishes, the Nate is suitable for a range of indoor and outdoor spaces. The 9 inch high fixture is ADA compliant.



Notes

COLOR
BODY FINISH
WATTAGE
DIMMER Low Voltage Electronic
DIMENSIONS
INTEGRATED LED MODULE
COUNTRY OF ORIGIN
Technical Information
LAMP LIFE
COLOR RENDERING







Notes:

BODY FINISH	 	 	 	Satin Black
WATTAGE	 	 	 	8W
DIMMER	 	 	 Low Voltage	e Electronic
DIMENSIONS	 	 	 	8"W x 3.3"H
NTEGRATED LED MODULE	 	 	 . 1x LED/8W/12	0-277V LED
COUNTRY OF ORIGIN	 	 	 	China
Technical Information				
				nana L.

echnical Informa	ati	or	n											
AMPLIFE														40000 hours
OLOR RENDERING											-			96 CRI
AMP COLOR														3000К
UMENS/WATT														75.00
UMINOUS FLUX .														. 600 lumens



Vessel Outdoor Wall Light features a Silk Screen Glass diffuser with a Brushed Aluminum, Black, or White finish. Dark Sky Ordinance was developed as outdoor lighting standards that reduce glare, light trespass, and sky glow. ADA compliant. California Title 24 compliant. Wet location rated.

Lightology



BODY FINISH
WATTAGE
DIMMER Low Voltage Electronic
DIMENSIONS
INTEGRATED LED MODULE 1x LED/16.5W/120-277V LED
COUNTRY OF ORIGIN
Technical Information
COLOR RENDERING
LAMP COLOR
LUMENS/WATT
LUMINOUS FLUX



OUTDOOR SCONCES BY DOORS MOUNTING HEIGHT APPROX 7'-0" NUMBER OF LIGHTS IN PROJECT: 7

OUTDOOR SURFACE MOUNT DOWN-LIGHTS MOUNTED TO UNDERSIDE OF STRUCTURE NUMBER OF LIGHTS IN PROJECT: 7

OUTDOOR DECK RAILING LIGHTS MOUNTING HEIGHT APPROX 2'-6" NUMBER OF LIGHTS IN PROJECT: 9

Proposed # of Fixtures	Proposed Lumens per Fixture	Proposed Correlated Color Temperature (in degrees Kelvin)
7	62	3,000
9	30	3,000
7	600	3,000



Minor Site Plan Application: Retaining Wall Memo – 70 Cub Creek Way

September 3rd, 2025

To: Town of Winter Park: Planning Division

50 Vasquez Road, P.O. Box 3327, Winter Park CO 80482

permits@wpgov.com

In accordance with the requirements of UDC Section 2-B-4, this memorandum confirms that the proposed retaining wall will fully comply with the Town of Winter Park's Standards and Specifications for Design and Construction, as outlined below:

1. Design Standards

The retaining wall will be designed in full compliance with the Town of Winter Park Standards and Specifications for Design and Construction.

2. Setback Encroachment

The proposed location of the retaining wall is necessary to retain soils and stabilize the driveway. Its placement and function are an integral component of the approved landscape and grading plan.

3. Blending with the Natural Setting

To ensure visual compatibility with the surrounding environment, the retaining wall will be finished with native rock.

4. Engineering and Structural Requirements

As required under the Town's Building Code, the retaining wall will be designed and stamped by a Colorado Registered Professional Engineer specializing in structural engineering.

5. Height and Tiering Limits

The wall system will be limited to a maximum of three (3) tiers. Each tier will not exceed four feet (4') in height. Horizontal staggering between tiers will range between four to six feet (4'–6'), as required by Section 2-B-4.

Based on the above, the proposed retaining wall design meets all applicable requirements under UDC Section 2-B-4. We respectfully submit this memorandum for review and confirmation of compliance.

Sincerely,

Jenelle Tennigkeit