



**TOWN OF WINTER PARK  
BOARD OF ADJUSTMENT  
Tuesday, October 14, 2025 8:00 AM  
Immediately following Planning Commission**

**A G E N D A**

- I. Call to Order**
- II. Roll Call of BOA Members**
- III. Conflict of Interest**
- III. Approval of Minutes:** September 9, 2025
- IV. General Business:**
  - A. PUBLIC HEARING:** Administrative Decision Appeal – 37 Cooper Creek Way (BLD25-015)

**Online Meeting Login Instructions – See next page**

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+1 929 436 2866 US (New York)

+1 301 715 8592 US (Washington DC)

+1 305 224 1968 US

+1 309 205 3325 US

+1 312 626 6799 US (Chicago)

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**TOWN OF WINTER PARK  
BOARD OF ADJUSTMENT  
Tuesday, September 9, 2025 8:00 AM  
Immediately following Planning Commission**

**MINUTES**

**DATE:** Tuesday, September 9, 2025.

**MEETING:** Winter Park Board of Adjustment

**PLACE:** Town Hall Council Chambers and Zoom Meeting Call

**PRESENT:** Chair Dave Barker, Vice Chair Doug Robbins, BOA Members Shawn Cullingford, Dale McCaw, Tom McDonald, Justin Bontrager (Alternate) and Eric Mowrey (Alternate) are present. Also present are Community Development Director James Shockey, Senior Planner Brian Kelly, Planner II Adam Springer and Town Attorney Mr. Kunal Parikh.

**OTHERS  
PRESENT:**

**I. Call to Order**

Chair Barker called the meeting to order at 8:22 a.m.

**II. Roll Call of BOA Members**

All BOA Members are present today.

**III. Conflicts of Interest.**

No one comes forward.

**VI. Minutes:** August 12, 2025

BOA Member McCaw moves, and BOA Member McDonald seconds the motion approving the consent agenda. Motion carries 5,0.

**IV. General Business:**

**A. PUBLIC HEARING:** Building Height Variance Request – 78641 US Highway 40 (PLN25-038)

Planner Springer presents the Height Variance Request to the BOA. Planner Springer reads a summarized version of the Variance Request and the steps that were taken by the applicant and the Staff to make this Variance known to the public. Planner Springer has some visual aids for the BOA and the public.

The applicant is asking the BOA to allow a 13 ft. variance in this property. The applicant points out that the new dwelling will harbor amenities that don not currently exist. Then, Planner Springer shows on the screen the site plans, the renderings and the proposed height. The slide shows that the proposed

design is not totally enclosed. The Staff explains and describes to the BOA and the public the details of how the proposed design, if the Variance is granted, would look. Planner Springer points out that the Staff received four public comments: two against and two in favor. Finally, Planner Springer reads the criteria for approval. Some of the criteria could be argued both ways depending on interpretation and the particular design the applicant proposes. The Staff recommends approval of the Variance request highlighting that the impact on the character and hardship could be discussed among the BOA members in order to make a final decision.

Later, the BOA Members start discussing the height measurements of some of the elements of the proposed building. The applicant, Mr. David Treece comes forward. Mr. Treece provides more details about the architectural elements along with some background of his involvement in the community. Mr. Treece has a presentation about Best Western's role in the development of this new hotel. Mr. Treece highlights the construction of a bistro on the rooftop of the building which, according to the applicant, will offer something unique to the Town. There is also mention of the configuration of the hotel rooms, parking and other amenities.

Then, Mr. Treece acknowledges how the Town measures the building height according to zoning. Mr. Treece uses the presentation that he has prepared with his team to explain in more detail the different elevations. There are some dashed lines in different colors that correspond to different heights of different parts of the proposed building. Mr. Treece highlights the proposed underground parking for the dwelling.

The BOA and Mr. Treece have a brief conversation about the overall design. Mr. Treece says that the design is mostly personalized since it has to combine certain elements of the hotel chain but also taking into account the unique character of the Town. The BOA asks about how flexible the design could be. The BOA analyzes in more detail the dashed green line that the West elevation displays.

Chair Barker opens the Public Comment Period. Mr. John Simon (300 Lions Gate Drive) comes forward. Mr. Simon has one concern about the impact on the Town's character. He mentions that one of the characteristics of the Town is the open corridor on Highway 40 and he would like to have this feature maintained.

Mr. Craig Finley echoes Mr. Simon's concerns about the potential impact on the skyline.

Mr. Lenny Berman also comes forward. He also has some concerns about how this Variance, if granted, can set a precedent for similar developments.

Mr. Matt Sugar (78683 US Hwy 40) comes forward. Mr. Sugar would like the BOA to consider a blanket zoning for these types of developments where the building height can be increased.

Chair Barker closes the Public Comment Period.

The BOA invites the applicant to address the public's comments. Mr. Treece comes forward and states that they do not foresee a significant impact on the skyline since the building design and how it would be measured.

The BOA then proceeds to discuss how the criteria apply to this Height Variance Request. While the BOA appreciates the applicant to come with a design that fits with the Town's character, they would like the applicant to modify some architectural elements since all four criteria must be met for the Variance to be granted. Some of the proposed elements exceed the height that is currently in place in the Code.

The BOA clarifies that Variances are studied individually, and they do not set precedents for future Variances requests. The BOA also discusses the proposed parking (surface and underground) that might be taken into consideration in the analysis for granting or denying the Variance Height Request.

The BOA then proceeds to go over the four criteria for this Variance request. The Town Attorney, Mr. Kunal Parikh, says that the BOA can approve the Variance with conditions i.e. a specific height measurement. The BOA and Staff have a deeper conversation about this element. Mr. Treece comes forward and describes the configuration of the rooftop amenity which is what triggered the request for this Height Variance request. The BOA Members discuss

BOA Member Cullingford makes a motion to approve the Variance for Building Height Request – 78641 US Highway 40 (PLN25-038) based on what it is listed on Resolution No. 6, 2025 of the BOA Town of Winter Park with one condition that Staff has enough information about Exhibit B. BOA Member McCaw seconds. Motion is approved 5,0.

There being no further business to discuss, Member Robbins makes motion to adjourn, Member Cullingford seconds motion, by unanimous “aye”, the meeting is adjourned at 9:51 a.m.

The next scheduled meeting of the Board of Adjustment will be Tuesday, October 14, 2025, after the Planning Commission meeting.

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Irene Kilburn, Planning and Building Technician II

## MEMO

**TO** Board of Adjustment (BOA)  
**FROM** Brian P. Kelly, Senior Planner  
**THROUGH** James Shockey, AICP, Community Development Director  
**DATE** October 14, 2025  
**RE** PUBLIC HEARING: Appeal of Administrative Decision – BLD25-015  
(37 Cooper Creek Way, #315D) Plan Change Request

**Property Owner:** Cooper Creek WP, LLC

**Contact:** Mark Hanna, WC Johnson, LLC

**Contractor:** Jeremy Henn, Kuku Construction

**Location:** 37 Cooper Creek Way, Suite 315, Winter Park, CO 80482

**Background:**

On August 15, 2025, Cooper Creek WP, LLC (the "Applicant") submitted an application for a Plan Change Request for Building Permit BLD25-015, included with this memorandum. BLD25-015 was originally issued as an interior remodel permit for the conversion of a commercial space into five (5) community housing units – 315 A-E. In addition, BLD25-015 was exempt from site plan review pursuant to UDC § 5-E-1(A)(1)(a) because the interior remodel did not increase parking requirements or alter exterior building appearances.

Pursuant to UDC § 5-E-1(A)(2)(b), modifications to a previously approved site plan that do not increase gross square footage must be approved by an Administrative Site Plan review. The Plan Change Request proposed to add privacy screening between units A, B, and C, along with wood slat infills between existing exterior steel rolled balusters. As a result, these additions to the existing exterior balusters and inclusion of privacy screens triggered an Administrative Site Plan review by Town Staff.

**Administrative Review / Staff Comments:**

On August 26, 2025, the Town staff reviewed the Applicant's Plan Change Request and administratively determined that (1) no vertical slats shall be installed between the steel rolled balusters of the existing railings as was originally proposed and constructed for Cooper Creek Square and (2) the privacy screen between units is an acceptable change

to BLD25-015 (the "Determination Letter"). The Determination Letter sent to the Applicant is included with this memorandum. Illustrations of the vertical slats and privacy screens are included in the BOA packet.

Town staff concluded that the vertical slats do not align with the character of Cooper Creek Square, because these slats would be highly visible since the railing is located prominently within a well-traveled corridor. Importantly, Town staff confirmed that no other balconies or railings at or around Cooper Creek Square include these vertical slats. However, Town staff supported the need for privacy between neighboring units and determined the privacy screens accomplished this. However, to align with the character of Cooper Creek Square, Town staff concurred with Applicant to paint the steel framing "Cooper Creek Green" to match the railing, and to paint the privacy vertical slats "Cooper Creek Red."

In its Determination Letter, Town staff expressed concerns with the bulk and massing of the overall appearance of Cooper Creek Square and how the vertical slats would further obstruct views from and to the balcony area. Town staff determined that this obstruction would create an unwelcoming environment in Copper Creek Square and create an overly "monolithic" structure.

Moreover, Town staff was concerned that the proposed modification would alter the original design intent from the Applicant's Development Review Committee application



*Figure 1: DaVinci Deck Proposal (2014)*

submitted in 2014 (the "2014 Proposal"). Figure 1 below, which was included in the 2014 Proposal, demonstrated a cohesive balcony design that matches the architecture of the entire Cooper Creek Square railing system.

The 2014 Proposal also stated, "Steel railings will surround the deck and all metal components will be painted to match the existing green of Cooper Creek Railings." Cooper Creek Railings were first proposed in 1982, and subsequent submittals showed a consistent rail design (Figure 2 below). Figure 3 below shows Cooper Creek Square railing details fabricated to match despite height variations on all three levels.

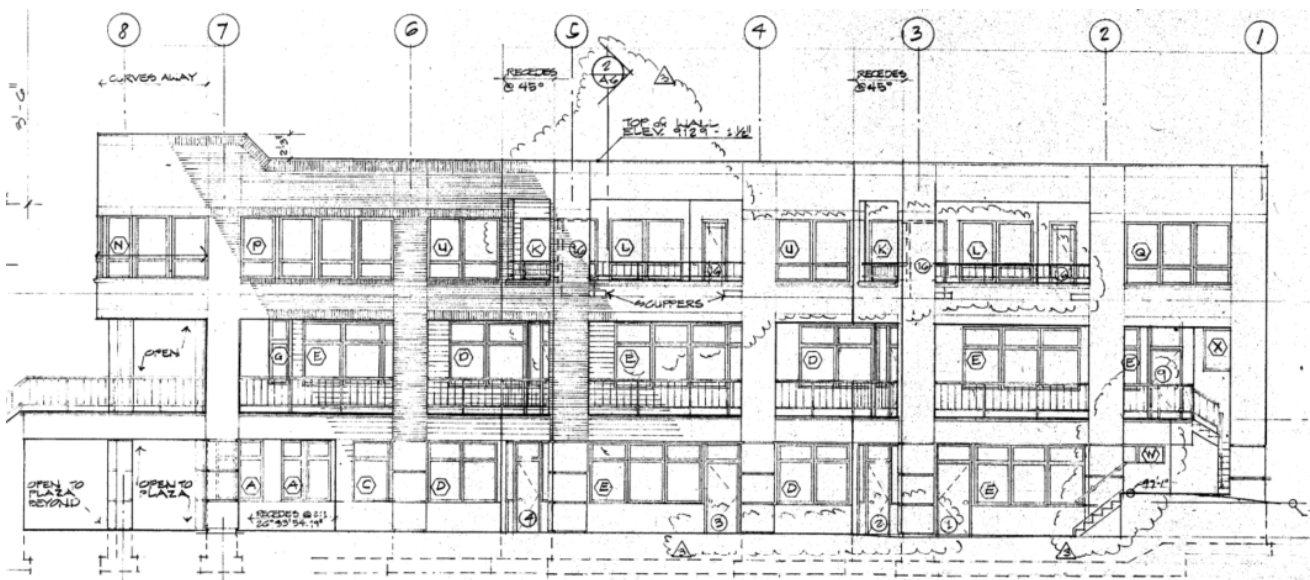


Figure 2 East Elevation, street level railing not shown (1982)

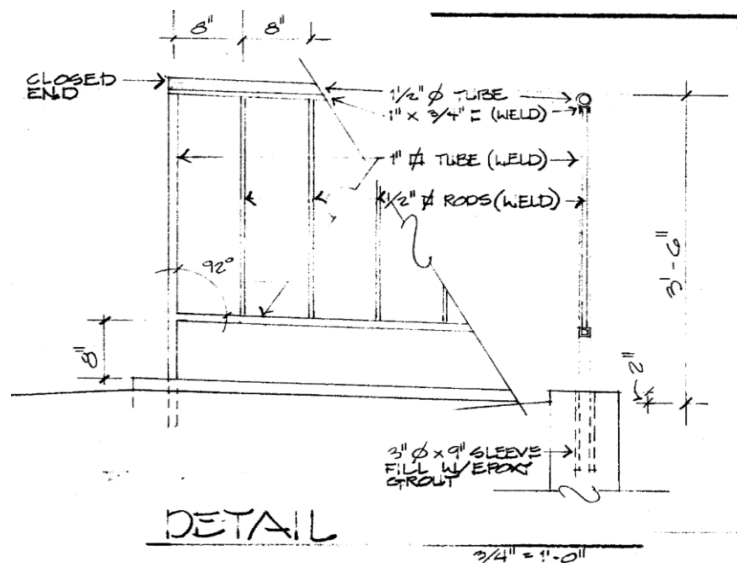


Figure 3 Railing Detail proposed design (1982)

As shown in Figure 4 below, Applicant's Plan Change Request proposes a railing configuration that places wood slats in the space between the half (1/2) inch rods in the balcony area that is located in a prominent location above Cooper Creek Way and US Highway 40. Town staff is concerned that these wood slats are inconsistent with the rest of Cooper Creek Square.



*Figure 4 Installed proposed wood slats (to be stained)*

While Town staff acknowledges that architectural diversity is an important design consideration throughout the Town and is discussed in the Winter Park Design Guidelines (the "WPDG"), there are no railings that currently exist within the Destination Center Zoning District (D-C) that are filled as proposed by the Applicant. Consistent railing designs contribute to Town wide connectivity between structures of different development periods. The WPDG provides enforceable principles that inform context sensitive designs. Notably, the Town considered WPDG § 1.1.3 *Connect to Nature*, WPDG § 1.1.4 *Engage with the Public Realm*, and WPDG § 2.6 *Fences and Walls*, which discusses designs that connect to nature, are sensitive to maintaining views, that interact with the street system, and incorporating a fence or a wall that maintains visibility to and from the street to enhance engagement.

**Applicant's Reasons why the Appeal Should be Granted:**

See Applicant's response letter dated September 4, 2025, sent via email received September 8, 2025, included with this memorandum.

### **§ 5-B-8 Public Notice Requirements:**

This appeal request has had proper public notice pursuant to UDC § 5-B-8. A Newspaper Publication (PUB) was published in the Middle Park Times and Sky-High News on October 1, 2025, providing notification of the meeting and requesting comments. A Surrounding Property Owners Mailing (ML) was sent to property owners within 300' of the subject property on September 29, 2025. The Property Posting (PO) was installed on September 26, 2025, meeting the minimum fourteen (14) day requirement prior to the public hearing or final decision date.

One (1) comment has been received and is included in the BOA packet.

### **BOA Review and Decision:**

Pursuant to UDC § 5-F-2, the BOA must review the Plan Change Request, the Town's Determination Letter, and the Applicant's September 4, 2025, letter. These documents constitute the record on appeal and no additional materials may be considered now. The BOA must apply the same criteria outlined in the Town's Determination Letter to reach its own determination about whether the wood slats proposed by the Applicant would violate the UDC and the WPDG.

The applicable criteria are set forth below:

1. Whether the proposed modification aligns with the original design intent of Cooper Creek Square;
2. Whether the proposed modification violates WPDG § 1.1.3 *Connect to Nature*;  
"Winter Park is a place enriched by its connection to nature. Development should maintain and enhance this connection by incorporating natural materials for buildings, native plants for landscaping, and by incorporating green spaces. Connecting to nature also means being sensitive to, and maintaining views from, the public realm to the surrounding mountains and other landmarks."
3. Whether the proposed modification violates WPDG § 1.1.4 *Engage the Public Realm*;  
"Development in Winter Park must respect and engage the public realm to foster pedestrian activity and enhance the aesthetics of the Town. Projects should be designed to interact with the street system and emphasize pedestrian-scale development."
4. Whether the proposed modification violates WPDG § 2.3.1 *Mitigate Negative Impacts of a Large Building on a Sensitive Property*;  
"Effective treatments include:
  - A transition in building height, such as an upper floor stepback, or overall height reduction; and
  - Increased front, rear, or side setbacks"
5. Whether the proposed modification violates WPDG § 2.4.2 *Provide a Pedestrian Connection Between Site and the Public Realm*; and  
"When a property is adjacent to a public open space, connect the site to the open space."
6. Whether the proposed modification violates WPDG § 2.6 *Fences and Walls*.  
"Where a fence or wall is provided in front, it should be designed to maintain visibility from the

street to the residential building. Walls include site walls and retaining walls. While fences and walls often serve utilitarian functions, they should also enhance the character of the street and appear to be integral components of site design.”

Pursuant to UDC § 1-C-2, it is unlawful to erect, construct, reconstruct or alter any building or structure in violation of these regulations, or any amendment thereto enacted or adopted by the Town. Further, UDC § 3-A-8 states the WPDG are (1) incorporated into this UDC through Appendix A; and (2) provided as a policy document to alert builders, developers, and property owners of the Town's desired style of future development.

Here, Town staff based its denial on the above criteria in the WPDG, because the UDC explicitly incorporates the WPDG. Therefore, a violation of the WPDG is the same as a violation of the UDC, and can be used as a basis for denial.

The BOA may consider whether conditions imposed on Applicant's proposed modification could allow Applicant to meet the applicable criteria.

**Staff Recommendation:**

Staff assessed the Application, the Plan Change Request, and compared both to the 1982 Railing Design and the 2014 Proposal originally proposed by the Applicant.

Town Staff previously determined that the proposed addition of wood slats would not align with the character, function, or intention of the original design. The BOA must now make its own determination using the applicable criteria outlined above.

**Sample Motion to Affirm:**

I move to **affirm the Administrative Decision** to deny the Plan Change Request for the reasons discussed today and as set forth in the attached Staff Response Letter, finding **[insert explanation supported by the evidence here]**.

**Sample Motion to Reverse:**

I move to **reverse the Administrative Decision** to deny the Plan Change Request for the reasons discussed today and as set forth in the Appeal Letter, finding **[insert explanation supported by the evidence here]**.

August 26, 2025



Mr. Jeremy Henn  
Kuku Construction  
PO Box 3192  
Winter Park, CO 80482

*Sent via email to* [info@kukuconstruction.com](mailto:info@kukuconstruction.com)

Re: Building Permit Plan Change Request for 37 Cooper Creek Way, Unit #315 D – Lots 1-3 Cooper Creek Square Subdivision (BLD25-015) - Winter Park, Colorado

Mr. Jeremy Henn,

The Planning Division received and reviewed your Plan Change request for the construction of wood slat infills between the exterior steel rolled railing balusters and additional privacy screening of similar design style between units as part of the building permit (BLD25-015). The development of the Property under the aforementioned building permit was not previously required to undergo an Administrative or other Site Plan Review as this was exempt per UDC§5-E-1(A)(1) *Exemptions*. However, this Plan Change request will require the Planning Division to review the exterior modifications, pursuant to the Unified Development Code (UDC) § 5-E-1(A)(2)(b), *Administrative Site Plans*.

The Planning Division has concerns that the proposed modification alters the original design intent. The overall bulk and massing of the Cooper Creek Square creates a dominant structure of solid brick, concrete and glass in a relatively monolithic form. The railings along the ground level, second level, and in particular the balcony structure of the third level provides an open view of the commercial areas and open engagement with the public areas. The balcony area proposed in the Plan Change request is situated in a prominent location and is easily viewed from the lower levels and Highway 40 (aka Main Street). The proposed residential units were not an intent of the original design and any alteration to the exterior site for their development must be sensitive to the architecture of the commercial purpose and cohesiveness of Cooper Creek Square.

Although, architectural diversity is an important part of design in Winter Park as is highlighted in the Town of Winter Park 2021 Update to Design Guidelines (WPDG) few if any balcony screening is demonstrated within the D-C Zoning district. Other guiding principles that informs context sensitive design can be found in the following sections of the WPDG:

- §1.1.3 *Connect to nature*
- §1.1.4 *Engage the public realm*
- §2.3.1 *Mitigate negative impacts of a large building on a sensitive property*
- §2.4.2 *Provide a pedestrian connection between site and the public realm*

Specific principles applied to the proposed change is connection to nature (WPDG§1.1.3 *Connect to Nature*) which means being sensitive to and maintaining views; there is also the

principle of engaging with and respect for the public realm. Projects should be designed to interact with the street system and emphasize pedestrian scale development (WPDG§1.1.4 *Engage the Public Realm*). Incorporating a fence or a wall in the design of a development site should be done judiciously, maintaining visibility to and from the street to enhance the engagement (WPDG§2.6 *Fences and Walls*).

Determination and Conditions:

1. Administrative Site Plan

An Administrative Site plan is required per the UDC§5-E-1 *Site Plan*. An Administrative Site Plan is applicable when a change in use involves or requires site improvements; or modifications to a previously approved site plan that does not increase gross square footage. The review procedure for the Plan Change Request was performed to the requirements and is recognized as an Administrative Site Plan Review. The following are conditions of the determination:

a. Front & Side Facing Railing

No vertical slats shall be installed between the steel rolled balusters of the existing railings as was originally proposed and constructed for Cooper Creek Square.

b. Privacy Screen

The Privacy Screen between units is an acceptable and approved change to the building permit (BLD25-015). The framing must be painted to match the railing as described "Cooper Creek Green", the vertical slats will be painted "Cooper Creek Red".

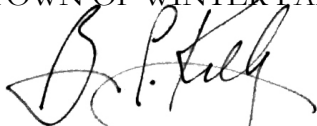
All conditions of approval must be addressed at the time of Final Inspection. The Town hereby partially approves your request, and you may move forward with your Plan Change request as noted in the Determination above.

Per the UDC§5-F-2 *Appeals of Administrative Decisions*, any person aggrieved by the decision of the Director may appeal the decision by submitting a written request for appeal to the Town Clerk within fourteen (14) days after the date of the decision. Further procedures are outlined in the UDC§5-F-2(E) *Procedures*.

If you have any additional questions or need further information, please contact me at 970-726-8081 ext. 218 or [bkelly@wpgov.com](mailto:bkelly@wpgov.com).

Sincerely,

TOWN OF WINTER PARK

A handwritten signature in black ink, appearing to read "B. P. Kelly", written over the printed name.

Brian P. Kelly, MLA, LEED® AP  
Senior Planner

Cc: James Shockey, AICP, Community Development Director, Town of Winter Park

September 4, 2025

Town of Winter Park

Attention: Community Development, Planning Division

Mr. Brian P. Kelly, Senior Planner

(Sent via email to Town Clerk)

Re: Petition of Appeal of Administrative Review decision dated August 26, 2025 (“Decision Letter”) denying the installation of vertical wooden slats between the steel rolled balusters of the existing railings on an area of Cooper Creek Square’s third floor, at the site of an ongoing conversion of commercial space into workforce housing units.

Cooper Creek Square respectfully requests that the negative decision on the application for privacy slats to be installed as per the permit change application for permit BLD25-015, as set forth in the Decision Letter, be reversed. While the attached Decision Letter is well reasoned, we believe the rationale is misapplied in some areas and demonstrably false in others. We will respond with our concerns in each principal section of the Decision Letter below.

Decision Letter:

#1

*The Planning Division has concerns that the proposed modification alters the original design intent. The overall bulk and massing of the Cooper Creek Square creates a dominant structure of solid brick, concrete and glass in a relatively monolithic form. The railings along the ground level, second level, and in particular the balcony structure of the third level provides an open view of the commercial areas and open engagement with the public areas. The balcony area proposed in the Plan Change request is situated in a prominent location and is easily viewed from the lower levels and Highway 40 (aka Main Street). The proposed residential units were not an intent of the original design and any alteration to the exterior site for their development must be sensitive to the architecture of the commercial purpose and cohesiveness of Cooper Creek Square.*

The Decision Letter is correct that the original design, from 1982, of the railings on the ground level and second level provides an open view of the commercial areas and open engagement with the public areas. However, this is only true as to those areas that were then and are now open to the general public. All the balconies built in 1982 that served the third-floor office areas had limited public viewing then and as they do now. We have attached images of these balcony railings, all six of which are now incorporated into the conversion of

prior commercial space into workforce housing on the third level of Cooper Creek Square. These six balconies had a maximum 'open view' area from only 13.5" to a maximum of 23.5". (See attached images,)

The third level deck where we are asking to install railing slats was added to Copper Creek Square in 2014, thirty-two years after the original design intent was implemented. The deck was added to enhance the experience at the restaurant that occupied that space at that time. The deck was designed as 'open view' to entice the public to walk up the three stories to enjoy the view. Again, the design intent was consistent with that of 1982 to only provide an 'open view' to those areas that were open to the public. That public access is now terminated. The deck will now be like the other six balconies that are restricted from public access.

The Decision Letter is further correct that the area of the railing in question is situated in a prominent location and is easily viewed from the lower levels and Highway 40 (aka Main Street). This is the exact problem that we are trying to address by installing the proposed slats. This deck is located squarely at the "prow" of Cooper Creek Square. It is the first area that pedestrians and motorists alike see when they approach Cooper Creek Square from Main Street. We believe the proposed tastefully designed screening will enhance the privacy of the new residential tenants while not harming the appeal of Cooper Creek Square and livelihoods of the current commercial tenants and their employees.

Cooper Creek Square has been prominent in supporting and creating workforce housing in Winter Park. Already 34 workforce housing bedrooms have been created at Cooper Creek Square by the conversion of previous commercial space on the third level. This petition is part of the addition of four more bedrooms to that total. Workforce housing is very necessary, but it is not always pretty. Cooper Creek Square has limited control over who rents these units and how they decorate and use their spaces. We primarily rent these units to local businesses who then provide them as employee housing. Cooper Creek Square, the businesses of Cooper Creek Square and their employees, and the Town of Winter Park that benefits from the tax revenues created by those businesses need to be assured that the first impression at such a prominent location is not diminished by unsightly furniture and activity.

This first section of the Decision Letter then states: The proposed residential units were not an intent of the original design and any alteration to the exterior site for their development must be sensitive to the architecture of the commercial purpose and cohesiveness of Cooper Creek Square. This is not entirely correct. Cooper Creek Square from its inception had at least a portion of its space dedicated to residential use as can be seen in the attached original 1982 plan sheet of the first building erected at Cooper Creek Square. This plan sheet is on file with the Town of Winter Park Building department. From those plans, it is evident that spaces not open to public access were never intended to have 'open view'.

Decision Letter:  
#2

*Although, architectural diversity is an important part of design in Winter Park as is highlighted in the Town of Winter Park 2021 Update to Design Guidelines (WPDG) few if any balcony screening is demonstrated within the D-C Zoning district. Other guiding principles that informs context sensitive design can be found in the following sections of the WPDG:*

- *§1.1.3 Connect to nature*
- *§1.1.4 Engage the public realm*
- *§2.3.1 Mitigate negative impacts of a large building on a sensitive property*
- *§2.4.2 Provide a pedestrian connection between site and the public realm*

*Specific principles applied to the proposed change is connection to nature (WPDG§1.1.3 Connect to Nature) which means being sensitive to and maintaining views; there is also the principle of engaging with and respect for the public realm. Projects should be designed to interact with the street system and emphasize pedestrian scale development (WPDG§1.1.4 Engage the Public Realm). Incorporating a fence or a wall in the design of a development site should be done judiciously, maintaining visibility to and from the street to enhance the engagement (WPDG§2.6 Fences and Walls).*

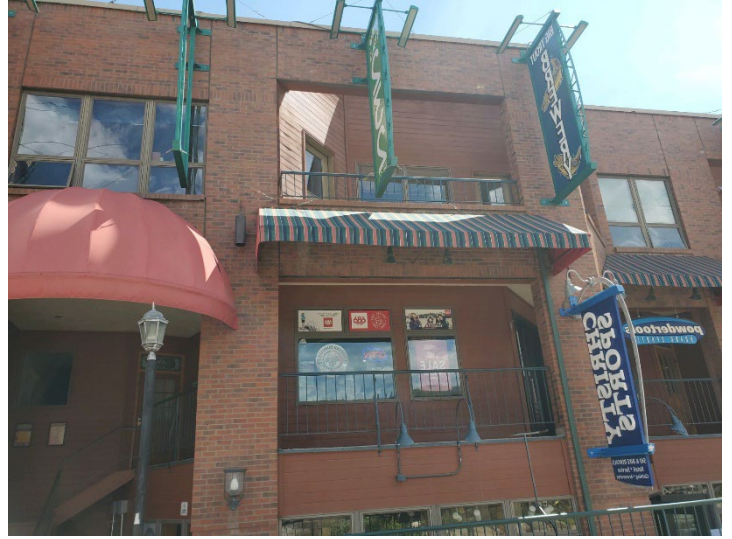
This first statement, “...few if any balcony screening is demonstrated within the D-C Zoning district”, is demonstrably false. From the above description and attached images of the six balconies always at Cooper Creek Square, our proposal is consistent with the design intent of Cooper Creek Square within the D-C Zoning District.

In conclusion, we believe that our community commitment to workforce housing needs should not be punished, and that the proposed screening is a judicious and appropriate use of tasteful materials already in use at Cooper Creek Square. The screening will enhance the privacy of the new residential tenants while not harming the appeal of Cooper Creek Square and livelihoods of the current commercial tenants and their employees.

Respectfully submitted,

*Mark Hanna*

Mark Hanna, Counsel





## BUILDING PERMIT PLAN CHANGE REQUEST FORM

Today's Date: August 15, 2025

Owner: Cooper Creek WP, LLC

Phone: 970-531-1922

Contact: Mark Hanna

Phone: 970-531-1922

Contractor: Jeremy Henn Kuku Construction

Phone: 303-906-2720

Building Permit Number: BLD25-015 Jobsite Address: 37 Cooper Creek Wy, Unit# 315 D, Winter Park, CO 80482

Legal Description: Lots 1-3, Cooper Creek Square Subdivision

Comments: Attached plans show changes and there is a mockup on the current rail at Cooper Creek Square

**ADDITIONAL COSTS FOR THIS PLAN CHANGE (LABOR PLUS MATERIALS):** \$3,000

Details of Plan Change: Add wood to current balcony rail and add two privacy panels

Metal railing will be repainted in Cooper Creek Green and wood will be stained in Cooper Creek Red

One (1) set of updated plans in PDF format            Yes            No

Received by:                                  Date:                         

Approved by Planning Dept.:                                 

Date:                         

Fee: \$                         

Approved by Building Dept.:                                 

Date:                         

Fee: \$                         

COPY TO INSPECTOR WHEN SUBMITTED?                         

COPY TO INSPECTOR WHEN APPROVED?                         

**TOTAL PLAN CHANGE FEE: \$**

COOPER CREEK EXISTING BALCONY

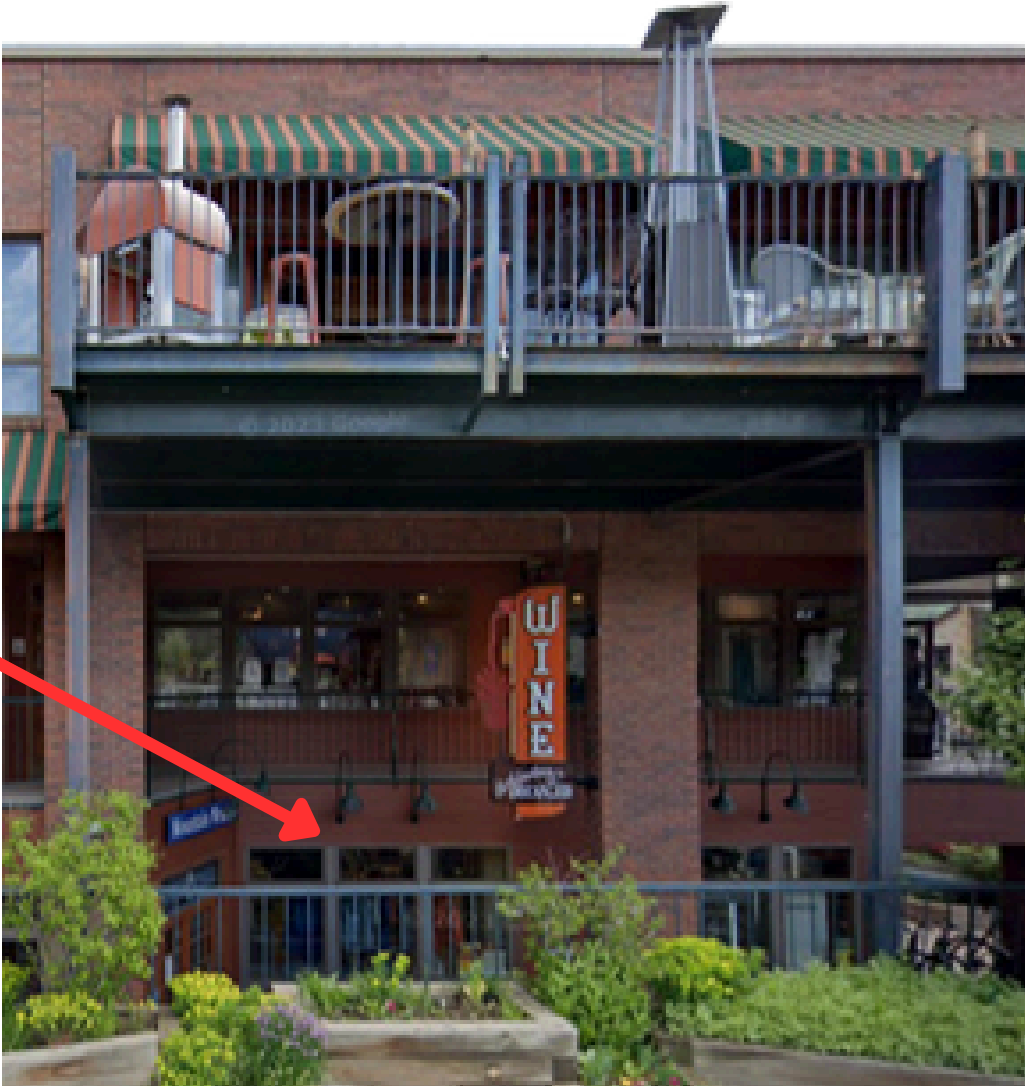




PRIVACY FENCE

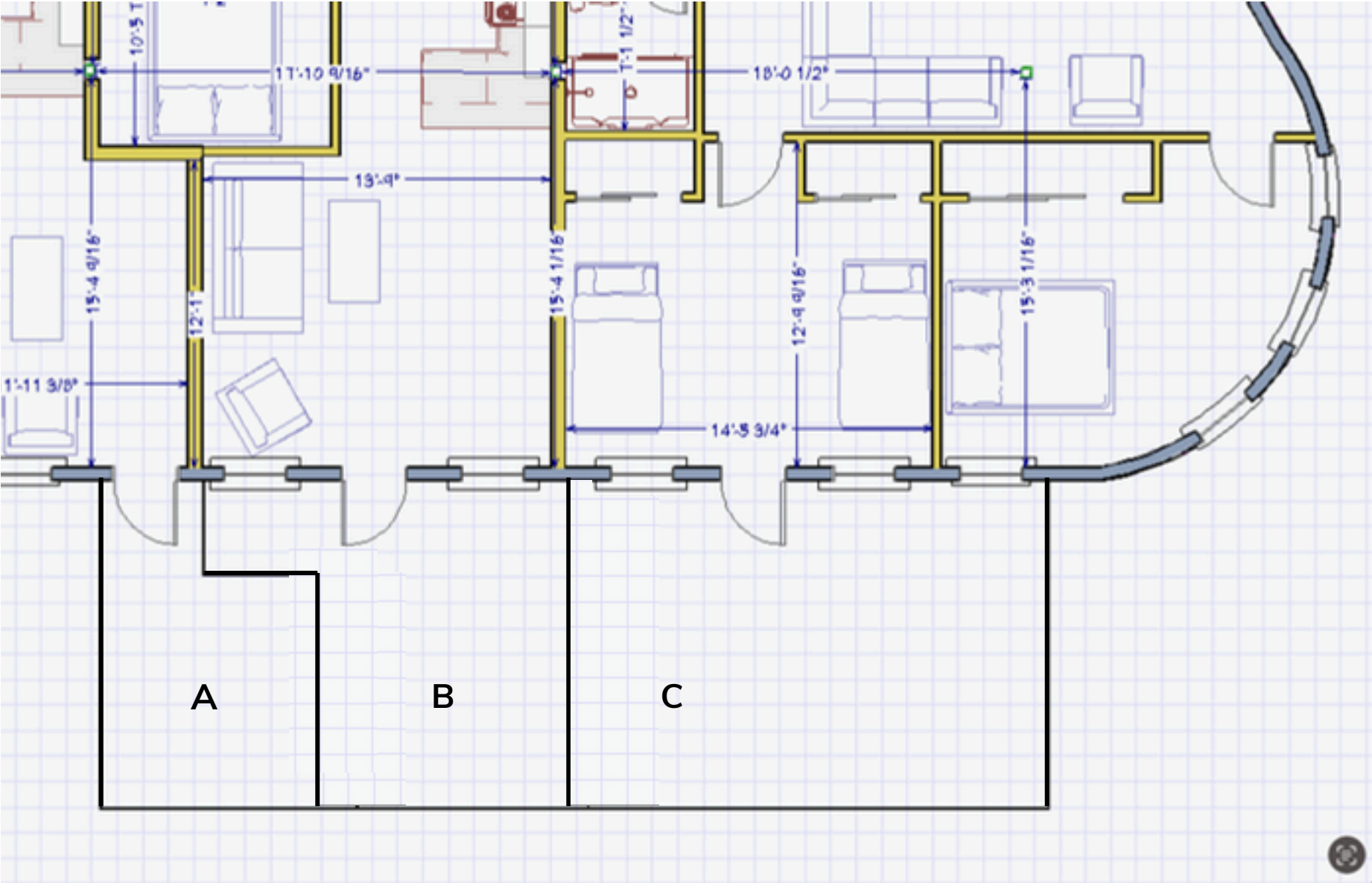


CEDAR STAINED TO  
MATCH EXISITING SIDING



EXISTING SIDING  
COLOR REFERENCE

BALCONY PLAN





PRIVACY FENCE



EXISTING  
to remain with  
vertical cedar pieces  
added as shown in  
previous slide

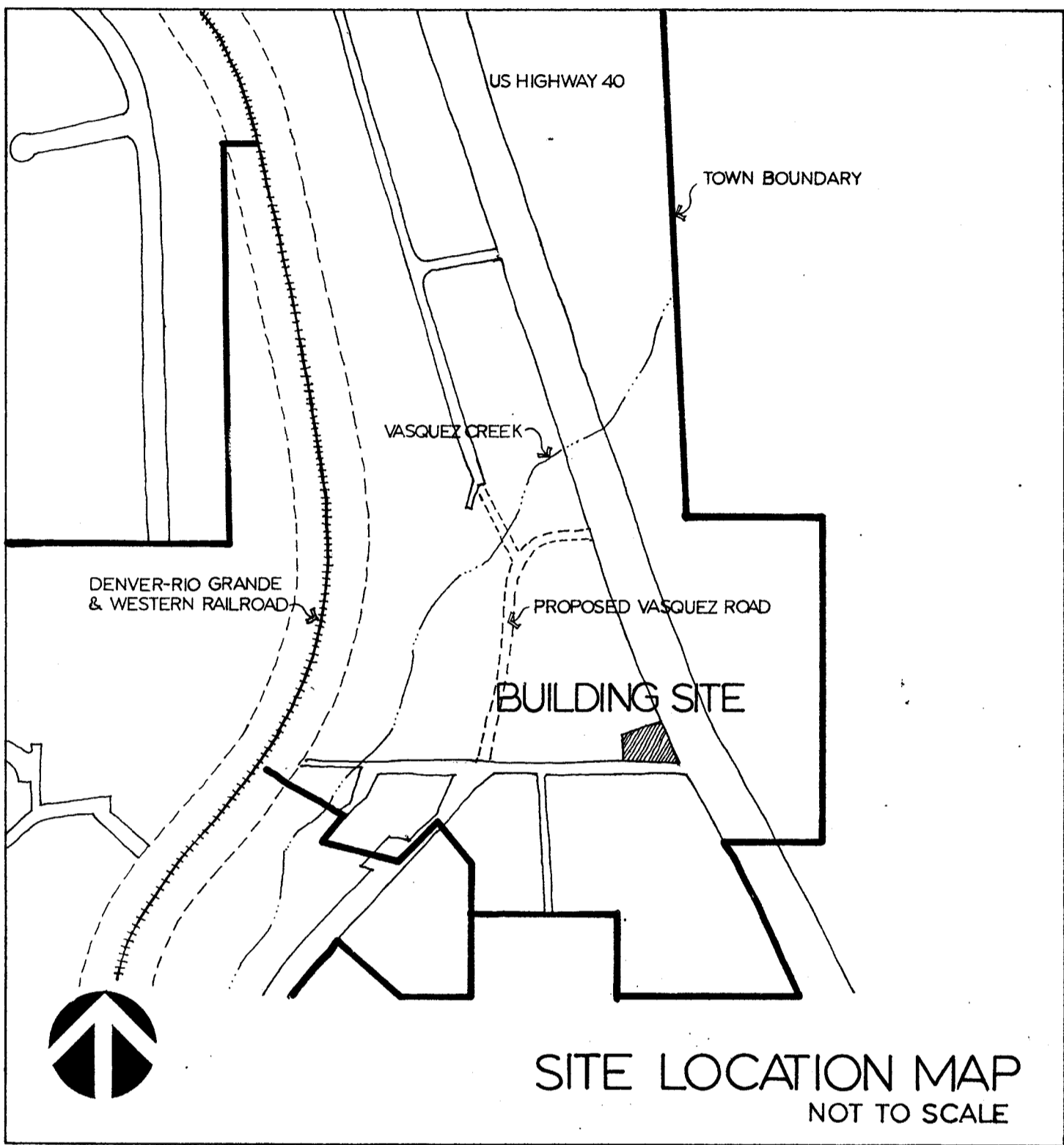
ADDED BALCONY DIVIDERS  
New square metal  
posts to match  
existing metal railing  
Cedar stained  
to match existing  
siding

GENERAL NOTES

- 1. The Building is Type V - One Hour Three-story construction throughout.
- 2. All dimensions shown on drawings are to face of stud or structure unless designated otherwise.
- 3. Contractor field-verify all dimensions. Review any discrepancies with Architect prior to construction of area in question.
- 4. Construction shall conform to the following Codes:
  - 1979 Uniform Building Code
  - 1979 Uniform Mechanical Code
  - 1979 I.C.B.O. Plumbing Code
  - 1981 National Electrical Code
- 5. Foundation design is based on "Soil and Foundation Investigation," project No. 3197 dated May 10, 1982, by Thomas E. Summerlee and Associates, Inc., Colorado Springs, Colorado.
- 6. Install double floor joist under parallel partitions, unless otherwise designated on the Drawings.
- 7. Install minimum 2-inch nominal fire-blocking at all floors, stairs, etc., maximum 10 feet on center vertically and horizontally.
- 8. Floor elevations shown on architectural drawings are in feet and inches and referenced to topographic survey dated May 15, 1982 by Sholders & Associates, Colorado LS 14886 Lakewood, Colorado.
- 9. Shop drawings shall be submitted and processed as follows:
  - Submit one reproducible copy of all drawings to Architect along with 5 copies of materials lists, schedules and brochures and samples as required. Architect will reproduce 4 sets of approved drawings, lists, etc. and forward to Contractor.
  - Submit shop drawings for:
    - (1) structural and miscellaneous steel.
    - (2) doors, door frames, finish hardware and schedule.
    - (3) cast stone
    - (4) cabinet work and millwork
    - (5) toilet partitions and accessories
    - (6) concrete reinforcing steel layouts
    - (7) mill-fabricated wood stairs
    - (8) fire alarm systems
    - (9) awnings
    - (10) skylights
    - (11) Items noted elsewhere in the Construction Documents.
    - (12) Other as required by the Structural and Landscape Drawings and Specifications
    - (18) guardrails and Handrails
- 10. All requests for materials and methods substitutions shall be submitted to the Architect for approval.
- 11. In all areas where ceramic tile is used as floor covering, 1/2" CDX Plywood shall be laid over subfloor in place of 3/8" particle board and shall be laid up perpendicular to subfloor.
- 12. All interior partitions are 2 x 4 studs @ 16" o.c. unless noted otherwise and have 1 layer 5/8" type 'x' drywall each side for 1 hour fire rating.  
TEST: UL Des U305
- 13. Walls requiring resilient channels are designated on floor plans as R and indicates which face of studs to apply resilient channel. Resilient channel is screw-attached to face of stud or face of plywood sheathing (reference: structural drawings). Channels are installed horizontally 24 inches on center. Place 3 1/2-inch batt insulation in wall cavity in walls where resilient channel is called out. 1 hour fire rating  
TEST: UL Des U311.
- 14. Provide solid blocking as required for support of grab-bars, wall-hung vanity tops, etc. Provide frame openings for recessed fixtures.
- 15. Install drywall on inside of framed openings for recessed fixtures as required to maintain integrity of fire-rated partitions.
- 16. Reference General Notes on Structural, and Landscape Drawings.
- 17. Shop drawings for the general fire alarm system shall be submitted to the Winter Park Building Official for their approval prior to installation.
- 18. On all walls adjacent to moisture producing areas ie, showers, kitchen, and restrooms install moisture resistive drywall.
- 19. All mechanical floor penetrations ie, ducts, plumbing, etc. shall be tightly filled and packed solid to maintain one hour integrity.
- 20. Typical suspended T-Grid ceiling systems shall be 2' x 4' grid.
- 21. Unless noted otherwise on the drawings, all metal flashing is 26 GA. Galvanized Iron.
- 22. Veneer brick shall be Type FBS, Grade SW per ASTM C216.
- 23. Mortar for brick veneer shall be Type 'S' per ASTM C270.
- 24. Brick pavers shall be Class 'SX', Type I per ASTM C902.
- 25. Brick veneer shall be applied in accordance with U.B.C. Standard No. 30-1.
- 26. ALL EXTERIOR STUD WALLS ARE 2X6 W/ R-19 BATT INSULATION.
- 27. ALL GYPSUM BOARD IS 5/8" TYPE 'X'

Cooper Creek Square

WINTER PARK, COLORADO



OWNER Cooper Creek Joint Venture  
ARCHITECT Braun/Vanderlip/Fulton,Arch,Denver,Co.  
STRUCTURAL ENGINEER Neujahr & Gorman,Lakewood,Co.  
CIVIL ENGINEER Gerard H. Pesman,Inc.,Boulder,Co.  
SOILS ENGINEER Thomas E.Summerlee & Assoc,Colo. Spgs.  
LANDSCAPE ARCHITECT Gary Roessler ASLA,Grand Lake,Co.

SITE DATA

- D-1 GRADING PLAN
- D-2 UNDERDRAIN PLAN & DETAILS
- D-3 PARKING AREA PLAN

ARCHITECTURAL

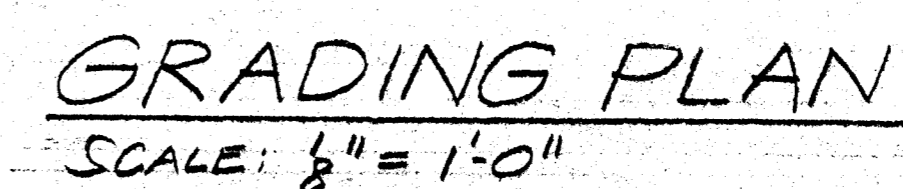
- A-1 LEVEL ONE FLOOR PLAN
- A-2 LEVEL TWO FLOOR PLAN
- A-3 LEVEL THREE FLOOR PLAN
- A-4 NORTH & EAST BUILDING ELEV'S WINDOW SCHEDULE
- A-5 SOUTH & WEST BUILDING ELEV'S WINDOW SCHEDULE
- A-6 BUILDING SECTIONS
- A-7 STAIR & MISCELLANEOUS DETAILS
- A-8 DOOR SCHEDULE

STRUCTURAL

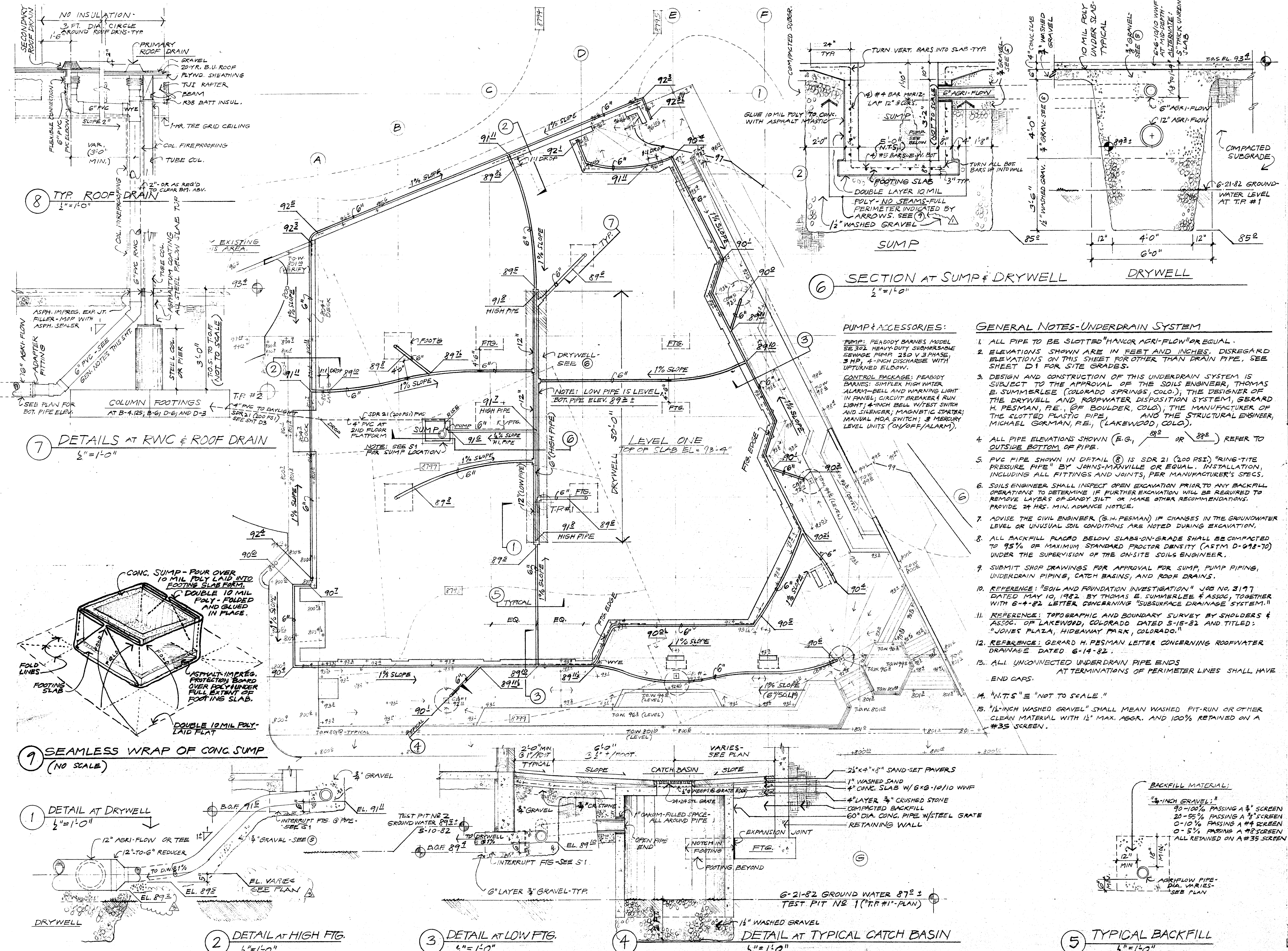
- S-1 FOUNDATION PLAN
- S-2 LEVEL TWO FRAMING PLAN WALL SECTIONS
- S-3 LEVEL THREE FRAMING PLAN WALL SECTIONS
- S-4 ROOF FRAMING PLAN, WALL SECTIONS, ROOF PLAN
- S-5 STRUCTURAL DETAILS AND GENERAL NOTES
- S-6 X-BRACE DETAILS STEEL DETAILS LINTEL SCHEDULE

MATERIALS LEGEND

- CAST-IN-PLACE CONCRETE
- BRICK
- STONE
- FINISHED LUMBER
- PAVERS
- WOOD STUD PARTITION
- BATT INSULATION
- STEEL



JUNE 24, 19	
REVISIONS	
①	GENERAL
③	MISS. CH.



**PUMP & ACCESSORIES:**

PUMP: PEABODY BARNES MODEL SE 302 HEAVY-DUTY SUBMERSIBLE SEWAGE PUMP 230 V 3 PHASE, 3 HP, 4-INCH DISCHARGE WITH UP-TURNED ELBOW.

CONTROL PACKAGE: PEABODY BARNES: SIMPLEX HIGH WATER ALARM-BELL AND WARNING LIGHT IN PANEL; CIRCUIT BREAKER & RUN LIGHT; 4-INCH BELL W/TEST SWITCH AND SUBMERGER; MAGNETIC STARTER; MANUAL HOA SWITCH; 3 MERCURY LEVEL UNITS (ON/OFF/ALARM).

- GENERAL NOTES-UNDERDRAIN SYSTEM**
1. ALL PIPE TO BE SLOTTED "HANCOR AGRI-FLOW" OR EQUAL.
  2. ELEVATIONS SHOWN ARE IN FEET AND INCHES. DISREGARD ELEVATIONS ON THIS SHEET FOR OTHER THAN DRAIN PIPE. SEE SHEET D-1 FOR SITE GRADES.
  3. DESIGN AND CONSTRUCTION OF THIS UNDERDRAIN SYSTEM IS SUBJECT TO THE APPROVAL OF THE SOILS ENGINEER, THOMAS E. SUMMERLEE (COLORADO SPRINGS, CO.), THE DESIGNER OF THE DRYWELL AND ROOFWATER DISPOSITION SYSTEM, GERARD H. PESMAN, P.E., (OF BOULDER, CO.), THE MANUFACTURER OF THE SLOTTED PLASTIC PIPE, AND THE STRUCTURAL ENGINEER, MICHAEL GORMAN, P.E., (LAKEWOOD, CO.).
  4. ALL PIPE ELEVATIONS SHOWN (E.G., 89' OR 88' ±) REFER TO OUTSIDE BOTTOM OF PIPE.
  5. PVC PIPE SHOWN IN DETAIL (8) IS SDR 21 (200 PSI) "RING-TITE PRESSURE PIPE" BY JOHNS-MANVILLE OR EQUAL. INSTALLATION, INCLUDING ALL FITTINGS AND JOINTS, PER MANUFACTURER'S SPECS.
  6. SOILS ENGINEER SHALL INSPECT OPEN EXCAVATION PRIOR TO ANY BACKFILL OPERATIONS TO DETERMINE IF FURTHER EXCAVATION WILL BE REQUIRED TO REMOVE LAYERS OF SANDY SILT OR MAKE OTHER RECOMMENDATIONS. PROVIDE 24 HRS. MIN. ADVANCE NOTICE.
  7. ADVISE THE CIVIL ENGINEER (G.H. PESMAN) IF CHANGES IN THE GROUNDWATER LEVEL OR UNUSUAL SOIL CONDITIONS ARE NOTED DURING EXCAVATION.
  8. ALL BACKFILL PLACED BELOW SLABS-ON-GRADE SHALL BE COMPACTED TO 95% OF MAXIMUM STANDARD PROCTOR DENSITY (ASTM D-698-70) UNDER THE SUPERVISION OF THE ON-SITE SOILS ENGINEER.
  9. SUBMIT SHOP DRAWINGS FOR APPROVAL FOR SUMP, PUMP PIPING, UNDERDRAIN PIPING, CATCH BASINS, AND ROOF DRAINS.
  10. REFERENCE: "SOIL AND FOUNDATION INVESTIGATION" JOB NO. 3197 DATED MAY 10, 1982 BY THOMAS E. SUMMERLEE & ASSOC., TOGETHER WITH 6-4-82 LETTER CONCERNING "SUBSURFACE DRAINAGE SYSTEM."
  11. REFERENCE: TOPOGRAPHIC AND BOUNDARY SURVEY BY SHOLDERS & ASSOC. OF LAKEWOOD, COLORADO DATED 5-15-82 AND TITLED: "JONES PLAZA, HIDEAWAY PARK, COLORADO."
  12. REFERENCE: GERARD H. PESMAN LETTER CONCERNING ROOFWATER DRAINAGE DATED 6-14-82.
  13. ALL UNCONNECTED UNDERDRAIN PIPE ENDS AT TERMINATIONS OF PERIMETER LINES SHALL HAVE END CAPS.
  14. "N.T.S." = "NOT TO SCALE."
  15. "1/2-INCH WASHED GRAVEL" SHALL MEAN WASHED PIT-RUN OR OTHER CLEAN MATERIAL WITH 1/2" MAX. AGGR. AND 100% RETAINED ON A #35 SCREEN.

**BACKFILL MATERIAL:**

"1/2-INCH GRAVEL": 90-100% PASSING A 3/4" SCREEN 20-55% PASSING A 3" SCREEN 0-10% PASSING A #4 SCREEN 0-5% PASSING A #8 SCREEN ALL RETAINED ON A #35 SCREEN

**Braun Vanderlip Fulton Architects**  
1664 Lafayette Street  
Denver, Colorado 80218  
303/832-4942

**Cooper Creek Junction**  
Winter Park, Colorado  
Cooper Creek Junction Joint Venture

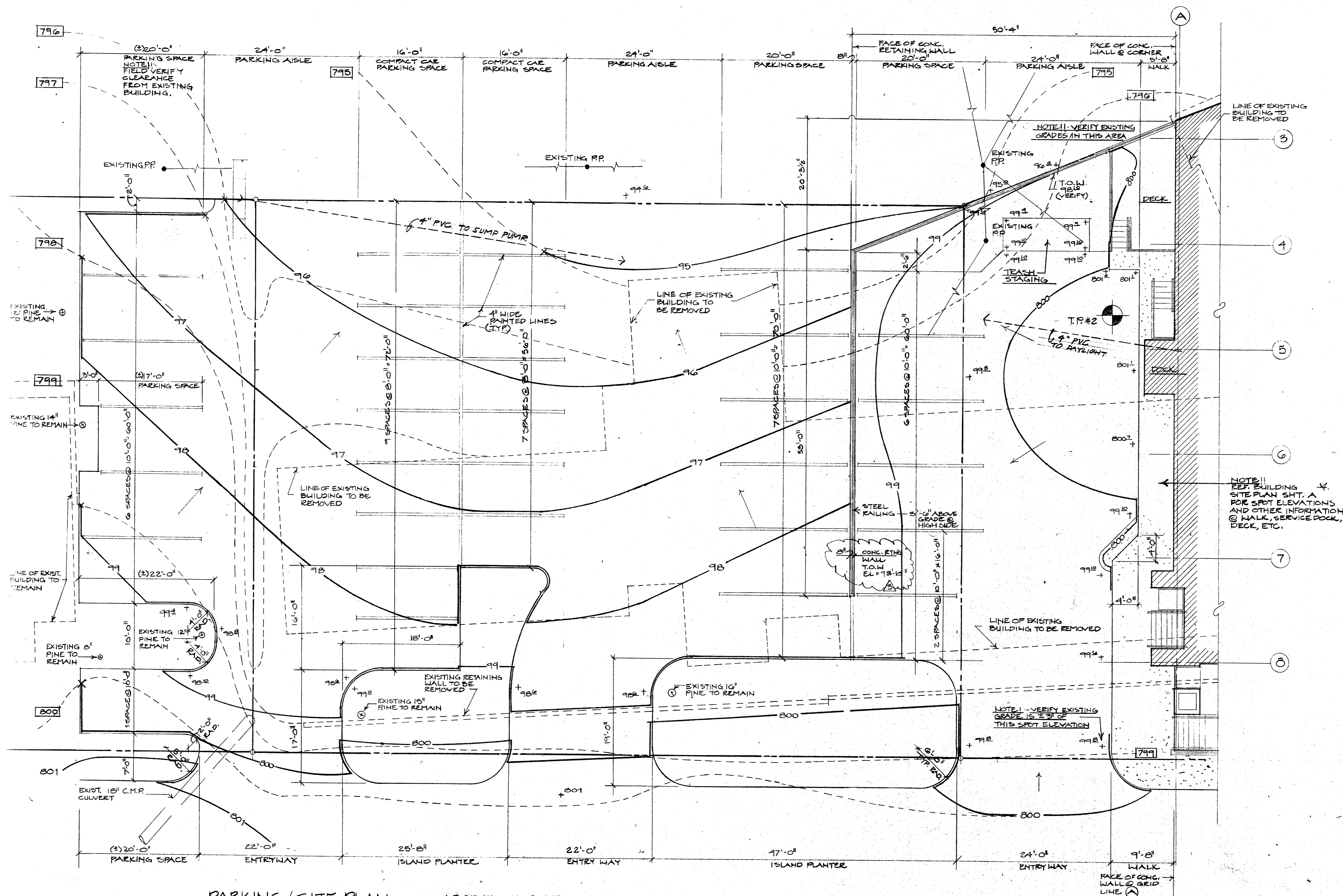
JUNE 23, 1982

REVISIONS	
Δ	MISC. CH. 1/16"

**UNDERDRAIN PLAN**  
SCALE: 1/8" = 1'-0"

**UNDERDRAIN DETAILS**  
SCALE: 1/2" = 1'-0"

**D-2**



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1684 Lafayette Street Denver, Colorado 80218  
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Winter Park, Colorado  
Cooper Creek Junction Joint Venture

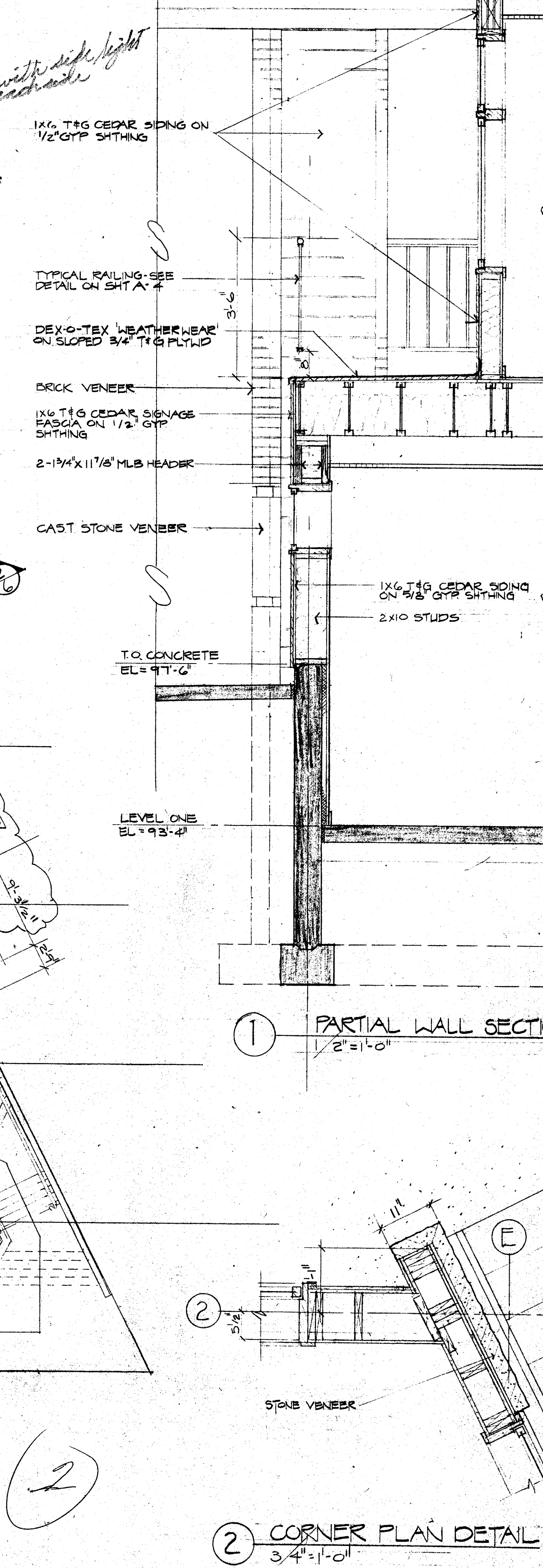
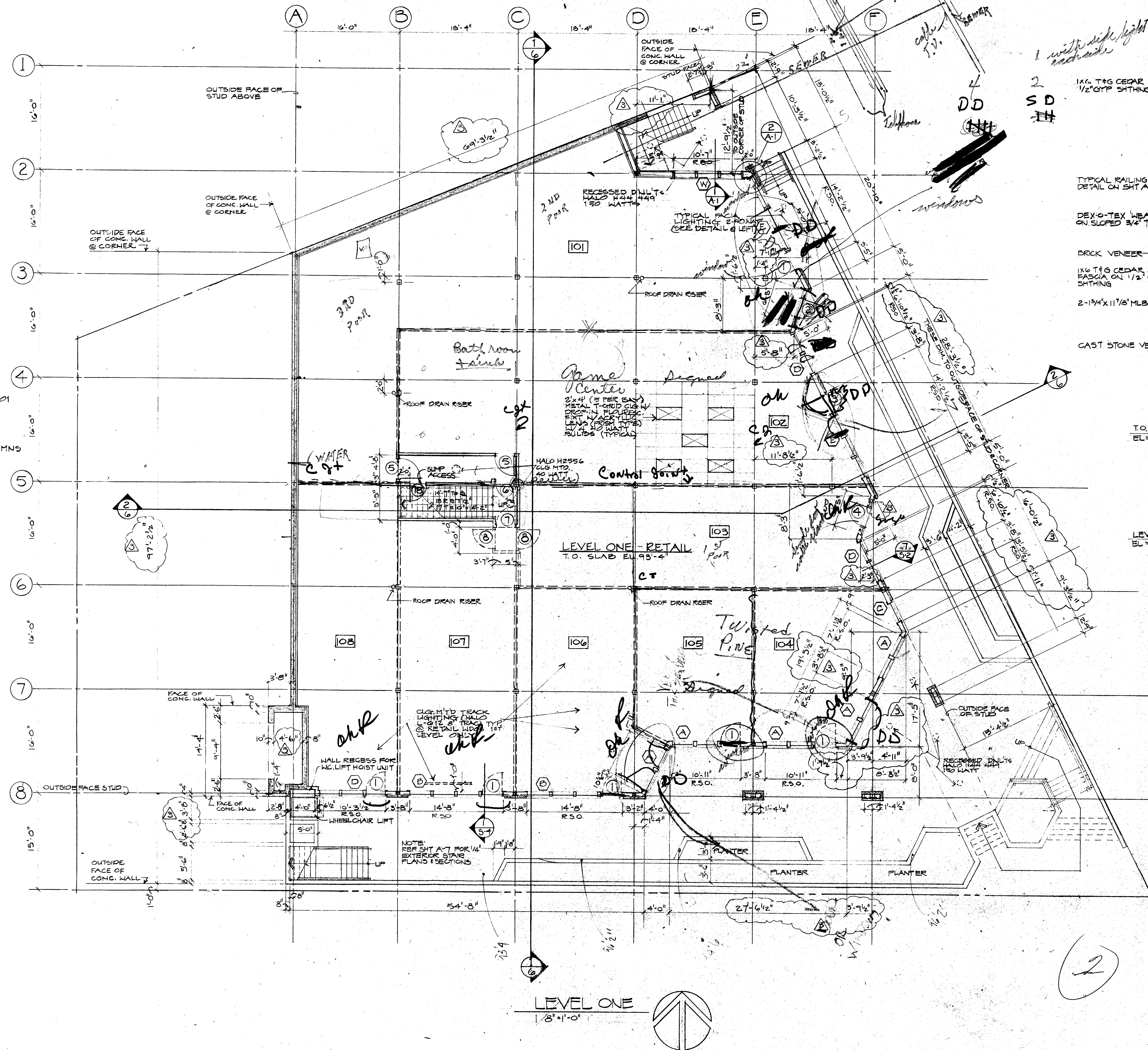
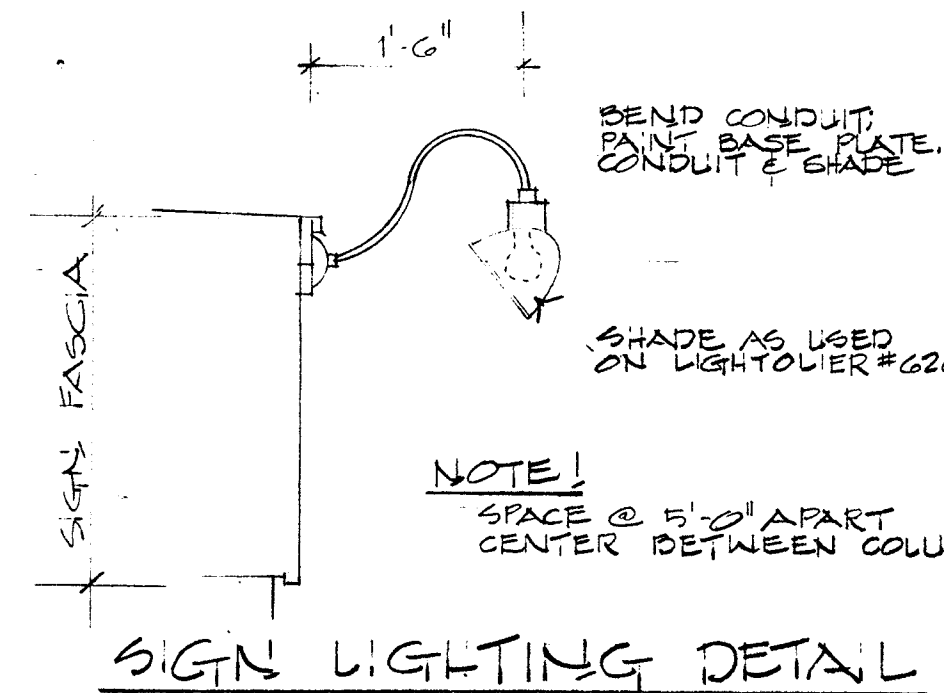
JUNE 30, 1982

REVISIONS

△ GENERAL	7/1/82
△ MISC. CH	7/1/82

1/8" PARKING / SITE PLAN

D-3



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1664 Lafayette Street  
303/832-4942  
Denver, Colorado 80218

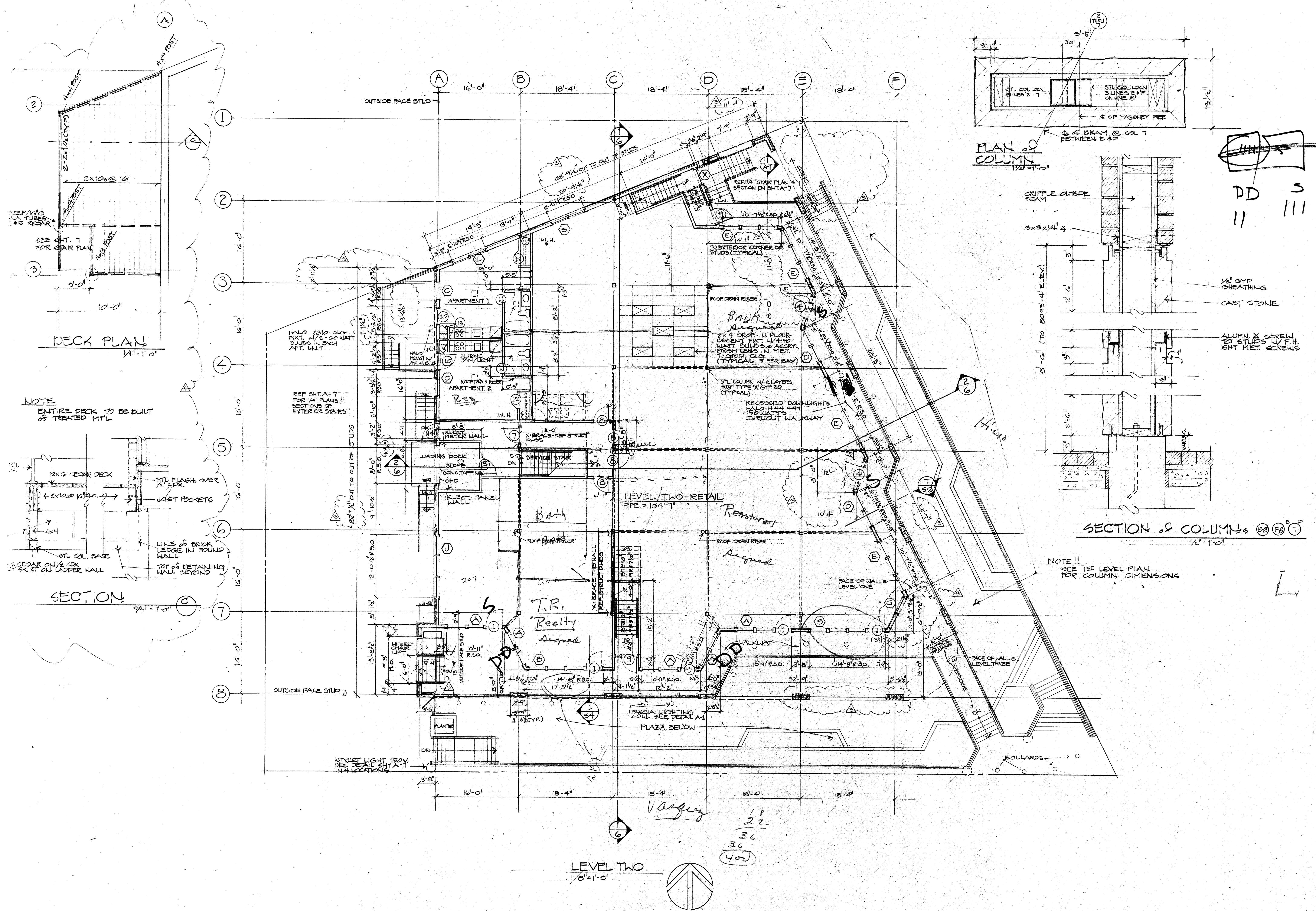
**Cooper Creek Junction**  
Winter Park, Colorado  
Cooper Creek Junction Joint Venture

JUN 24 '82

REVISIONS	
GENERAL	7/7/82
MISCELLANEOUS	7/16/82

1/8" LEVEL ONE FLOOR PLAN

**A-1**



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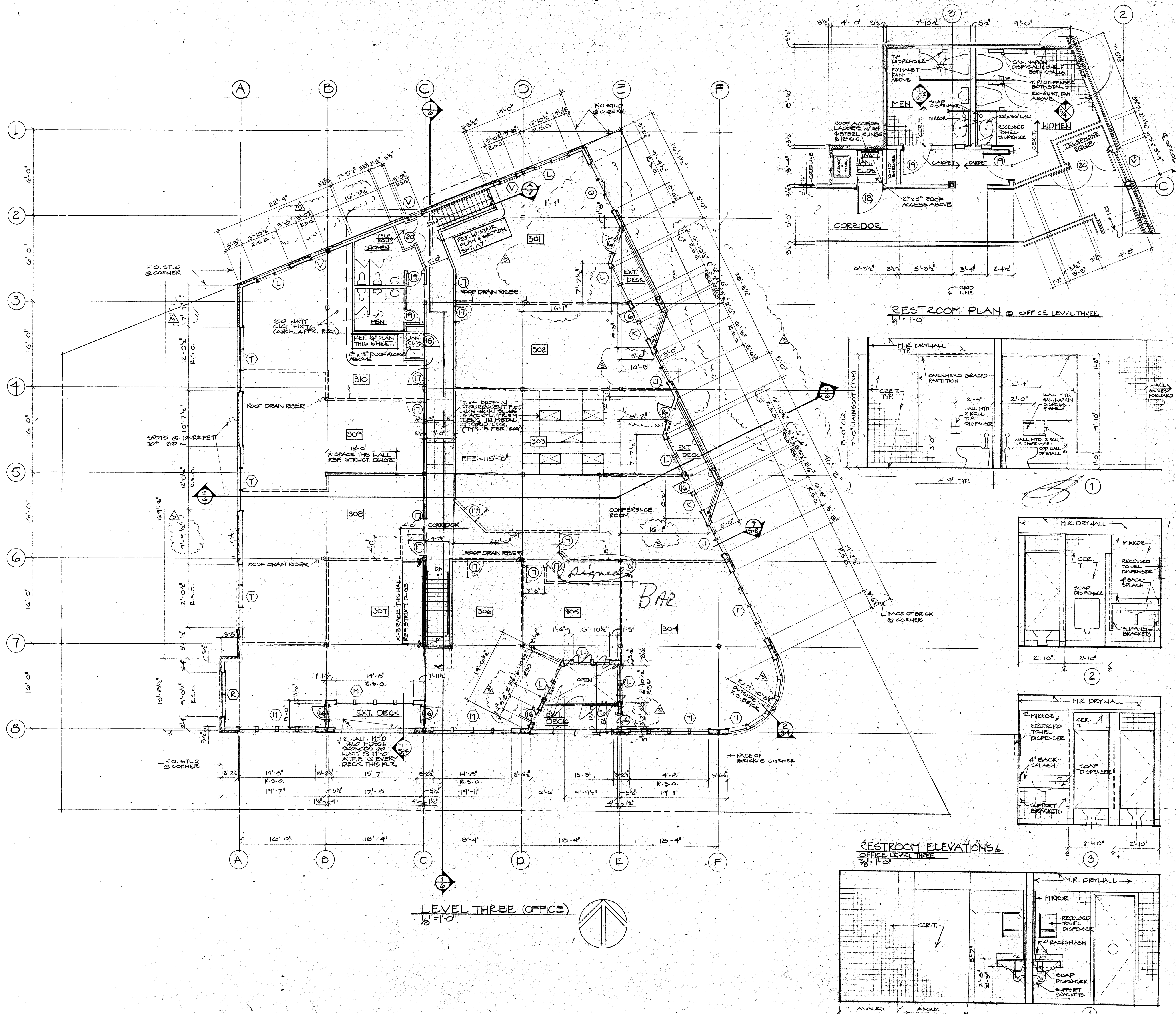
**Cooper Creek Junction**  
Winter Park, Colorado  
Cooper Creek Junction Joint Venture

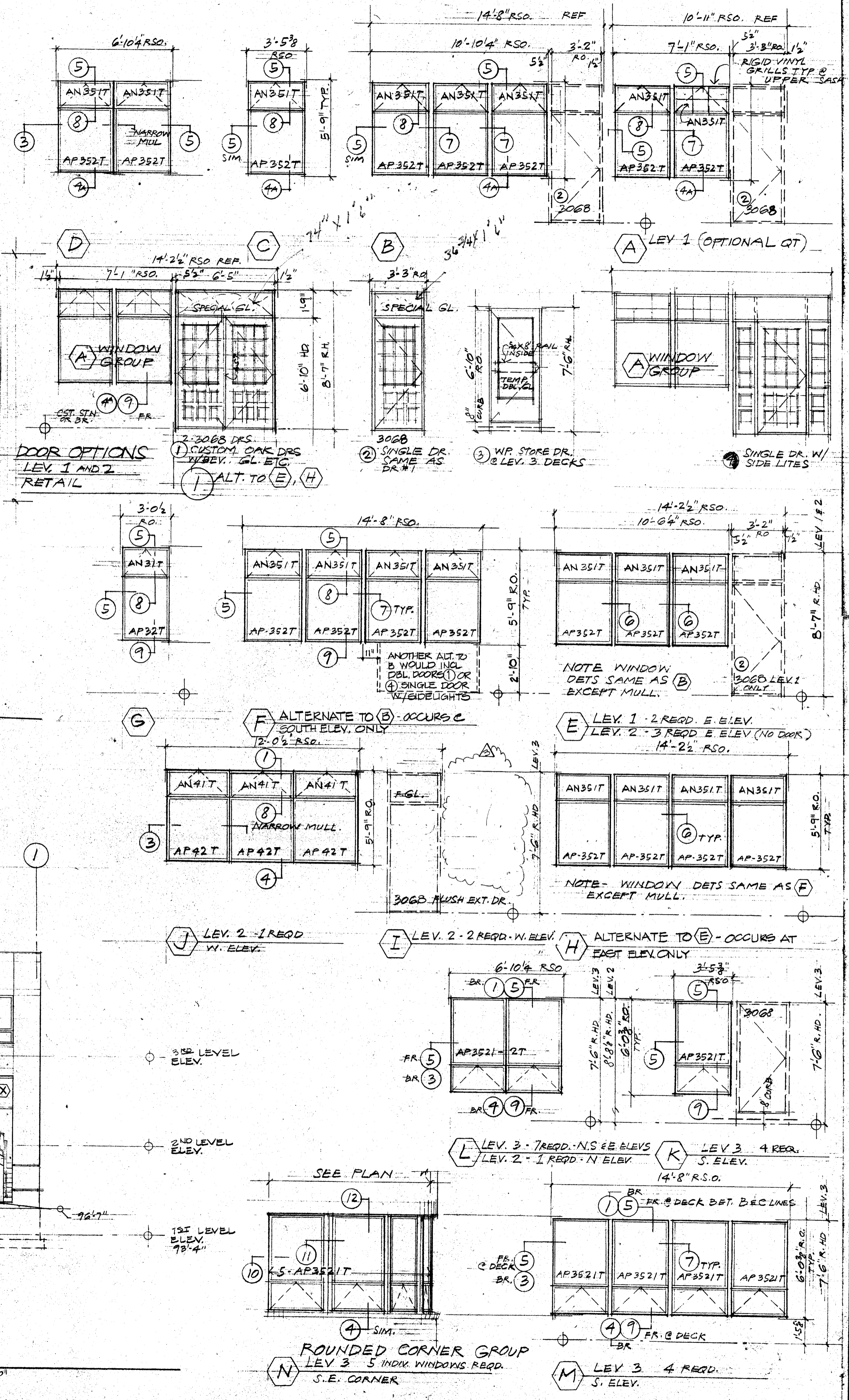
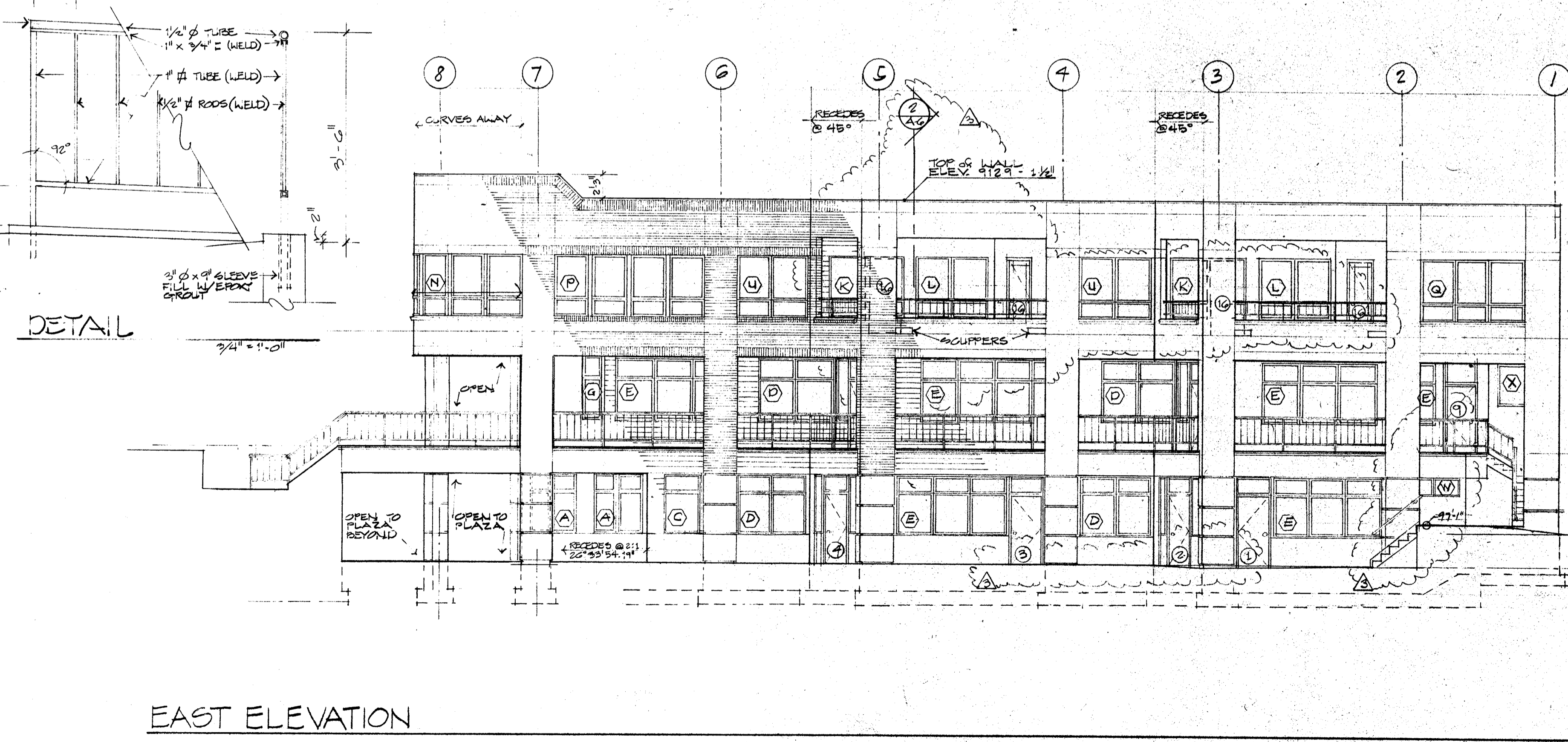
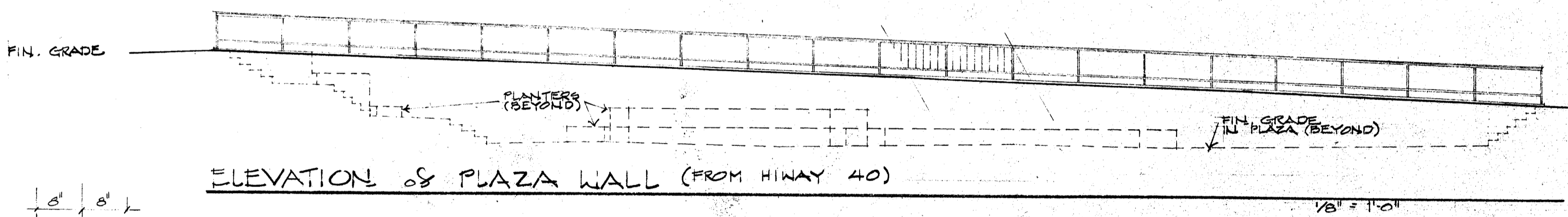
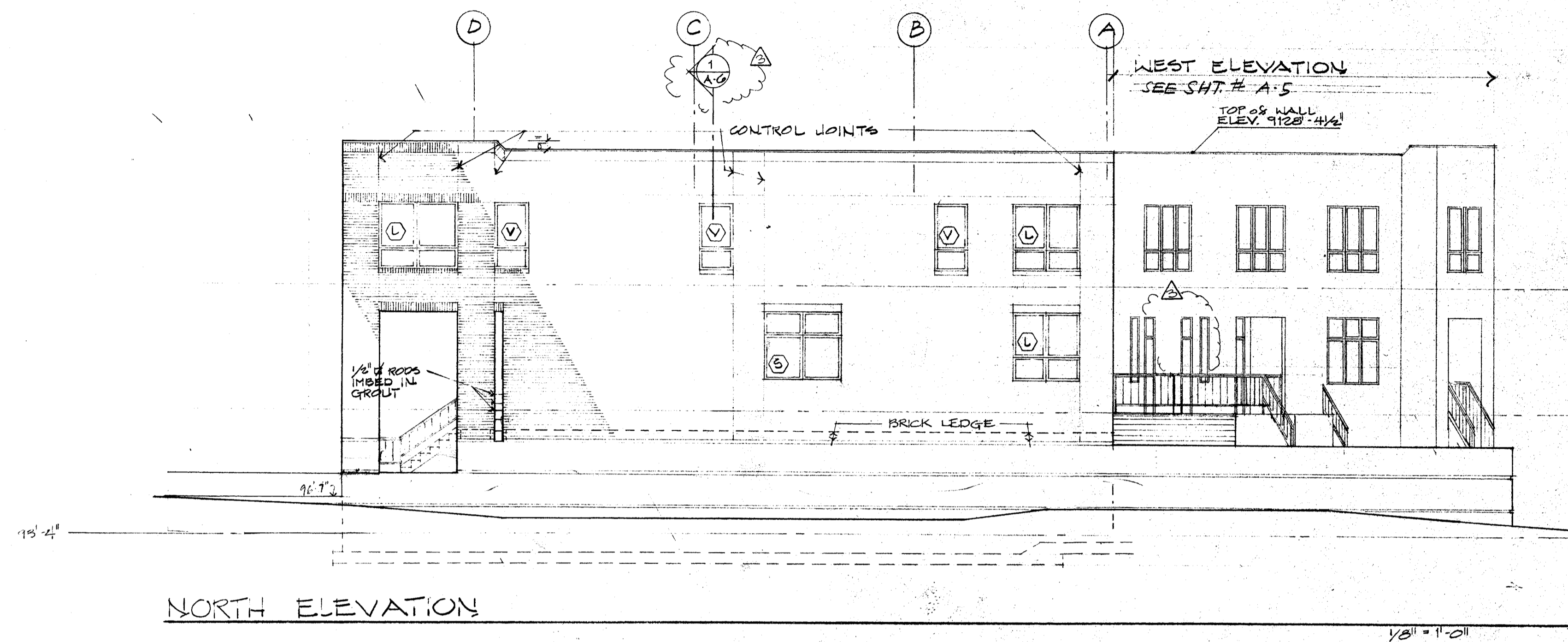
JUN 24 82.

REVISIONS	
1	GENERAL
2	MISC. CH.

1/2 LEVEL TWO FLOOR PLAN

**A-2**





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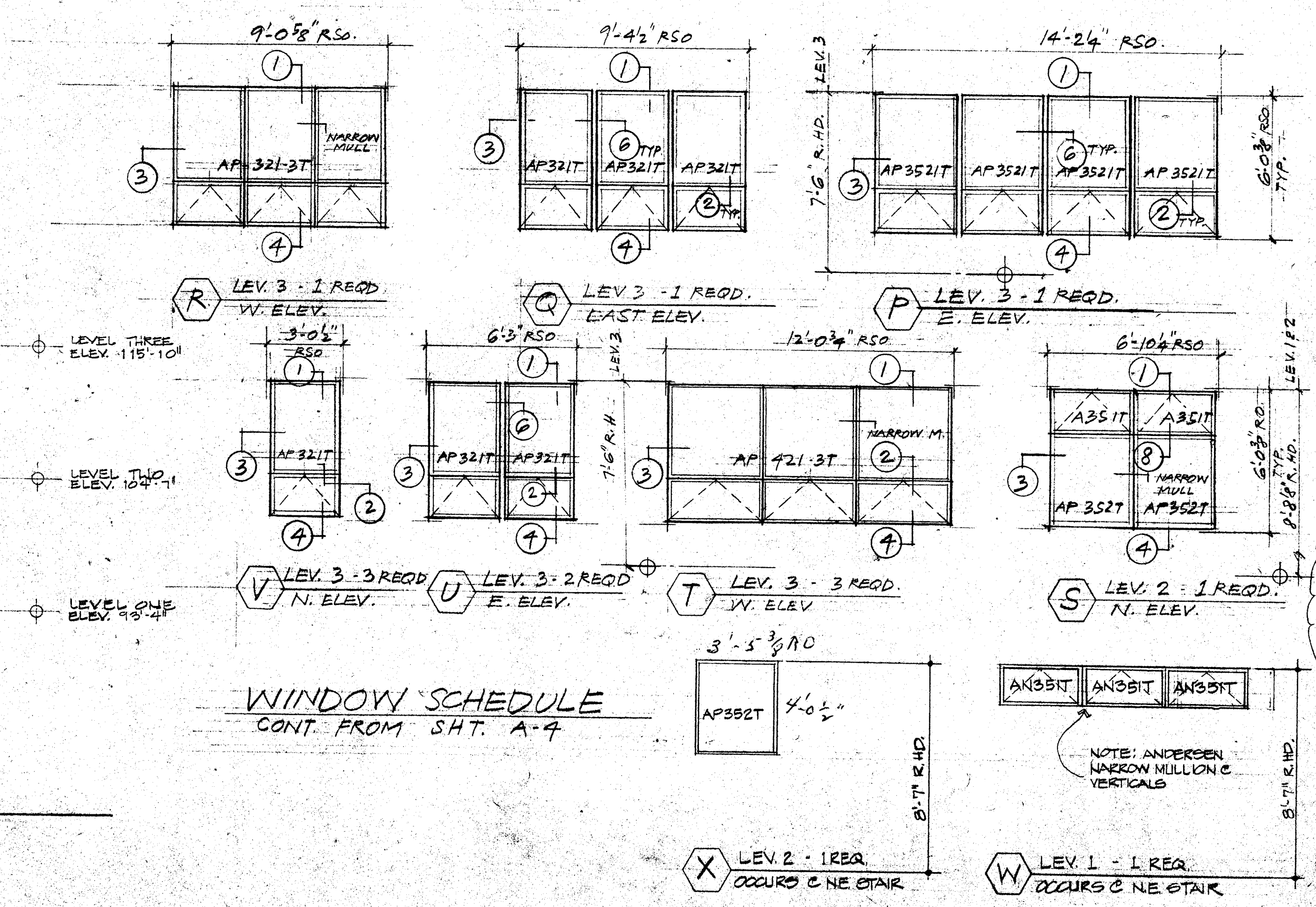
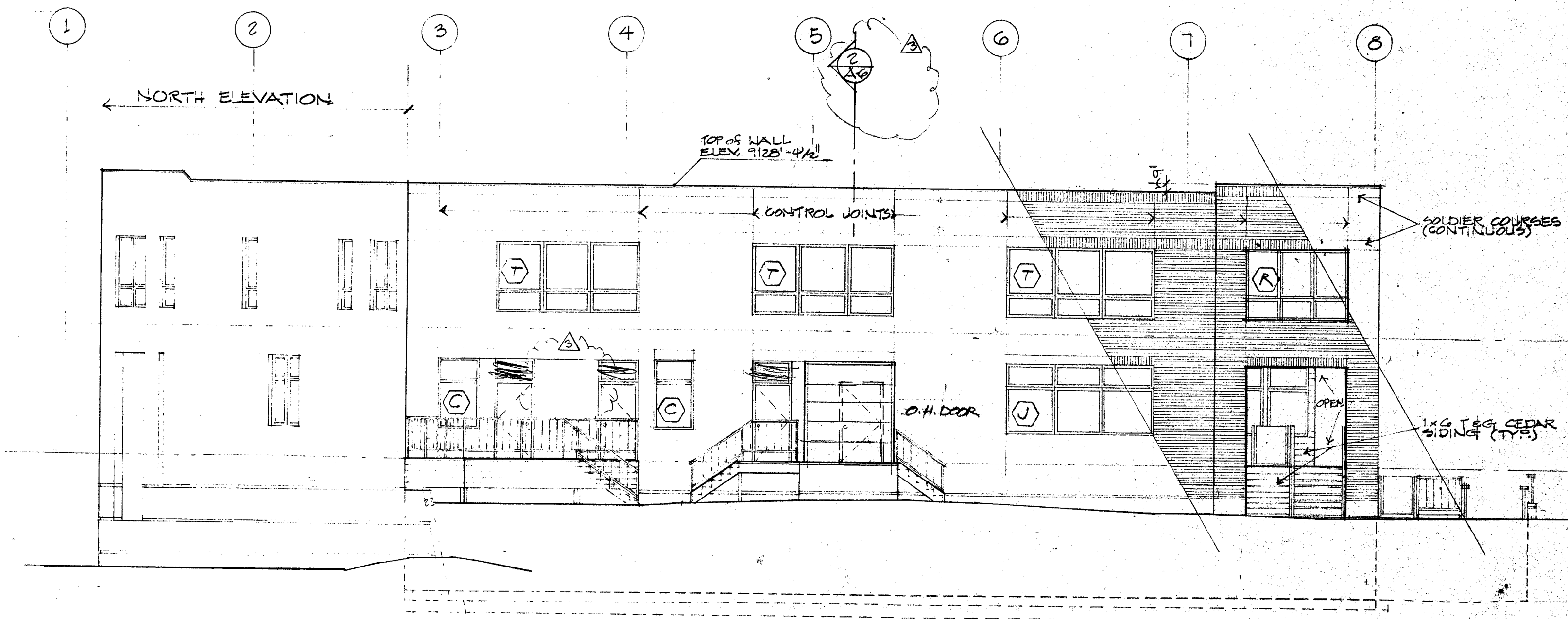
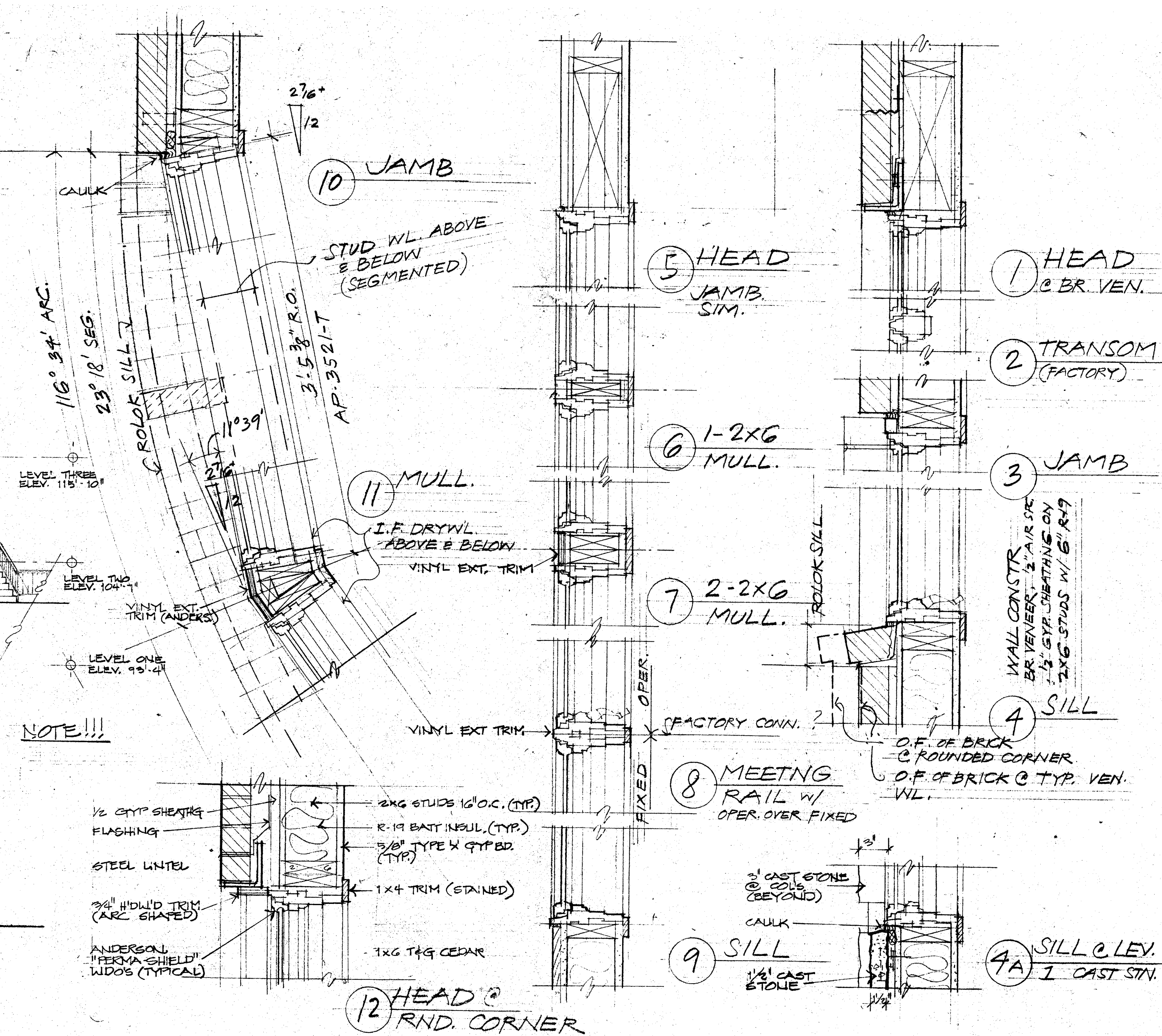
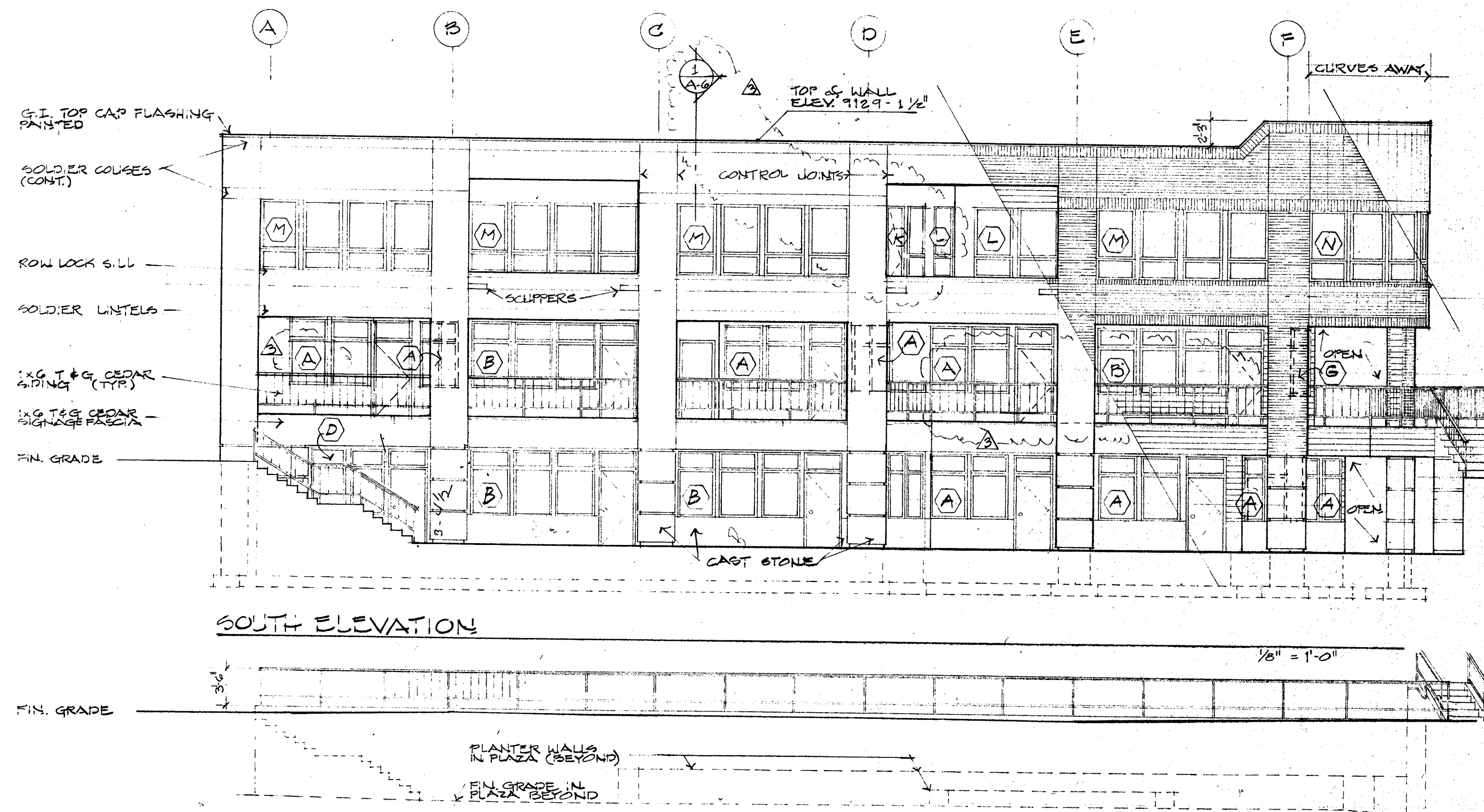
Cooper Creek Junction  
Winter Park, Colorado  
Cooper Creek Junction Joint Venture

JUNE 24, 8.

REVISIONS	
Δ	GENERAL
Δ	MISC. CH.

1/8" NORTH ELEVATION  
1/8" EAST ELEVATION  
WINDOW SCHEDULE

A-4



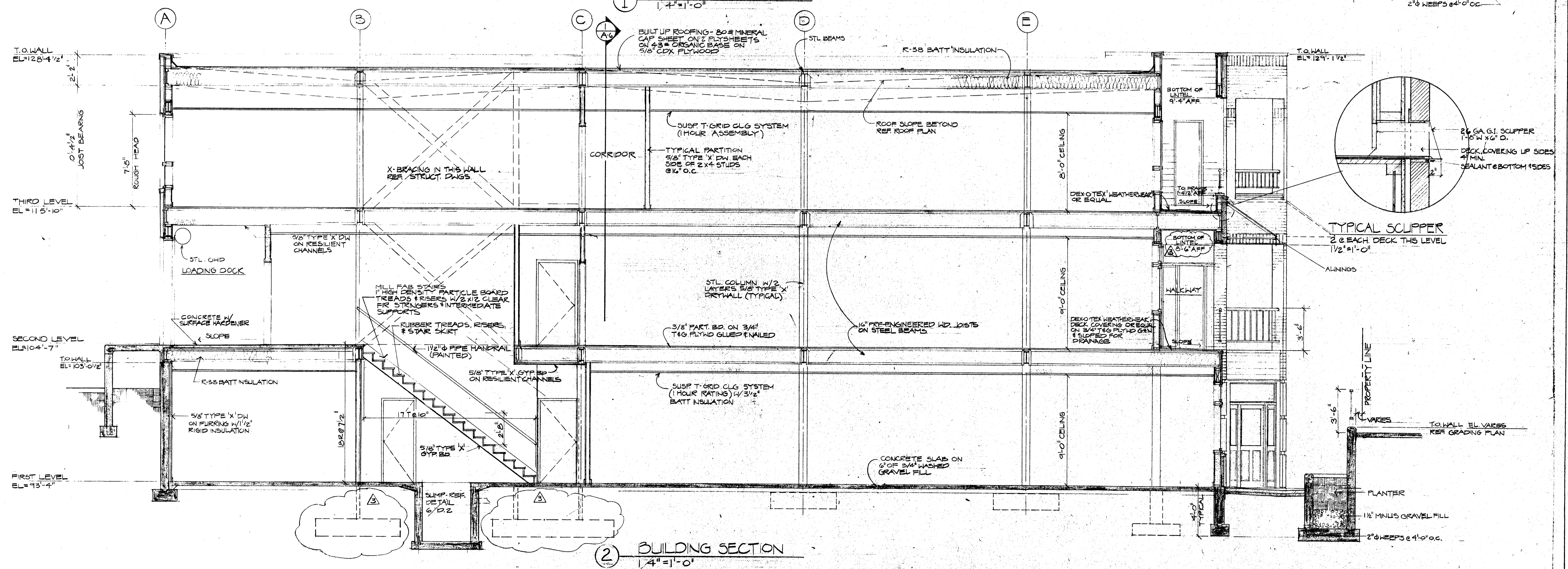
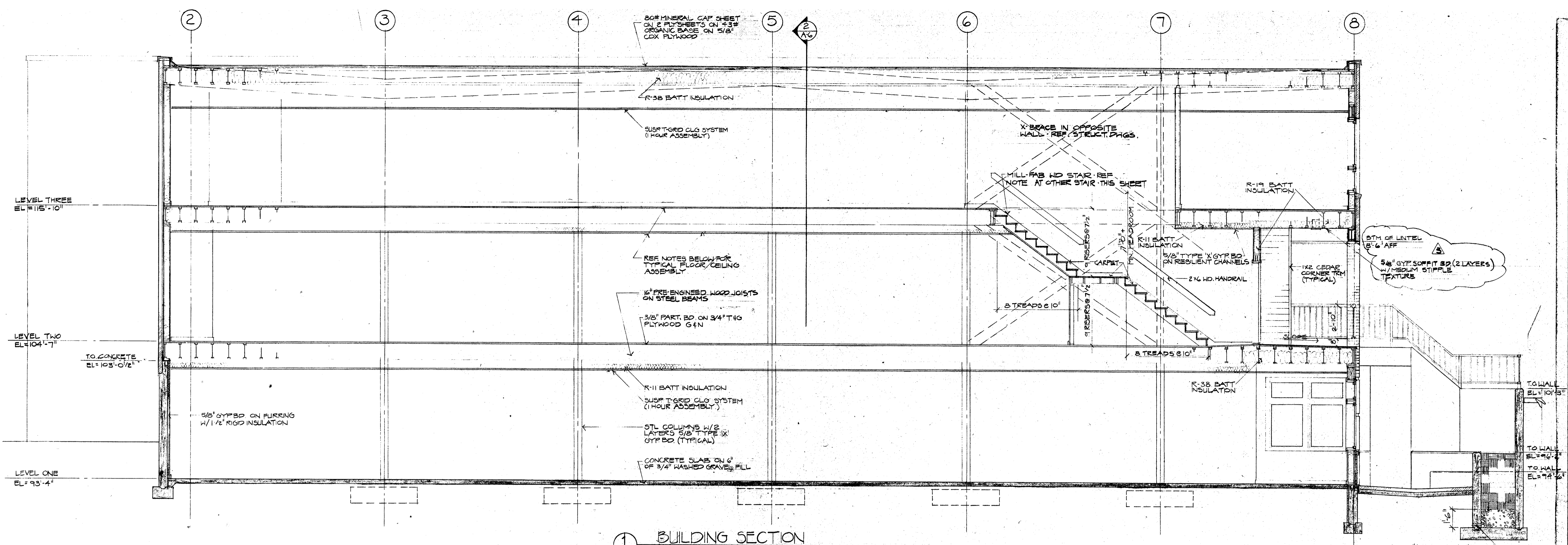
WEST ELEVATION

Braun Vanderlip Fulton Architects  
1664 Lafayette Street  
Denver, Colorado 80218  
303/832-4942

Cooper Creek Junction  
Winter Park, Colorado  
Cooper Creek Junction Joint Venture

JUN. 24 '82	
REVISIONS	
Δ GENERAL	11-82
Δ MISC. CH.	1/1/82

1/8" WEST ELEVATION  
1/8" SOUTH ELEVATION  
WINDOW SCHEDULE DETAILS



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 1664 Lafayette Street  
 Denver, Colorado 80218

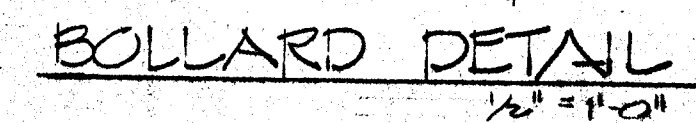
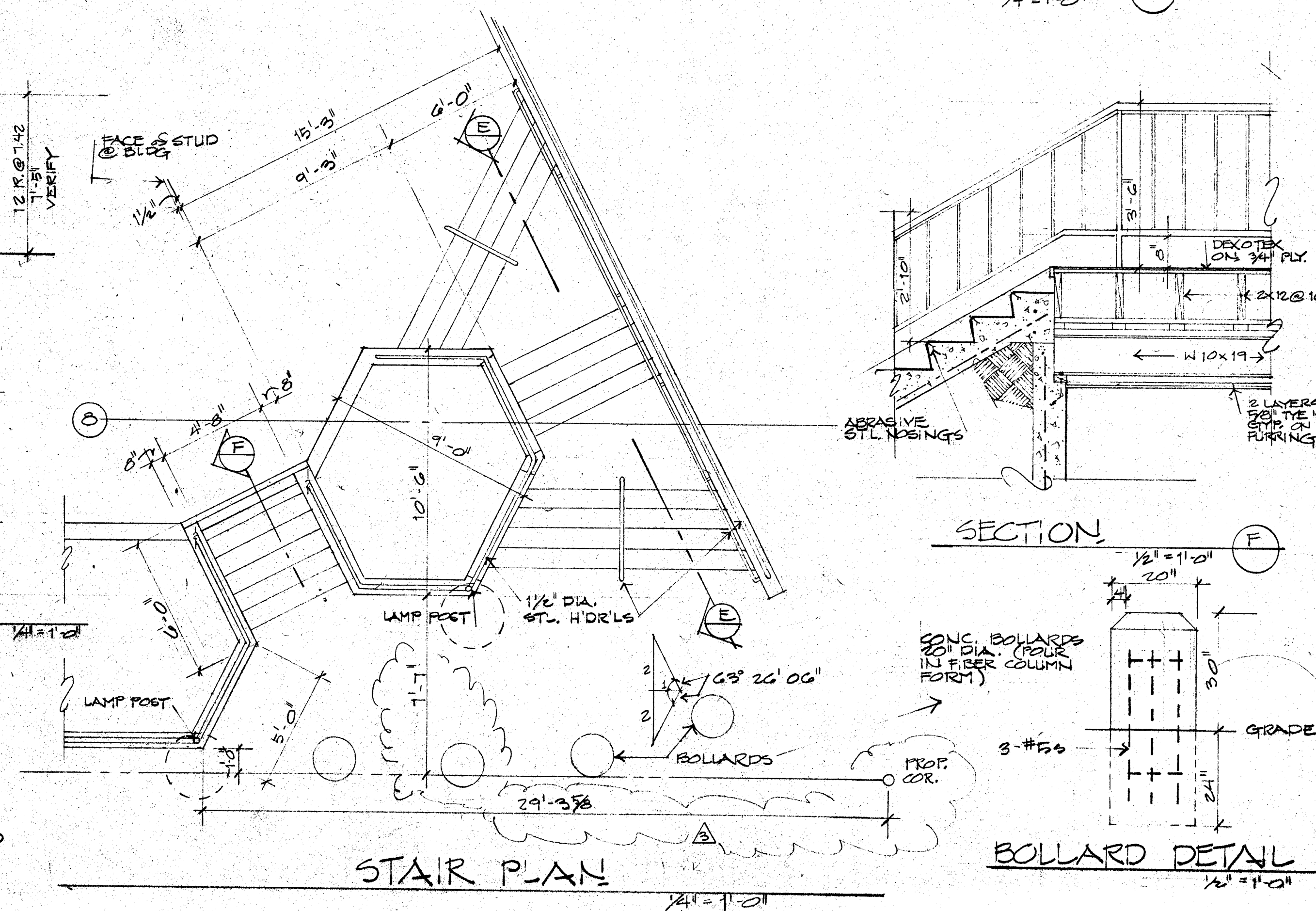
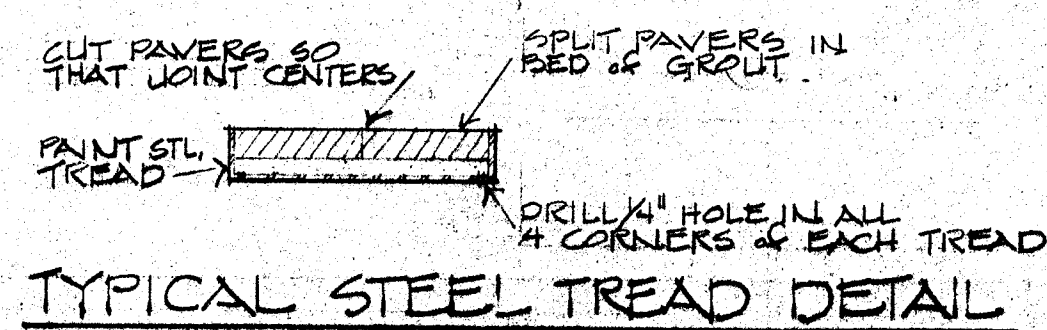
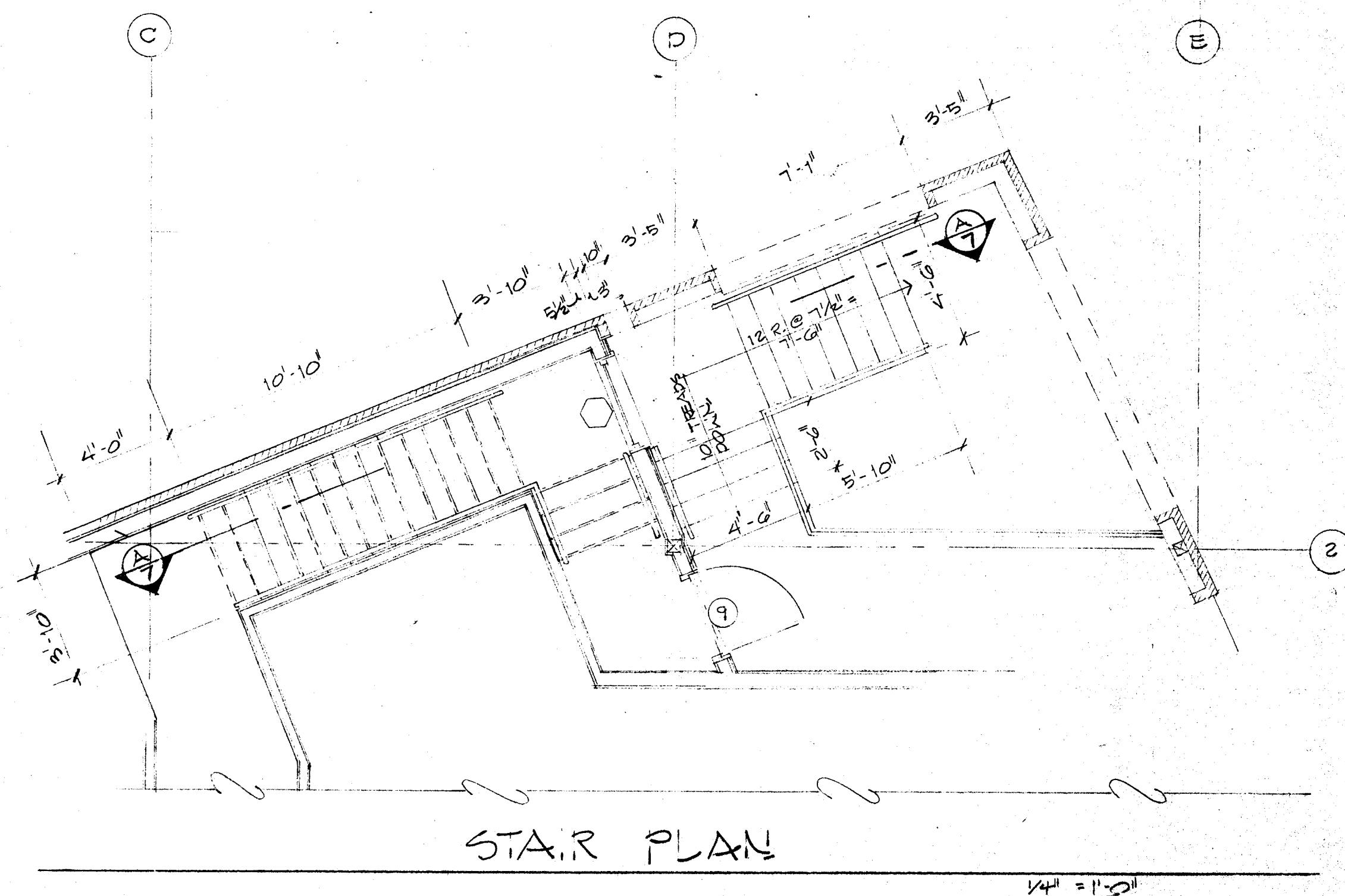
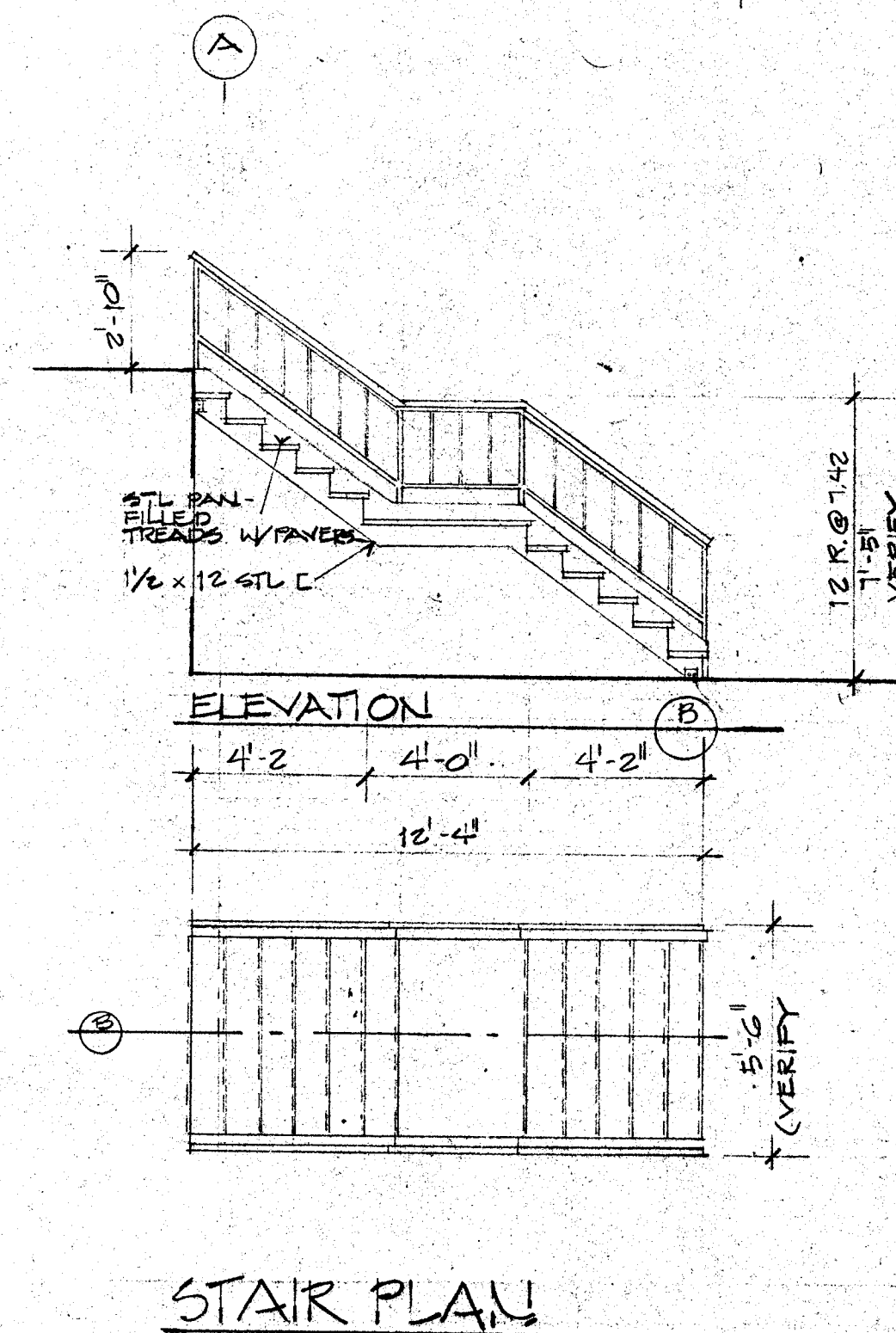
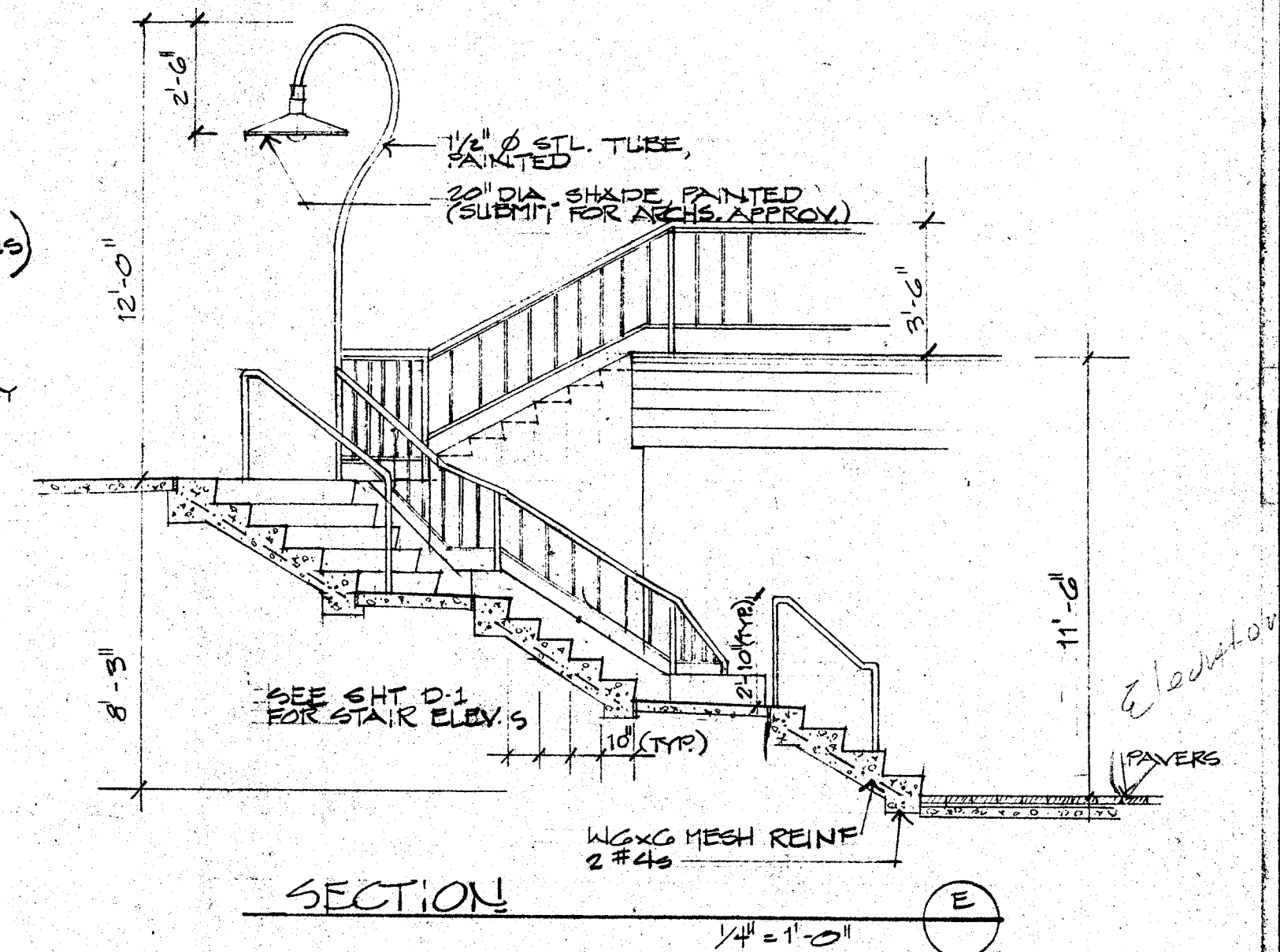
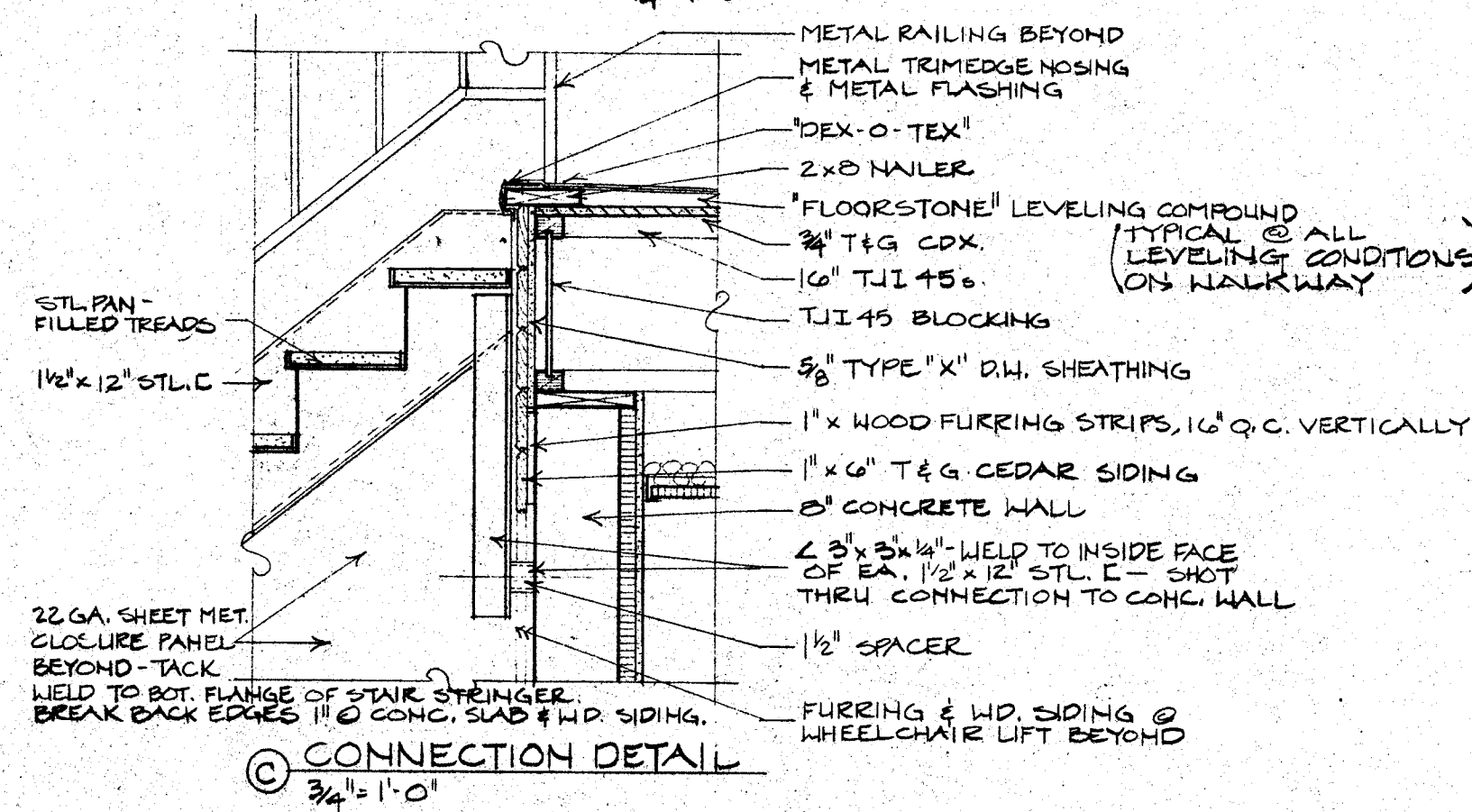
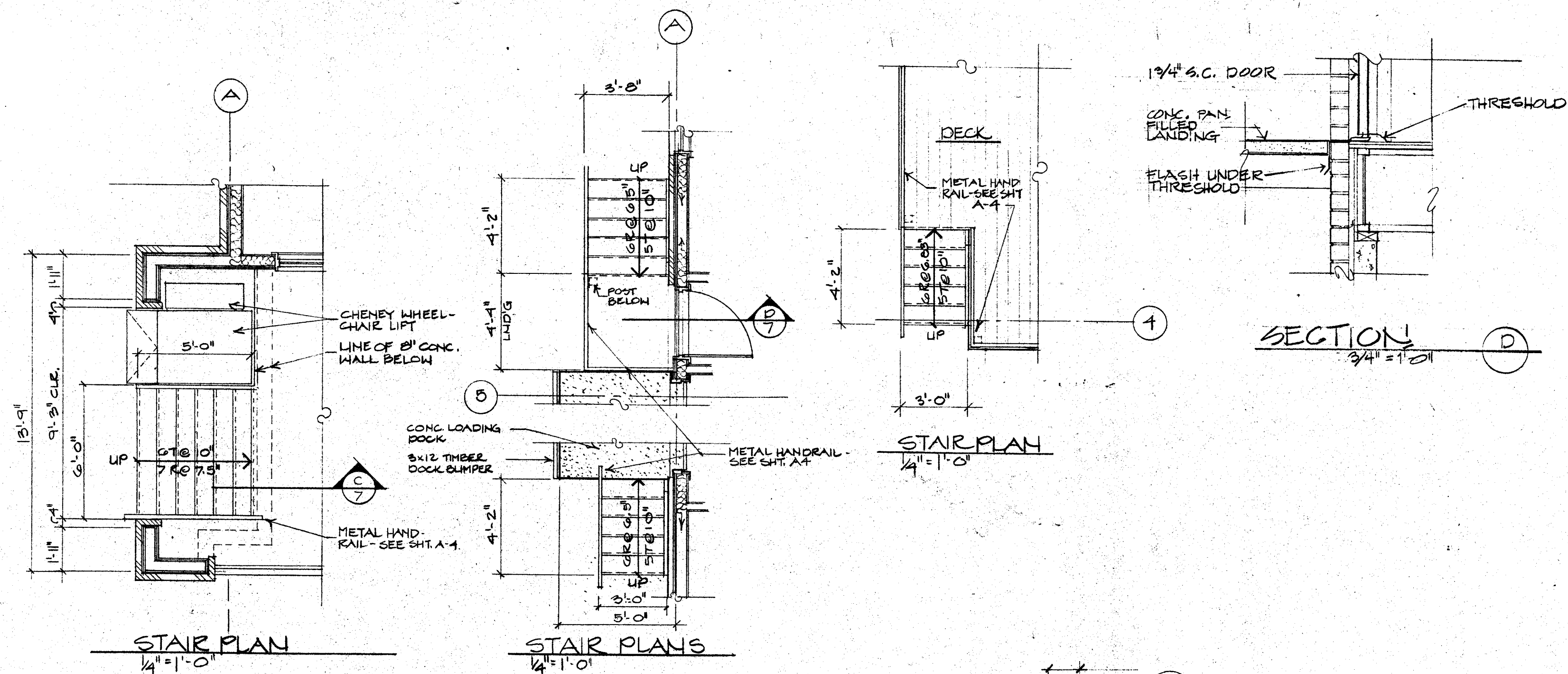
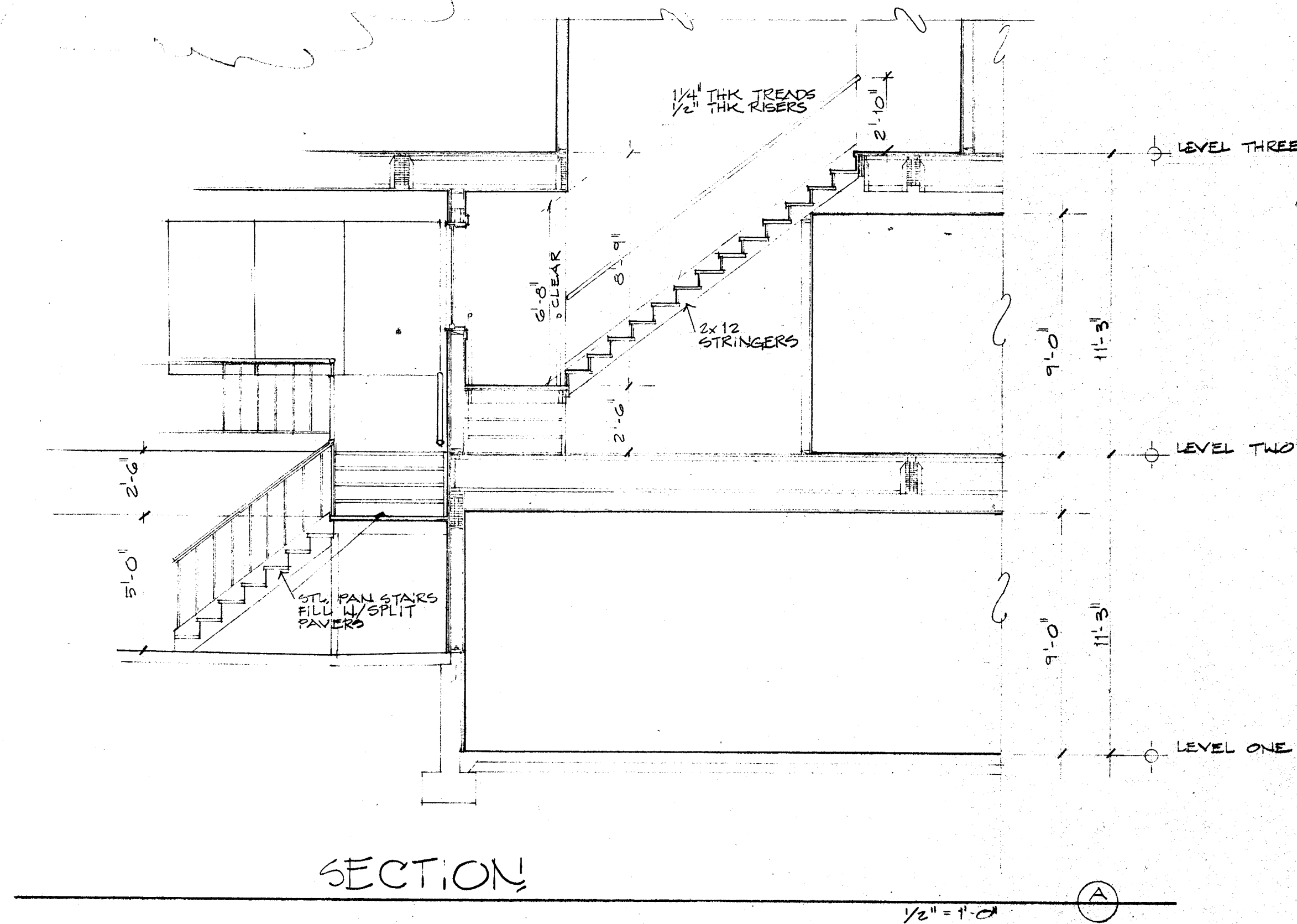
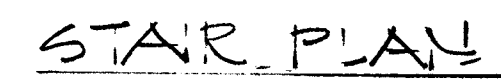
**Cooper Creek Junction**  
 Winter Park, Colorado  
 Cooper Creek Junction, Inc.

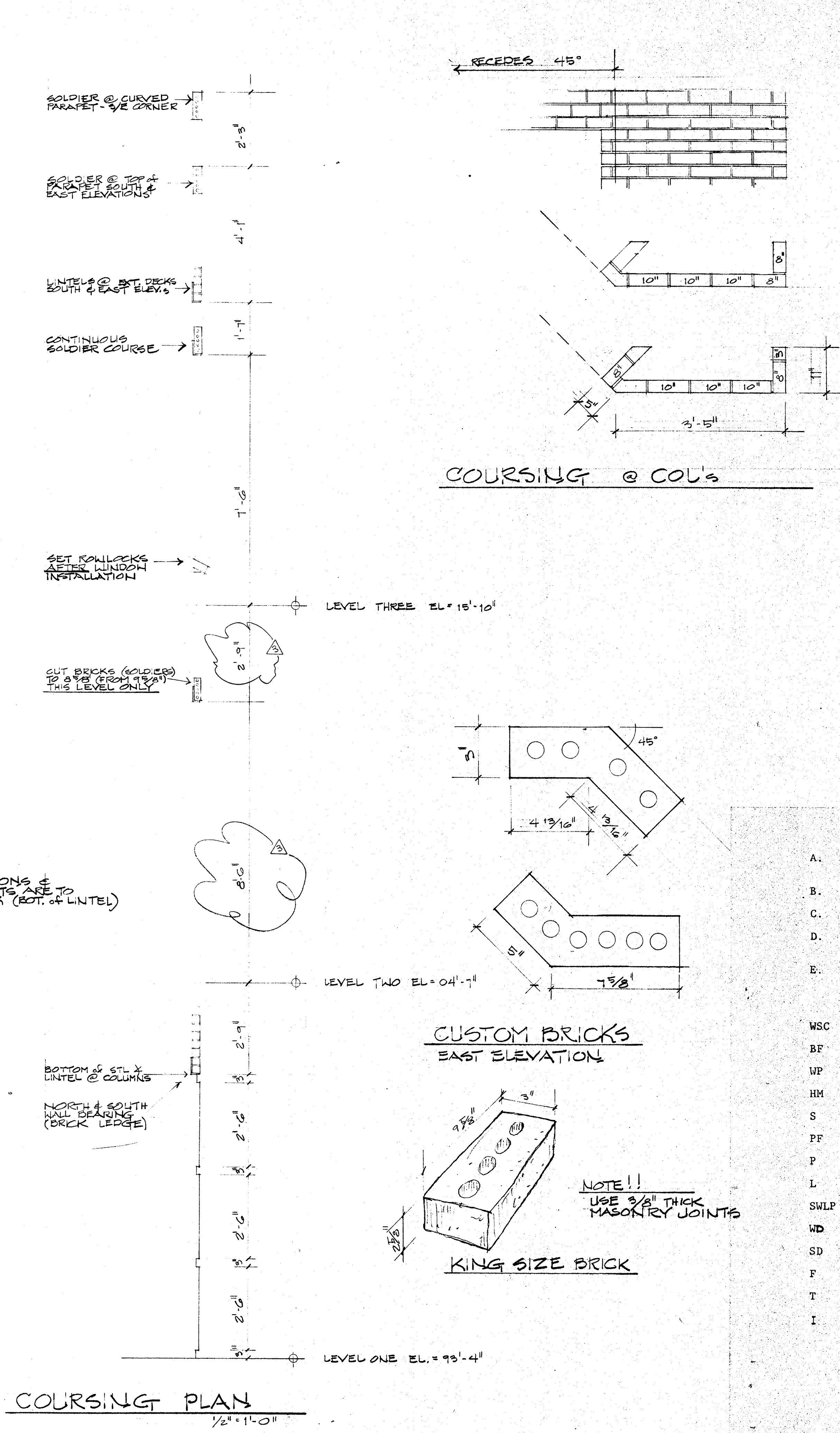
JUN 24

REVISIONS
1. GENERAL
2. MISCELLANEOUS

1/4" BUILDING SECTIONS  
 1/2" SCUPPER DETAIL

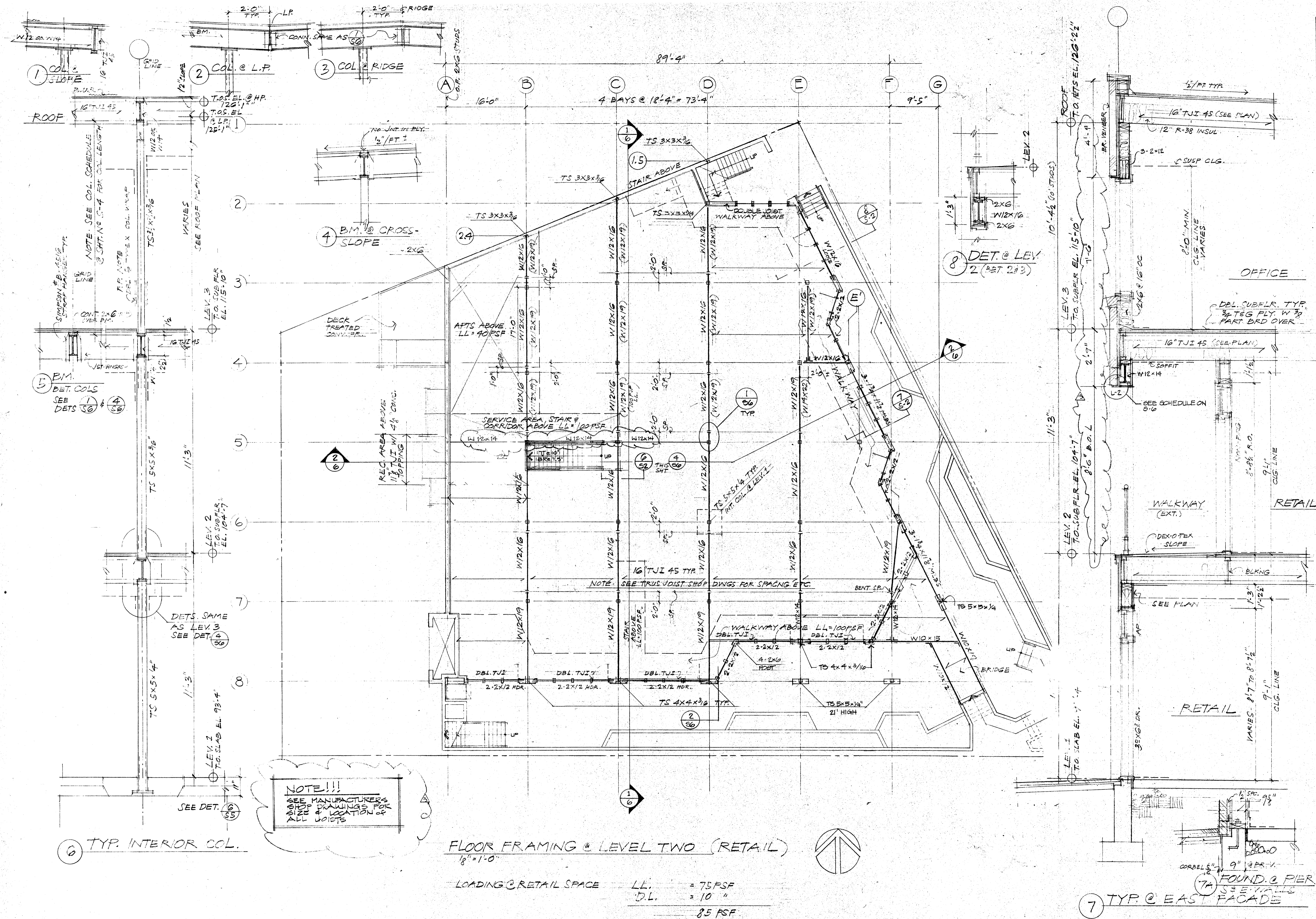
A-C





NO	LOCATION	DOOR										FRAME			THRESHOLD W/STRIP	STOP	REMARKS
		MATERIAL	FINISH	SIZE	THICKNESS	LABEL	RATING(MIN)	TYPE	HARDWARE	CLOSER		MATERIAL	LABEL	RATING(MIN)			
1	STOREFRONTS	WD	S+L	3'x6'	1 3/4"			SD(1)	MEL	HF		WD			●	I	(1) REF DOOR OPTIONS ON SHT A-4
2	STOREFRONTS	WD	S+L	3'x6'	1 3/4"			SD(1)	PH	SF		WD			●	I	(1) REF DOOR OPTIONS ON SHT A-4
3	STOREFRONTS	WD	S+L	3'x6'	1 3/4"			SD(1)	PH	SF		WD			●	I	(1) REF DOOR OPTIONS ON SHT A-4
4	STOREFRONTS	WD	S+L	3'x6'	1 3/4"			SD(1)	MEL	HF		WD			●	I	(1) REF DOOR OPTIONS ON SHT A-4
5	SERV. STAIR LEV. 1	WSC	S	3'x6'	1 3/4"	C	20	F	PH	SF		WD	C	20		1	
6	SERV. STAIR LEV. 1	HM	P	3'x6'	1 3/4"	B	60	F	PH	SF		HM	B	60		1	
7	SERV. STAIR	HM	P	3'x6'	1 3/4"	B	60	F	PL	SF		HM	B	60		1	
8	SERV. STAIR	WSC	S	3'x6'	1 3/4"	C	20	F	EL	HF		WD	C	20		1	
9	EXIT STAIR LEV. 2	WD	S+L	3'x6'	1 3/4"			SD(1)	PH	HF		WD			●	I	(1) REF DOOR OPTIONS ON SHT A-4
10	APART. ENTRANCE	WSC	S+L	3'x6'	1 3/4"			F(1)	EL			WD			●	●	TRANSOM LIGHT W/ FIXED INSUL. GLAZING
11	BATHROOMS	WSC	S	2'x6'	1 3/8"			F	PRL			WD			●		
12	CLOSETS	BFOLD	S	3'x6'	1 3/8"					C					●		
13	CLOSETS	BFOLD	S	1'x6'	1 3/8"					C					●		
14	EXIT-LEVEL 2	WSC	S+L	3'x6'	1 3/4"			F(1)	PH	SF		WD			●	I	TRANSOM LIGHT W/ FIXED INSUL. GLAZING
15	LOADING DOCK	HM	P	3'x6'	1 3/4"	B	60	F	PL	SF		HM	B	60		1	
16	DECKS-LEVEL 3	WD	S+L	3'x6'	1 3/4"			SD(1)	EL			WD			●	●	(1) REF DOOR OPTIONS ON SHT A-4
17	OFFICE ENTRANCE	WSC	S	3'x6'	1 3/4"	C	20	F	OL	HF		WD	C	20		I	
18	JANITOR CLOSET	WSC	S	2'x6'	1 3/4"	C	20	F	SL	SF		WD	C	20		I	
19	RESTROOMS	WSC	S	2'x6'	1 3/4"	C	20	F	PL	SF		WD	C	20		I	
20	TELE. EQUIP.	WSC	S	2'x6'	1 3/4"	C	20	F	SL			WD	C	20		●	

- DOOR SCHEDULE NOTES**
- Install tight-fitting smoke gasket at jambs and head of all 20 minute-rated doors.
  - Maximum height of all water-proof thresholds to be 3/4".
  - Weatherstrip all exterior doors.
  - Hardware supplier shall consult Owner regarding master-keying requirements prior to building.
  - All exit doors shall open a minimum of 90°.
- DOOR AND FRAME LEGEND**
- WSC Birch-veneer wood solid core.
  - BF Fi-fold
  - WP Wood or metal panel. PF or P finish for metal panel.
  - HM Hollow metal
  - S Stain and seal.
  - PF Factory finished.
  - P Prime and paint.
  - L Lacquer
  - SWLP Single-leaf wood pivot door (one leaf of a bi-fold door).
  - WD Wood
  - SD Wood-framed glass store door.
  - F Flush Door
  - T Top and bottom track.
  - I Integral w/ Closer
- HARDWARE LEGEND**
- PH Panic Hardware:
  - C Cabinet Pull:
  - EL Entrance Lock: By key from outside when outer knob is locked by PUSH button on inner knob. Inner knob always free to operate latch. Use of inner knob releases push-button lock.
  - PRL Privacy Lock: By emergency key, screwdriver or similar tool from outside when outer knob locked by inside push button on inner knob. Inner knob always free to operate latch.
  - PL Passage Latch: Both knobs always free to operate latch.
  - MEL Main Entrance Lock: Pull handle and thumb latch outside. Entrance by key only when locked by key only from inside. Inner knob always free to operate latch.
  - SL Storeroom Lock: Outer knob always fixed. Entrance by key only. Inner knob always free to operate latch.
  - HF Mount to hinge face of door.
  - SF Mount to stop face of door.
  - OL Office Lock: By key from outside when outer knob is locked by TURN button on inner knob. Inner knob always free to operate latch. Use of inner knob or key releases turn-button lock.



**Braun Vanderlip Fulton Architects**  
 1664 Lafayette Street  
 Denver, Colorado 80218  
 303.832.4942

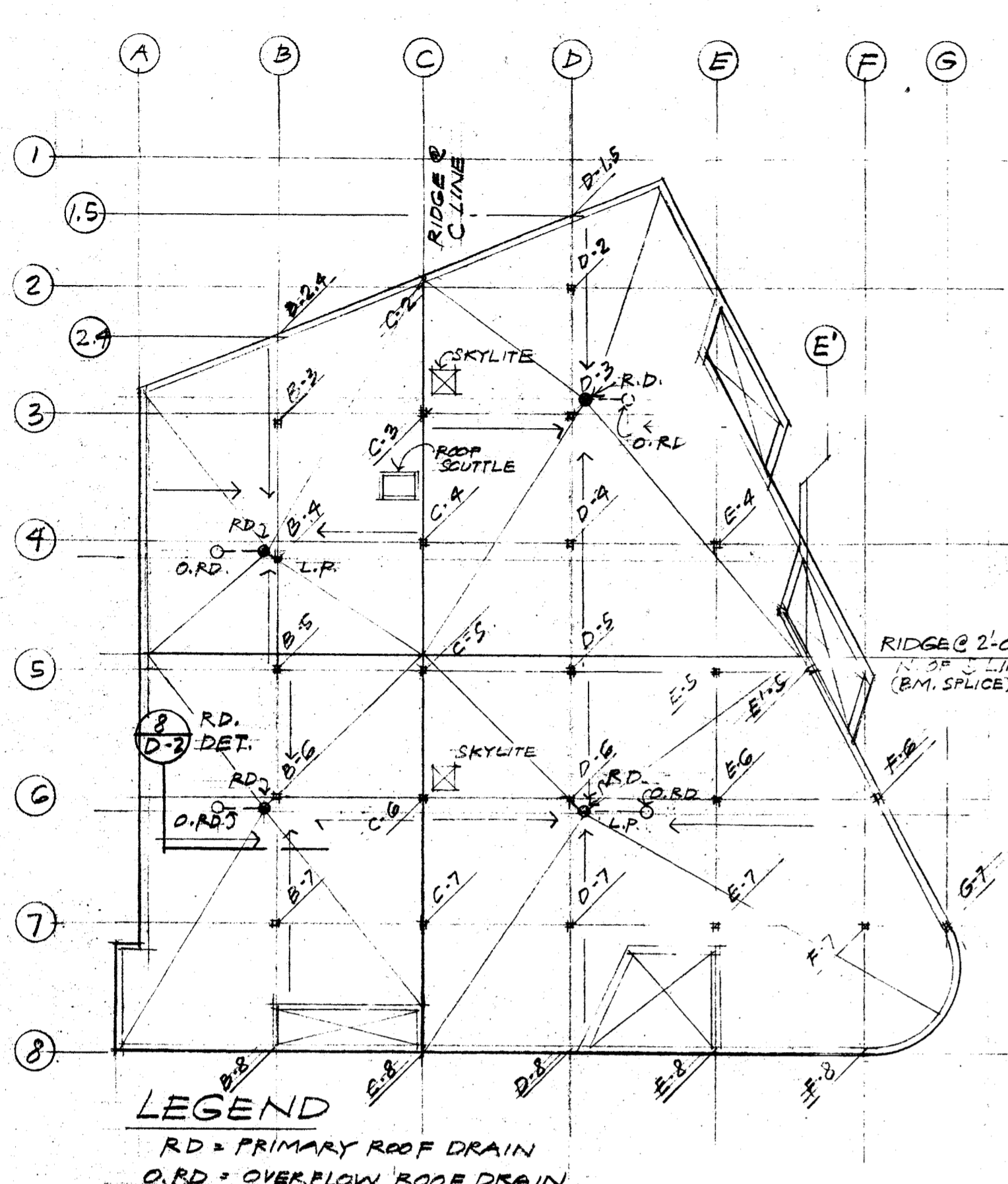
**Cooper Creek Junction**  
 Winter Park, Colorado  
 Cooper Creek Junction Joint Venture

JUN 20

REVISIONS	
Δ	GENERAL
Δ	MISC. CH

1/2" LEVEL TWO FRAMING PLAN  
 1/4" TYPICAL WALL SECTIONS  
 1/8" DETAILS



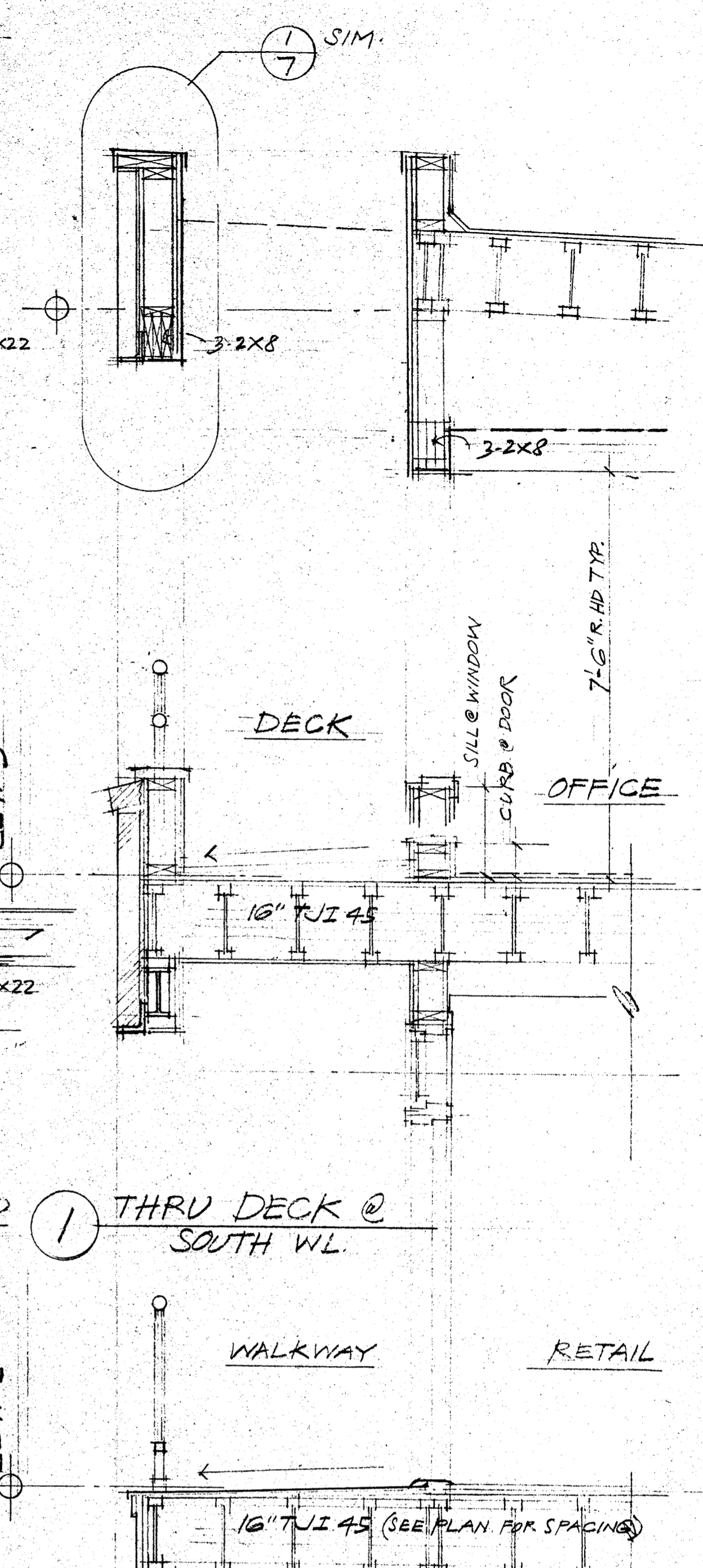
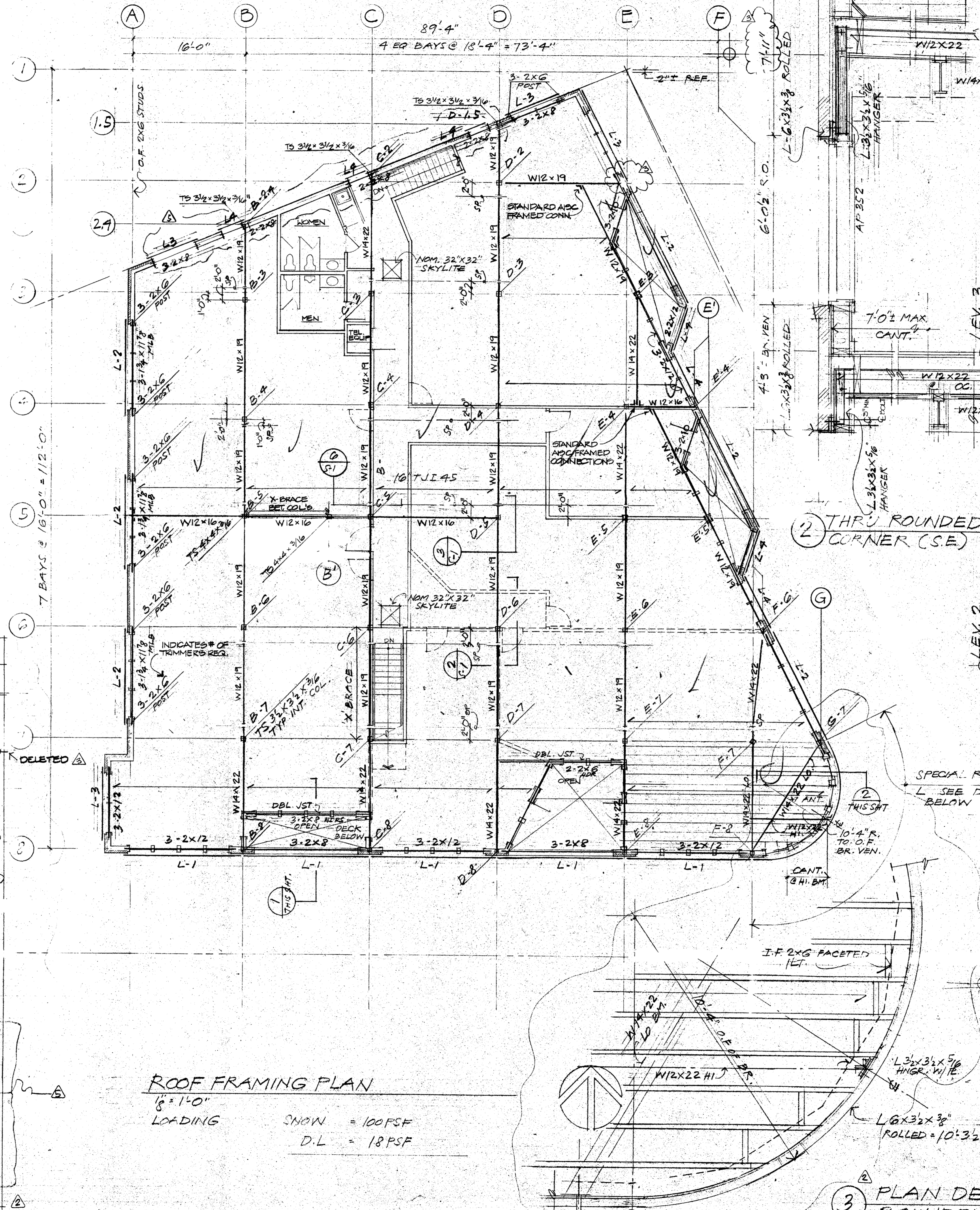


**ROOF PLAN**  
1/8" = 1'-0"

NOTE SEE DETS 1 THRU 4

**COL. SCHEDULE @ LEV. 3**

MARK (GRID LINES)	SIZE	T.O.S. EL. 2 ROOF	REMARKS
B-2.4	TS 3/4x3/4x3/16	127'-5"	H.P. (PERIM.)
C-2		"	"
D-1.5		127'-0 1/2"	"
D-2		127'-5"	H.P. (PERIM.)
E-2		127'-5"	"
C-3		127'-5"	H.P. (RIDGE)
D-3		126'-5"	L.P. (RD)
E-3		127'-5"	H.P. (PERIM.)
B-4		126'-5"	L.P. (RD)
O-4		127'-5"	H.P. (RIDGE)
D-4		"	"
E-4		127'-0 1/2"	"
E-1.4		127'-5"	H.P. (PERIM.)
B-5	TS 4x4x3/16	"	H.P. (RIDGE)
C-5	TS 4x4x3/16	"	"
D-5	TS 3/4x3/4x3/16	"	"
E-5		"	"
E-1.5		"	"
B-6		126'-5"	L.P. (RD)
C-6		127'-5"	"
D-6		126'-5"	L.P. (RD)
E-6		126'-10 3/4"	"
F-6		(126'-3 1/4")	H.P. CLO. BM
B-7		126'-11"	"
C-7		127'-5"	H.P. (RIDGE)
D-7		126'-11"	"
E-7		"	"
F-7		126'-0 1/2"	H.P. CLO. BM
G-7		(126'-3 1/4")	H.P. PERIM
B-8	TS 3/4x3/4x3/16	127'-5"	"
C-8		"	"
D-8		"	"
E-8		"	"
F-8		126'-3 1/4"	H.P. CLO. BM



**PLAN DET. 3 BR. SUPPORT ROUNDED CORNER**  
1/8" = 1'-0"

**Braun Vanderlip Fulton Architects**  
1664 Lafayette Street  
Denver, Colorado 80218  
303.832.4942

**Cooper Creek Junction**  
Winter Park, Colorado  
Cooper Creek Junction Joint Venture

**REVISIONS**

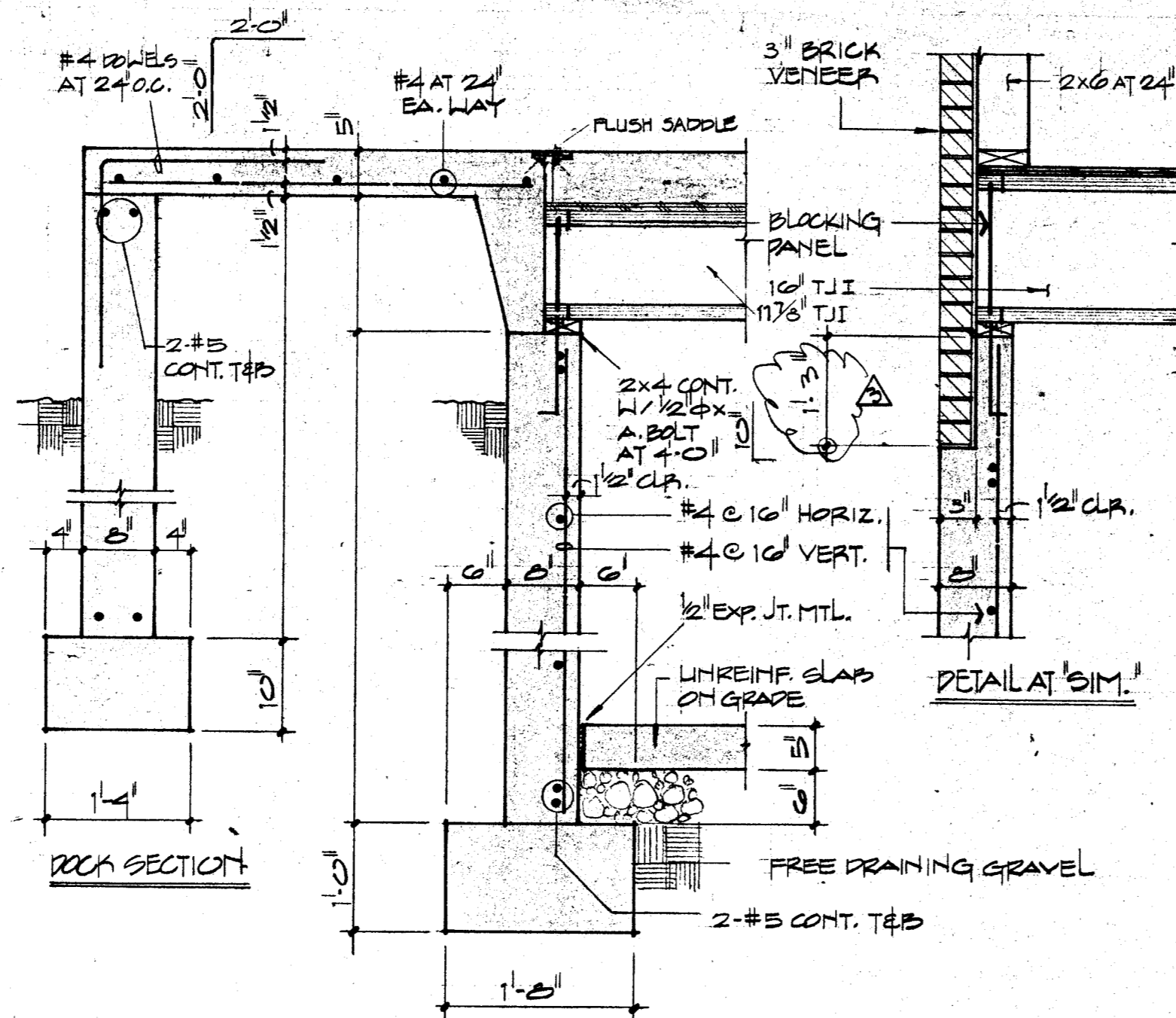
NO.	DESCRIPTION
1	GENERAL
2	COL. SCHED. & GEN. FRAMING
3	MISC. CH.
4	COL. SCHED. & GEN. FRAMING
5	COL. SCHED. & GEN. FRAMING
6	COL. SCHED. & GEN. FRAMING
7	COL. SCHED. & GEN. FRAMING
8	COL. SCHED. & GEN. FRAMING
9	COL. SCHED. & GEN. FRAMING
10	COL. SCHED. & GEN. FRAMING

**1/2" ROOF FRAMING PLAN**  
1/2" DETAILS

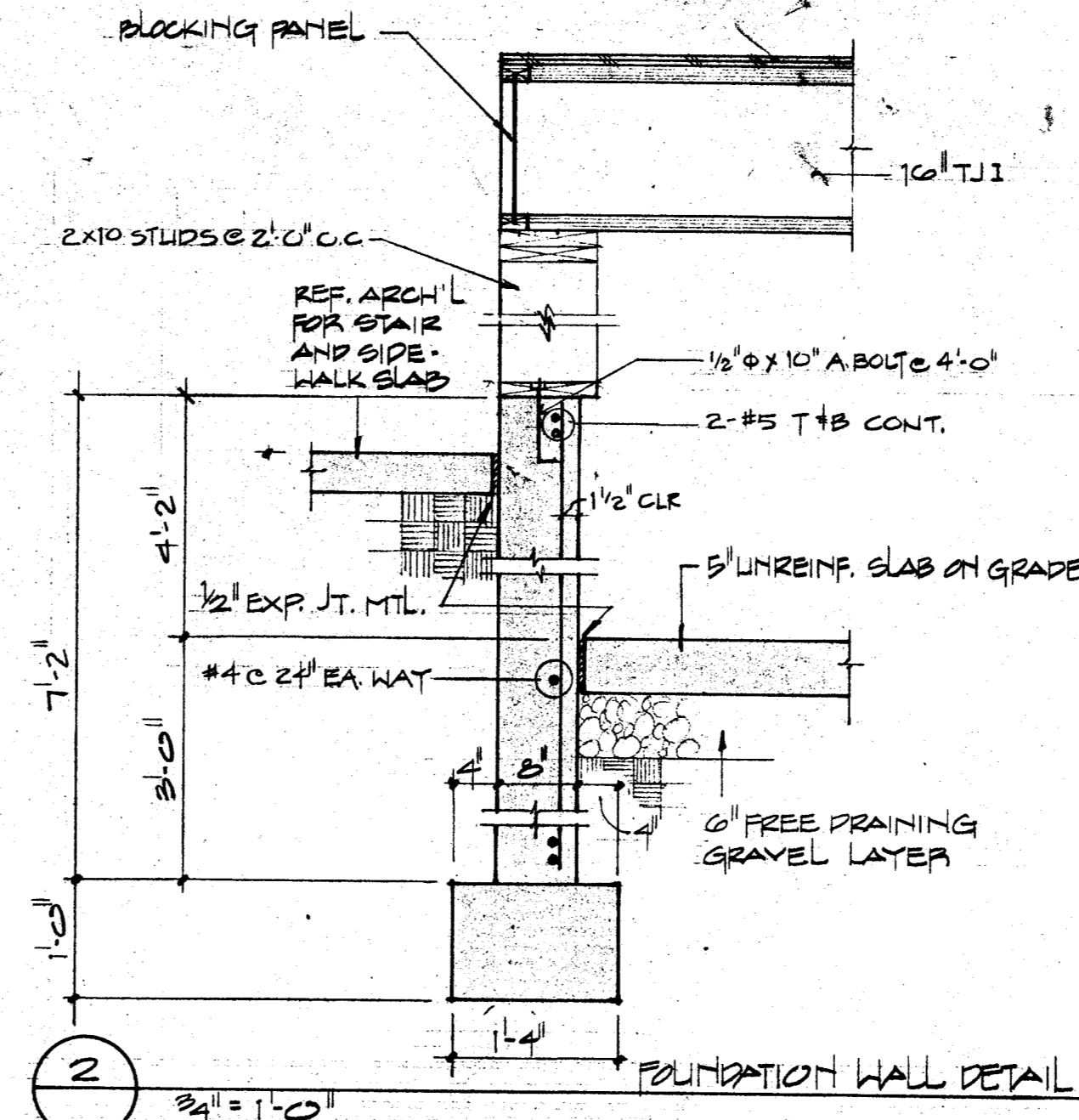
**S-4**

GENERAL NOTES PERTAINING TO ALL STRUCTURAL DRAWINGS

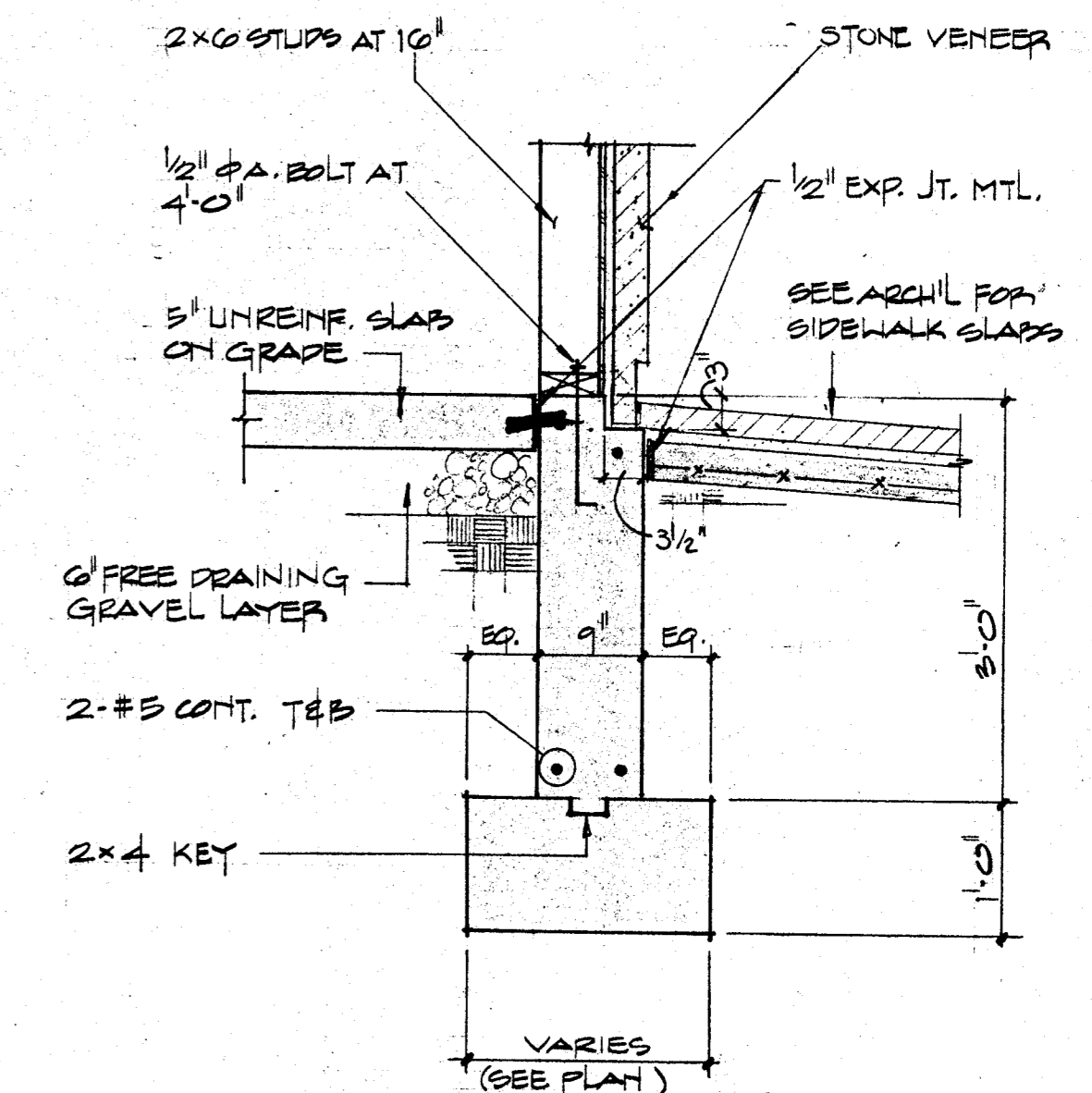
- Concrete has been designed and shall be constructed in accordance with the American Concrete Institute Building Code (A.C.I. 318-77) and (A.C.I. 301-72) :Specifications for Structural Concrete for Buildings". Section 1.3 "Inspection" of A.C.I. 318-77 is deleted in entirety, see "Field Observations" paragraph. All concrete, except as noted otherwise, shall be of stone aggregate concrete, 3,000 psi minimum compressive strength at 28 days.
- Reinforcing is to be new billet steel A.S.T.M. A615, grade 60. Welded wire fabric shall be in accordance with A.S.T.M. A185. Provide corner bars to match all horizontal reinforcing in cast-in place walls. Provide not less than 2 #5 around all sides of all openings in concrete and extend 2'-0" past edges of openings. Provide lap splices as follows: #6 = 26", #5 = 20", #4 = 16".
- Bar Placing: All reinforcing shall be placed in a manner so as to avoid displacement when placing concrete. Bars shall be placed to clearances noted on drawings. Placing shall be in accordance with C.R.S.I. "Placing Reinforcing Bars". The bar placer is to familiarize himself with all details shown on the structural drawings and shall use these drawings in conjunction with approved shop drawings for placement of reinforcing.
- Retaining Walls: Concrete walls are designed to be supported top and bottom by floor construction. Walls are not to be backfilled until such floors are in place or adequate shoring is provided.
- Structural Steel including cast-in angles, plates or other sections shall be detailed and erected in accordance with the American Institute of Steel Construction (A.I.S.C.) Specifications and Code of Standard Practice. Use A36 steel and A307 bolts.
- Wood shall be douglas fir-larch - Studs: Construction grade, Joist: #2 and better, Beams: #1 grade. Provide 1 x 4 cross bridging at 8'-0" o.c. maximum and solid blocking between joists at all supports. All wood construction shall be in conformance with the "National Design Specification for Stress Grade Lumber and It's Fastenings", latest edition.
- Glue-laminated beams shall be douglas fir, 2,400 psi fiber stress, Industrial grade unless otherwise noted on the drawings. Ship beams to the site and store in protective wrappers.
- Trus-joist members shall be as manufactured by the Trus-Joist Corp., Boise, Idaho, or approved equal. Supplier shall furnish shop drawings showing all joists, bridging, blocking, misc. accessories for approval before starting fabrication. The contractor is not to cut, notch or otherwise alter the trusses without the written permission of the structural engineers.
- Foundations: The structure is to be founded on spread footings with an allowable bearing pressure of 3,000 psf. See soil report #3197 dated May 10, 1982 as prepared by Thomas E. Summerlee & Assoc., Inc. for the preceding and all other pertinent information. The contractor shall be fully versed in all aspects of the soils report prior to starting construction.
- Field Observation: The contractor shall inform the structural engineer at least 24 hours prior to casting any concrete so as to allow the structural engineer the opportunity to review the placement of embedded items.  
CONTACT: Neujahr & Gorman, Consulting Structural Engineers  
Phone: 1-303-988-6340
- Live Loads used in Design  
Roof-----100 psf  
Floors:  
Retail-----75 psf  
Office-----50 psf  
Partitions (office)-----20 psf  
Residential-----40 psf  
Decks, Stairs & Walkways-----100 psf  
Wind-----25 psf  
Seismic Zone 1



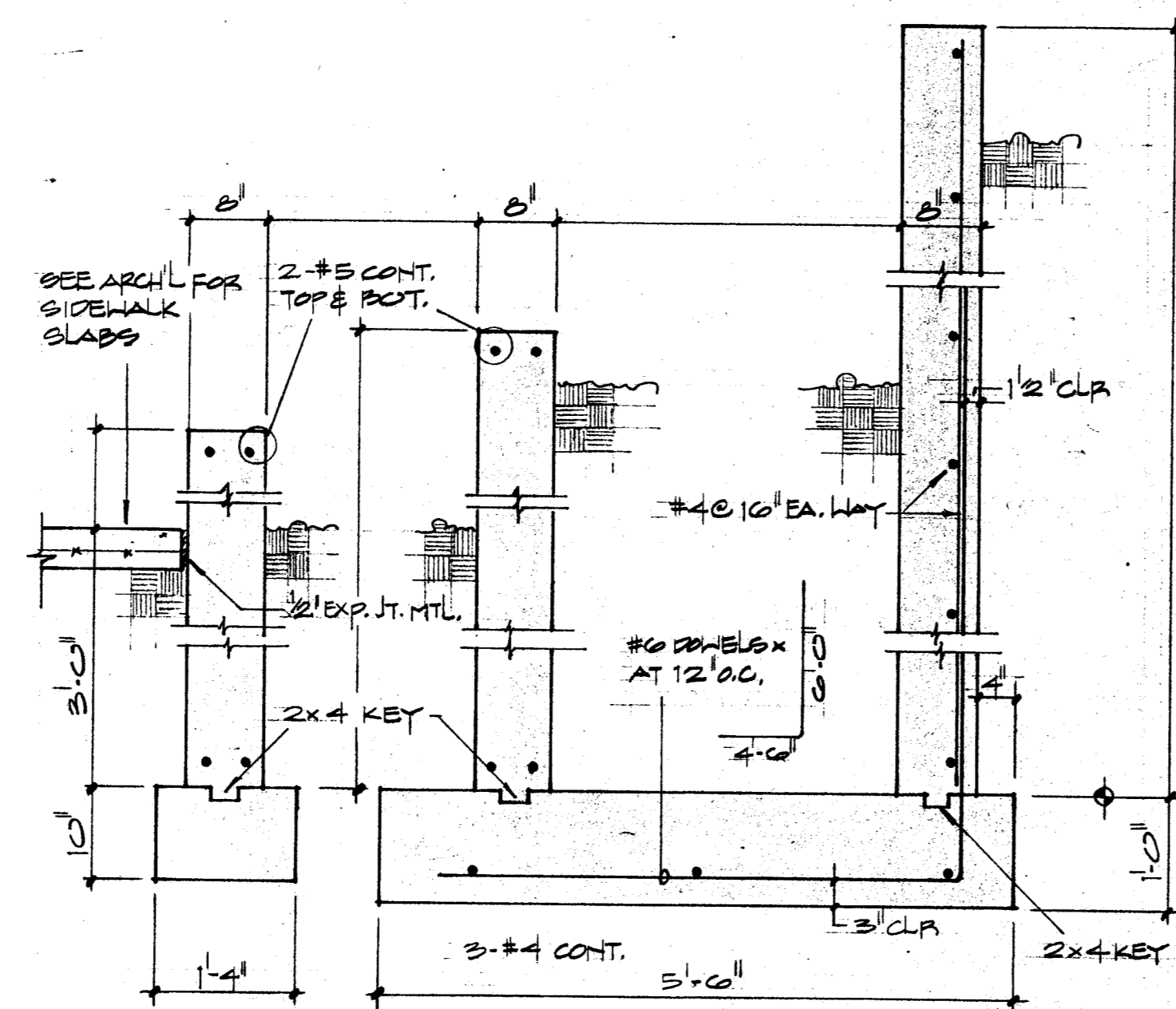
1 FOUNDATION WALL DETAIL  
3/4" = 1'-0"



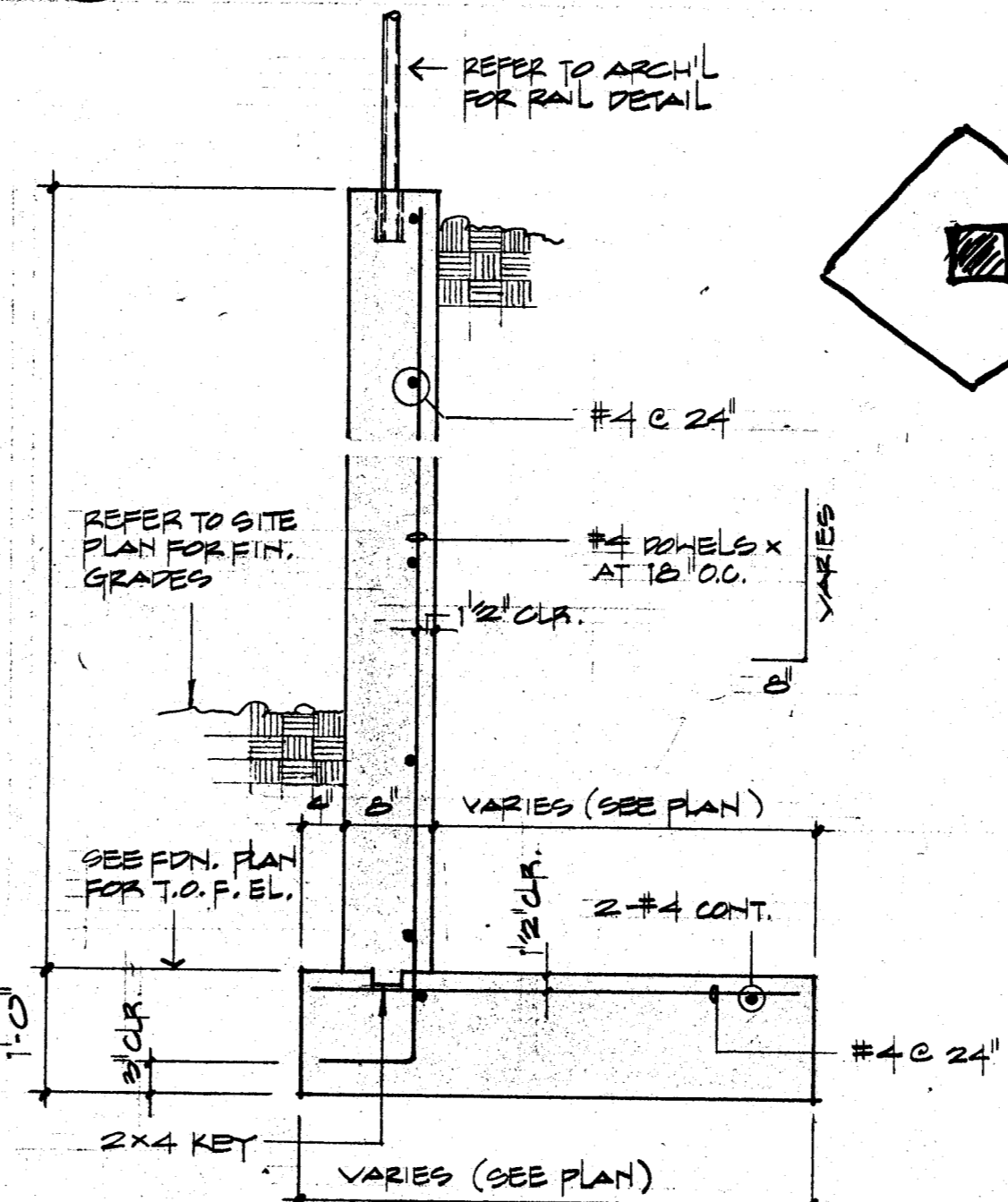
2 FOUNDATION WALL DETAIL  
3/4" = 1'-0"



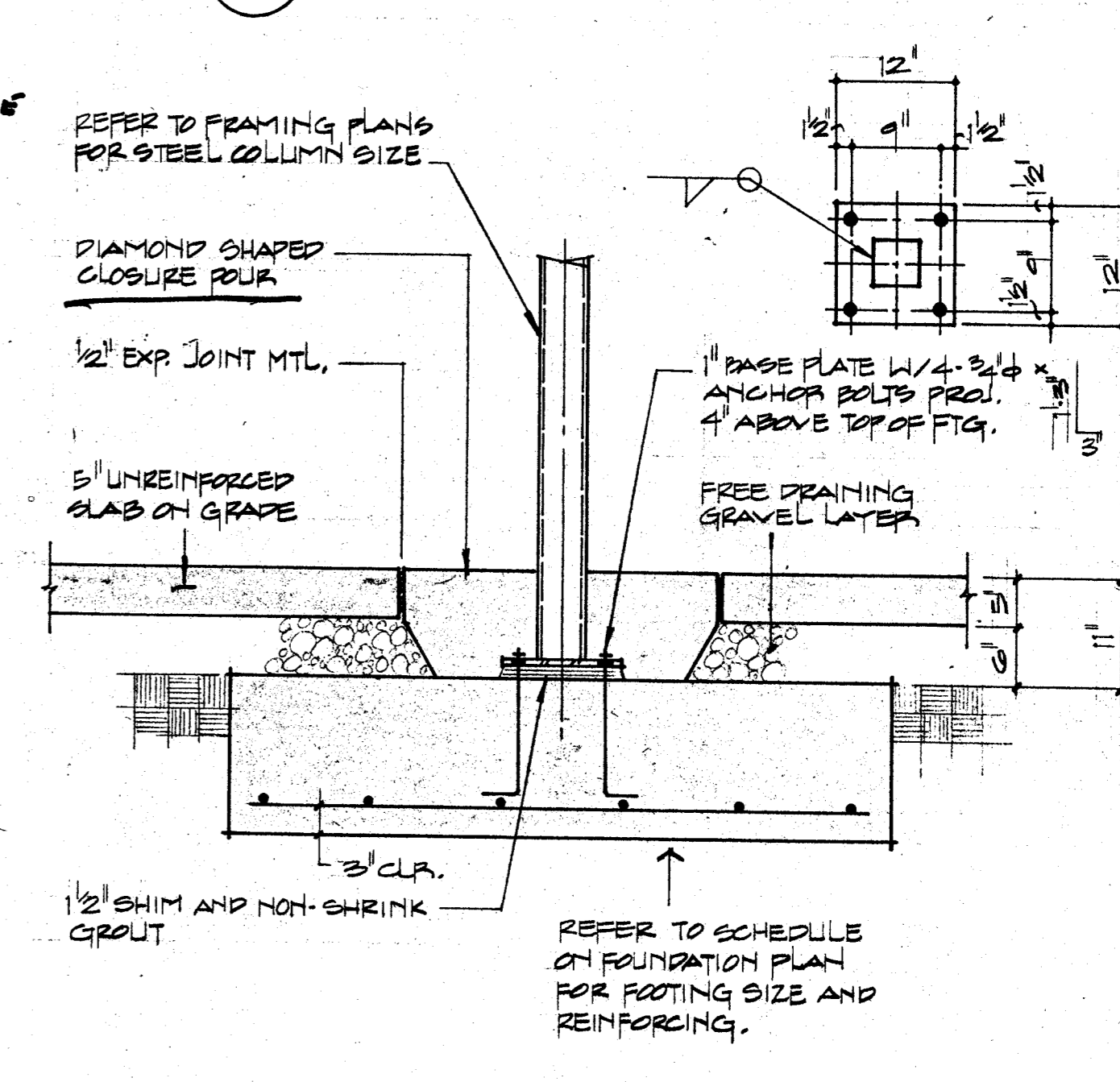
3 FOUNDATION GRADE BEAM DETAIL  
3/4" = 1'-0"



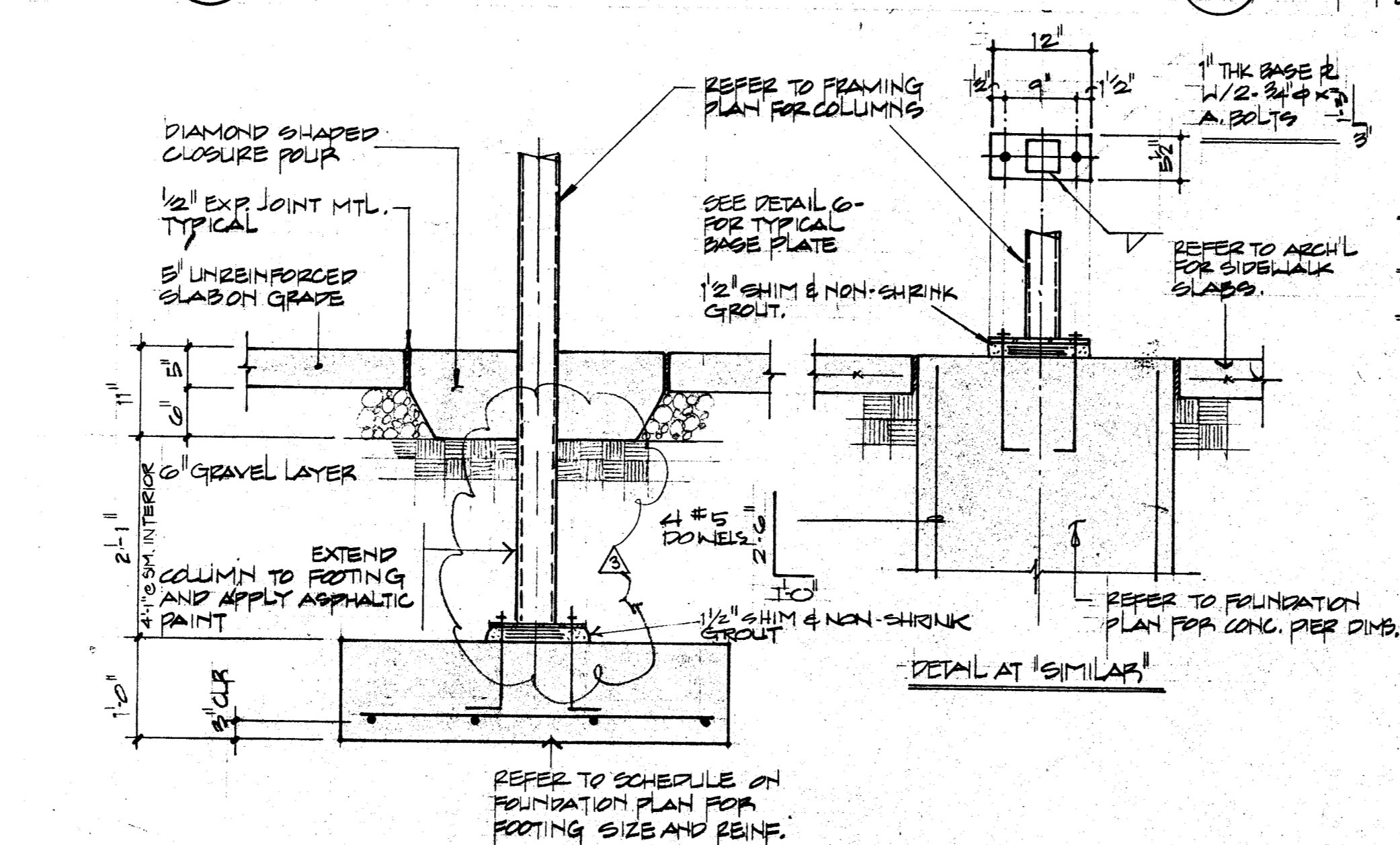
4 PLASTER & RETAINING WALL DETAIL  
3/4" = 1'-0"



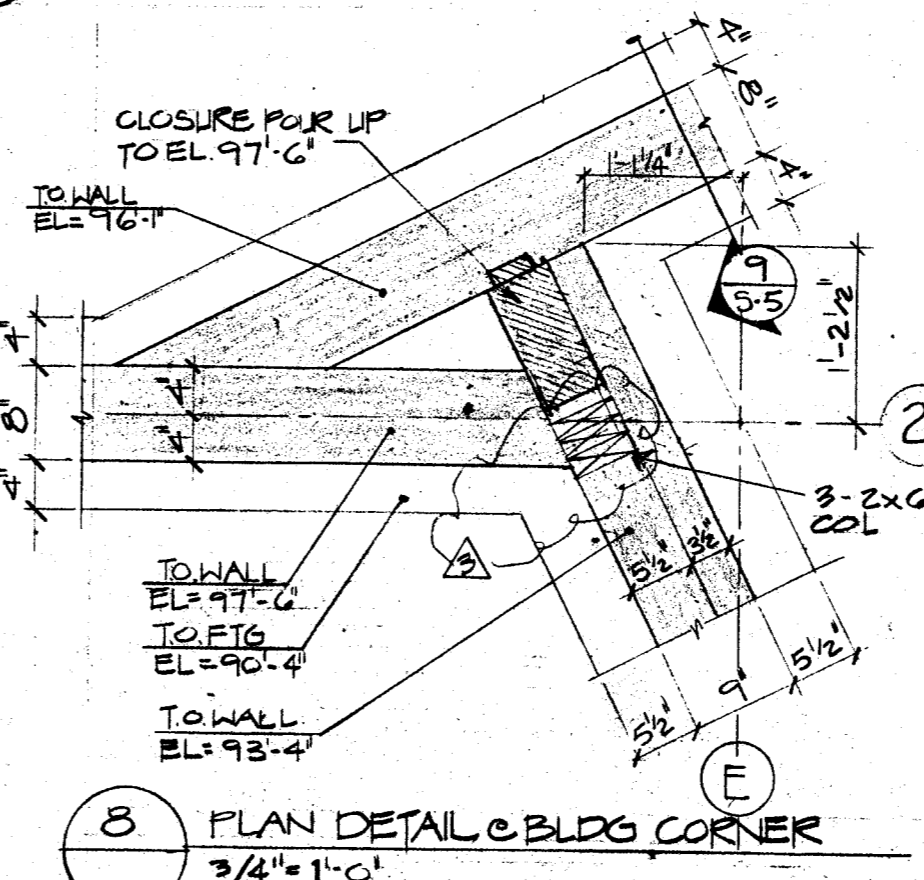
5 RETAINING WALL DETAIL  
3/4" = 1'-0"



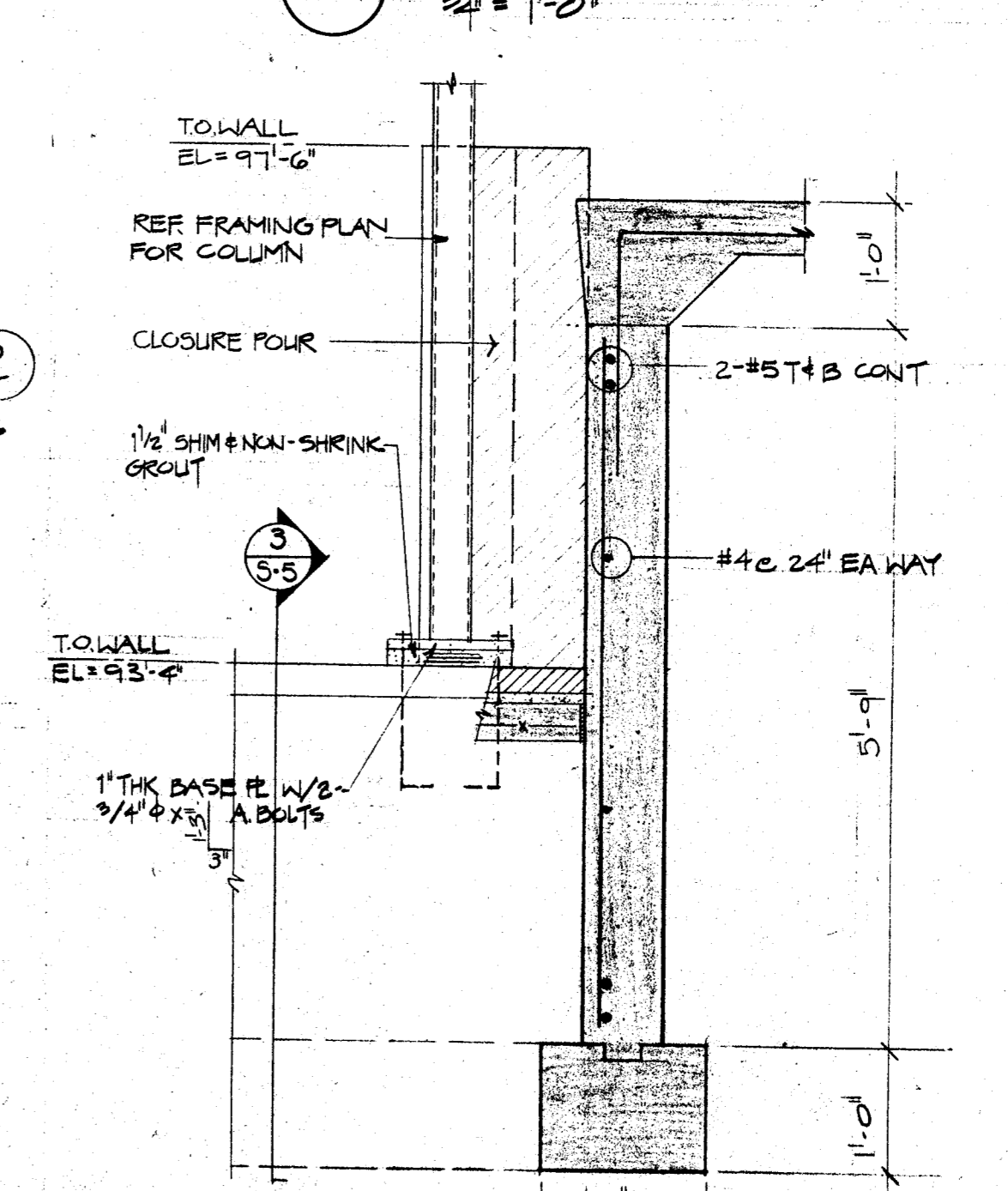
6 INTERIOR FOOTING DETAIL  
3/4" = 1'-0"



7 FOOTING PAD AND CONCRETE PIER DETAIL  
3/4" = 1'-0"



8 PLAN DETAIL OF BLDG CORNER  
3/4" = 1'-0"



9 BLDG CORNER & RETAINING WALL DETAIL  
3/4" = 1'-0"

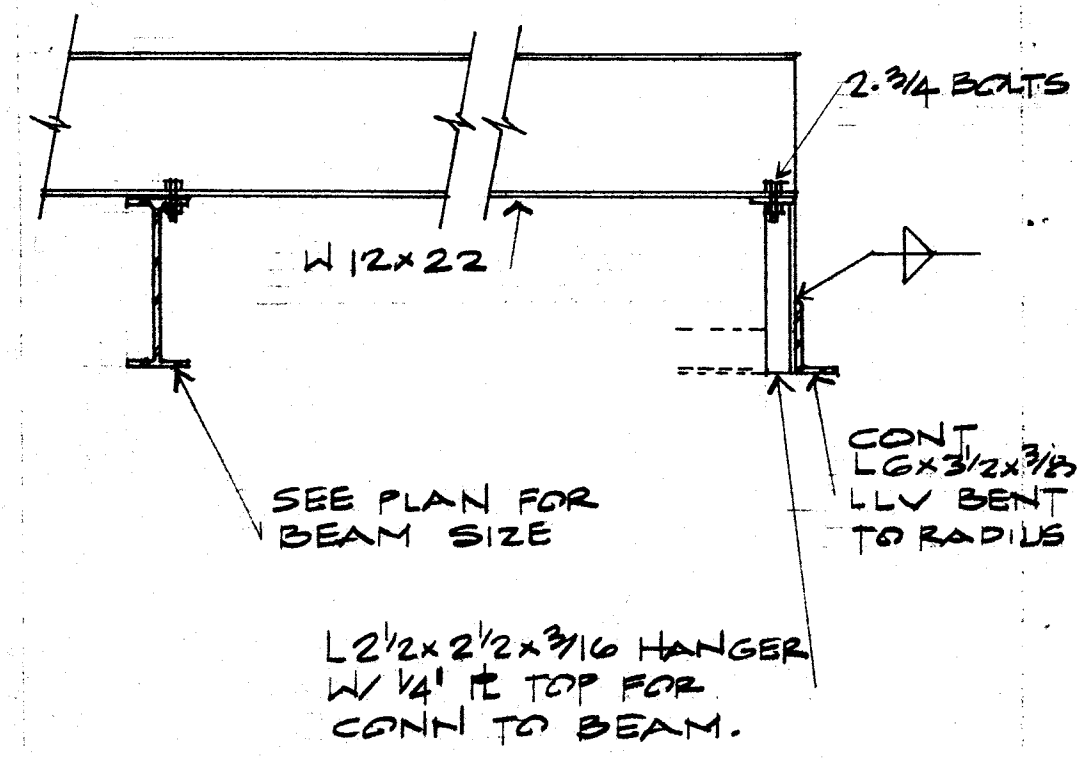
Braun Vanderlip Fulton Architects  
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Cooper Creek Junction  
Winter Park, Colorado  
Cooper Creek Junction Joint Venture

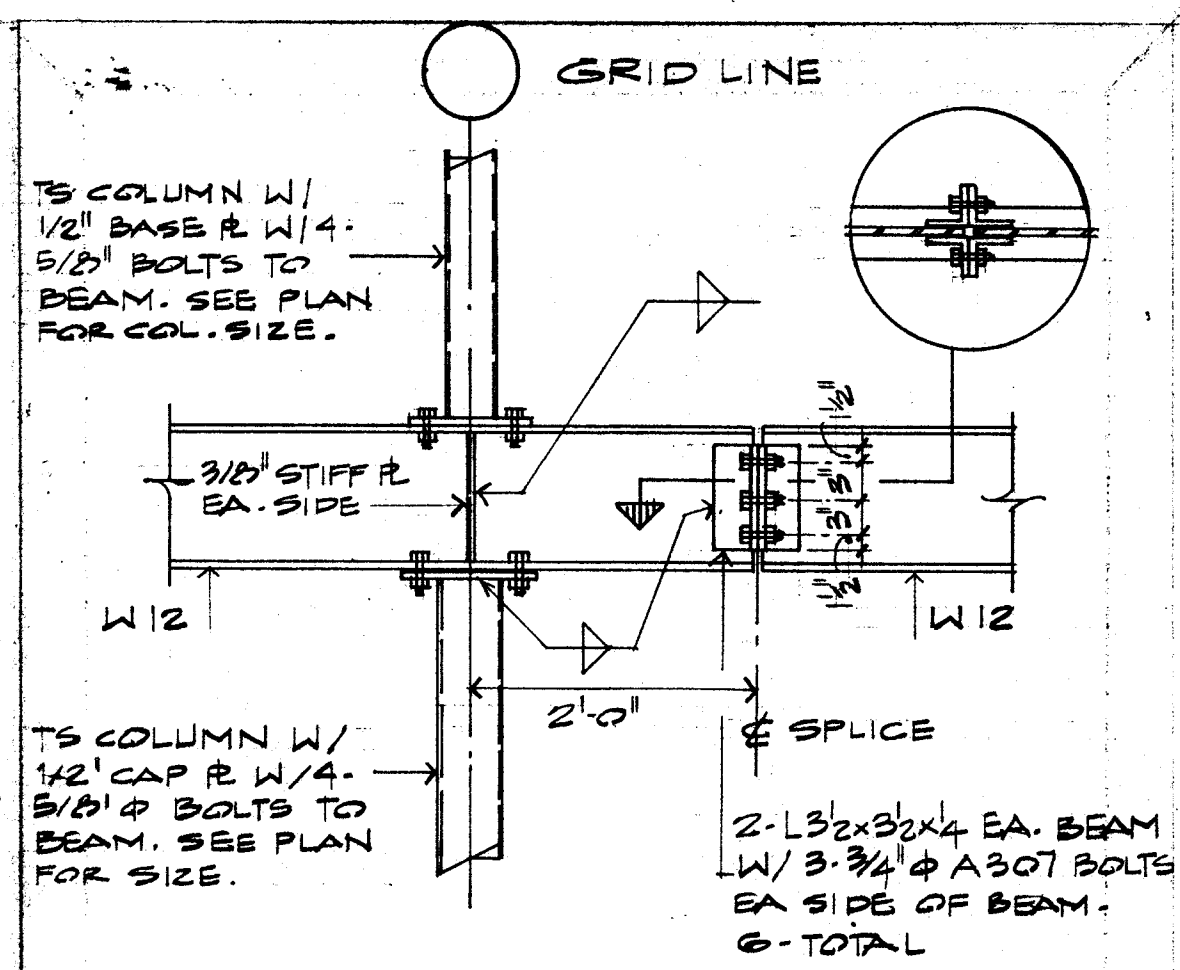
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REVISIONS
GENERAL
MISC. CH

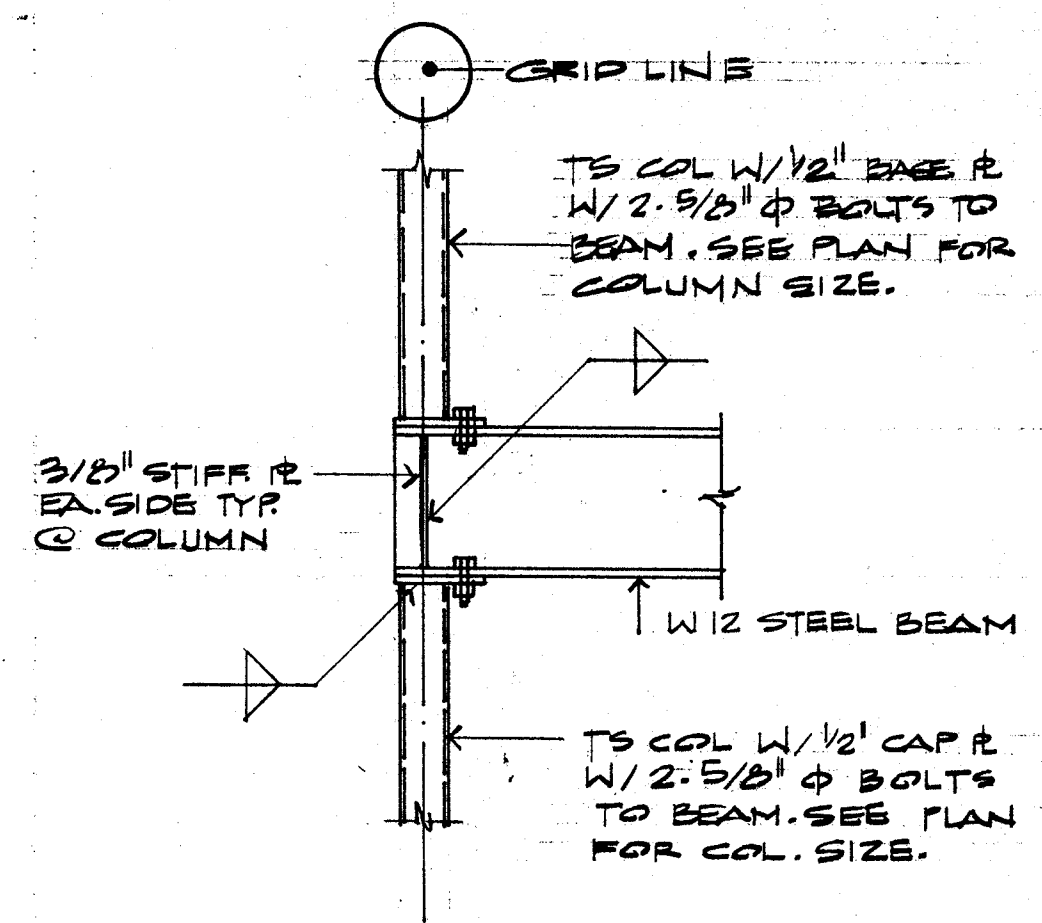
FOUNDATION DETAILS



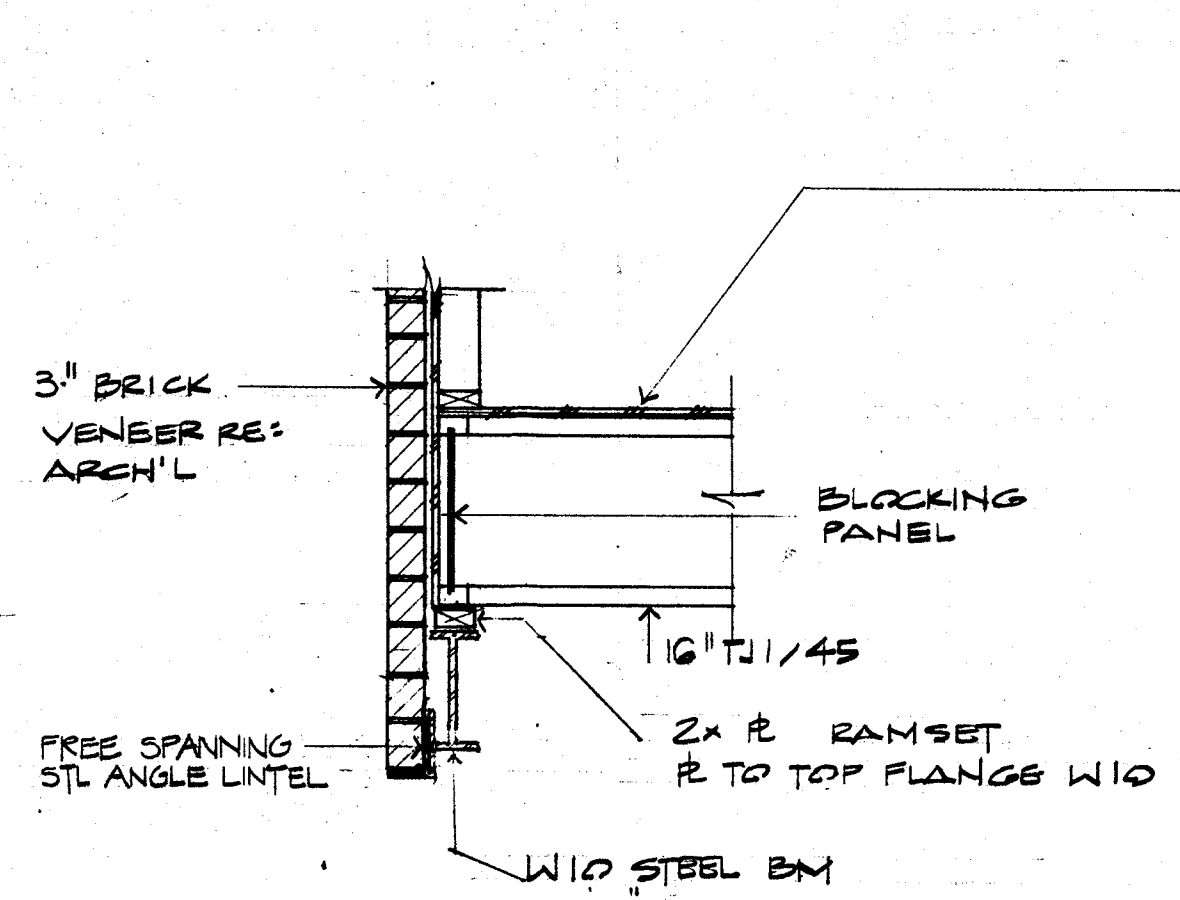
7 BRICK LINTEL SUPPORT DETAIL  
3/4" = 1'-0"



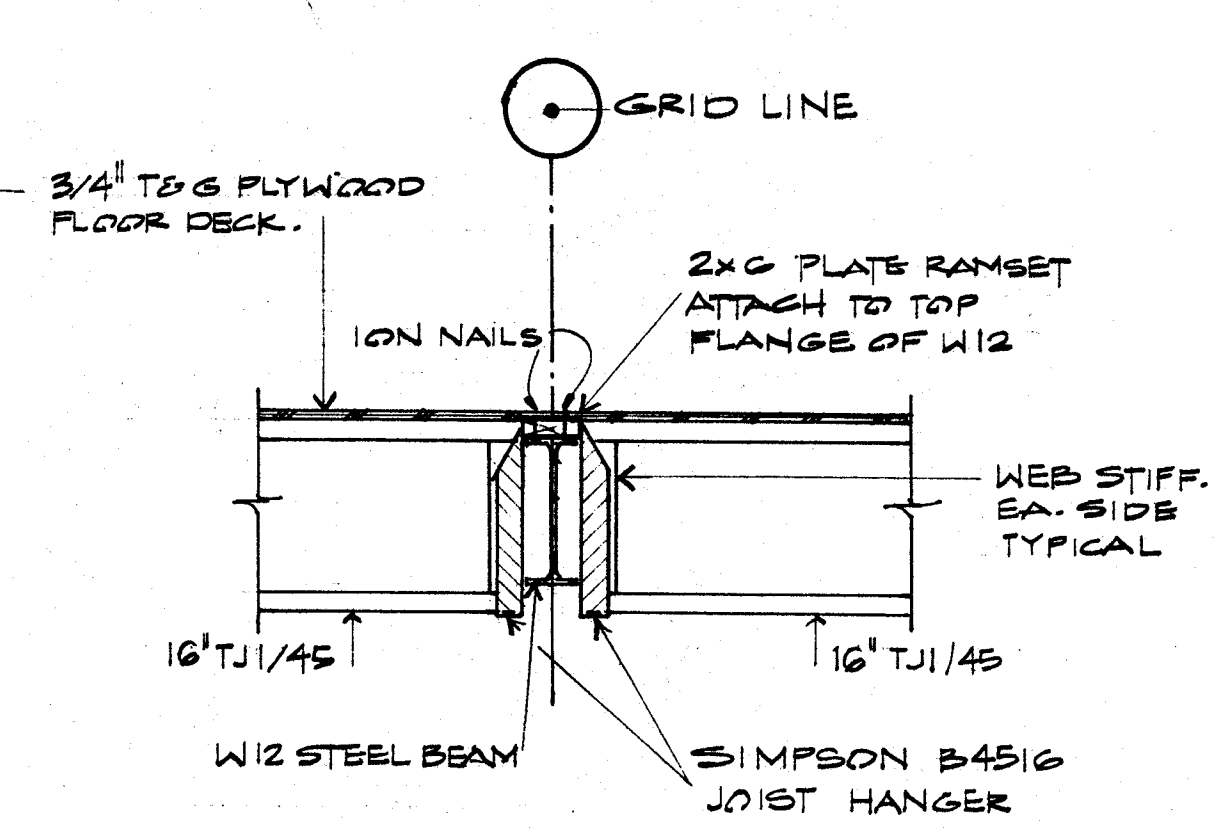
1 BM/col & BM SPlice DETAIL  
3/4" = 1'-0"



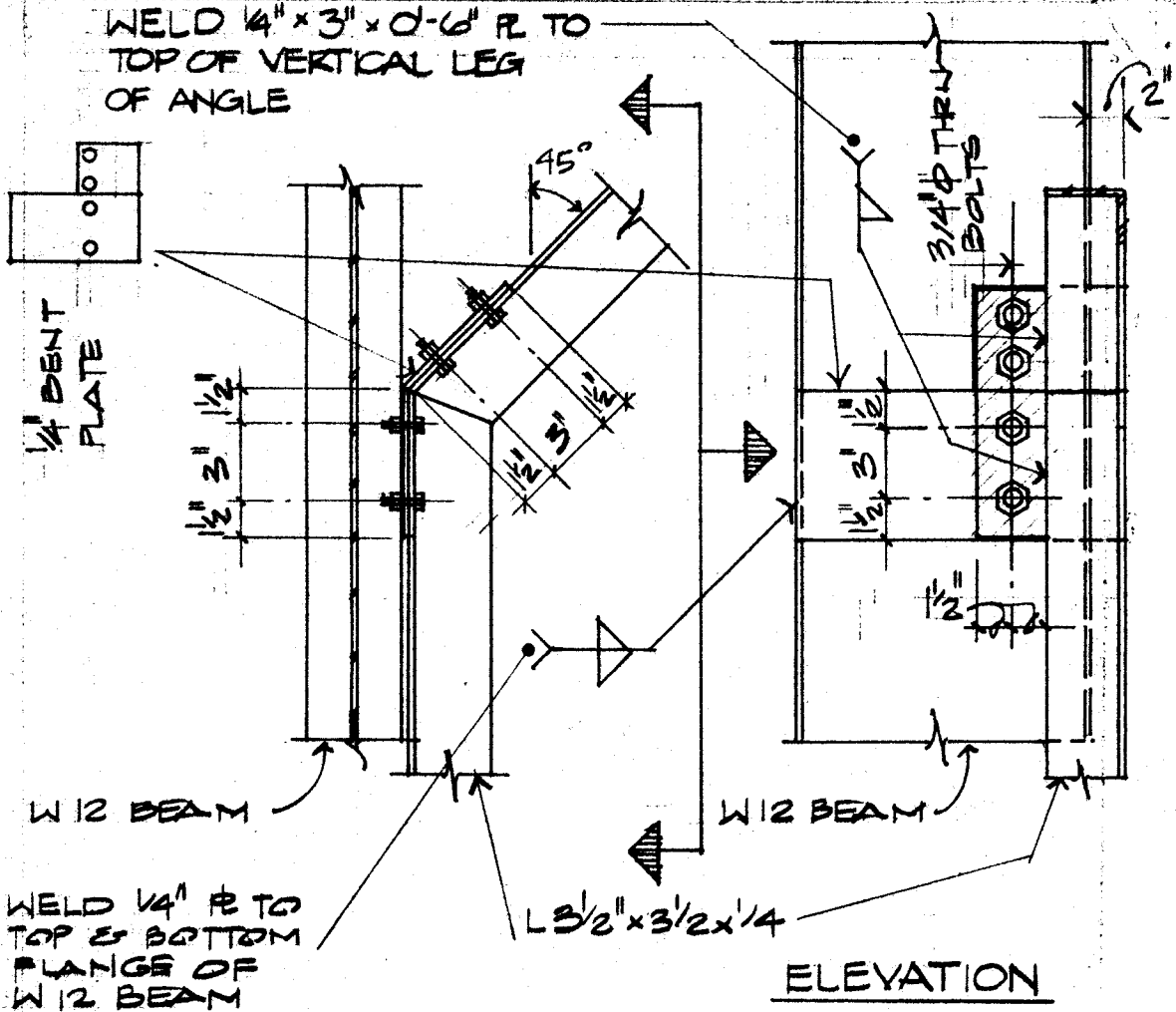
2 BEAM TO COL DETAIL  
3/4" = 1'-0"



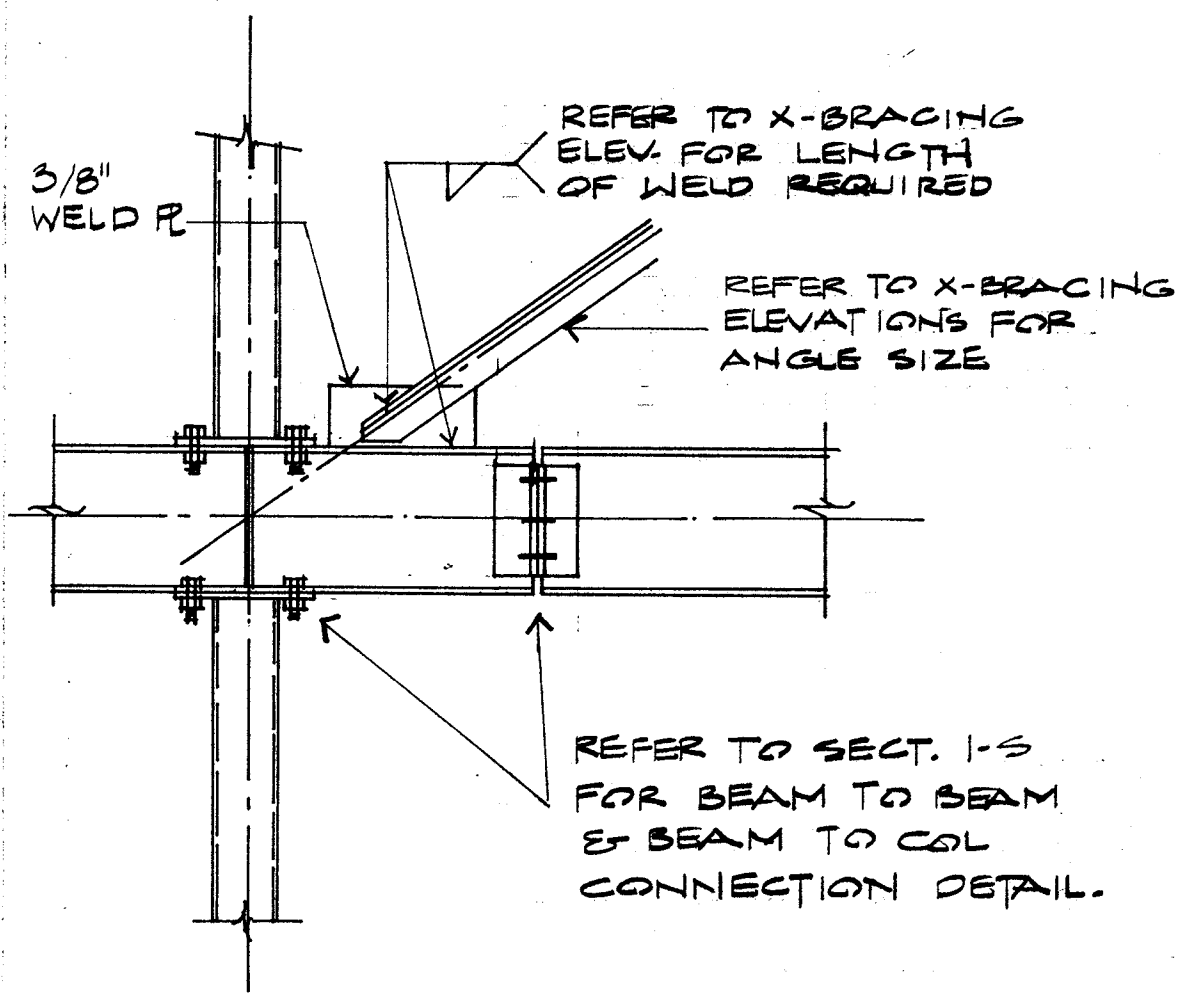
3 BRICK SUPPORT ANGLE DETAIL  
3/4" = 1'-0"



4 JOIST TO BEAM CONN. DETAIL  
3/4" = 1'-0"

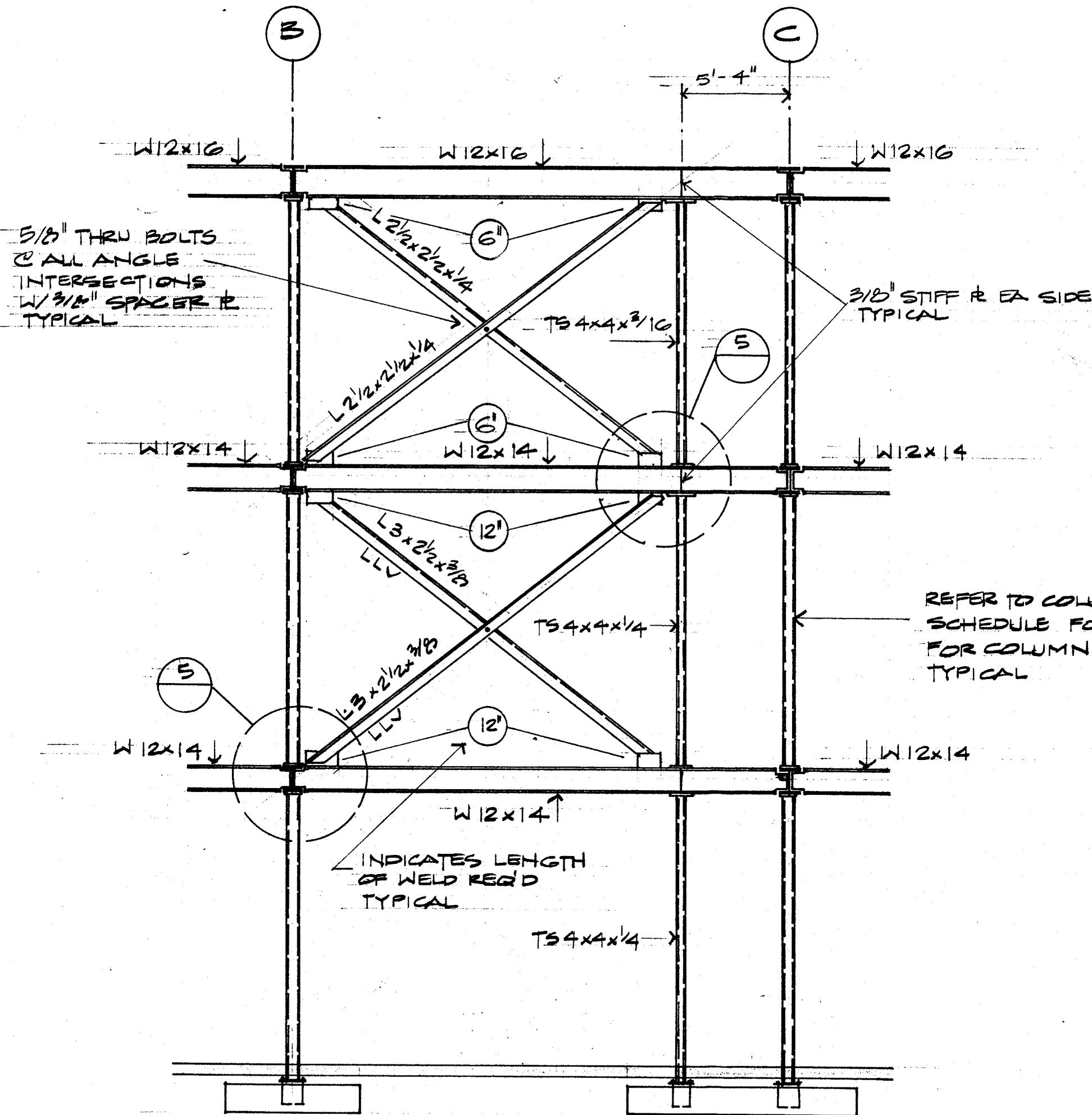


8 BRICK LINTEL SUPPORT DETAIL  
3/4" = 1'-0"

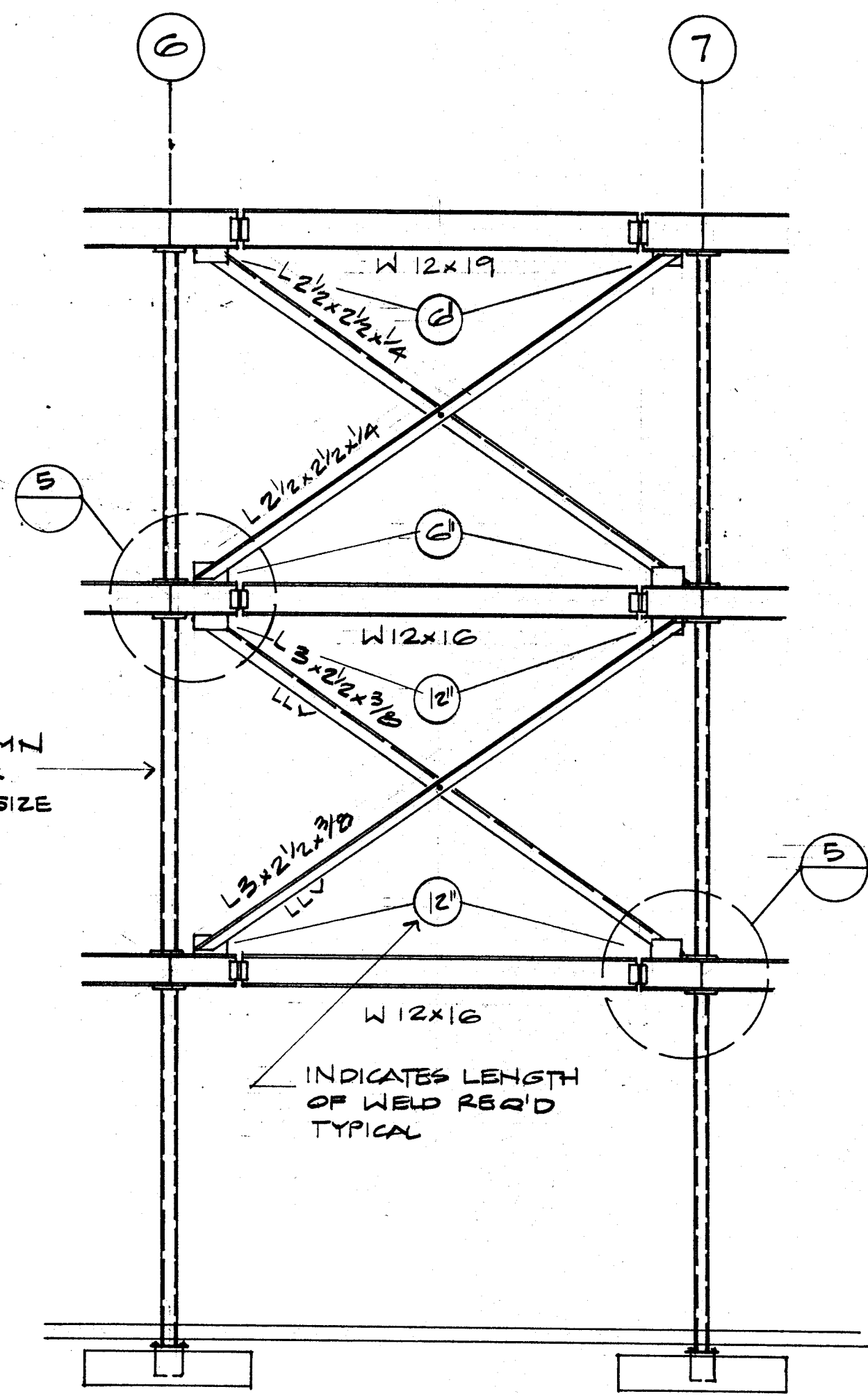


5 X-BRACING CONN. DETAIL  
3/4" = 1'-0"

LOOSE LINTEL SCHEDULE				
SPAN	DESIGNATION	LOCATION	SIZE	BEARING
14'-3" TO 15'-0"	L1	GRID LINE B	L6x3 1/2 x 3/8	6"
9'-4 1/2" TO 14'-2 1/2"	L2	EAST	L6x3 1/2 x 5/8	6"
6'-1 1/2" TO 9'-4"	L3	EAST+WEST	L4x3 1/2 x 5/8	4"
UP TO 6'-10 1/2"	L4		L3 1/2 x 3 1/2 x 1/4	4"



6 X-BRACING ELEVATIONS  
1/4" = 1'-0"





**TOWN OF WINTER PARK  
PLANNING COMMISSION**

---

**Applicant:** Cooper Creek Joint Venture

**Location:** 37 Cooper Creek Way

**Proposal:** Third Story Deck

---

Cooper Creek Square in conjunction with DaVinci Restaurant is proposing to build a third-story deck on the corner of Cooper Creek Way and US Hwy 40. The deck will be constructed on steel and concrete with steel railings surrounding the deck. All metal components will be painted to match the existing green of Cooper Creek railings.

The applicant has submitted drawings that highlight the improvements. The proposed materials and style match the existing metal in Cooper Creek Square and comply with the Town Design Guidelines.

**Proposed Material & Color:**

All metal components will be painted to match the existing Cooper Creek railings. Picture attached.

**Exterior Lighting:** Exterior lighting is not currently proposed.

**DRC Recommendation**

The Design Review Committee reviewed the proposed improvements on June 17, 2014 and recommended approval with two conditions –

- The metal extensions above the railing (holding the flowerpots) shall be removed from the design. The Committee was concerned that the extensions would appear out of place during the winter months when flowers were not on them. The applicant agreed with this condition.
- The approval includes the ability to wrap the metal support posts from the deck to the ground in rock façade similar to the Cooper Creek Sign. The Committee was concerned that the support posts may appear out of proportion to the rest of the structure if the diameter of the poles is too small. The diameter is proposed to be six inches.

**Staff Recommendation**

Staff recommends approval of the design as amended by the Design Review Committee.



PO Box 85  
37 Cooper Creek Way #311  
Winter Park, CO 80482

970-726-8891 ♦ FAX 970-726-3059

## **DaVinci Restaurant Deck**

Cover Letter

June 3<sup>rd</sup>, 2014

Description of Project: This is a 502 square foot deck to be built at the third level of Cooper Creek Square, at a finished floor level equal to the existing DaVinci Restaurant. The project is to be executed in steel and concrete. Steel columns will support steel decking material with 5.5" of concrete poured inside the steel frame. Steel railings will surround the deck and all metal components will be painted to match the existing green of Cooper Creek railings.

**A. Name of proposed project:** DaVinci Restaurant Deck

- a. street address: 37 Cooper Creek Way, Suite 315
- b. subdivision: Cooper Creek Square
- c. lot number: Parcel 1

**B. Name, address, email, and telephone numbers of:**

- 1. Owner: Cooper Creek Joint Venture, 37 Cooper Creek Way #311, Winter Park, CO 80482 970-531-1922
- 2. Applicant: Cooper Creek Joint Venture, 37 Cooper Creek Way #311, Winter Park, CO 80482 970-531-1922
- 3. Project Manager: Mark Hanna, 37 Cooper Creek Way #311, Winter Park, CO 80482 970-531-1922
- 4. Architect: JVA, 47 Cooper Creek Way #327, Winter Park, CO 80482 970-509-0783

**C. Legal description of site:** Cooper Creek Square, Parcel 1

**D. Variances granted:** none

**E. Zone district:** D-C, DBO

**F. Setback distances:**

- 1. Front: 0
- 2. Rear: 0
- 3. Sides: 0

**G. List units and number of bedrooms per unit:** none

**H. Parking:** As per parking agreement between Town of Winter Park and Cooper Creek Square.

**I. Calculated building coverage ratio:** None required for this Zone area

- a. Site's total acreage and square feet: .28 acre, 12090 SF
- b. Building footprint (including overhangs & decks) square footage (list by structure): 10186 SF
- c. Drives, sidewalks, and parking areas square footage: sidewalks 1904 SF

**J. Calculated building height:** Existing Height: 35'

**K. Describe exterior building color and material:**

- 1. Foundation: Foundation embedded in flower garden
- 2. Siding: Existing: redwood
- 3. Window/door trim: tan, brown and green metal clad
- 4. Roof: flat foam
- 5. Glass type: dual pane low E
- 6. Rock, Masonry: Red Brick
- 7. Exterior lighting plan: none

**L. Project schedule:** Start as soon as possible and complete in June, 2014



Dabini Deck Material Board

# LEVEL THREE

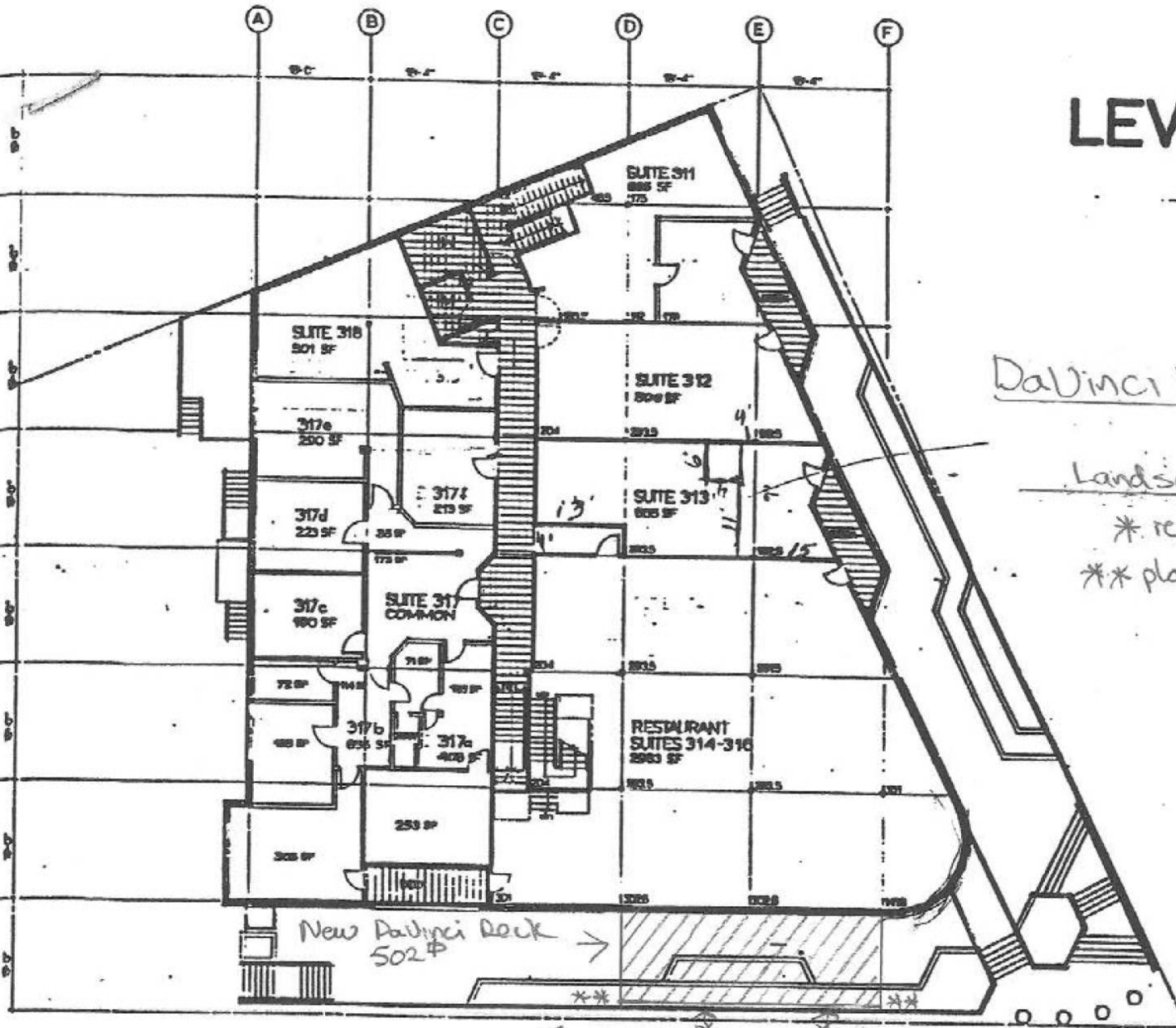
Leasable 7534 SF

DaVinci Deck Site Plan

Landscape Plan

- \* remove existing aspen trees
- \*\* plant new aspen trees

US Hwy 40



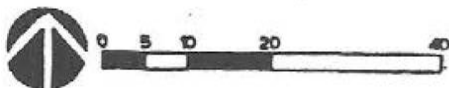
New DaVinci Deck  
502 #

New Aspen

remove existing Aspen

New Aspen

Cooper Creek Way

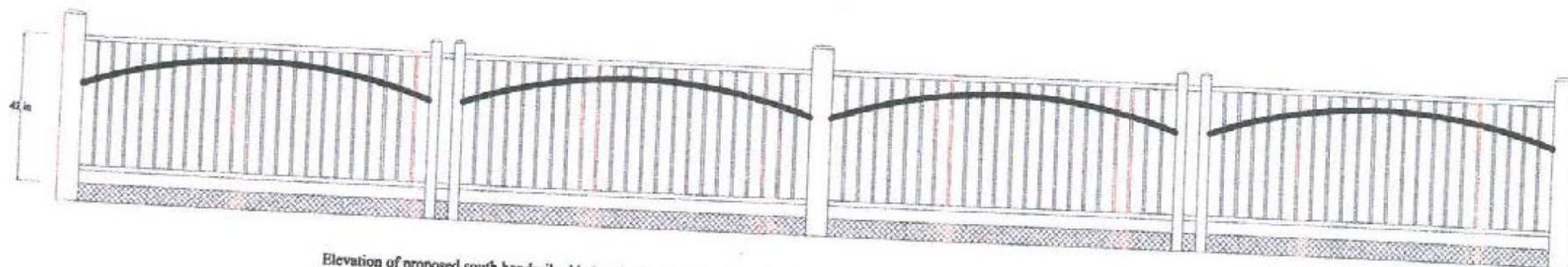


## COOPER CREEK SQUARE

## 3<sup>rd</sup> Level Deck



# Dalbinci Deck Rail Detail



Elevation of proposed south handrail with 6 x 6 x 1/4 main posts, 3 x 3 x 1/4 intermediate double posts, 5/8" pickets

**From:** [Bill Daly](#)  
**To:** [Brian Kelly](#)  
**Subject:** Cooper Creek exterior railing modification  
**Date:** Tuesday, September 30, 2025 9:38:06 AM

---

Caution! This message was sent from outside your organization.

Mr. Kelly,

I am writing you in response to the public notice posted adjacent to Cooper Creek Square regarding an appeal to the fence railing modification of the third floor patio deck that used to be a part of the Adventures Decanted outdoor eating area.

As that business space has been converted from a restaurant to work force housing apartments, it seems reasonable to me that some sort of privacy fence for those apartments sharing that balcony be provided, so long as it is not some version of a makeshift hillbilly eyesore.

I was able to view the mock up that was in place until recently. Though it was not painted at the time and served only as a visual concept, I thought the wooden pickets that were tastefully integrated into the existing railings enhanced the aesthetics of the building, provided sufficient privacy, and were in keeping with the classy look Cooper Creek Square brings to our community.

I urge the Planning Board and town government to approve the modification to the balcony railing in question.

Thank you,

Bill Daly

Winter Park