



**TOWN OF WINTER PARK
PLANNING COMMISSION
Tuesday, October 14, 2025 8:00 AM**

A G E N D A

I. Call to Order

II. Roll Call of Commission Members

III. Public Comment

This time is reserved for anyone from the public to speak about items not on the agenda. The Planning Commission is not prepared to decide on matters brought up during this time, but if warranted, will place them on a future agenda.

IV. Conflict of Interest

V. Consent Agenda:

- a. Minutes – September 23, 2025
- b. Minor Site Plan – 238 Beaver Lodge Road (PLN25-078)

VI. General Business:

VII. Director's Report:

- a. Sign Code Open House - October 14 - 12pm at Town Hall
- b. November 25 meeting – Commissioner attendance. Thanksgiving is November 27

VIII. Planning Commission Items of Discussion

This time is reserved for Commission discussion items that are not listed on the agenda.

Online Meeting Login Instructions – See next page

Computer Login Instructions

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/86205559892?pwd=1tD3GScH5WgXpbaxbZXiTpUwLHWlSS.1>

Passcode: 20252026

Phone Login Instructions

Dial In Numbers (for higher quality, dial a number based on your current location):

+1 719 359 4580 US

+1 669 444 9171 US

+1 669 900 6833 US (San Jose)

+1 253 205 0468 US

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 929 436 2866 US (New York)

+1 301 715 8592 US (Washington DC)

+1 305 224 1968 US

+1 309 205 3325 US

+1 312 626 6799 US (Chicago)

+1 360 209 5623 US

+1 386 347 5053 US

+1 507 473 4847 US

+1 564 217 2000 US

+1 646 931 3860 US

+1 689 278 1000 US

Webinar ID: 862 0555 9892

Passcode: 20252026

International numbers available: <https://us02web.zoom.us/j/kdr9la1HH0>

You can log into the Zoom meeting through the link above to view what is projected on the screen. You can use either your computer audio or the number above. Everyone will be muted upon entry into the meeting to ensure that we have manageable background noise and limited interruptions.

Public Hearing Process

If you would like to participate in the public hearing, please follow these instructions so we can make sure everyone that wants to speak has the opportunity. When you log into Zoom you will be automatically muted to limit background noise. When the public hearing is opened for public comment, please use the “raise your hand” feature and staff will unmute citizens in the order they were received. To enable “raise your hand” feature, click on the “Participants” button the bottom of the screen. If you are on phone, press *9 to “raise your hand” and *6 to unmute.



**TOWN OF WINTER PARK
PLANNING COMMISSION
Tuesday, September 23, 2025 8:00 AM**

MINUTES

DATE: Tuesday, September 23, 2025.

MEETING: Winter Park Planning Commission

PLACE: Town Hall Council Chambers and Zoom Meeting Call

PRESENT: Chair Dave Barker (online), Vice Chair Doug Robbins (online), Commissioners Shawn Cullingford (online), Dale McCaw, Justin Bontrager and Eric Mowrey are present. Also present are Community Development Director James Shockey, Senior Town Planner Brian Kelly, Town Planner II Adam Springer (online) and Town Attorney Kunal Parikh (online).

I. Call to Order

Chair Barker calls the meeting to order at 8:05 a.m.

II. Roll Call of Commission Members

Commissioner Thomas McDonald is absent today.

III. Public Comment

No one comes forward.

IV. Conflict of Interest

No one comes forward.

V. Consent Agenda:

- a. Minutes – September 9, 2025

Commissioner Mowrey moves to approve the consent agenda with Staff comments. Commissioner McCaw seconds. The consent agenda is approved 6, 0.

VI. General Business:

- a. Exemption Plat – Rendezvous Subdivision Exemption No. 5 (PLN25-080)

Planner Kelly informs the Commission that the applicant decided to postpone the presentation of this item on the agenda for a later date.

VII. Director's Report:

- a. Sign Code Update
- b. Other Code Updates

Planner Kelly informs the Commission about the steps that are being taken to inform the business owners about the upcoming updates regarding the Sign Code. The goal is to have a document for the Town Council to review by November.

Director Shockey informs the Commission that the Staff is still working on the updates related to building height measurement. The Commission asks if there is a way to have examples that illustrate how the Building Height would be measured in different scenarios. Director Shockey replies that the Staff is working on this item especially for steeper slopes. Planner Kelly adds that some research has been done based on what other jurisdictions have implemented. Planner Springer makes a comment about how the Staff is working on all the information that has been gathered so far. There is further conversation about residential v. commercial building height and also variance requests that the Commission might get in the future once the building height updates are implemented.

Then, Director Shockey mentions the wildfire interface regulations that the State has adopted and how the Staff expect to have a document by April 2026. There is also mention of the construction hours and related regulations.

Finally, Director Shockey mentions the School Impact fees and how this item could be addressed more efficiently. Then, the proposal will be taken to Town Council for review and approval.

VIII. Planning Commission Items of Discussion

There are no items to discuss.

There being no further business to discuss, Commissioner McCaw makes motion to adjourn, Commissioner Cullingford seconds motion, by unanimous “aye”, the meeting is adjourned at 8:22 a.m.

The next scheduled meeting of the Planning Commission will be Tuesday, October 14, 2025, at 8:00 a.m.

Irene Kilburn, Building and Planning Technician II

MEMO

TO Planning Commission
FROM Brian P. Kelly, Senior Planner
THROUGH James Shockey, AICP, Community Development Director
DATE October 14, 2025
RE Minor Site Plan – 238 Beaver Lodge Rd – Roam Filing 1 (PLN25-078)

Property Owner: Archie Investments, LLC

Applicant: Jason Schneider, Sheffield Homes Colorado, LLC

Architect: Scott Sudik, Godden Sudik Architects

Surveyor: BJ Drullinger, LJA Surveying

Location: 238 Beaver Lodge Road – Lot 3, Block 10, Roam Filing 1 (the "Property")

Zoning:
P-D(D-C) – Planned Development Destination Center Zoning District, Planning Area 8 – Residential Use

Authority:
Pursuant to § 5-B-3 of the Winter Park Unified Development Code (the "UDC"), the Director considers building configurations, colors, materials and general compatibility of proposed structures and outdoor advertising within the Town of Winter Park. Pursuant to UDC§ 5-E-1(A)(3) a Minor Site Plan approval is required before building permit issuance.

Variances:
N/A: No Board of Adjustment (BOA) variance requests were requested with this application. No design exception requests are made to the Town of Winter Park Standards and Specifications for Design and Construction (SSDC).

Architecture:
The applicant proposes one (1) new single-family detached dwelling unit (SFD) on vacant unimproved land with an attached two-car (two parking space) garage. The SFD is a two-story, offset cross-gable structure. The structure has five (5) bedrooms, five (5) baths, and a half (1/2) bath. The entry is shown on the southwest façade of the first level covered with a low slope (0.5:12) hip roof covered porch positioned centrally. The primary axis of gable roof is oriented generally in a north-south position perpendicular with existing contours of the lot. The total building coverage is approximately 4,098 square feet (SF) and has a total gross floor area of approximately 4,277 SF of conditioned – finished space. The lot is approximately 8,478 SF or 0.19 AC. The structure covers approximately 48% of the lot.

Title Commitment (Item 5):

Satisfactory. A Warranty Deed was submitted and dated July 24, 2025 indicating Title Insurance Commitment of vacant lot. A title Commitment should be dated within the six (6) months of the application and verify any easements, liens, or other property entitlements tied to the land.

Homeowners Association Review (Item 6):

Satisfactory. Roam Design Review Committee submitted a letter of approval on July 16, 2025.

Accessory Dwelling Unit (ADU):

N/A. No ADU is proposed.

PROJECT DRAWINGS (Item 8)

Partially Satisfactory. The submitted drawings do not provide all the required minimal information that determines the development project is compliant with the UDC. The applicant will revise and resubmit drawings as requested below:

Construction Plans (Item 8B):

Satisfactory

Erosion Control / Drainage Plan / Drainage Report / Grading / Engineer Review:

The Construction Plans demonstrate general location of proper erosion control measures and construction staging activity.

Site Plan (Item 8C):

Partially Satisfactory. Per Item number 8 of the Minor Site Plan Application, please correct drawing packet accordingly, all pages shall be ARCH D (24" x 36"). The following items meet or need revision to comply with the requirements as listed on the Minor Site Plan Application:

Building Coverage:

Satisfactory. The proposed SFD development covers approximately 4,098 SF of the lot, utilizing approximately 48% of the total lot size (0.19 AC). Per the Roam Final Development Plan, no minimum lot coverage is required. The proposed development type meets this requirement.

Driveway:

Satisfactory. The driveway design meets the requirements of the SSDC.

Limit of Disturbance:

Unsatisfactory. Silt fence and straw wattles are one (1) FT inside property lines and delineate the limits of disturbance. Protection Notes were not shown on the Site Plan or Construction Plans to properly indicate to contractors the limits of activity.

- **At building permit,** submit a revised Site Plan, Construction Plan and Landscape Plan clearly showing the required Protection Notes:

- a. "No disturbance, grading, or removal of significant natural features and vegetation will occur beyond the limit of disturbance line, as shown on this plan"
- b. "The limit of disturbance line shall be delineated prior to construction with flags, roping, four (4) Ft tall orange construction fencing or other acceptable means."

Setbacks:

Satisfactory. The proposed development appears compliant with the setback requirements for the P-D(D-C). However, an Improvement Location Certificate (ILC) will be required to verify distances do not encroach the setbacks or exceed beyond the required setbacks as determined by the UDC.

- An Improvement Location Certificate (ILC) and a Setback and Elevation Certificate completed by a licensed Colorado Surveyor shall be required for all new foundations within the Town of Winter Park (**R106.3.1.2 Survey Requirements**) prior to underground plumbing inspection.

Snow Storage:

Unsatisfactory. UDC § 3-H-5 requires that a minimum of 25% of all driving surfaces, including gravel shoulders, parking areas, and pedestrian walkway areas have designated snow storage. The site plan demonstrates the following, indicating more than enough snow storage area is available.

Lot #	Landscape Area (SF)	Concrete Hardscape (SF)	Snow Storage required (SF)	Snow Storage provided. (SF)
3	4,380	671	168	335

However, the site plan shows an area of snow storage approximately 85 SF encroaching within the utility and snow storage easement designated for ROW use. Additionally, the proposed snow storage area is located a significant distance from the primary drive and walkway to front door.

- **At building permit**, submit revised plans demonstrating the snow storage area of at least 168 SF is within practical removal distance from hardscape surfaces and not encroaching within ROW snow storage easement area.

Building Elevations (Item 8D):

Satisfactory. The proposed residential dwelling features primary gable roof forms. The proposed dwelling aligns with the requirements of the Town of Winter Park Design Guidelines (the "Guidelines") and is consistent with architectural design in the neighborhood.

Building Height:

Satisfactory. The proposed maximum height is shown to be approximately 33 FT 5 IN and approximately 27 FT 8 IN to the midpoint of the major pitched roof as measured from the top of exposed foundation. **However, the height should be measured from the lowest point**

of exposed foundation or the existing grade, whichever is more restrictive. The maximum height **correctly measured is approximately 35 FT 9 IN and approximately 29 FT 5 IN to the midpoint** of the major pitched roof. The height does not exceed the maximum 42-foot height requirement or the maximum midpoint height of 35 feet, as measured per the UDC § 3-A-7(E.1).

Material and Color:

Satisfactory. The elevations feature natural materials of grey/buff stone veneer across the first level front and side façade. Vertical and horizontal painted siding of urban bronze and clear cedar respectively creates visual interest of broad architectural features. Primary materials utilize earth tones that are consistent with residential development in this area.

Outdoor Lighting:

Satisfactory. One (1) exterior light fixture is proposed. Photometric plans are not required for single-family homes. The lighting specification sheet indicates that the fixture meets the requirements for outdoor lighting (UDC Sec. 3-K-3 General Requirements). Specifically, the wall sconce fixture delivers 657 lumens and does not exceed 3000 K Correlated Color Temperature (CCT). The proposed light fixture specification sheet does not properly indicate a dark sky compliant fixture.

- ***At time of final inspection***, the single light fixture will be inspected for full shielding of the light source to meet the UDC dark sky criteria.

Floorplans (Item 8E):

Satisfactory. The floor plan includes all required information, such as square footage and proper notes. It is consistent with the provided renderings and elevations.

Landscaping (Item 8F):

Unsatisfactory. This property demonstrates landscape installed within the ROW snow storage easement. The UDC § 3-H-5(A) *Snow Storage* and Table 3-H-5-1 *Snow Storage Standards*, outlines the requirement to add 15 to 30 SF of Snow storage area when deciduous or evergreen trees are placed within designated storage areas. ROW Snow Storage Easement is an area to be utilized by Public Works, Metro-districts, or HOA street and sidewalk snow storage.

- ***At building permit***, submit a revised landscape plan demonstrating the total number of trees and shrubs provided are outside the ROW snow storage easement.

Parking:

Satisfactory. The site plan and floor plans demonstrate enough parking of four (4) off-street parking spaces. As seen in UDC § 3-H-3, *Required Parking*, two (2) parking spaces are required per SFD. Two (2) spaces are provided per the dimensions of the two-car garage.

Utility Review:

N/A

Wetlands:

N/A

Inspection:

Building Division staff have not performed a Pre-Disturbance inspection of the property.

- No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Staff Recommendation:

Approve the Minor Site Plan at this time with the following four (4) conditions expected ***At Building Permit:***

1. Submit a revised Site Plan, Construction Plan and Landscape Plan clearly showing the required Protection Notes.
2. Submit revised plans demonstrating the snow storage area of at least 168 SF is within practical removal distance from hardscape surfaces and not encroaching within ROW snow storage easement area.
3. Provide specification sheet indicating the single light fixture is dark sky compliant; this will be confirmed at Final Planning Inspection.
4. Submit a revised landscape plan demonstrating the total number of trees and shrubs provided are outside the ROW snow storage easement.

Standard Conditions

1. An Improvement Location Certificate (ILC) and a Setback and Elevation Certificate completed by a licensed Colorado Surveyor shall be required for all new foundations within the Town of Winter Park (R106.3.1.2 Survey Requirements) prior to underground plumbing inspection.
2. No site clearing shall be permitted until the Building Division has verified the Pre-Disturbance Checklist has been implemented on the site.

Required Permits:

- ✓ Building Permit
- ✓ Driveway Permit
- ✓ SFD/Duplex Deposit Agreement



P.O. Box 3327
50 Vasquez Road, Winter Park, CO, 80482
Phone: 970-726-8081 Fax: 970-726-8084
wpgov.com

Land Use Review Application Form

Contact Information

Property Owner

Archie Investments LLC

Company

Phone

Email Address

Ryan 720-352-0269
Amanda 303-877-7371

Ryanparle@gmail.com
Amanda@amandadivito.com

Mailing Address

City

State

Zip

19761 W.95th PL

Arvada

CO

80007

Billing Contact (where invoices should be directed)

Megan Dorny

Company

Phone

Email Address

Sheffield Homes Colorado LLC

303-420-0056

Mdorny@sheffieldhomes.com

Mailing Address

City

State

Zip

6777 Wadsworth BLVD

Arvada

CO

80003

Representative (i.e., the point of contact)

Jason Schneider

Company

Phone

Email Address

Sheffield Homes Colorado LLC

720-660-1083

Jschneider@sheffieldhomes.com

Mailing Address

City

State

Zip

6777 Wadsworth BLVD

Arvada

CO

80003

Site Description

Site Address

238 Beavers Lodge RD

Parcel Identification Number(s) (PIN)

Lot 3 BLK 10 Roam Filing #1

Existing Zone Classification

Vacant Lot

Site Area (acres and sq. ft.)

8466 SQ FT

Project Description

Project Name

Parle Residence/Archie Investments

Brief description of the proposed project

New single family home with 2 car garage, radiant heating and elevator

Required Documents

For an application to be considered complete and for Planning Division staff to begin review and schedule any applicable public hearings, this Land Use Review Application Form must be fully completed and all required attachments included. Staff will review the application for completeness and notify the representative and/or owner whether the application has been deemed complete.

Certifications

REPRESENTATIVE CERTIFICATION

By signing this application, I attest that I am acting with the knowledge and consent of all owners of the property that is the subject of this application, and that I have been designated to act as the representative for the project described in this land use application. I further certify that all information submitted with this application is true and accurate to the best of my knowledge.

Representative

Date

Jamie Schaefer

8/20/25

OWNER CERTIFICATION

I hereby certify that I am the legal owner of record of the property that is the subject of this application. I authorize the representative listed on this application, if any, to communicate directly with Town officials and to submit documentation and information regarding this application on my behalf.

Owner

Date

Archie Investments LLC / Amanda Pike

8/27/25

In addition to the base fees the applicant is required to pay the cost of any referral agency reviews, public notices, hearings, and record keeping as outlined within § 5-B-6, Application Fees, in the UDC.

Development Improvements Dedications, Agreements, and Guarantees (Article 4.B)	Site Development and Permit Decisions (Article 5.E)
<input type="checkbox"/> Development Improvements Agreements (DIA)	<input type="checkbox"/> Major Site Plan*
<input type="checkbox"/> Public Improvement Cost-Recovery Agreement	<input type="checkbox"/> Minor Site Plan
Standardized Development Review Procedures (Article 5.B)	<input type="checkbox"/> Administrative Site Plan
<input type="checkbox"/> Pre-Application Conference	<input type="checkbox"/> Special Use Permit (Including High-Impact Short-Term Rentals)*
<input type="checkbox"/> Renewal of Approvals	<input type="checkbox"/> Limited Use Authorization
<input type="checkbox"/> Vested Rights	<input type="checkbox"/> Temporary Use Permit
Ordinance and Zoning Amendment Decisions (Article 5.C)	<input type="checkbox"/> Floodplain Development Permit
<input type="checkbox"/> Text Amendment	<input type="checkbox"/> Lighting by Special Permit
<input type="checkbox"/> Rezoning	<input type="checkbox"/> Parking Reductions and Alternative Parking Plan Permit
Rezoning to Planned Development: <input type="checkbox"/> Preliminary Development Plan* <input type="checkbox"/> Final Development Plan* <input type="checkbox"/> Amended Final Development Plan*	<input type="checkbox"/> Street Renaming
<input type="checkbox"/> Annexation*	Appeal, Variance, and Interpretation Decisions (Article 5.F)
Subdivision and Platting Decisions (Article 5.D)	<input type="checkbox"/> Appeal
<input type="checkbox"/> Exemption Plat	<input type="checkbox"/> Appeal of Administrative Decisions
<input type="checkbox"/> Minor Plat*	<input type="checkbox"/> Variance*
<input type="checkbox"/> Preliminary Plat*	<input type="checkbox"/> Written Interpretation
<input type="checkbox"/> Final Plat*	
<input type="checkbox"/> Resubdivision*	
<input type="checkbox"/> Waiver*	
<input type="checkbox"/> Vacation of Plat, Street, Right of Way, and Easement*	
<input type="checkbox"/> Condominium Plat	
Table Notes: *Pre-Application Conference required	

Instructions for Submitting the Land Use Review Application Form

Definitions

- Words in the singular include the plural and words in the plural include the singular.
- APPLICATION refers to the official submittal to the Town's Planning Division for review of the proposed land use development identified in the Land Use Review Application Form. The application includes the form, all materials submitted for review of the project, including those documents required by the Unified Development Code (the "UDC") and any additional information provided.
- PROJECT refers to the land use development identified on this Form and application materials.
- PROPERTY refers to the land that is being proposed for development as described in this Form and application materials.

General Notes

If information will not fit in the space provided,

A. CONTACT INFORMATION

1. Provide contact information for all owners of any property that is the subject of the application. Submit a separate sheet for the additional owners if information will not fit in space provided.
2. Provide contact information for all persons, firms or businesses that are authorized by the owners identified in Section A(1) to work on the land use application, including, but not limited to, discussing the project, submitting application materials, and attending meeting and hearings.
3. Provide contact and mailing information for the person that should receive all invoices for the project. If the Billing Contact changes at any time, contact the Planning Division immediately to update this information.

B. SITE DESCRIPTION

Parcel identification numbers (PINs) and address information may be found at the Grand County Property Viewer. Current zoning may be found on the Town of Winter Park's website.

APPLICATION TYPE

- C. Select the land use application type that is applicable to the project. If there are multiple land use application types being submitted to run concurrently, select all that apply. The land use application types will be identified during the Pre-Application Conference (if required).

PROJECT DESCRIPTION

- D. Select a project name that will be referenced throughout the project and a description of what the project entails. If you need more space for the project description, attach a separate sheet.

REQUIRED ITEMS

- E. Required documents will be discussed during the Pre-Application Conference with the Planning Division, if required. If any documents are missing, the acceptance of the application may be delayed until the submittal is complete.

F. CERTIFICATIONS

Representative Certification. Provide the signature of all authorized representatives in this section. Owner Certification. Provide the signature of all owners of properties included in the application in this section.

For any other questions, contact the Planning Division at permits@wpgov.com



Sheffield HOMES

August 19, 2025

Mr. James Shockey, Town Planner Town of Winter Park

50 Vasquez Road

P.O. Box 3327

Winter Park, Colorado 80482

RE: Roam River Filing 1 Lot 2 Block 10 238 Beaver Lodge Road

Dear James, I am pleased to submit on behalf of Ryan and Amanda Parle the Minor Site Plan application for Roam River Lot 2 238 Beavers Lodge Road.

Architectural elevations and landscaping plans and plot plans. Exterior lighting is also included which includes dark sky compliant fixtures. Height information is referenced on sheet A 4.0 on the architectural plans.

Main access to the site will be Beavers Lodge Rd. We will be efficient with our deliveries and site work. We will be efficient to minimize site disturbance.

A. Project Name: Parle Residence Roam River Filing 1

B. Street Address: 238 Beavers Lodge RD

C. Project Team

Applicant: Jason Schneider Sheffield Homes Colorado LLC
6777 Wadsworth Blvd
Arvada, CO 80003
303-420-0056



Sheffield HOMES

Architects: Scott Sudik
Godden Sudik Architects
5975 S Quebec Street Suite 250
Centennial, CO 80111

Civil Engineer: Megan Sudik
Dossey/ Sudik Structural Engineers
5975 S Quebec Street Suite 250
Centennial, CO 80111

Surveyor: LJA Surveying
BJ Drullinger
7800 E Union AVE, Suite 575
Denver, CO 80237

D: Construction Schedule:

Estimated Construction Start: September 2025
Estimated Construction Completion: August 2025

Please let me know if you have any questions or concerns. I'm happy to meet you in person anytime you would like. We appreciate your assistance and look forward to working with you on this project.

Sincerely,

Jason Schneider

Cell: 720-660-1083

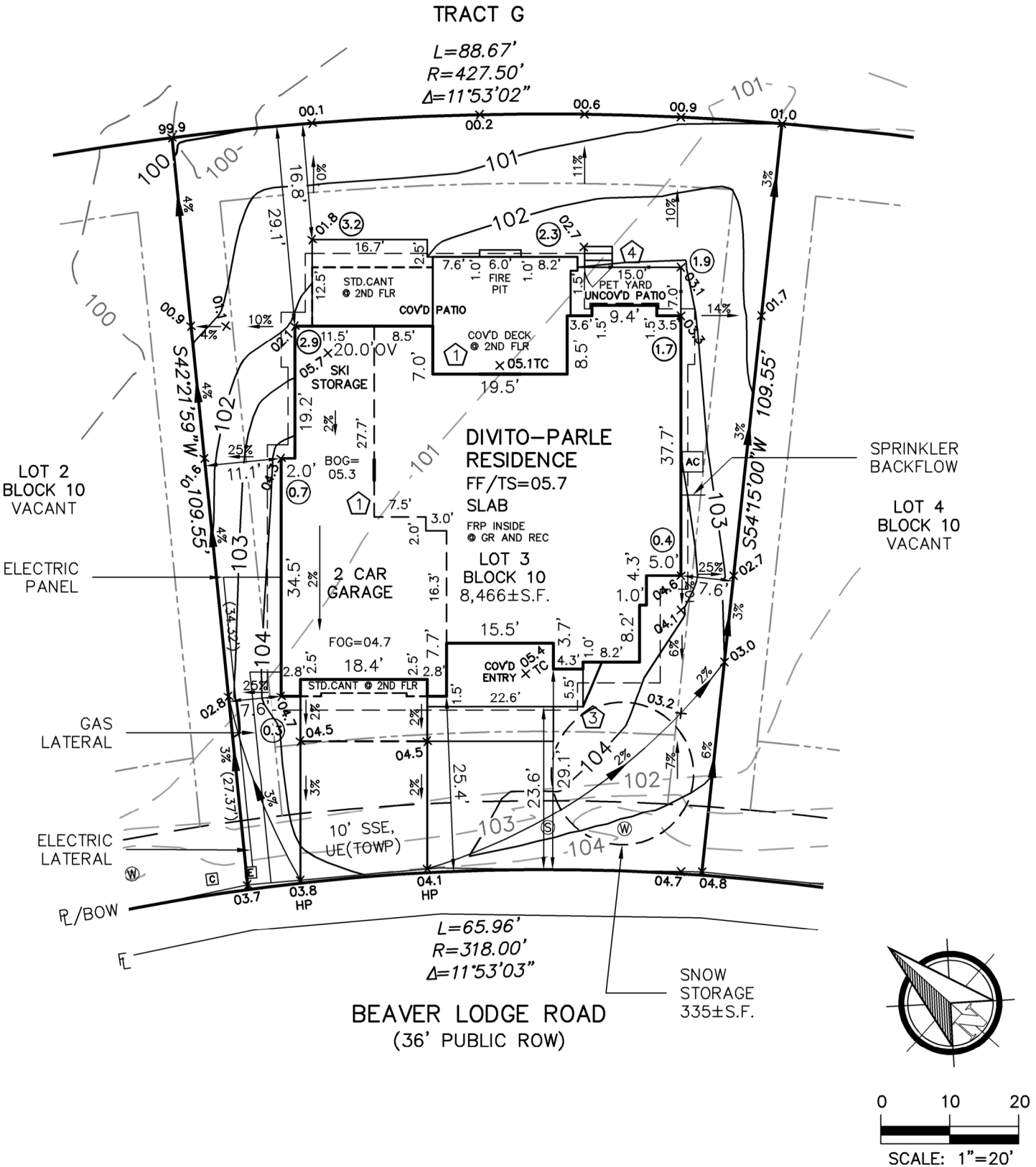
Email: Jschnaider@Sheffieldhomes.com

PLOT PLAN

PREPARED FOR



LOT: 3 , BLOCK: 10 , ADDRESS: 238 BEAVER LODGE ROAD ,
SUBDIVISION: ROAM FILING NO. 1 ,
TOWN OF WINTER PARK , COUNTY OF GRAND , STATE OF COLORADO.



NOTES OF CONCERN:	LOT BOUNDARY IS LIMITS OF DISTURBANCE.		LEGEND:	R=PROPERTY LINE ROW=RIGHT OF WAY BOW=BACK OF WALK FL=FLOW LINE FF=FINISHED FLOOR TS=TOP OF SLAB BOG=BACK OF GARAGE FOG=FRONT OF GARAGE HP=HIGH POINT TC=TOP OF CONCRETE S.F.=SQUARE FEET SSE=SNOW STORAGE EASEMENT UE=UTILITY EASEMENT		(TOWP)=TOWN OF WINTER PARK S = SANITARY SEWER SERVICE W = WATER METER PIT AC = AIR CONDITIONER ET P E C = DRY UTILITY PEDESTALS EASEMENT SETBACK		PROPOSED GRADING CONTOUR EXISTING GRADING CONTOUR FENCE WITH GATE X X ADDITIONAL AMOUNT TO DROP DIRT AT FOUNDATION. X NUMBER OF RISERS, 7-3/4" MAXIMUM HEIGHT	
	GRADING SUBJECT TO CHANGE ONCE PLOT PLANS DONE ON ADJOINING LOTS.			ARCHITECTURAL PLAN ONLY !!! PLOT PLAN PREPARED WITH ARCHITECTURAL PLAN ONLY. STRUCTURAL PLAN WAS NOT PROVIDED TO LLS BY CLIENT.					

<div>LJA SURVEYING</div> <div>4700 S. Syracuse St., Suite 500, Denver, CO 80237 303-390-8510 www.LJA.com</div>	SETBACK DIMENSIONS:	FRONT PORCH = 10' FRONT LIVING = 10' FRONT GARAGE = 20' SIDE LOT = 6' REAR = 10' MINIMUM BETWEEN STRUCTURES = 12'	SPECIFICATIONS:	MODEL-ELEVATION: CUSTOM	#	REVISIONS:	DATE:	BY:
				GARAGE TYPE: 2 CAR	1	ADD PROPOSED AND EXISTING CONTOURS	09/26/24	JSS
				GARAGE HANDING: LEFT	2	REGRADE, LOWER HOUSE	01/08/25	ASU
				BSMT. TYPE: SLAB	3	SHOW PET YARD, REGRADE REAR PATIO	01/13/25	ASU
				BSMT. HEIGHT: N/A	4	FINALIZE, UPDATE PROPOSED CONTOURS, EXTEND 15' OUTSIDE PROPERTY LINE	01/15/25	JSS
				LOT TYPE: B	5	TRIM PROPOSED CONTOURS AT PROPERTY LINE, LABEL ALL CONTOURS	02/21/25	JSS
				HOUSE AREA: 3,358±S.F.	6	SHOW ELECTRIC PANEL, SPRINKLER BACKFLOW, AND SEWER SERVICE	04/23/25	ASU
				LOT AREA: 8,466±S.F.	7	MOVE ELECTRIC PANEL, SHOW GAS LATERAL, SHOW SNOW STORAGE	09/08/25	JSS
				HOUSE COVERAGE: 40%	JOB NUMBER: 5923-0012		SHEET: 1 OF 1	

BEST MANAGEMENT PRACTICES PLAN

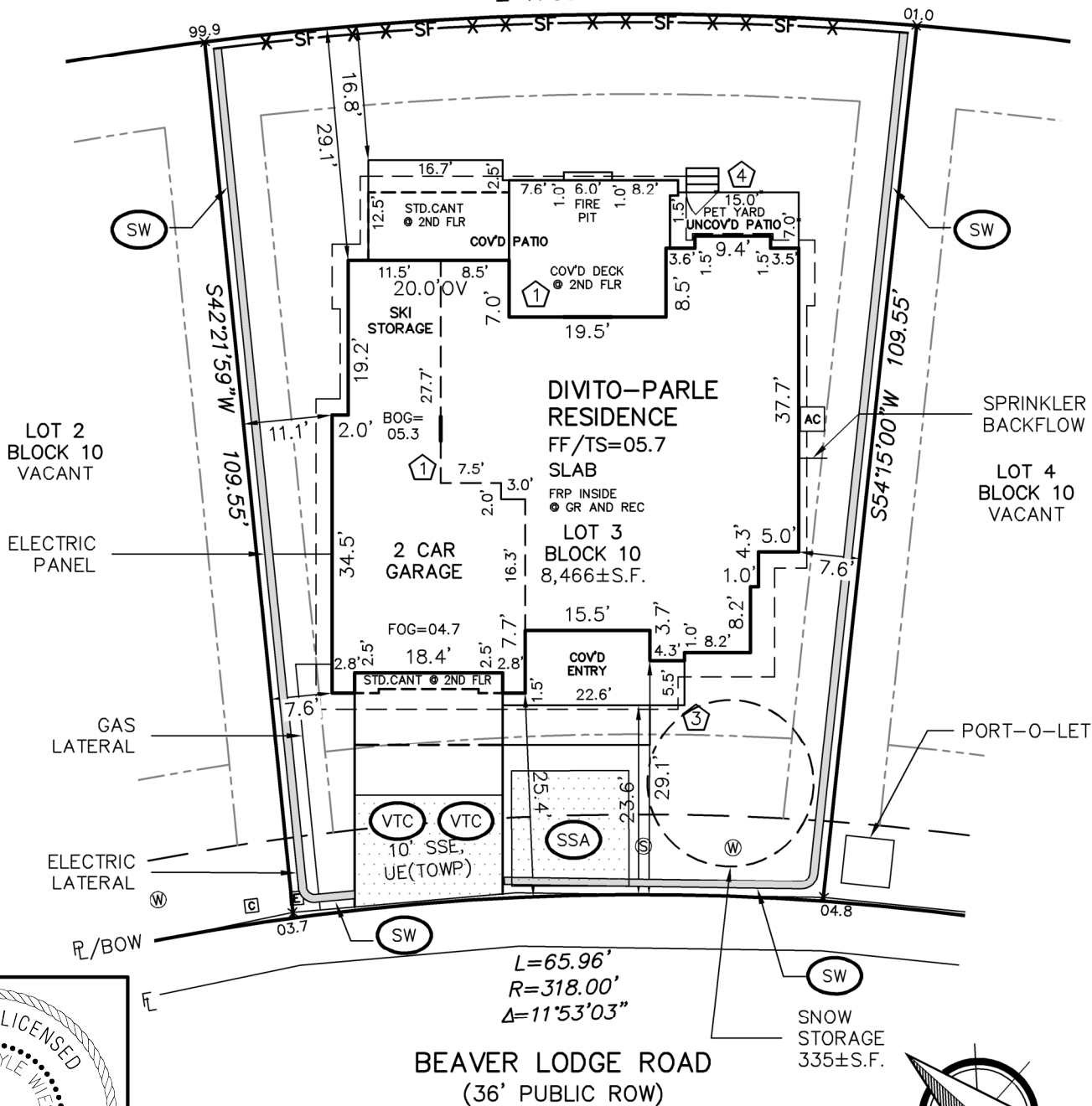
PREPARED FOR



LOT: 3 , BLOCK: 10 , ADDRESS: 238 BEAVER LODGE ROAD ,
SUBDIVISION: ROAM FILING NO. 1 ,
TOWN OF WINTER PARK , COUNTY OF GRAND , STATE OF COLORADO.

TRACT G

$L=88.67'$
 $R=427.50'$
 $\Delta=11^{\circ}53'02''$



NOTES OF CONCERN:	SILT FENCE AND STRAW WATTLES ARE 1' INSIDE PROPERTY LOT LINES AND ARE LIMITS OF DISTURBANCE.	LEGEND:	\overline{P} =PROPERTY LINE \overline{ROW} =RIGHT OF WAY \overline{BOW} =BACK OF WALK \overline{F} =FINISHED FLOOR \overline{TS} =TOP OF SLAB \overline{BOG} =BACK OF GARAGE \overline{FOG} =FRONT OF GARAGE \overline{HP} =HIGH POINT \overline{TC} =TOP OF CONCRETE $\overline{S.F.}$ =SQUARE FEET \overline{SSE} =SNOW STORAGE $\overline{EASEMENT}$ \overline{UE} =UTILITY EASEMENT	(TOWP)=TOWN OF WINTER PARK $\ast-SF-\ast$ =SILT FENCE/ SEDIMENT LOG \textcircled{S} =SANITARY SEWER SERVICE \textcircled{W} =WATER METER PIT ---EASEMENT ---SETBACK	\textcircled{X} NUMBER OF RISERS, 7-1/4" MAXIMUM HEIGHT $\textcircled{X.X}$ ADDITIONAL AMOUNT TO DROP DIRT AT FOUNDATION. \textcircled{SSA} =SOLID STORAGE AREA \textcircled{VTC} =VEHICLE TRACKING CONTROL \textcircled{SW} =STRAW WATTLE
	SOILS STOCKPILE NOT ON SITE. DIRT HAULED OFF SITE.				
	CONSTRUCTION PARKING ON STREET.				

 4700 S. Syracuse St., Suite 500, Denver, CO 80237 303-390-8510 www.LJA.com	SETBACK DIMENSIONS:	FRONT PORCH = 10' FRONT LIVING = 10' FRONT GARAGE = 20' SIDE LOT = 6' REAR = 10' MINIMUM BETWEEN STRUCTURES = 12'	SPECIFICATIONS:	MODEL-ELEVATION: CUSTOM	REVISIONS:	DATE:	BY:
				GARAGE TYPE: 2 CAR	# 1ST VERSION	09/17/25	JSS
				GARAGE HANDING: LEFT	1		
				BSMT. TYPE: SLAB	2		
				BSMT. HEIGHT: N/A	3		
				LOT TYPE: B	4		
				HOUSE AREA: 3,358±S.F.	5		
				LOT AREA: 8,466±S.F.	6		
				HOUSE COVERAGE: 40%	JOB NUMBER: 5923-0012		SHEET: 2 OF 2



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ARCHITECTS
SEE WHAT COULD BE

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Suite 250
Centennial, CO 80111

6777 Wadsworth Blvd., Arvada, Colorado 80003
303 / 420-0056 FAX 303 / 423-8823

DIVITO - PARLE RESIDENCE
238 BEAVER LODGE ROAD
ROOM FILING NO. 1 - LOT 3 BLK 10
WINTER PARK, COLORADO 80482

CONSTRUCTION
DRAWINGS
DRAWN BY:
BH, EIM
CHECKED BY:
SAS
ISSUE DATE:
03/31/2025

REVISIONS:	
6/13/2025	

ROOF PLAN

A3.0

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ROOF PLAN NOTES

- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION NOT SHOWN OR NOTED ON PLANS.
- ALL OVERHANGS ARE MEASURED HORIZONTALLY FROM FACE OF FRAME TO END OF TRUSS/RAFTER, U.N.O.
- ALL TRUSSES TO BE FABRICATED AND DESIGNED UNDER THE SUPERVISION OF A COLORADO LICENSED STRUCTURAL ENGINEER.
- PROVIDE ROOF VENTS AND/OR SOFFIT VENTS TO PROVIDE ATTIC VENTILATION AS REQUIRED PER R806. RE: ROOF VENT CALCULATIONS, "NET FREE AREA REQUIRED".
- PENETRATIONS OF PIPES AND SIMILAR TO BE SEALED AT ALL OPENINGS IN A BUILDING ENVELOPE WALL, FLOOR OR CEILING ASSEMBLY PER P2006. PIPES AND VENTS SHALL BE PAINTED TO MATCH ADJACENT MATERIALS.
- WATERPROOFING OF OPENINGS AT ROOF AND EXTERIOR WALL PENETRATIONS SHALL BE MADE WATER TIGHT, PER P2007.
- CRICKETS AND SADDLES SHALL BE INSTALLED AT THE REQUIRED LOCATIONS, PER R903.2.2. COVERINGS SHALL BE SHEET METAL OR THE SAME MATERIAL AS ROOF COVERING. BUILDER TO COORDINATE UNDERLAYMENT APPLICATION TYPE PER CRICKET AND SADDLE ROOF SLOPE.
- ROOF ASSEMBLIES PER R901:
ROOF ASSEMBLIES SHALL PROVIDE A WEATHER RESISTANT ROOF SYSTEM AND SHALL INCLUDE WEATHER PROTECTION PER R903 AND ROOF COVERINGS PER R905. RE: FLASHING DETAILS.
- ICE BARRIER AT EAVES SHALL BE INSTALLED PER R905.1.2 AND AS REQUIRED BY LOCAL AMENDMENTS. NOT REQUIRED FOR CLAY OR CONCRETE ROOF TILE SYSTEMS.
- ROOF COVERING APPLICATION SHALL COMPLY WITH R905.1. GENERAL UNDERLAYMENT APPLICATION FOR ROOF SLOPES - 2:12 UP TO 3:96:12, TWO LAYERS OR EQUIV. UNDERLAYMENT, 4:12 AND GREATER ONE-LAYER OR EQUIV. UNDERLAYMENT. FOR SPECIFIC UNDERLAYMENT TYPES, APPLICATION AND ATTACHMENT, RE: TABLE R905.1.1 (1-3).
- ROOF DRAINAGE SYSTEM PER R903.4:
UNLESS A ROOF IS SLOPED TO DRAIN OVER ROOF EDGES, DRAINS SHALL BE INSTALLED AT EACH LOW POINT OF A ROOF. WHERE ROOF DRAINS ARE REQUIRED, SECONDARY EMERGENCY OVERFLOW DRAINS OR SCUPPERS SHALL BE PROVIDED. OVERFLOW DRAINS SHALL DISCHARGE TO AN APPROVED LOCATION AND SHALL NOT BE CONNECTED TO ROOF DRAIN LINES PER R903.4.1.
- UNLESS SHOWN ON DRAWINGS, BUILDER TO FIELD VERIFY LOCATION OF GUTTERS, DIVERTERS, DOWNSPOUTS AND SPLASH BLOCKS TO DIRECT POSITIVE DRAINAGE AWAY FROM BUILDING.

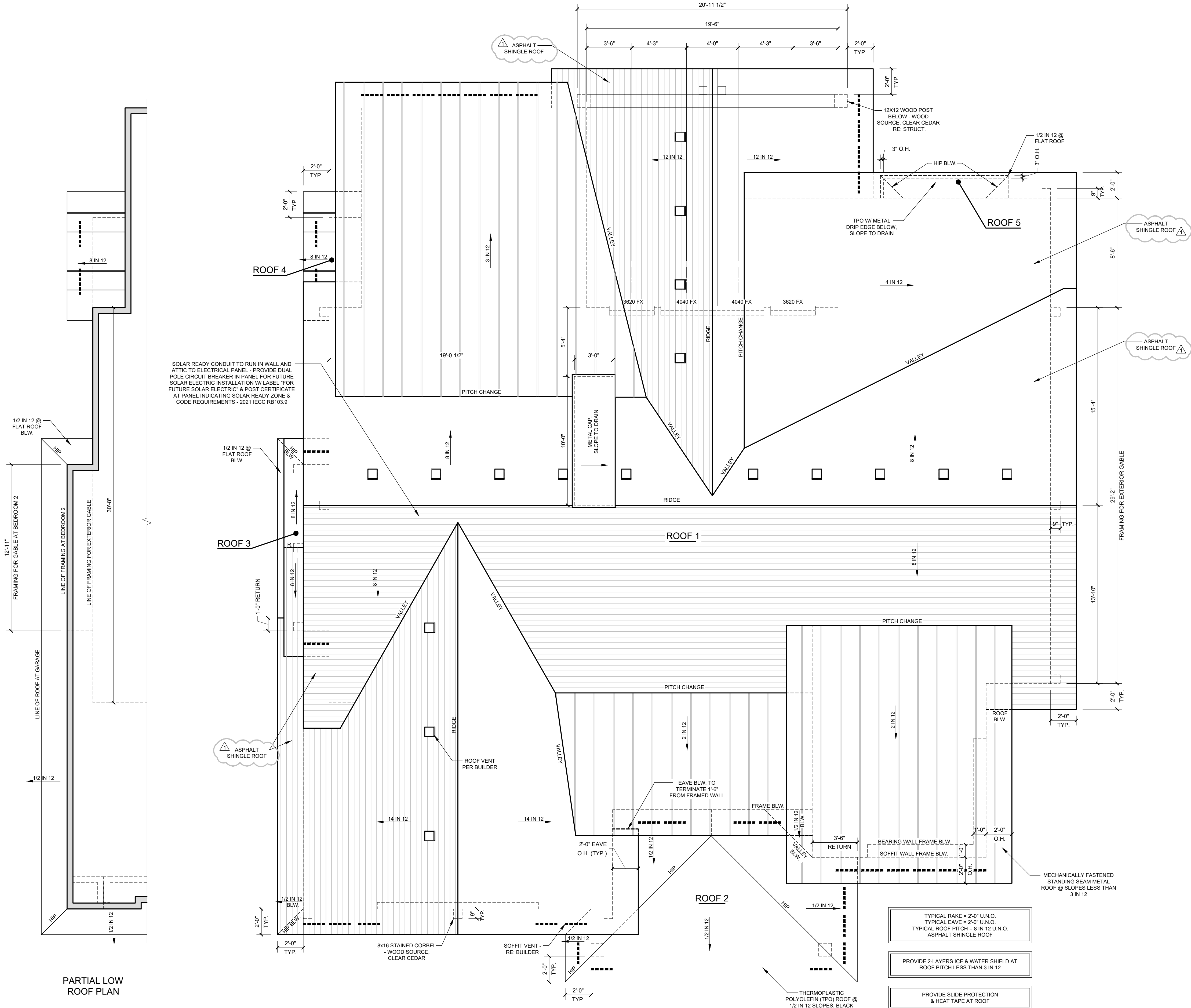
ROOF VENT CALCULATIONS

- VENTILATION REQUIRED: ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATION OPENINGS SHALL HAVE A LEAST DIMENSION OF 1/16" MIN. AND 1/4" MAX. VENTILATION OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/4" SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING OR SIM. MATERIAL W/ OPENINGS HAVING A LEAST DIMENSION OF 1/16" MIN. AND 1/4" MAX. PER R806.1.
- MINIMUM AREA: THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED PROVIDED THAT AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3' BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE, PER R806.2.
- VENT AND INSULATION CLEARANCE: WHERE EAVE OR CORNICE VENTS ARE INSTALLED, BLOCKING, BRIDGING AND INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A 1" MIN. AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF THE VENT, PER R806.3.
- UNVENTED ATTICS AND ROOF FRAMING RAFTER ASSEMBLIES SHALL BE PERMITTED, PER R806.5.
- UNLESS NOTED IN STRUCTURAL DRAWINGS, CUT OUT ROOF SHEATHING BETWEEN OVERFRAMED AREAS AND OTHER INTERCONNECTED ROOF AREAS TO COMBINE VENTILATION AREAS.
- LIMIT ROOF VENTS TO NO MORE THAN 2 OPENINGS PER ROOF SHEATHING PANEL WITH NO TWO OPENINGS IN THE SAME PANEL BETWEEN THE SAME TRUSSES.

NET FREE AREA REQUIRED

- ROOF 1:
TOTAL ROOF AREA = 3,650 SQ. FT. = 525,600 IN²
REQUIRED VENTILATION:
525,600/300 = 1,752 IN² NET FREE AREA
VENTILATION PROVIDED:
AT EAVE: 37 LF * 24 IN²/LF = 888 IN² (51%)
AT ROOF: 17 VENTS * 51 IN² = 867 IN² (49%)
TOTAL PROVIDED: 1,755 IN²
- ROOF 2:
TOTAL ROOF AREA = 390 SQ. FT. = 56,160 IN²
REQUIRED VENTILATION:
56,160/150 = 374 IN² NET FREE AREA
VENTILATION PROVIDED:
AT EAVE: 16 LF * 24 IN²/LF = 384 IN²
TOTAL PROVIDED: 384 IN²
- ROOF 3:
TOTAL ROOF AREA = 51 SQ. FT. = 7,344 IN²
REQUIRED VENTILATION:
7,344/150 = 49 IN² NET FREE AREA
VENTILATION PROVIDED:
AT EAVE: 4 LF * 24 IN²/LF = 96 IN²
TOTAL PROVIDED: 96 IN²
- ROOF 4:
TOTAL ROOF AREA = 43 SQ. FT. = 6,192 IN²
REQUIRED VENTILATION:
6,192/150 = 41 IN² NET FREE AREA
VENTILATION PROVIDED:
AT EAVE: 2 LF * 24 IN²/LF = 48 IN²
TOTAL PROVIDED: 48 IN²
- ROOF 5:
TOTAL ROOF AREA = 17 SQ. FT. = 2,448 IN²
VENTILATION PROVIDED:
NO VENTING REQUIRED PER R806.5. UNVENTED ENCLOSED RAFTER ASSEMBLY, AIR-IMPERMEABLE, CLOSED CELL SPRAY FOAM INSULATION OR SIMILAR ASSEMBLY.

NO VENTILATION REQUIRED WITH CLOSED-CELL FOAM. IN CLIMATE ZONE 5, ANY AIR-IMPERMEABLE INSULATION SHALL BE VAPOR RETARDER OR SHALL HAVE A VAPOR RETARDER COATING OR COVERING IN DIRECT CONTACT WITH THE UNDERSIDE OF THE INSULATION. MINIMUM RIGID BOARD OR AIR IMPERMEABLE INSULATION SHALL BE R-20 FOR CLIMATE ZONE 5. INSULATION SHALL BE APPLIED IN DIRECT CONTACT WITH THE UNDERSIDE OF THE STRUCTURAL ROOF SHEATHING.

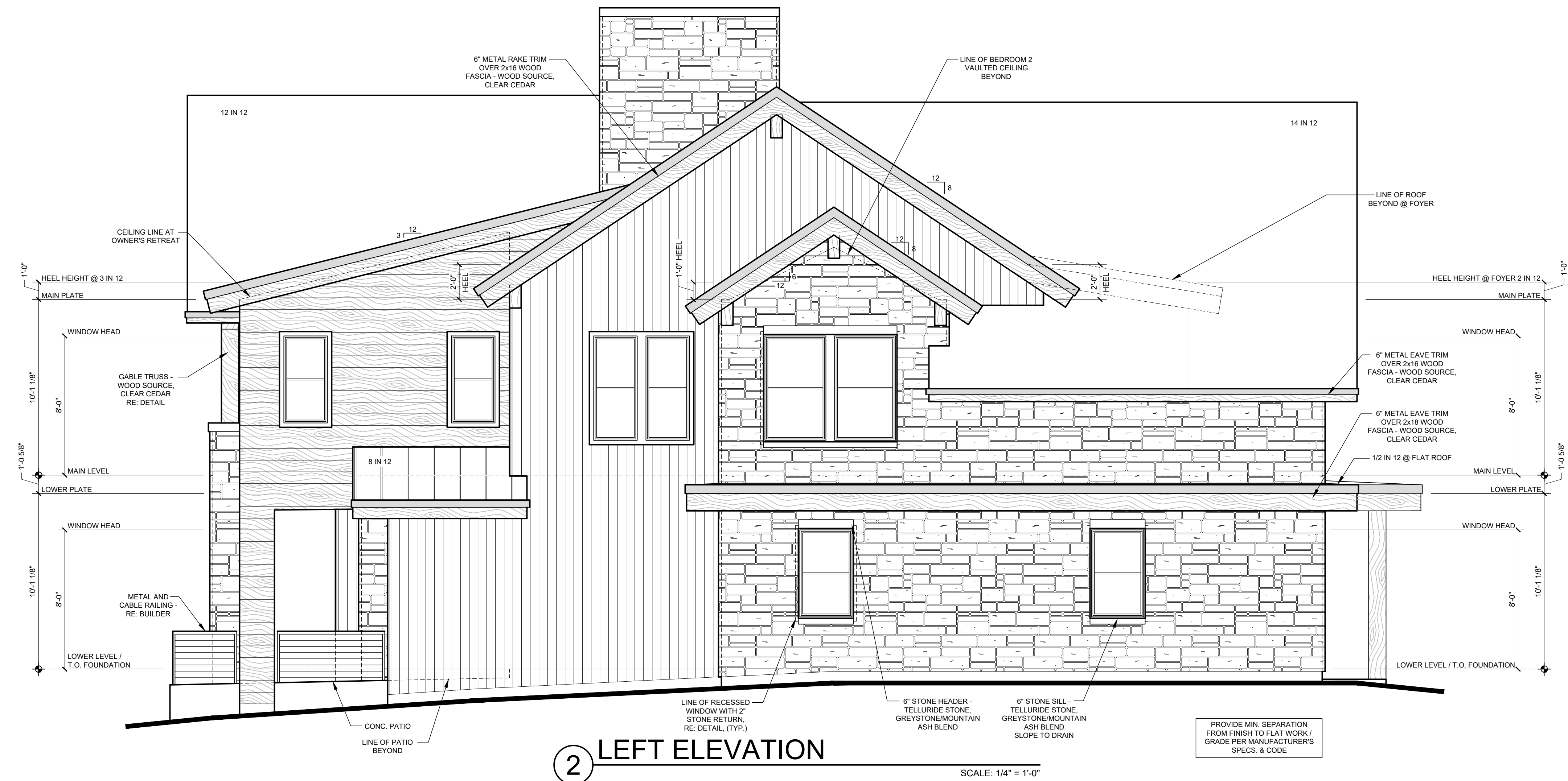


1 ROOF PLAN

SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION



2 LEFT ELEVATION

- ELEVATION NOTES
- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION NOT REPRESENTED ON ELEVATIONS.
 - REFER TO BUILDING SECTIONS FOR PLATE HEIGHTS, HEEL HEIGHTS AND ADDITIONAL INFORMATION NOT REPRESENTED ON ELEVATIONS.
 - REFER TO PLANS AND DETAILS FOR FIRE RATED ASSEMBLY LOCATION, PER LOT SPECIFIC CONDITION.
 - WHEN WINDOWS ARE ADJACENT TO A DOOR, THE BUILDER MAY ADJUST ADJACENT WINDOW HEADS AND ALL OTHER WINDOWS IN SAME ROOM TO ALIGN.
 - PENETRATIONS OF PIPES AND SIMILAR TO BE SEALED AT ALL OPENINGS IN A BUILDING ENVELOPE WALL, FLOOR OR CEILING ASSEMBLY, PER P2006. PIPES AND VENTS SHALL BE PAINTED TO MATCH ADJACENT MATERIALS.
 - WATERPROOFING OF OPENINGS AT ROOF AND EXTERIOR WALL PENETRATIONS SHALL BE MADE WATER TIGHT, PER P2007.
 - EXTERIOR WALL COVERING PER R703. EXTERIOR WALL ASSEMBLIES SHALL PROVIDE THE BUILDING WITH A WEATHER RESISTANT EXTERIOR WALL ENVELOPE, PER R703.2, AND SHALL INCLUDE FLASHING PER R703.4, RE: FLASHING DETAILS, IF APPLICABLE.
 - CLEARANCE TO GRADE: UNLESS NOTED OTHERWISE, EXTERIOR WALL CLADDINGS SHALL BE ELEVATED FROM ADJACENT FINISHED GRADE (INCLUDING LANDSCAPE MATERIAL) A MINIMUM OF 4" FOR BEARING MASONRY VENEER AND 6" FOR ADHERED MASONRY VENEER AND OTHER WALL CLADDINGS OR 2" ABOVE ADJACENT FLATWORK OR ROOF SURFACES FOR ADHERED MASONRY VENEER AND OTHER WALL CLADDINGS PER R317.1, R404.1.6, R703.9, R703.12.1 AND PER MFG. SPECS.

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FRONT AND LEFT
ELEVATIONS

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- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION NOT REPRESENTED ON ELEVATIONS.
- REFER TO BUILDING SECTIONS FOR PLATE HEIGHTS, HEAD HEIGHTS AND ADDITIONAL INFORMATION NOT REPRESENTED ON ELEVATIONS.
- REFER TO PLANS AND DETAILS FOR FIRE RATED ASSEMBLY LOCATION, PER LOT SPECIFIC CONDITION.
- WHEN WINDOWS ARE ADJACENT TO A DOOR, THE BUILDER MAY ADJUST ADJACENT WINDOW HEADS AND ALL OTHER WINDOWS IN SAME ROOM TO ALIGN.
- PENETRATIONS OF PIPES AND SIMILAR TO BE SEALED AT JOINTS WITH AN APPROVED FIRE RATED PIPE, FLOOR OR CEILING ASSEMBLY, PER P2006. PIPES AND VENTS SHALL BE PAINTED TO MATCH ADJACENT MATERIALS.
- WATERPROOFING OF OPENINGS AT ROOF AND EXTERIOR WALL PENETRATIONS SHALL BE MADE WATER TIGHT, PER P2006.
- EXTERIOR WALL COVERING PER R703.3.
EXTERIOR WALL ASSEMBLIES SHALL PROVIDE THE BUILDING WITH A WEATHER RESISTANT EXTERIOR WALL ASSEMBLY, PER R703.3.3. EXTERIOR WALLS SHALL FLASHING PER R703.4. RE: FLASHING DETAILS, IF APPLICABLE.
- CLEARANCE TO GRADE.
UNLESS NOTED OTHERWISE, EXTERIOR WALL CLADDINGS SHALL BE SEVERED FROM ADJACENT FINISHED GRADE (INCLUDING LANDSCAPE MATERIAL) A MINIMUM OF 4" FOR BEARING MASONRY VENEER AND 6" FOR ADHERED MASONRY VENEER. EXTERIOR WALL CLADDINGS ABOVE ADJACENT PLATWORK OR ROOF SURFACES FOR ADHERED MASONRY VENEER AND OTHER WALL CLADDINGS PER R703.3.3. RE: ROOF FLASHING DETAILS, IF APPLICABLE.



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EAR AND RIGHT ELEVATIONS

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DIVITO - PARLE RESIDENCE
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ROAM FLING NO. 1 - LOT 3 BLK 10
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REVISIONS:

A5.0

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- RE: "GENERAL NOTES": FLOOR PLANS, FLOOR PLANS AND ELEVATIONS FOR ADDITIONAL INFORMATION.
 - RE: TO REFERENCE FOR ADDITIONAL WALL & PLATE HT.
 - FOUNDATION WALL S.L.
 - CONCRETE WALL: RE: SOLS REPORT FOR SITE GEOTECHNICAL EVALUATION PER R401.4 AND PERIMETER FOUNDATION DRAINAGE PER R405.
 - PERIMETER FLOOR: REQUIRED DESIGN SPECIFICATIONS OF WALL, FOOTING AND FLOOR.
 - FOUNDATION WALLS SHALL BE DAMPROOFED, PER R405.1 EXCEPT WHERE REQUIRED TO BE WATERPROOFED, PER R406.2 APPLY MATERIAL ON FOUNDATION WALLS, THAT INCLUDES INTERIOR AND EXTERIOR WALLS, AND FLOORS BELOW GRADE FROM TOP OF FOOTING TO FINISHED GRADE.
 - WALL THICKNESS - 8" UNLESS DIMENSIONED OR NOTED OTHERWISE, RE: STRUCTURAL.
 - SILL PLATE
 - SILL PLATE: CREATED 2x SILL PLATE ON AN APPROVED AIR SILL GASKET OR SILL SEALER, LEVEL, SQUARE AND FASTEN AS REQUIRED, RE: STRUCTURAL.
 - GABRIEL SLAB
 - REINFORCED, (VERIFY THICKNESS PER STRUCT.) SLOPE 1/4"1' MIN. TOWARDS O.D. DOORS, PROVIDE PERIMETER EXPANSION JOINTS TO CONTROL, JOINTS AS REQUIRED.
 - BASEMENT FLOOR
 - CONCRETE SLAB PER R505 OR STRUCTURAL FLOOR PER SOLS REPORT AND STRUCT. VAPOR RETARDER PER R506.2.2. CONTR. FLOOR PER R507 EXPANSION JOINTS, FLOOR PERIMETER AND PENETRATIONS, UNDER-FLOOR SPACE PER R405.13 STRUCT. FLR.
 - CONCRETE PORCH/PATIO SLAB
 - CONC. W/ TURNED DOWN EDGE (RE: WHERE EXTERIOR PORCHES, CONCRETE, CONC. PIER, CONC. (RE: WHERE EXTERIOR PORCHES, CONC. OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF JOINTS AND CONSTRUCTION OF JOINTS AND CONSTRUCTION OF CORROSION-RESISTANT FLASHING OR SELF-ADHERED MEMBRANE AS FLASHING IN COMPLIANCE WITH AWWA 711) TO PREVENT WATER FROM ENTERING INTERIOR OF BUILDING. PENETRATION OF WATER TO THE BUILDING STRUCT. FRAMING COMPONENTS. SLOPE 1/4"1' MIN. TOWARDS O.D. DOORS, PROVIDE PERIMETER EXPANSION JOINTS AND ALTERNATE APPLICATIONS.
 - FIRE PROTECTION OF FLOORS
 - PER R302.13 APPLY 1/2" GYPSUM WALLBOARD OR EQUIVALENT TO THE UNDERSIDE OF THE MAIN LEVEL FLOOR FRAMING TO RESIST FIRE. INSTALL FLOOR JOIST OR DESIGNED SPECIFICATIONS OF MECHANICAL LINES AND OTHER PENETRATIONS, REFERRING TO R302.13 "EXCEPTIONS" 1 TO 4 FOR NON-APPLICABLE SITUATIONS AND ALTERNATE APPLICATIONS.
 - TYPICAL FLOOR SYSTEM:
 - RE: STRUCTURAL FLOOR SYSTEMS AT STAIR LANDINGS, HABITABLE ATTIC SPACES, ATTIC FLOOR SUPPORTING JOISTS AND STAIRS.
 - HALF-WALL ASSEMBLY SIMILAR WITH CAP PER BUILDER SPECS. RE: PLANS FOR DIMENSIONS.
 - PROVIDE SEALED AIR BARRIER AT WALLS ADJACENT TO THERMAL ENVELOPE.
 - INSULATION PER ENERGY REPORT IN THE WARM IN WINTER (W5) AND COLD IN WINTER (C5) OF FLOOR PERIMETER AND BUILDING THERMAL ENVELOPE. IN FLOOR SYSTEM ABOVE GARAGE, DROP SOFFITS FOR MECHANICAL AND PLUMBING ACCESS NECESSARY.
 - T&G FLOOR SHEATHING GLUED AND FASTENED ON TJ FLOOR JOISTS. RE: STRUCTURAL FOR SIZES, ALTERNATE FRAMING TYPES, SPACING AND SPECIFICATIONS, RE: R501.
 - INTERIOR WALLS PER R702.
 - INTERIOR WALLS NOTED OTHERWISE: 2x4 WOOD STUDS UNLESS DIMENSIONED OR NOTED OTHERWISE. FOUNDATION AND BASEMENT FLOOR DESIGN MAY REQUIRE FLOATING SHEATHING OR STRUCTURAL JOIST OR DESIGNED SPECIFICATIONS OF MECHANICAL LINES AND OTHER PENETRATIONS, REFERRING TO R302.13 "EXCEPTIONS" 1 TO 4 FOR NON-APPLICABLE SITUATIONS AND ALTERNATE APPLICATIONS.
 - 1/2" GYPSUM WALLBOARD AND SEALED AIR BARRIER TO INTERIOR SIDE OF WALLS IN THE BUILDING THERMAL ENVELOPE, NOT REQUIRED AT INTERIOR SIDE OF EXTERIOR GARAGE WALLS SUBJECT TO BUILDER SPECIFICATIONS, OR ONLY GYPSUM WALLBOARD AS REQUIRED PER R302.6.
 - INTERIOR FINISHED MATERIALS PER BUILDER SPECIFICATIONS AND AS FOLLOWS:
 - EXTERIOR WALL FINISHES PER R702 AND R805
 - CEILING FINISHES PER R702 AND R805
 - PROVIDE VAPOR RETARDER ON THE INTERIOR SIDE AS REQUIRED, PER R702.
 - EXTERIOR WALLS PER R702.
 - WOOD STUDS UNLESS DIMENSIONED OR NOTED OTHERWISE WITH WALL SHEATHING, RE: STRUCTURAL FOR FIRE RESISTANT CONSTRUCTION OF EXTERIOR WALLS PER R302.1 AND MUNICIPALITY REQUIREMENTS.
 - FIRE-RESISTANT CONSTRUCTION OF EXTERIOR WALLS PER R302.1 AND MUNICIPALITY REQUIREMENTS.
 - WATER-RESISTIVE BARRIER PER R703.2, PROVIDE AS SPECIFIED OR OTHER APPROVED MATERIAL, OVER SHEATHING OF EXTERIOR WALLS AND OVER TRUSSES, NOT REQUIRED FOR DETACHED ACCESSORY BUILDINGS.
 - EXTERIOR COVERINGS PER R703 - (1) LAYER OF A WATER-RESISTIVE BARRIER (WRB) MATERIAL TO THE OUTSIDE OF ALL EXTERIOR WALL AND GABLE END TRUSS SHEATHING PER R703.3, APPLIED FOR CARBONAROD CARBONAROD WOOD STRUCTURAL PLANK SIDING PER R703.5
 - FIBER CEMENT SIDING PER R703.10.
 - EXTERIOR COVERINGS PER R703 - (2) LAYERS OF A WATER-RESISTIVE BARRIER (WRB) MATERIAL TO THE OUTSIDE OF ALL EXTERIOR WALL AND GABLE END TRUSS SHEATHING APPLIED FOR STUCCO (STUCCO SYSTEM) PER R703.7.2
 - ADHERED MASONRY VENEER PER R703.8
 - ADHERED MASONRY VENEER PER R703.12.3
 - EXTERIOR WALL ASSEMBLIES SHALL PROVIDE THE BUILDING WITH WEATHER-RESISTANT THERMAL ENVELOPE AND EXTERIOR FLASHING, PER R703.4 - RE: FLASHING DETAILS.
 - ROOF-CEILING CONSTRUCTION PER R801.
 - PROVIDE LOAD-BEARING DIMENSIONED LUMBER FOR TRUSSES, RAFTERS AND CEILING, (WRB) MATERIAL TO THE OUTSIDE OF ALL EXTERIOR WALL AND GABLE END TRUSS SHEATHING PER R703.3, APPLIED FOR CARBONAROD CARBONAROD WOOD STRUCTURAL PLANK SIDING PER R703.5
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 - FIBER CEMENT SIDING PER R703.10.
 - EXTERIOR COVERINGS PER R703 - (2) LAYERS OF A WATER-RESISTIVE BARRIER (WRB) MATERIAL TO THE OUTSIDE OF ALL EXTERIOR WALL AND GABLE END TRUSS SHEATHING APPLIED FOR STUCCO (STUCCO SYSTEM) PER R703.7.2
 - ADHERED MASONRY VENE



SCALE: 1/4" = 1'-0"



Godden|Sudik
ARCHITECTS

SEE WHAT COULD BE
303.455.4437
www.goddensudik.com

5975 S. Quebec Street
Suite 250
Centennial, CO 80111

Sheffield
HOMES
6777 Wadsworth Blvd., Arvada, Colorado 80003
303 / 420-0056 FAX 303 / 423-8823

DIVITO - PARLE RESIDENCE
238 BEAVER LODGE ROAD
ROOM FILING NO. 1 - LOT 3 BLK 10
WINTER PARK, COLORADO 80482

CONSTRUCTION
DRAWINGS
DRAWN BY:
BH, EIM
CHECKED BY:
SAS
ISSUE DATE:
03/31/2025

REVISIONS:	

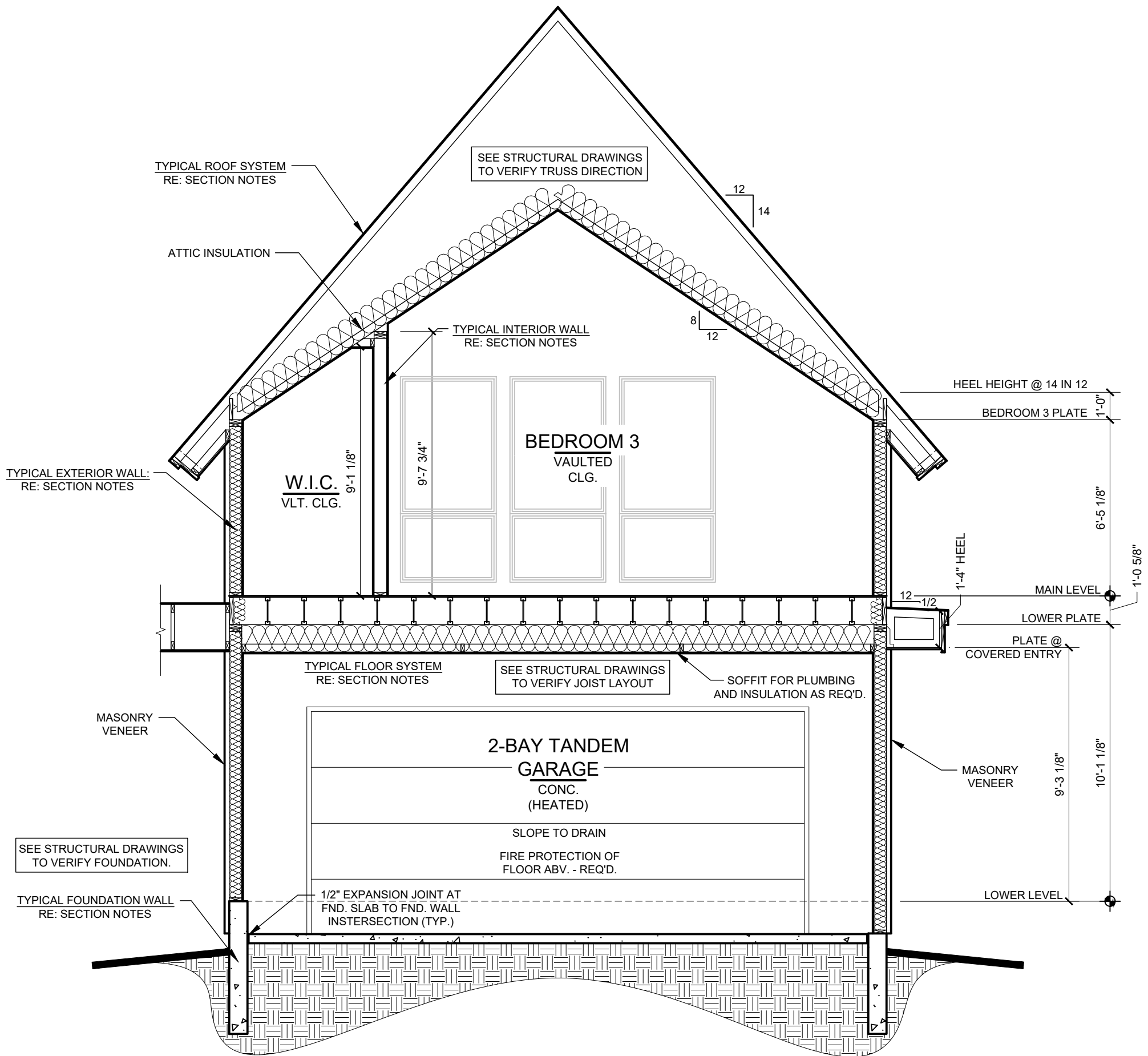
BUILDING
SECTIONS

A5.1

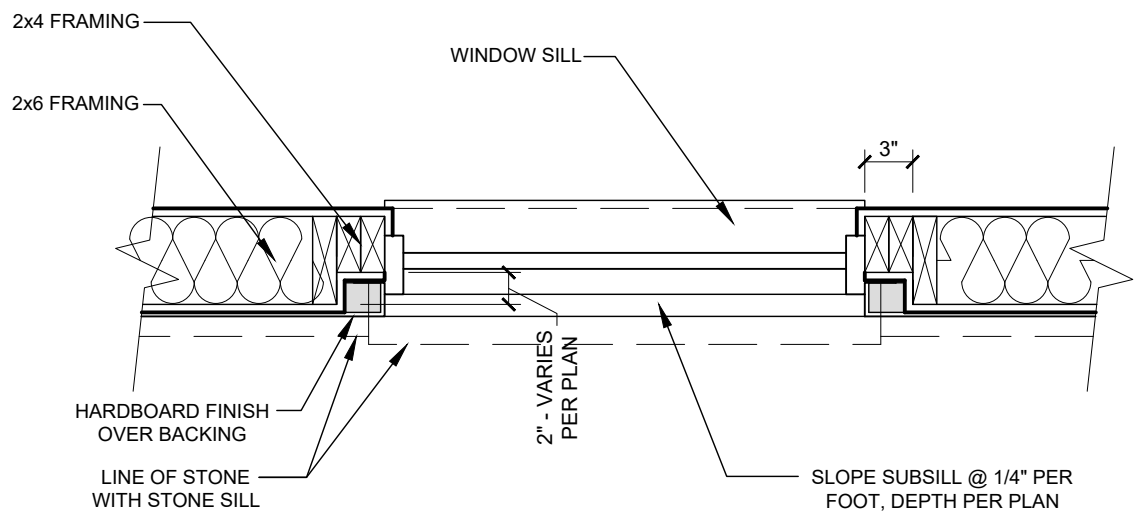
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BUILDING SECTION NOTES

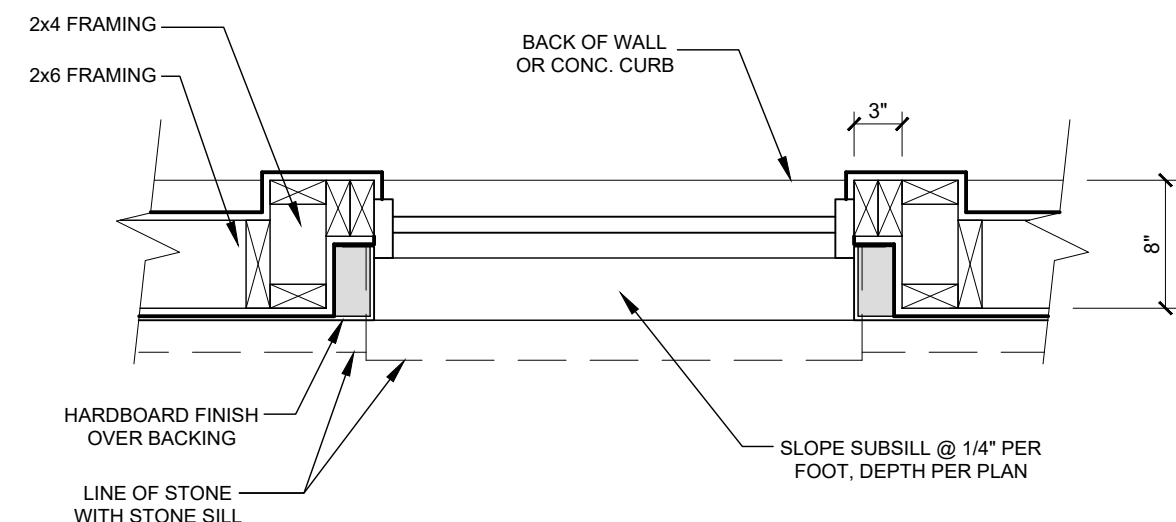
- RE: "GENERAL NOTES", FLOOR PLANS, ROOF PLANS AND ELEVATIONS FOR ADDITIONAL INFORMATION.
- REFER TO ELEVATIONS FOR ADDITIONAL WALL & PLATE HT.
- FOUNDATION WALLS: CONCRETE WALLS - RE: SOILS REPORT FOR SITE GEOTECHNICAL EVALUATION PER R401.4 AND PERIMETER FOUNDATION DRAINAGE PER R405. RE: STRUCTURAL FOR REQUIRED DESIGN SPECIFICATIONS OF WALL, FOOTINGS AND FLOOR.
- FOUNDATION WALLS SHALL BE DAMPROOFED, PER R408.1 EXCEPT WHERE REQUIRED TO BE WATERPROOFED, PER R406.2. APPLY MATERIAL ON FOUNDATION WALLS THAT RETAIN EARTH AND ENCLOSE INTERIOR SPACES AND FLOORS BELOW GRADE FROM TOP OF FOOTING TO FINISHED GRADE.
- WALL THICKNESS - 8" UNLESS DIMENSIONED OR NOTED OTHERWISE. RE: STRUCTURAL.
- SILL PLATE: INSTALL TREATED 2x SILL PLATE ON AN APPROVED AIR SILL GASKET OR SILL SEALER. LEVEL, SQUARE AND FASTEN AS REQUIRED. RE: STRUCTURAL.
- GARAGE SLAB: REINFORCED (VERIFY THICKNESS PER STRUCT.). SLOPE 1/4"FT. MIN. TOWARDS O.H. DOORS. PROVIDE PERIMETER EXPANSION JOINTS AND CONTROL JOINTS AS REQUIRED.
- BASEMENT FLOOR: CONCRETE SLAB PER R506 OR STRUCTURAL FLOOR PER SOILS REPORT AND STRUCT. VAPOR RETARDER PER R506.2.3. CONTROL JOINTS AND 1/2" EXPANSION JOINT AT FLOOR PERIMETER AND PENETRATIONS. UNDER-FLOOR SPACE PER R408 IF STRUCT. FLR.
- CONCRETE PORCH/PATIO SLAB: CONC. W/ TURNED DOWN EDGE (RE: STRUCT.). PROVIDE CONC. STEPS TO GRADE (FIELD VERIFY). WHERE EXTERIOR PORCHES, DECKS, OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION, PROVIDE APPROVED CORROSION-RESISTANT FLASHING OR SELF-ADHERED MEMBRANE AS FLASHING (IN COMPLIANCE WITH AAMA 7111) TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCT. FRAMING COMPONENTS. SLOPE MIN. 1/4"FT. AWAY FROM BUILDING. RE: R506 AND R507.2.4.
- FIRE PROTECTION OF FLOORS: PER R302.13 APPLY 1/2" GYPSUM WALLBOARD OR EQUIVALENT TO THE UNDERSIDE OF THE MAIN LEVEL FLOOR FRAMING ASSEMBLY. INSTALL TIGHT AGAINST SIDE SURFACES OF MECHANICAL LINES AND OTHER PENETRATIONS. REFER TO R302.13 "EXCEPTIONS" 1 TO 4 FOR NON-APPLICABLE LOCATIONS AND ALTERNATE APPLICATIONS.
- TYPICAL FLOOR SYSTEM: RE: STRUCTURAL FOR FLOOR SYSTEMS AT STAIR LANDINGS, HABITABLE ATTIC SPACES, ATTIC FLOOR SUPPORTING MECHANICAL, STORAGE OR SIMILAR.
- HALF WALL ASSEMBLY SIMILAR WITH CAP PER BUILDER SPECS. RE: PLANS FOR DIMENSIONS.
- PROVIDE SEALED AIR BARRIER AT WALLS ADJACENT TO THERMAL ENVELOPE.
- INSULATION PER ENERGY REPORT IN THE WARM IN WINTER SIDE OF THE WALL STUD CAVITIES THAT COMPRISE THE BUILDING THERMAL ENVELOPE. IN FLOOR SYSTEM ABOVE GARAGE, DROP SOFFITS FOR MECHANICAL AND PLUMBING LINES AS NECESSARY.
- T&G FLOOR SHEATHING GLUED AND FASTENED ON TJI FLOOR JOISTS. RE: STRUCTURAL FOR SIZES, ALTERNATE FRAMING TYPES, SPACING AND SPECIFICATIONS. RE: R501.
- INTERIOR WALLS PER R702: BEARING AND NON-BEARING WALLS - 2x4 WOOD STUDS UNLESS DIMENSIONED OR NOTED OTHERWISE. FOUNDATION AND BASEMENT FLOOR DESIGN MAY REQUIRE FLOATING WALLS. RE: STRUCTURAL FOR DESIGN SPECIFICATIONS.
- 12" GYPSUM BOARD AND SEALED AIR BARRIER TO INTERIOR SIDE OF WALLS IN THE BUILDING THERMAL ENVELOPE. NOT REQUIRED AT INTERIOR SIDE OF EXTERIOR GARAGE WALLS UNLESS PER BUILDER SPECIFICATIONS, OR ONLY GYPSUM BOARD AS REQUIRED PER R302.6.
- INTERIOR FINISHED MATERIALS PER BUILDER SPECIFICATIONS AND AS FOLLOWS:
 - INTERIOR WALL FINISHES PER R702.
 - CEILING FINISHES PER R702 AND R805
- PROVIDE VAPOR RETARDER ON THE INTERIOR SIDE AS REQUIRED. PER R702.7.
- EXTERIOR WALLS PER R902: BEARING AND NON-BEARING WALLS - 2x4 WOOD STUDS UNLESS DIMENSIONED OR NOTED OTHERWISE WITH WALL SHEATHING. RE: STRUCTURAL FOR DESIGN SPECIFICATIONS.
- FIRE-RESISTANT CONSTRUCTION OF EXTERIOR WALLS PER R302.1 AND MUNICIPALITY REQUIREMENTS.
- WATER-RESISTIVE BARRIER PER R703.2. PROVIDE AS SPECIFIED OR OTHER APPROVED MATERIAL. OVER SHEATHING OF EXTERIOR WALLS AND GABLE END TRUSSES. NOT REQUIRED FOR DETACHED ACCESSORY BUILDINGS.
- EXTERIOR COVERING PER R703 - (1) LAYER OF A WATER-RESISTIVE BARRIER (WRB) MATERIAL TO THE OUTSIDE OF ALL EXTERIOR WALL AND GABLE END TRUSS SHEATHING PER R703.2. APPLIED FOR:
 - WOOD, HARDBOARD AND WOOD STRUCTURAL PANEL SIDING PER R703.5
 - FIBER CEMENT SIDING PER R703.10.
- EXTERIOR COVERING PER R703 - (2) LAYERS OF A WATER-RESISTIVE BARRIER (WRB) MATERIAL TO THE OUTSIDE OF ALL EXTERIOR WALL AND GABLE END TRUSS SHEATHING APPLIED FOR:
 - EXTERIOR PLASTER (STUCCO SYSTEM) PER R703.7.2
 - STONE AND MASONRY VENEER PER R703.8
 - ADHERED MASONRY VENEER PER R703.12.3.
- EXTERIOR WALL ASSEMBLIES SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE AND INCLUDE FLASHING. PER R703.4. RE: FLASHING DETAILS.
- ROOF-CEILING CONSTRUCTION PER R801: PROVIDE LOAD-BEARING DIMENSION LUMBER FOR TRUSSES, RAFTERS AND CEILING JOISTS PER R802.
- TYPICAL ROOF SYSTEM - ROOF SHEATHING PER R803 FASTENED TO PRE-ENGINEERED TRUSSES PER MANUFACTURER AND R802.10. RE: STRUCTURAL FOR ALTERNATE FRAMING TYPES, SPACING AND SPECS. PROVIDE ADEQUATE CUT-OUTS IN SHEATHING AT OVER-FRAMED ROOF LOCATIONS FOR VENTILATION.
- ROOF ASSEMBLIES PER R901: WEATHER PROTECTION OF ROOF DECKS PER R803. INSTALL FLASHING TO PREVENT MOISTURE ENTERING THE WALL AND ROOF PLANES PER R903.2.
- ROOF COVERINGS PER R905: FOR UNDERLAYMENT AND ICE BARRIER RE: R905.1.1, R905.1.2. FOR ROOF MATERIAL TYPE RE: R905.2 TO R905.17. RE: ROOF PLAN NOTES FOR ADDITIONAL INFORMATION.
- STAIRWAYS CONSTRUCTION PER R311.7:
 - A. 7-3/4" RISERS MAX. - NOT TO VARY MORE THAN 3/8".
 - B. 10" TREADS MIN. - NOT TO VARY MORE THAN 3/8".
 - C. WIDTH - NOT LESS THAN 36" CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT.
 - D. HEADROOM - NOT LESS THAN 6'-8" CLEAR TO ALL OBSTRUCTIONS.
 - E. HANDRAILS - BETWEEN 34" TO 38" A.F.F. PER R311.7.8 AND GRIP SIZE R311.7.8.
 - TYPE I HANDRAILS W/ A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1-1/4" TO 2". IF NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" TO 6-1/4" W/ MAX. CROSS SECTION OF 2-1/4".
 - TYPE II HANDRAILS W/ A PERIMETER GREATER THAN 6-1/4" SHALL HAVE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE.
 - F. THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. EXCEPTION: FLOOR OR LANDING IS NOT REQUIRED AT THE TOP OF AN INTERIOR FLIGHT OF STAIRS, INCLUDING STAIRS IN AN ENCLOSED GARAGE, PROVIDED A DOOR DOES NOT SWING OVER THE STAIRS.
 - G. LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING.
 - H. A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 151" (12'-7") BETWEEN FLOOR LEVELS OR LANDINGS. PER R311.7.3.
 - I. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE WIDTH OF THE STAIRWAY SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL. RE: R311.7.6.
 - J. OPEN RISERS ARE PERMITTED UNDER 30" MEASURED VERTICALLY TO FLOOR OR GRADE. RISERS MORE THAN 30" MUST NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE. PER R311.7.5.1.



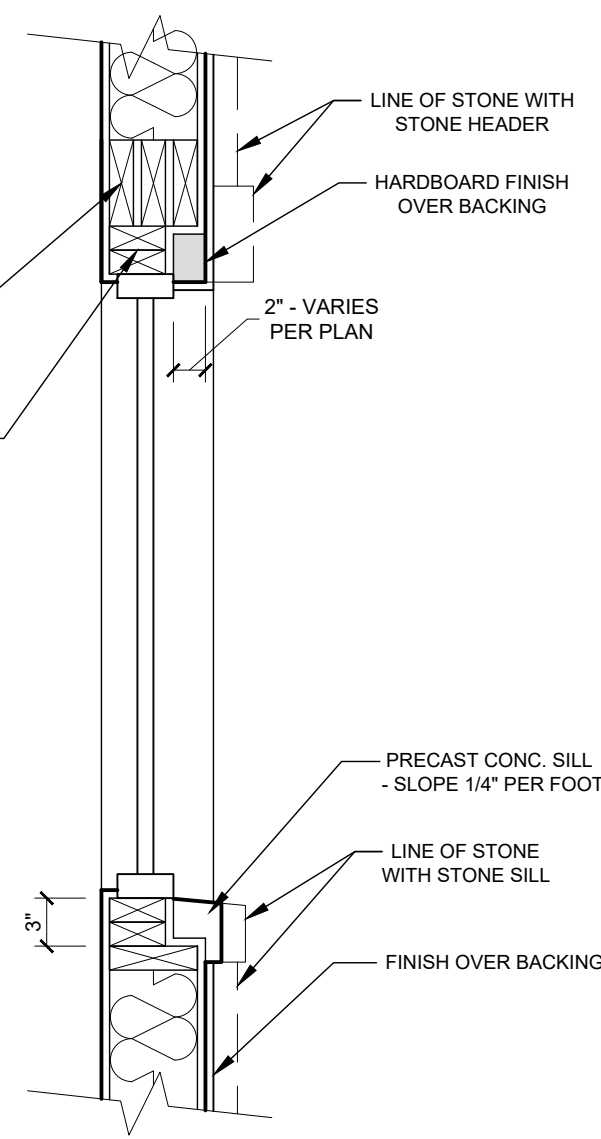
1 PARTIAL BUILDING SECTION
SCALE: 1/4" = 1'-0"



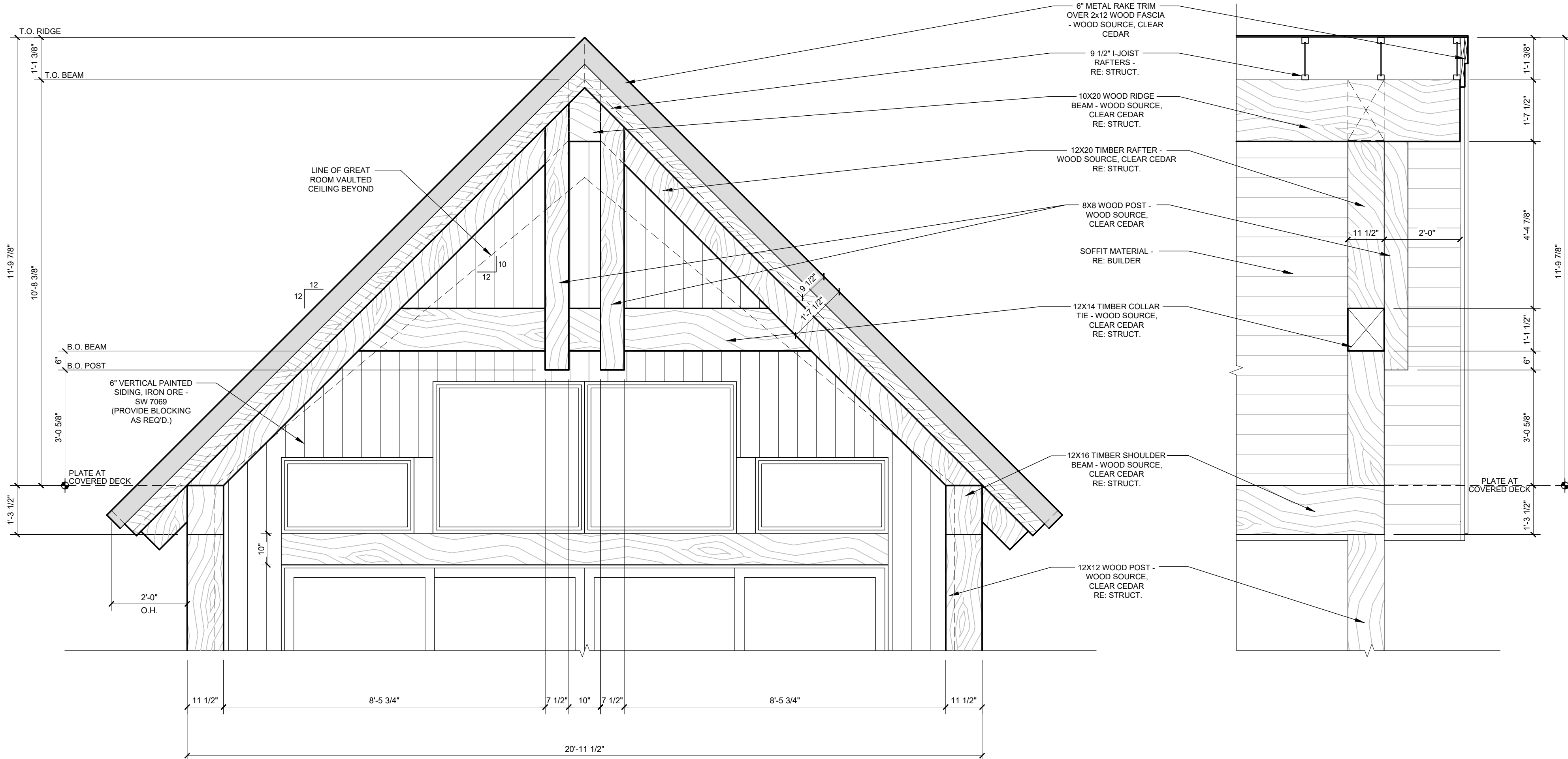
2 RECESSED WINDOW
PLAN
SCALE: 1" = 1'-0"



3 RECESSED WINDOW @ GARAGE
PLAN
SCALE: 1" = 1'-0"



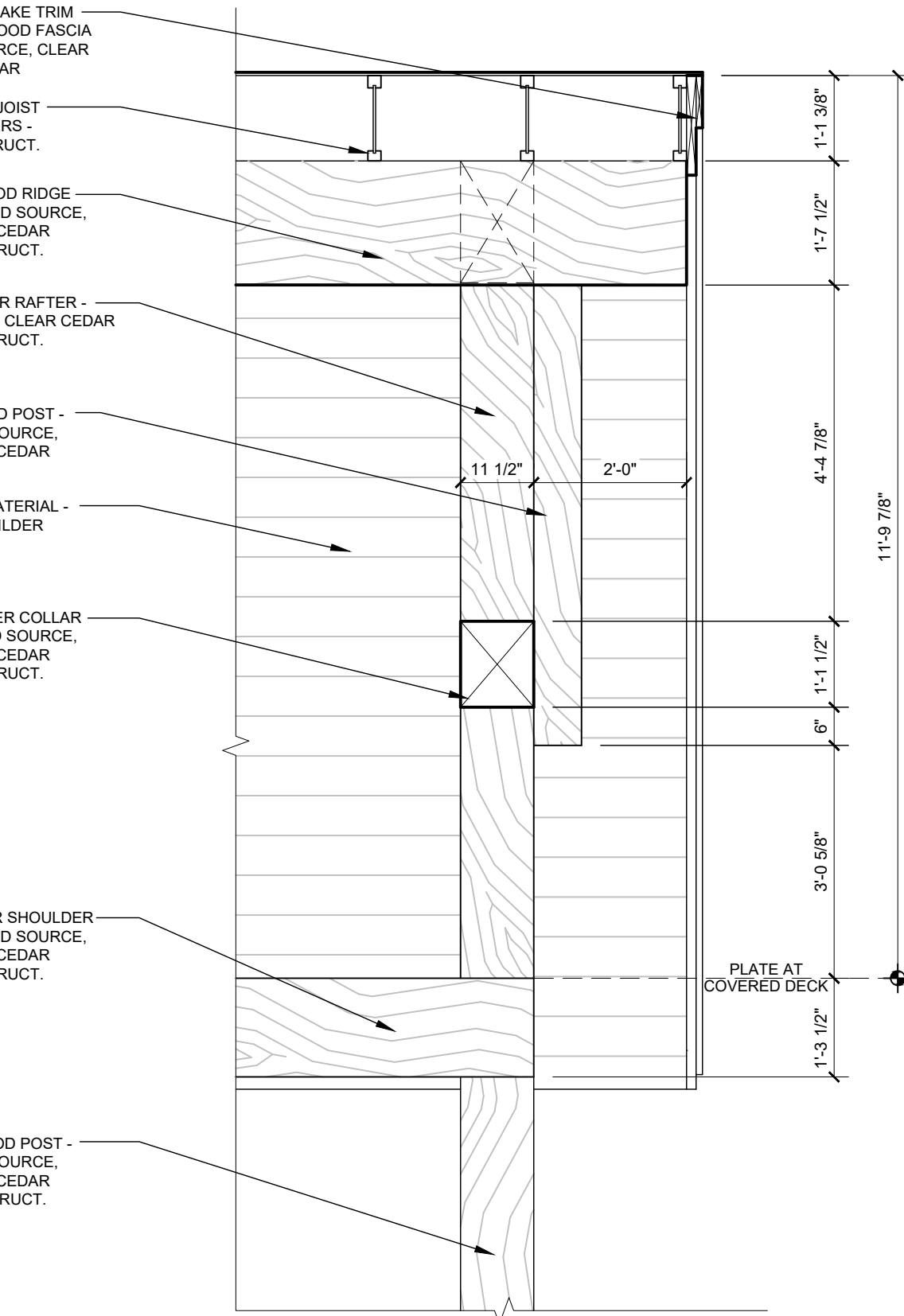
4 RECESSED WINDOW
SECTION
SCALE: 1" = 1'-0"



ELEVATION

SECTION B

5 GABLE TRUSS DETAIL @ COVERED DECK
SCALE: 1/2" = 1'-0"



Roam Lot 3
238 Beavers Lodge
Parle

Exterior Finishes



Wood siding and stained details – wood source 1x8 Cedar / Bannock

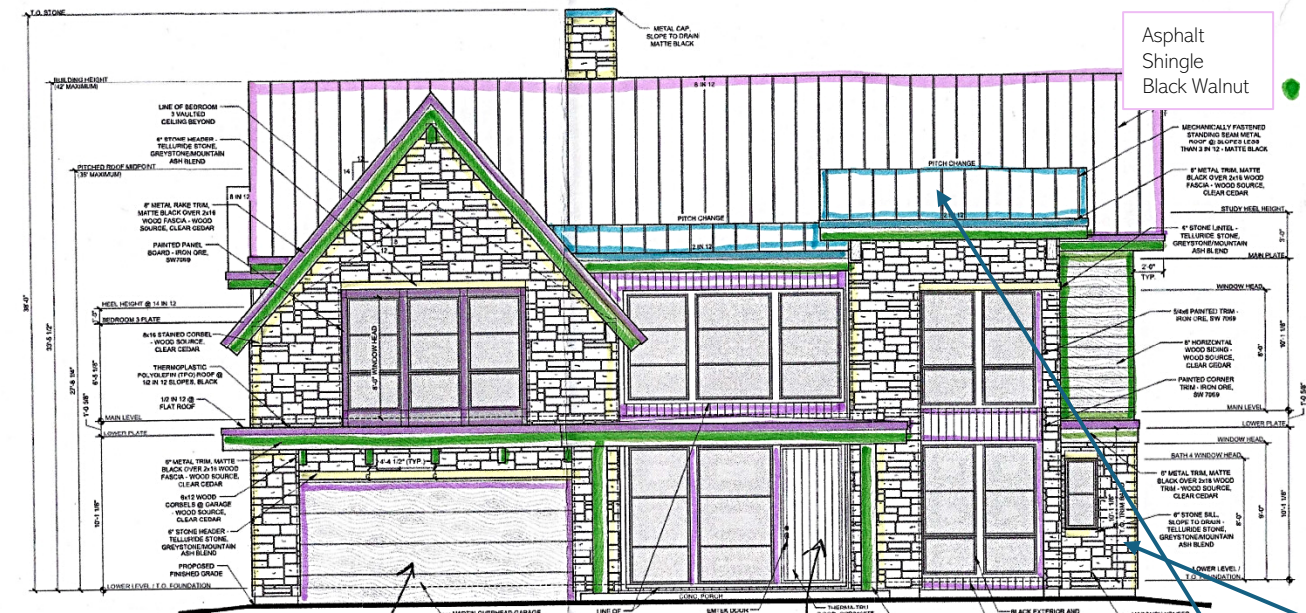
Garage door, Painted siding and Trim – Sherwin Williams Urbane Bronze (SW 7048)

STONE
Telluride Stone
Misty Bay includes Stone Sills

METAL ROOF
Dark Bronze

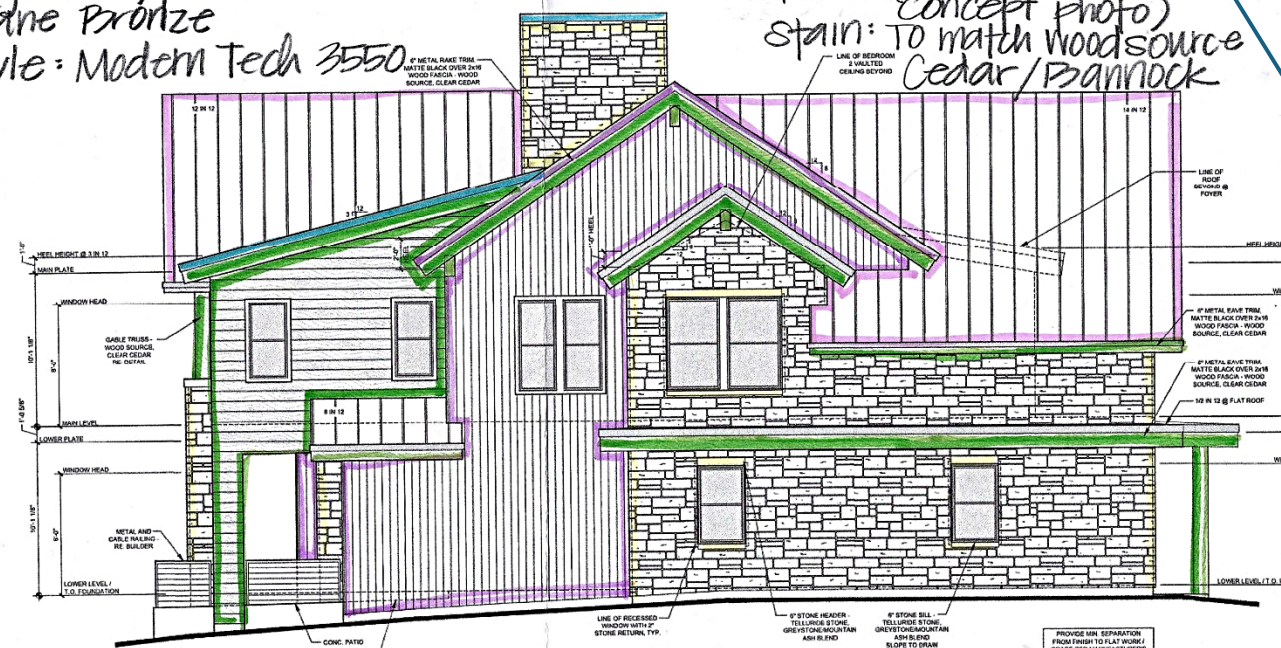
Asphalt Shingle
Black Walnut

6/10/2025
REVISED



① FRONT ELEVATION

Front door (custom- see attached concept photo)
stain: To match wood source Cedar / Bannock



② LEFT ELEVATION

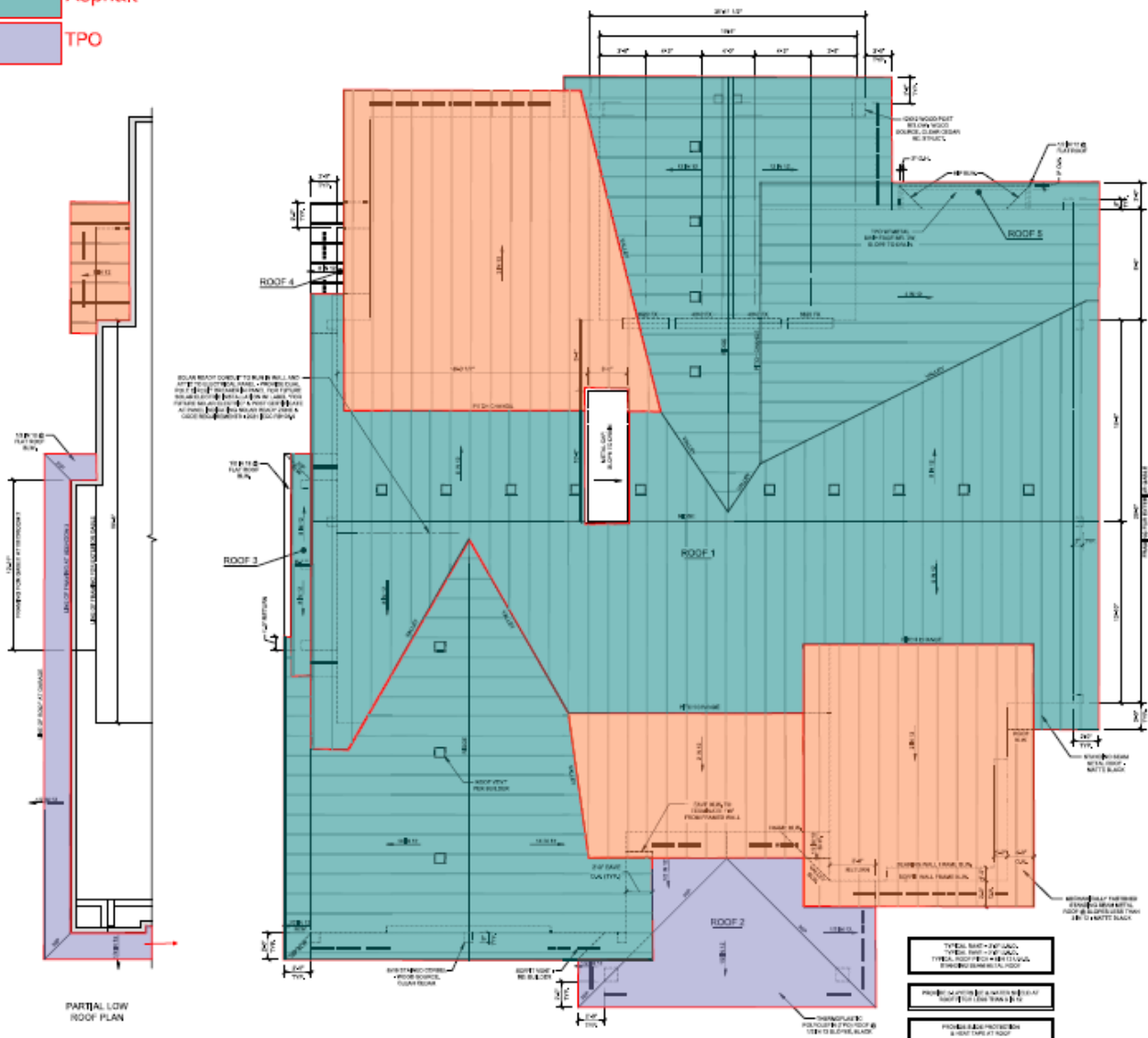
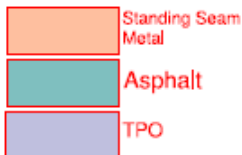


Front Door
Bannock Stain

Contemporary Panel
Garage door / painted
Urbane Bronze
Door style: Modern Tech 3550



Pella Lifestyle
Wood / Metal Clad
Matte Black



1 ROOF PLAN

SCALE: 1/4" = 1'-0"



Garage Doors – Modern Tech 3550 Smooth No Glass - Painted

Smooth Steel Texture 3

Heavy-duty 24 gauge steel exterior skin comes in four attractive colors.

Roam Lot 3
238 Beavers Lodge
Parle

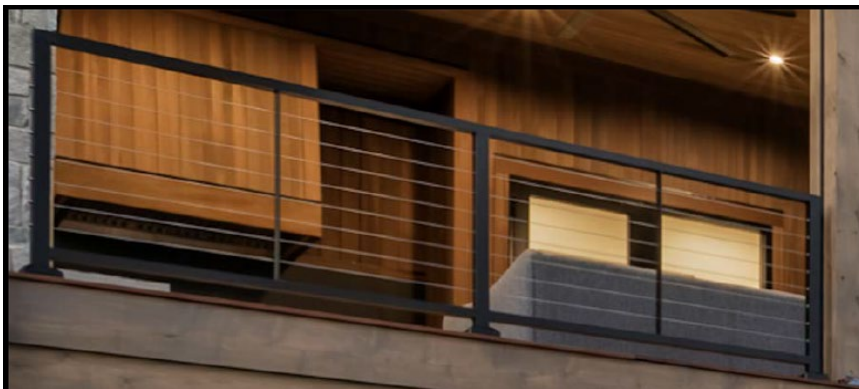
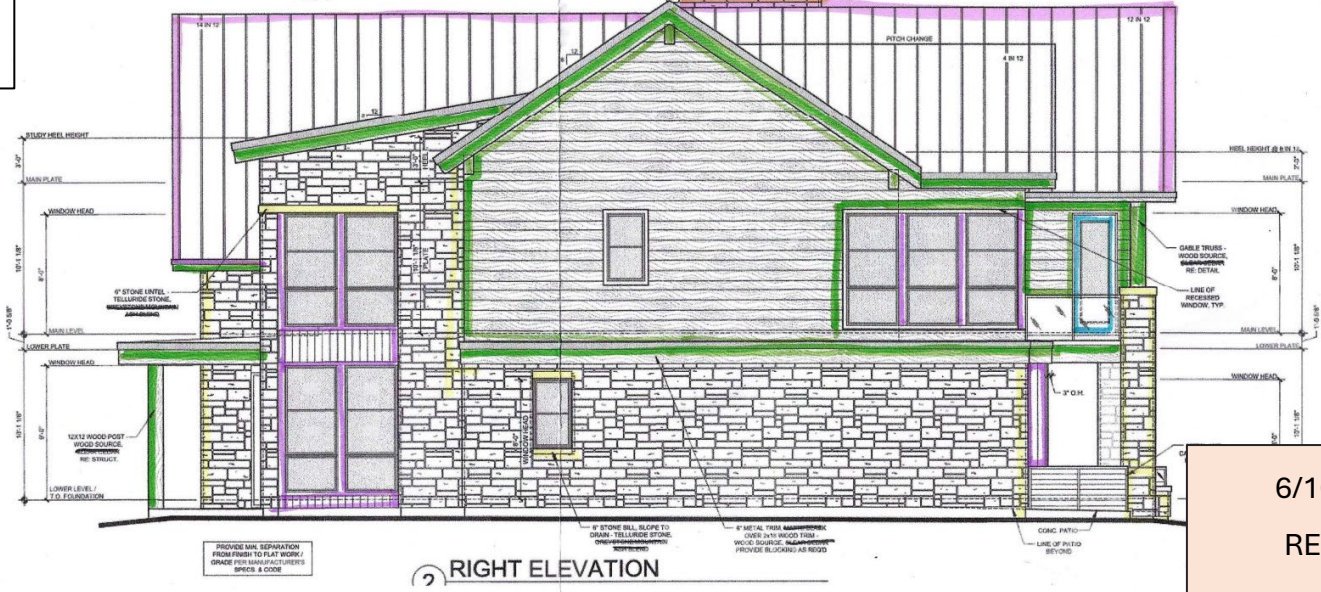
Exterior Finishes



6/10/2025
REVISED



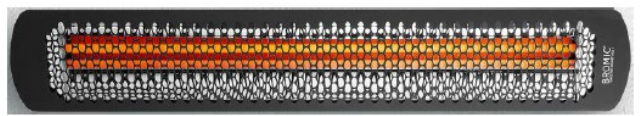
1 REAR ELEVATION
SCALE: 1/8" = 1'-0"
Remove exterior glass railing to metal and cable railing throughout
Remove firepit
Matte Black



EXTERIOR RAILING DETAIL – MATTE BLACK METAL FRAME / HORIZONTAL CABLE



• Tungsten Series Electric [Tungsten Electric Installation Manual](#)



Deck Heaters

Metal Chimney CAP Matte Black

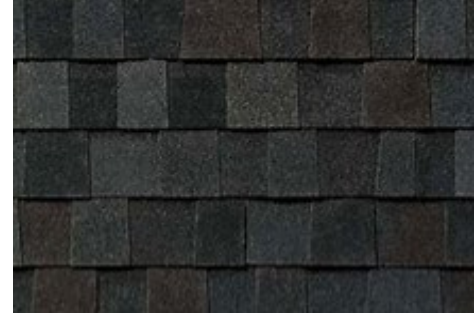




HOME EXTERIOR INSPIRATION PHOTO



Metal Roof Dark Bronze



Asphalt Shingle Black Walnut



Telluride Stone Misty Bay



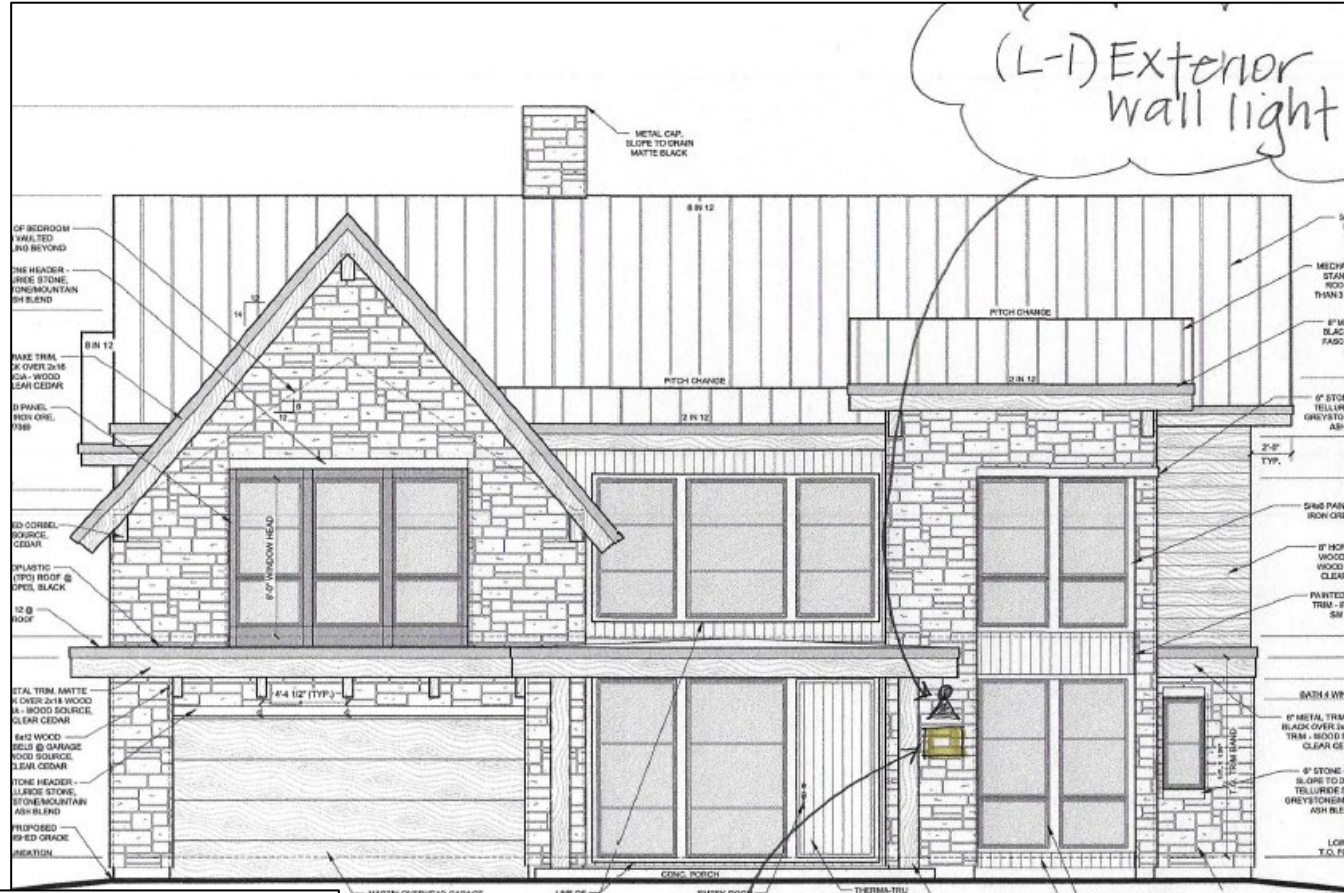
PAINTED SIDING – SHERWIN WILLIAMS URBANE BRONZE



WOOD SOURCE – CEDAR / FINISH: BANNACK

Roam Lot 3
238 Beavers Lodge
Parle

Exterior Finishes



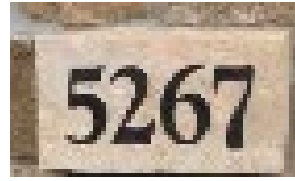
L-1 PARLE
Exterior wall light
Item ID: 2537075
Finish: Sand Coal
Collection: City Streets
Width: 10.00"
Height: 7.50"

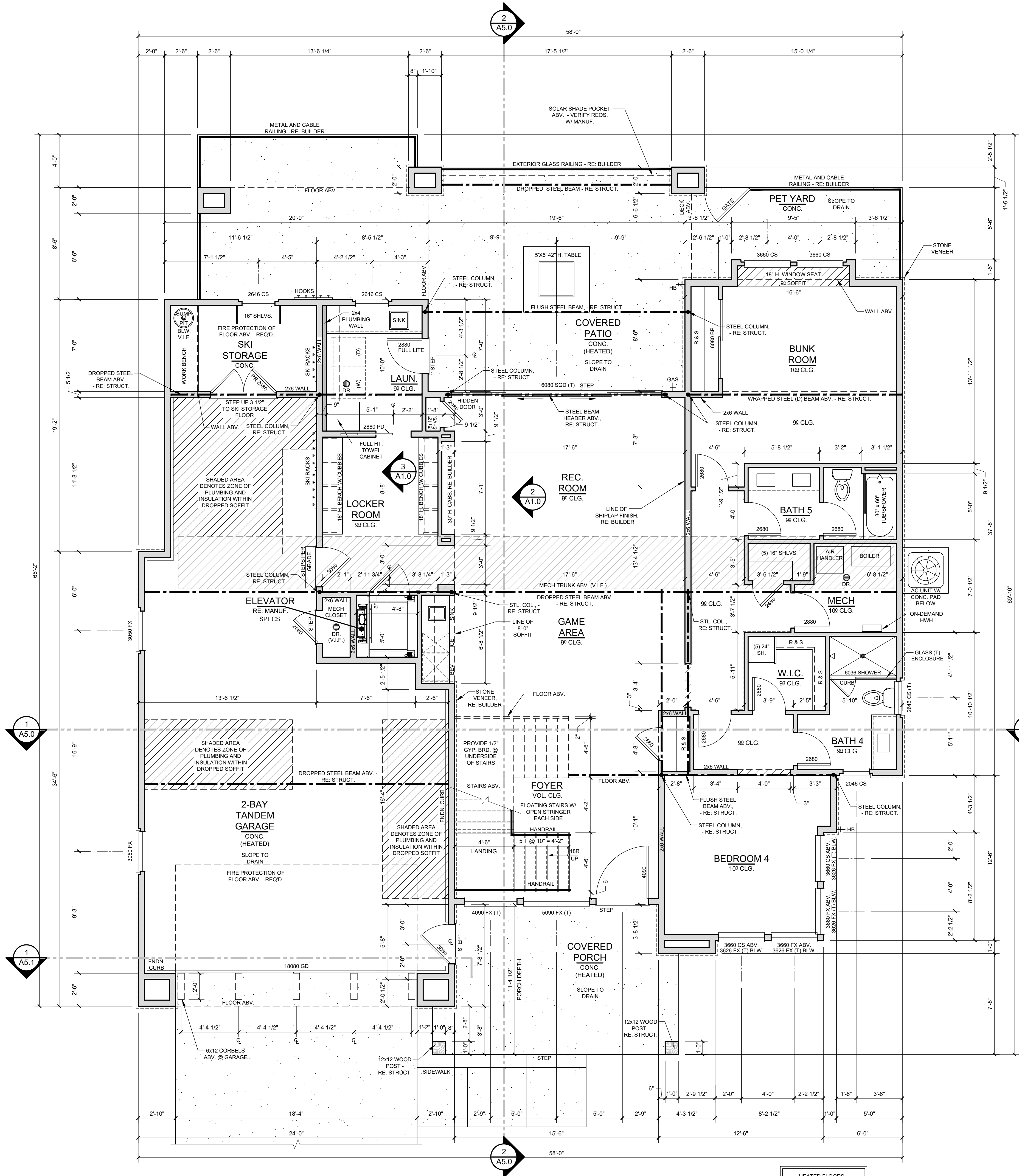


1 FRONT ELEVATION

Address & Exterior Light Fixture

(House Numbers - 14" x 8" address plaque with 5.5" tall horizontal engraved numbers)





SQUARE FOOTAGE CALC.	
RULES OF MEASUREMENT: LOWER LEVEL IS CALCULATED FROM EXTERIOR FRAME OF STUD WALL & INCLUDES STAIRS. MAIN LEVEL IS CALCULATED FROM EXTERIOR FRAME OF STUD WALL & EXCLUDES STAIRS / OPENINGS TO BELOW.	
FINISHED	
LOWER LEVEL	1,889 SQ. FT.
MAIN LEVEL	2,588 SQ. FT.
TOTAL FINISHED	4,277 SQ. FT.
UNFINISHED	
LOWER LEVEL (MECH. & UNFIN. STOR.)	45 SQ. FT.
UNCONDITIONED & EXTERIOR	
L.L. 2-BAY TANDEM GARAGE & MECH.	830 SQ. FT.
L.L. SKI STORAGE	81 SQ. FT.
L.L. COVERED ENTRY	194 SQ. FT.
L.L. COVERED PATIO	531 SQ. FT.
L.L. PET YARD	51 SQ. FT.
M.L. COVERED DECK	331 SQ. FT.

LOWER LEVEL NOTES

TYPICAL NOTES:

- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION NOT SHOWN OR NOTED ON PLANS
- ALL NON 90° ANGLES ARE 45°, U.N.O.
- PROVIDE 4" MIN. DOOR JAMB CONDITION AT PERPENDICULAR WALL OR CENTER WITHIN FRAMED OPENING. (TYPICAL U.N.O.)
- TYPICAL STAIR RAILING @ 34"-38" ABOVE THE TREAD NOSING.
- TYPICAL GUARDRAIL MIN. 36" ABOVE THE ADJACENT FINISHED FLOOR AND SHALL NOT HAVE OPENINGS WHICH ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
- WINDOW AND DOOR CALLOUTS ON PLANS ARE GENERIC/NOMINAL WIDTH CALLOUTS. ACTUAL, ROUGH OPENING PER MANUFACTURER'S SPECS.

KITCHEN:

- COUNTERTOP: 36" H. ON BASE CABINETS, BACKSPASH PER BUILDER.
- UPPER WALL CABINETS: 12" D. CABINETS INDICATED BY DASHED LINE ON PLAN. TYP. CABINET HEIGHTS WILL VARY PER BUILDER, U.N.O.
- SINK: PROVIDE DISPOSAL, SWITCH POWER. RE. ELECT. PLANS.
- REFRIGERATOR: COORDINATE PLUMBING FOR WATER LINE AS REQUIRED.

BATH:

- FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM BACKERS AND FIBER-REINFORCED GYPSUM SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS PER R302.2.
- BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR PER R307.2.
- COUNTERTOP: 36" H. ON BASE CABINETS (U.N.O.), BACKSPASH AND MIRROR ABOVE PER BUILDER.
- A WATER CLOSET, LAVATORY OR BIDET SHALL NOT BE SET CLOSER THAN 15 INCHES FROM ITS CENTER TO ANY SIDE WALL, PARTITION, VANITY OR CLOSER THAN 30 INCHES CENTER-TO-CENTER BETWEEN ADJACENT FIXTURES. THERE SHALL BE A CLEARANCE OF NOT LESS THAN 21 INCHES IN FRONT OF A WATER CLOSET, LAVATORY OR BIDET TO ANY WALL, FIXTURE OR DOOR PER R307.1, P2705.1.

LAUNDRY:

- CLOTHES WASHER/DRYER LOCATION: SIDE-BY-SIDE WASHER/DRYER PLUMBING, ELECTRICAL, AND EXHAUST SHALL BE CONFIGURED TO ALLOW FOR THE WASHER TO BE INSTALLED AND ORIENTED ON THE LEFT SIDE WHEN FACING THE APPLIANCES.
- SHELVEING OR CABINETRY PER PLAN AND BUILDER SPECS.
- LAUNDRY SINK PER PLAN AND BUILDER SPECS.
- BUILDER TO FIELD VERIFY FLOOR DRAIN LOCATION WITH FLOOR FRAMING LAYOUT. ADJUST FRAMING AS REQUIRED PRIOR TO FLOOR DRAIN INSTALLATION.
- PROVIDE AN APPROVED PAN UNDER WASHER AND COORDINATE FLOOR DRAIN LOCATION WITH THE PAN "TYPE" PER BUILDER SPECS.
- LOCATE WASHER GRAY BOX AS REQUIRED PER CODE.
- DRYER VENT: INSTALL A MOISTURE EXHAUST SYSTEM THAT VENTS TO THE EXTERIOR. VENT MUST BE EQUIPPED WITH A BACKDRAFT DAMPER PER G2439.3. THE MAXIMUM LENGTH OF THE EXHAUST DUCT SHALL BE 35' FROM THE CONNECTION TO THE TRANSITION DUCT FROM THE DRYER TO THE OUTLET TERMINAL. WHERE FITTINGS ARE USED, THE MAX. LENGTH OF THE EXHAUST DUCT SHALL BE REDUCED IN ACCORDANCE WITH TABLE G2439.7.4.1.
- CLOTHES WASHER PAN AND FLOOR DRAIN: FLOOR DRAIN INSTALLATION AND LOCATION TO COMPLY WITH P2719.1.
- LOCATE WASHER GRAY BOX AS REQUIRED PER CODE.
- STACKED CLOTHES WASHER/DRYER UNITS. ACCESS, PLUMBING, ELECTRICAL AND EXHAUST, SIMILAR IN APPLICATION AND CODE COMPLIANCE.

MECHANICAL & PLUMBING NOTES:

- FURNACE AND HOT WATER HEATER: LOCATION PER MECHANICAL CONTRACTOR. PER G2406 UNIT TYPES PER BUILDER SPECS. AND ENERGY REPORT. PROVIDE COMBUSTION AIR. PER M1701 AND CHAPTER 24.
- THE PRESSURE RELIEF VALVE FOR THE WATER HEATER MUST DISCHARGE TO AN APPROVED RECEPTOR, TYPICALLY A FLOOR DRAIN. PER M2002.4 AND P2804.
- WATER HEATER. PER M2005. WHEN THE WATER HEATER IS LOCATED ON A STRUCTURAL FLOOR, AN APPROVED DRAIN PAN MUST ALSO BE PROVIDED. PER P2801.6 THE PAN MUST BE AT LEAST 1.5" IN DEPTH. PER P2801.6.1 AND DRAIN. PER P2801.6.2.

ROOM NOTES:

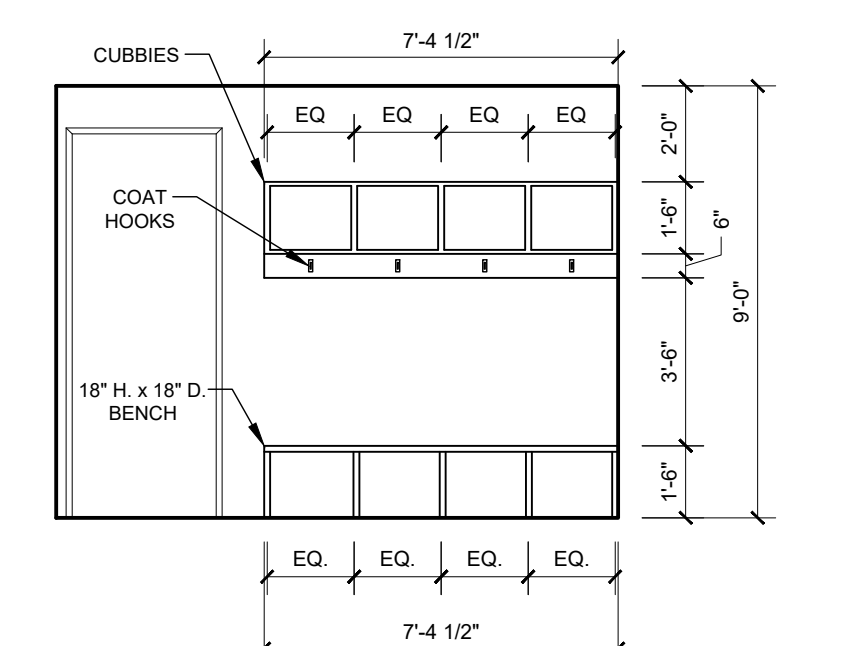
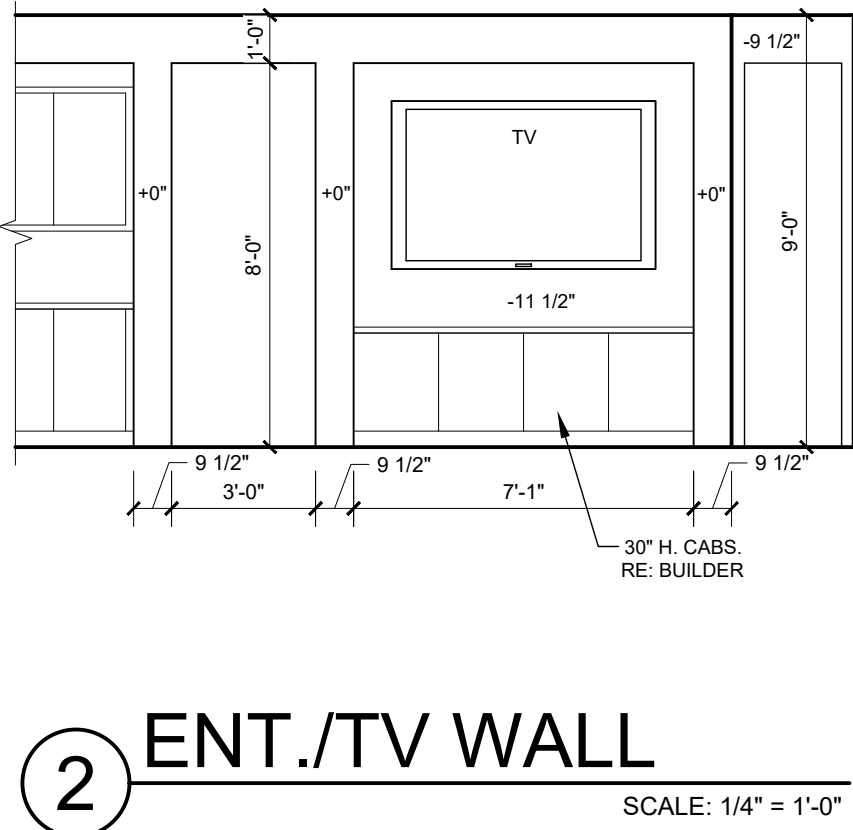
- R & S: INDICATES ROD & SHELF IN CLOSETS, 1/2" R & S" INDICATES (1) HIGH ROD AND (1) LOW ROD PLUS SHELF. SHELVES ARE 12" DEEP, U.N.O.
- HOSE BIB: ALL HOSE BIBS ARE FREEZE-PROOF TYPE.
- FIREPLACE: GAS FIREPLACE (PER BUILDER) W/ DIRECT VENT OR B-VENT PER PLANS. INSTALL PER MANUFACTURER'S INSTRUCTIONS. REFER TO INTERIOR ELEVATIONS FOR DIMENSIONS AND DESIGN LAYOUT. MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL FIREPLACES MUST BE KEPT ON SITE FOR VERIFICATION AND INSPECTION OF REQUIRED CLEARANCES TO COMBUSTIBLE MATERIAL. ALL FIREPLACES TO BE UL LISTED & PROVIDED WITH A READY ACCESSIBLE SHUT-OFF VALVE PER THE (IFGC) INTERNATIONAL FUEL GAS CODE SEC. 409.5.
- ATTIC ACCESS: THE ROUGH-FRAMED OPENING SHALL NOT BE LESS THAN 22"x30" AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION PER R307.1. APPLIANCES IN ATTIC REQUIREMENTS PER M1305.1.2. AIR BARRIER SEAL AND INSULATION PER N1102.2.4.1.

GARAGE / EXTERIOR:

- DWELLING-GARAGE OPENING AND PENETRATION PROTECTION, SHALL COMPLY WITH, SECTION R302.5.
- DWELLING-GARAGE FIRE SEPARATION, SHALL COMPLY WITH, TABLE R302.6. THIS PROVISION SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL PER R302.6.
- NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIV. SHALL BE APPLIED TO THE GARAGE SIDE FROM THE RESIDENCE AND ATTICS.
- NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIV. SHALL BE APPLIED TO THE GARAGE CEILING ADJACENT TO HABITABLE ROOMS ABOVE THE GARAGE.
- NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIV. SHALL BE APPLIED TO THE STRUCTURE(S) SUPPORTING FLOOR AND CEILING ASSEMBLIES.
- NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIV. APPLIED TO THE INTERIOR SIDE OF THE EXTERIOR WALL OF A GARAGE LOCATED LESS THAN 3'-0" FROM A DWELLING UNIT ON THE SAME LOT.
- ALL DOORS LEADING INTO GARAGES FROM LIVING SPACES TO BE MINIMUM RGT FTTING, WEATHER-STRIPPED, 20-MINUTE FIRE-RATED, OR 1 3/8" THICK SOLID WOOD, OR 1 3/8" THICK SOLID OR HONEYCOMB CORE STEEL DOORS EQUIPPED WITH SELF-CLOSING OR AUTOMATIC-CLOSING DEVICE PER R302.5.1.
- HOSE BIB: ALL HOSE BIBBS ARE "FROSTPROOF" TYPE PER R2903.10. HOSE BIBB BLEED PER P2903.6.5.

WALL LEGEND

	2x4 (3 1/2") STUD WALL TYPICAL INTERIOR WALL (U.N.O.)
	2x6 (5 1/2") STUD WALL TYPICAL EXTERIOR WALL (U.N.O.)
	FLAT SOFFIT (TYPICAL INTERIOR WALL) 8'-0" HIGH AT MAIN AND 7'-0" AT UPPER LEVEL (U.N.O.)



1 LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

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DIVITO - PARLE RESIDENCE

238 BEAVER LODGE ROAD
ROOM FILING NO. 1 - LOT 3 BLK 10
WINTER PARK, COLORADO 80482

CONSTRUCTION DRAWINGS

DRAWN BY:
BH, EIM

CHECKED BY:
SAS

ISSUE DATE:
03/31/2025

REVISIONS:

LOWER LEVEL FLOOR PLAN

A1.0

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CONSTRUCTION
DRAWINGS
DRAWN BY:
BH, EIM
CHECKED BY:
SAS
ISSUE DATE:
03/31/2025

REVISIONS:

MAIN LEVEL
FLOOR PLAN

A2.0

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SQUARE FOOTAGE CALC.

RULES OF MEASUREMENT: LOWER LEVEL IS CALCULATED FROM EXTERIOR FRAME OF STUD WALL & INCLUDES STAIRS. MAIN LEVEL IS CALCULATED FROM EXTERIOR FRAME OF STUD WALL & EXCLUDES STAIRS / OPENINGS TO BELOW.	
FINISHED	
LOWER LEVEL	1,889 SQ. FT.
MAIN LEVEL	2,588 SQ. FT.
TOTAL FINISHED	4,277 SQ. FT.
UNFINISHED	
LOWER LEVEL (MECH. & UNFIN. STOR.)	45 SQ. FT.
UNCONDITIONED & EXTERIOR	
L.L. 2-BAY TANDEM GARAGE & MECH.	830 SQ. FT.
L.L. SKI STORAGE	81 SQ. FT.
L.L. COVERED ENTRY	194 SQ. FT.
L.L. COVERED PATIO	531 SQ. FT.
L.L. PET YARD	101 SQ. FT.
M.L. COVERED DECK	331 SQ. FT.

MAIN / UPPER PLAN NOTES

TYPICAL NOTES:

- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION NOT SHOWN OR NOTED ON PLANS
- ALL NON 90° ANGLES ARE 45°, U.N.O.
- PROVIDE 4" MIN. DOOR JAMB CONDITION AT PERPENDICULAR WALL OR CENTER WITHIN FRAMED OPENING. (TYPICAL U.N.O.)
- TYPICAL STAIR RAILING @ 34"-38" ABOVE THE TREAD NOSING.
- TYPICAL GUARDRAIL MIN. 36" ABOVE THE ADJACENT FINISHED FLOOR AND SHALL NOT HAVE OPENINGS WHICH ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
- WINDOW AND DOOR CALLOUTS ON PLANS ARE GENERIC/NOMINAL WIDTH CALLOUTS. ACTUAL ROUGH OPENING PER MANUFACTURER'S SPECS

KITCHEN:

- COUNTERTOP: 36" H. ON BASE CABINETS, BACKSPASH PER BUILDER.
- UPPER WALL CABINETS: 12" D. CABINETS INDICATED BY DASHED LINE ON PLAN. TYP. CABINET HEIGHTS WILL VARY PER BUILDER, U.N.O.
- SINK: PROVIDE DISPOSAL. SWITCH POWER. RE. ELECT. PLANS.
- REFRIGERATOR: COORDINATE PLUMBING FOR WATER LINE AS REQUIRED.

BATH:

- FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM BACKERS AND FIBER-REINFORCED GYPSUM SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS PER R302.2.
- BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR PER R307.2.
- COUNTERTOP: 36" H. ON BASE CABINETS (U.N.O.), BACKSPASH AND MIRROR ABOVE PER BUILDER.
- A WATER CLOSET, LAVATORY OR BIDET SHALL NOT BE SET CLOSER THAN 15 INCHES FROM ITS CENTER TO ANY SIDE WALL, PARTITION, VANITY OR CLOSER THAN 30 INCHES CENTER-TO-CENTER BETWEEN ADJACENT FIXTURES. THERE SHALL BE A CLEARANCE OF NOT LESS THAN 21 INCHES IN FRONT OF A WATER CLOSET, LAVATORY OR BIDET TO ANY WALL, FIXTURE OR DOOR PER R307.1, P2705.1.

LAUNDRY:

- CLOTHES WASHER/DRYER LOCATION: SIDE-BY-SIDE WASHER/DRYER PLUMBING, ELECTRICAL, AND EXHAUST SHALL BE CONFIGURED TO ALLOW FOR THE WASHER TO BE INSTALLED AND ORIENTED ON THE LEFT SIDE WHEN FACING THE APPLIANCES.
- SHELVEY OR CABINETRY PER PLAN AND BUILDER SPECS.
- LAUNDRY SINK PER PLAN AND BUILDER SPECS.
- BUILDER TO FIELD VERIFY FLOOR DRAIN LOCATION WITH FLOOR FRAMING LAYOUT. ADJUST FRAMING AS REQUIRED PRIOR TO FLOOR DRAIN INSTALLATION.
- PROVIDE AN APPROVED PAN UNDER WASHER AND COORDINATE FLOOR DRAIN LOCATION WITH THE PAN "TYPE" PER BUILDER SPECS.
- LOCATE WASHER GRAY BOX AS REQUIRED PER CODE.
- DRYER VENT: INSTALL A MOISTURE EXHAUST SYSTEM THAT VENTS TO THE EXTERIOR. VENT MUST BE EQUIPPED WITH A BACKDRAFT DAMPER PER G2439.3. THE MAXIMUM LENGTH OF THE EXHAUST DUCT SHALL BE 35' FROM THE CONNECTION TO THE TRANSITION DUCT FROM THE DRYER TO THE OUTLET TERMINAL. WHERE FITTINGS ARE USED, THE MAX. LENGTH OF THE EXHAUST DUCT SHALL BE REDUCED IN ACCORDANCE WITH TABLE G2439.7.4.1.
- CLOTHES WASHER PAN AND FLOOR DRAIN: FLOOR DRAIN INSTALLATION AND LOCATION TO COMPLY WITH P2719.1.
- LOCATE WASHER GRAY BOX AS REQUIRED PER CODE.
- STACKED CLOTHES WASHER/DRYER UNITS. ACCESS, PLUMBING, ELECTRICAL AND EXHAUST, SIMILAR IN APPLICATION AND CODE COMPLIANCE.

MECHANICAL & PLUMBING NOTES:

- FURNACE AND HOT WATER HEATER: LOCATION PER MECHANICAL CONTRACTOR. PER G2406 UNIT TYPES PER BUILDER SPECS AND ENERGY REPORT. PROVIDE COMBUSTION AIR. PER M1701 AND CHAPTER 24.
- THE PRESSURE RELIEF VALVE FOR THE WATER HEATER MUST DISCHARGE TO AN APPROVED RECEPTOR. TYPICALLY A FLOOR DRAIN. PER M2002.4 AND P2804.
- WATER HEATER. PER M2005. WHEN THE WATER HEATER IS LOCATED ON A STRUCTURAL FLOOR, AN APPROVED DRAIN PAN MUST ALSO BE PROVIDED. PER P2801.6 THE PAN MUST BE AT LEAST 1.5" IN DEPTH. PER P2801.6.1 AND DRAIN. PER P2801.6.2.
- ATTIC ACCESS: THE ROUGHED-FRAMED OPENING SHALL NOT BE LESS THAN 22"x30" AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION PER R807.1. APPLIANCES IN ATTIC REQUIREMENTS PER M1305.1.2. AIR BARRIER SEAL AND INSULATION PER N1102.2.4.1.
- FIREPLACE: GAS FIREPLACE (PER BUILDER) W/ DIRECT VENT OR B-VENT PER PLANS. INSTALL PER MANUFACTURER'S INSTRUCTIONS. REFER TO INTERIOR ELEVATIONS FOR DIMENSIONS AND DESIGN LAYOUT. MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL FIREPLACES MUST BE KEPT ON SITE FOR VERIFICATION AND INSPECTION OF REQUIRED CLEARANCES TO COMBUSTIBLE MATERIAL. ALL FIREPLACES TO BE UL LISTED & PROVIDED WITH A READY ACCESSIBLE SHUT-OFF VALVE PER THE (IFGC) INTERNATIONAL FUEL GAS CODE SEC. 409.5.

ROOM NOTES:

- R & S: INDICATES ROD & SHELF IN CLOSETS, "12" R & S" INDICATES (1) HIGH ROD AND (1) LOW ROD PLUS SHELF. SHELVES ARE 12" DEEP, U.N.O.
- HOSE BIB: ALL HOSE BIBS ARE FREEZE-PROOF TYPE.
- FIREPLACE: GAS FIREPLACE (PER BUILDER) W/ DIRECT VENT OR B-VENT PER PLANS. INSTALL PER MANUFACTURER'S INSTRUCTIONS. REFER TO INTERIOR ELEVATIONS FOR DIMENSIONS AND DESIGN LAYOUT. MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL FIREPLACES MUST BE KEPT ON SITE FOR VERIFICATION AND INSPECTION OF REQUIRED CLEARANCES TO COMBUSTIBLE MATERIAL. ALL FIREPLACES TO BE UL LISTED & PROVIDED WITH A READY ACCESSIBLE SHUT-OFF VALVE PER THE (IFGC) INTERNATIONAL FUEL GAS CODE SEC. 409.5.

GARAGE / EXTERIOR:

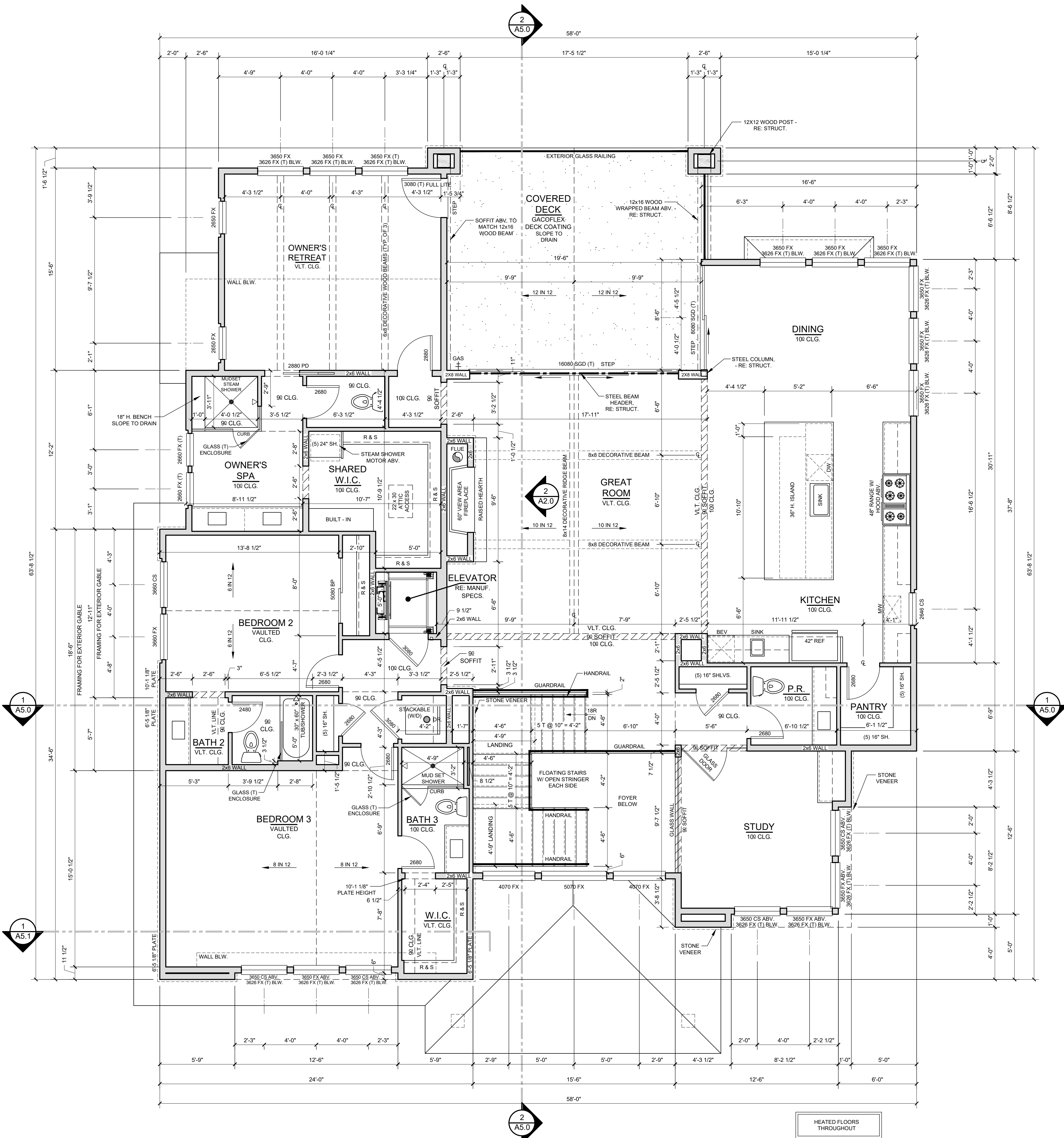
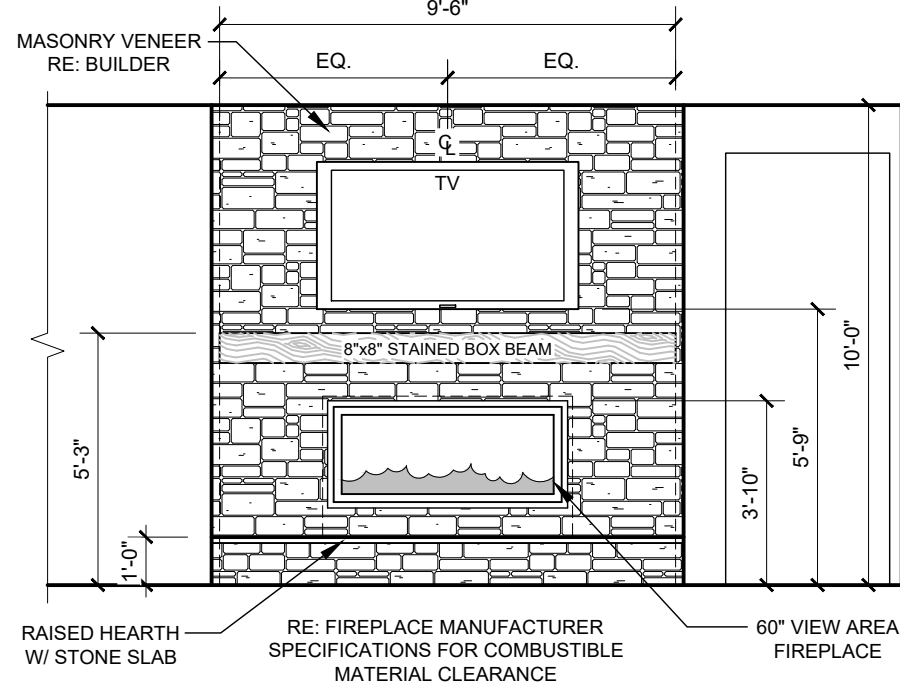
- DWELLING-GARAGE OPENING AND PENETRATION PROTECTION SHALL COMPLY WITH SECTION R302.5.
- DWELLING-GARAGE FIRE SEPARATION SHALL COMPLY WITH TABLE R302.6. THIS PROVISION SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL PER R302.6.
- NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIV. SHALL BE APPLIED TO THE GARAGE SIDE FROM THE RESIDENCE AND ATTICS.
- NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIV. SHALL BE APPLIED TO THE GARAGE CEILING ADJACENT TO HABITABLE ROOMS ABOVE THE GARAGE.
- NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIV. SHALL BE APPLIED TO THE STRUCTURE(S) SUPPORTING FLOOR AND CEILING ASSEMBLIES.
- NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIV. APPLIED TO THE INTERIOR SIDE OF THE EXTERIOR WALL OF A GARAGE LOCATED LESS THAN 3'-0" FROM A DWELLING UNIT ON THE SAME LOT.
- ALL DOORS LEADING INTO GARAGES FROM LIVING SPACES TO BE MINIMUM RIGHT FITTING, WEATHER-STRIPPED, 20-MINUTE FIRE-RATED, OR 1 3/8" THICK SOLID WOOD, OR 1 3/8" THICK SOLID OR HONEYCOMB CORE STEEL DOORS EQUIPPED WITH SELF-CLOSING OR AUTOMATIC-CLOSING DEVICE PER R302.5.1.
- HOSE BIB: ALL HOSE BIBBS ARE "FROSTPROOF" TYPE PER R2903.10. HOSE BIBB BLEED PER P2903.6.5.

WALL LEGEND

- 2x4 (3 1/2") STUD WALL
TYPICAL INTERIOR WALL (U.N.O.)
- 2x6 (5 1/2") STUD WALL
TYPICAL EXTERIOR WALL (U.N.O.)
- FLAT SOFFIT (TYPICAL INTERIOR WALL) 8'-0" HIGH AT MAIN AND 7'-0" AT UPPER LEVEL (U.N.O.)

2 FIREPLACE DETAIL

SCALE: 1/4" = 1'-0"

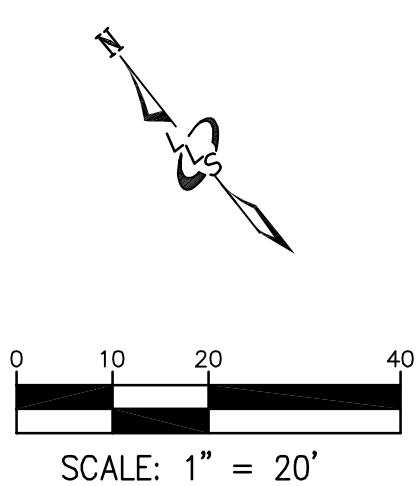
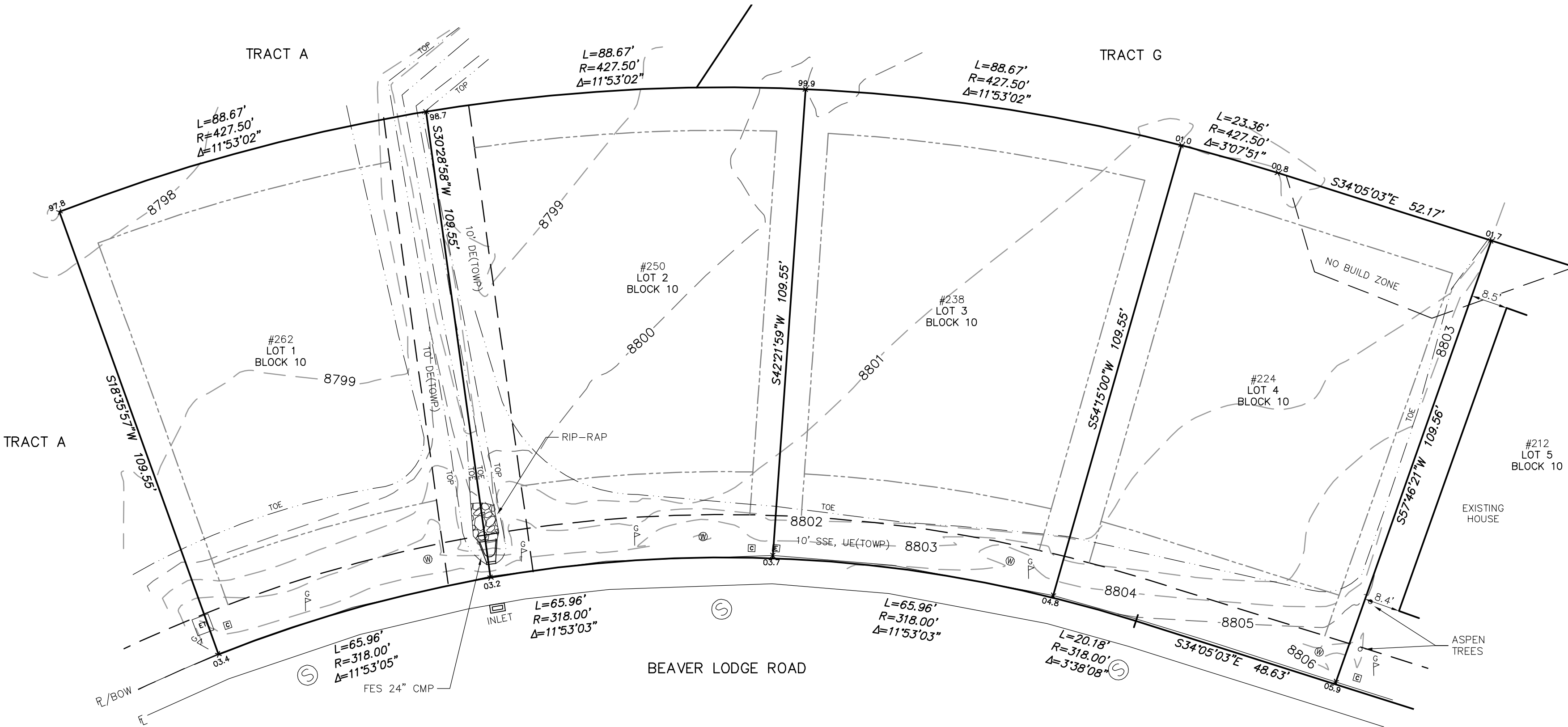


1 MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

TOPOGRAPHIC SURVEY SKETCH

ROAM FILING NO. 1
TOWN OF WINTER PARK
COUNTY OF GRAND
STATE OF COLORADO



NOTES OF CONCERN:

- LEGEND**
- PL=PROPERTY LINE
 - BOW=BACK OF WALK
 - FL=FLOW LINE
 - UE=UTILITY EASEMENT
 - DE=DRAINAGE EASEMENT
 - SSE=SNOW STORAGE EASEMENT
 - (TOWP)=TOWN OF WINTER PARK
 - [Symbol] = DRY UTILITY PEDESTALS
 - [Symbol] = GAS MARKER
 - [Symbol] = WATER METER
 - [Symbol] = SANITARY SEWER MANHOLE
 - EASEMENT
 - SETBACK
 - MAJOR CONTOUR
 - MINOR CONTOUR

SETBACK DIMENSIONS:

FRONT PORCH = 10'
FRONT LIVING = 10'
FRONT GARAGE = 20'
SIDE LOT = 6'
REAR = 10'
MINIMUM BETWEEN STRUCTURES = 12'

#	REVISIONS:	DATE:	BY:
1			
2			
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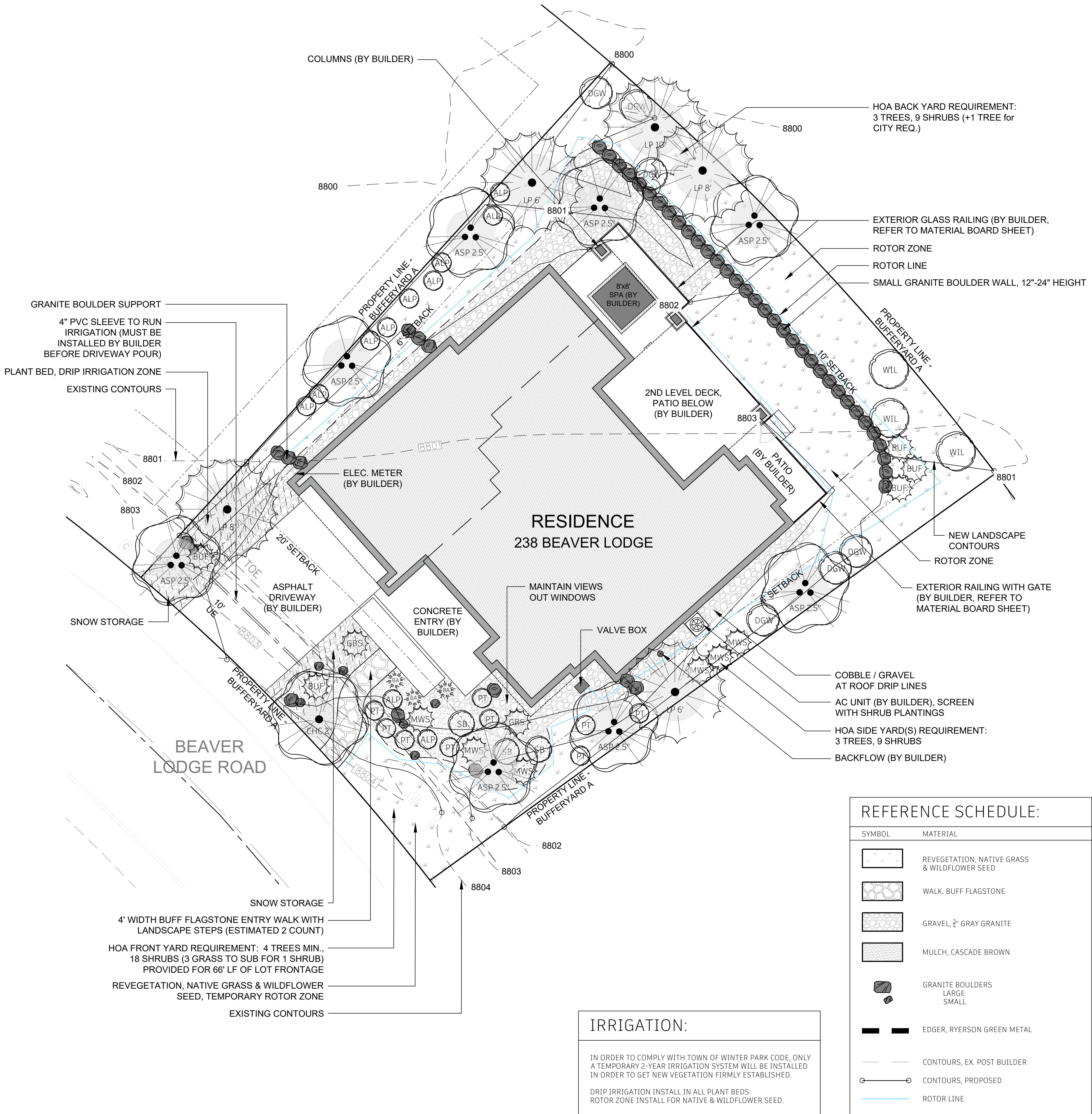
JOB NUMBER: 927-2390 SHEET: 1 OF 1

DRAWN BY: JSS	FIELD DATE: 08/06/24
CHECKED BY: CBD	
SCALE: 1"=20'	
DATE: 08/29/24	

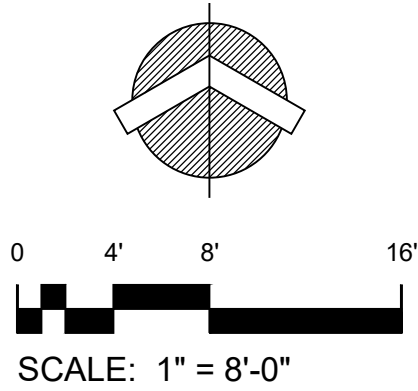
TOPOGRAPHIC SURVEY SKETCH
ROAM FILING NO. 1
LOTS 1-4 BLOCK 10

PREPARED FOR:
SHEFFIELD HOMES

Lange Land Surveys
5511 WEST 36TH AVENUE, SUITE 240
ARVADA, CO 80002
P: (720) 242-9654 F: (720) 242-9732



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LANDSCAPE NOTES

1. INSTALL 6" DEPTH OF PLANT MIX IN PERENNIAL BEDS. TOPSOIL TO BE INSTALLED TO A DEPTH OF 3" IN ALL DISTURBED AREAS. ALL SOIL MUST BE APPROVED BY LANDSCAPE DESIGNER PRIOR TO INSTALLATION.
2. TREE AND SHRUB WELLS TO BE BACK FILLED WITH 50% NATIVE SOIL AND 50% ORGANIC AMENDMENT.
3. LOCATION OF ALL TREES SHALL BE STAKED BY CONTRACTOR AND APPROVED BY THE LANDSCAPE DESIGNER PRIOR TO INSTALLATION.
4. SHREDDED WOOD MULCH WILL BE USED AS A GROUND COVER TREATMENT IN DESIGNATED AREAS. ALL SHRUB AND TREE PLANTING BEDS SHALL RECEIVE MEDIUM SHREDDED WOOD MULCH 3" DEEP. OMIT WEED BARRIER FABRIC. ALL PERENNIAL BEDS SHALL RECEIVE A MINIMUM OF 2" SMALL NUGGET BARK MULCH.
5. LOCATE ALL PLANT MATERIAL TO AVOID SIGHT LINES, UTILITY LINES, FIRE HYDRANTS, LIGHT POSTS, STREET SIGNS, AND EASEMENTS.
6. EXACT PLACEMENT AND SHAPE OF PLANTING BEDS SHALL BE REVIEWED BY LANDSCAPE DESIGNER PRIOR TO INSTALLATION. THE CONTRACTOR MUST CERTIFY THAT ALL PLANT MATERIAL IS FREE OF PESTS AND DISEASE. THE CONTRACTOR MUST WARRANT ALL PLANT MATERIALS FOR HEALTH AND PROPER INSTALLATION FOR A PERIOD OF ONE YEAR AFTER INSTALLATION PER THEIR CONTRACT.
7. PLANT QUANTITIES SYMBOLICALLY SHOWN ON PLAN TAKE PRECEDENCE OVER WRITTEN INSTRUCTIONS. ALIGN AND PLACE ALL TREES AND SHRUBS PER THESE NOTES AND DRAWINGS.
8. EDGING SHALL BE TACKED IN PLACE WITH 1 FOOT EDGING STRAPS AT EACH 10' SECTION AND ONCE IN THE MIDDLE. DISTANCE BETWEEN STRAPS SHALL NOT EXCEED 5'.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH PLANT MATERIAL FREE OF PESTS OR DISEASE. PRE-SELECTED, "TAGGED" MATERIAL MUST BE INSPECTED BY THE LANDSCAPE DESIGNER PRIOR TO INSTALLATION. THE CONTRACTOR MUST CERTIFY THAT ALL PLANT MATERIAL IS FREE OF PESTS AND DISEASE. THE CONTRACTOR MUST WARRANT ALL PLANT MATERIALS FOR HEALTH AND PROPER INSTALLATION FOR A PERIOD OF ONE YEAR AFTER INSTALLATION PER THEIR CONTRACT.
10. ALL NEW TREES AND SHRUBS SHALL BE DRIP IRRIGATED UPON INSTALLATION. ALL PERENNIAL AREAS SHALL BE SPRAY IRRIGATED. A PERMANENT IRRIGATION SYSTEM IS REQUIRED.
11. ALL TREE AND SHRUB SYMBOLS USED ARE REFLECTIVE OF PLANT SIZE IN 10-12 YEARS.
12. ALL PLANT MATERIAL SHALL MEET OR EXCEED CURRENT AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1 AND THE COLORADO NURSERY ACT AND ACCOMPANYING RULES AND REGULATIONS.

SEED MIX:

NATIVE GRASS SEED	% OF MIX	PLS
MOUNTAIN BROME GRASS, BROMAR	20%	10.0
CANADA BLUEGRASS, TALON	5%	2.5
BIG BLUEGRASS, SHERMAN	5%	5.0
SHEEP FESCUE, COVAR	10%	5.0
SLENDER WHEATGRASS	20%	10.0
PUBESCENT WHEATGRASS, LUNA	25%	12.5
CICER MILKVETCH	2%	1.0
ANNUAL RYEGRASS, GULF	5%	2.5
WOODS ROSE	8%	4.0
TOTAL	100%	55PLS

NATIVE WILDFLOWER SEED	% OF MIX	PLS
CORNFLOWER	10%	5.0
AFRICAN DAISY	10%	5.0
BLACK-EYED SUSAN	10%	5.0
BABY'S BREATH	10%	5.0
BLUE FLAX	5%	2.5
SWEET ALYSSUM	5%	2.5
CALIFORNIA POPPY	5%	2.5
WALL FLOWER, SIBERIAN	5%	2.5
PLAINS CONEFLOWER	5%	2.5
GARLAND DAISY	4%	2.0
PERENNIAL GAILLARDIA	4%	2.0
ANNUAL GAILLARDIA	3%	1.5
EVENING PRIMROSE	3%	1.5
SWEET WILLIAM, PINK	3%	1.5
SHASTA DAISY	3%	1.5
CORN POPPY	2%	1.0
CATCHFLY	2%	1.0
ROCKY MT. PENSTEMON	2%	1.0
SPIRURED SNAPDRAGON	2%	1.0
PURPLE CONEFLOWER	2%	1.0
TOTAL	100%	55PLS

*SOW @ 3 LBS/1000 SF
*SLOPES OVER 3:1 SHALL BE HAYED AND TACKIFIED OR NETTED.

PLANTING SCHEDULE:

SYMBOL	Code	Common Name	Scientific Name	SIZE	QTY
	EVERGREEN				
	LP	LODGEPOLE, PINE	PINUS CONTORTA	MIX OF 6-10' HT	5
	DECIDUOUS				
	CHC	CHOKECHERRY, SHUBERT	PRUNUS VIRGINIANA	2" CAL	1
	ASP	ASPEN, QUAKING - CLUMP	POPULUS TREMULOIDES	2.5" CAL	8
	EVERGREEN				
	BUF	JUNIPER, BUFFALO	JUNIPERUS SABINA 'BUFFALO'	#5	5
	MWS	PINE, MUGO, WINTER SUN	PINUS MUGHO 'WINTERSONNE'	#6	6
	GBS	SPRUCE, GLOBE	PICEA PUNGENS 'GLOBOSA'	#5	2
	DECIDUOUS				
	ALP	ALPINE, GREEN MOUND	RIBES ALPINUM	#5	11
	PT	POTENTILLA, JACKMAN	P. FRUTICOSA 'JACKMANII'	#5	9
	DGW	DOGWOOD, RED TWIG	CORNUS SERVECIA	#5	6
	SB	SNOWBERRY, MOUNTAIN	SYMPHORICARPOS OREOPHILUS	#5	3
	WIL	WILLOW, COYOTE	SALIX EXIGUA	#5	3
	PERENNIAL				
	BA	GRASS, BLUE AVENA	HELICOTRICHON SEMPERVIRENS #1		3

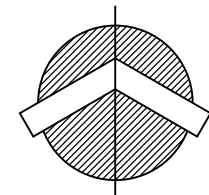
REFERENCE SCHEDULE:

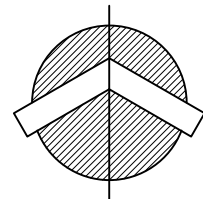
SYMBOL	MATERIAL
	REVEGETATION, NATIVE GRASS & WILDFLOWER SEED
	WALK, BUFF FLAGSTONE
	GRAVEL, 3/4" GRAY GRANITE
	MULCH, CASCADE BROWN
	GRANITE BOULDERS LARGE SMALL
	EDGER, RYERSON GREEN METAL
	CONTOURS, EX. POST BUILDER
	CONTOURS, PROPOSED
	ROTOR LINE

IRRIGATION:

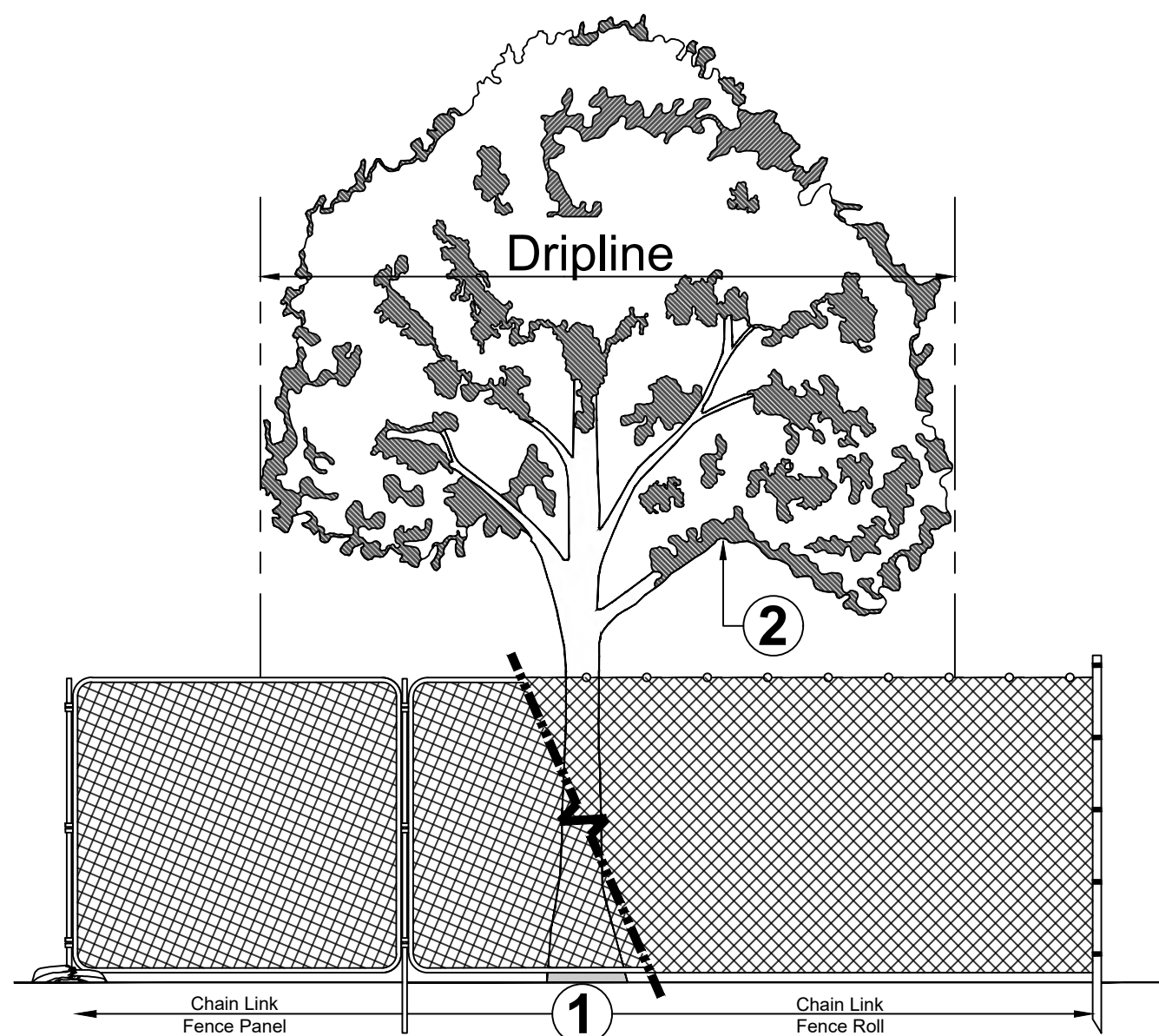
IN ORDER TO COMPLY WITH TOWN OF WINTER PARK CODE, ONLY A TEMPORARY 2-YEAR IRRIGATION SYSTEM WILL BE INSTALLED IN ORDER TO GET NEW VEGETATION FIRMLY ESTABLISHED.

DRIP IRRIGATION INSTALL IN ALL PLANT BEDS.
ROTOR ZONE INSTALL FOR NATIVE & WILDFLOWER SEED.





LANDSCAPE
DETAILS



Area 1: Tree Protection Zone and Critical Root Zone Protection

The Tree Protection Zone (TPZ) shall be equal to dripline or 1.5 feet radially from the tree for every one inch of trunk diameter at breast height (DBH = 4.5' above soil line), whichever is greater.

A. Min 6' in height steel chain link fence is required unless otherwise approved. Steel chain link fence panels or rolls are acceptable.

1. When chain link panels are installed, anchor to ground or weight with sandbags to hold panels in place.
2. When chain link rolls are installed, it shall be fastened to heavy duty steel posts with safety caps at minimum five (5) attachment points with 12-gauge wire, including points at top and bottom. Weave wire through top of roll to eliminate sag.
3. Posts shall be driven 2' to 3' below grade and spaced at max. five to ten foot (5' - 10') o.c. intervals. Fencing must be kept taut at all times.
4. "Tree Protection Zone" signs shall be placed one (1) per each tree protection zone minimum or more; maintain in the location and condition in which approved.
5. TPZ, including signage, shall be maintained in the location and condition in which approved.
6. Trunk protection may be required and shall be installed at the direction of the Town of Winter Park.

Area 2: Canopy Protection

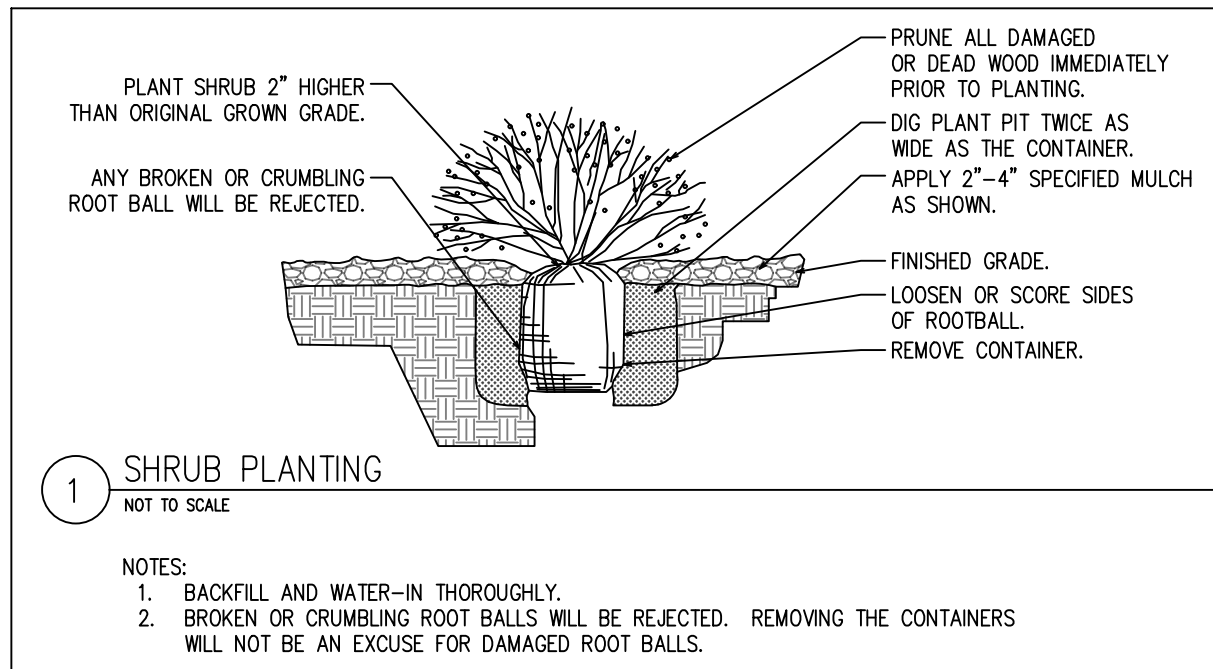
Contact if potential for damage exists and/or if pruning is needed for any clearance issues prior to performing work.

Notes

1. Tree Retention and Protection Specifications shall be followed throughout duration of work.
2. After TPZ is approved:
 - A. TPZ shall not be resized, modified, removed, or altered in any manner without prior written approval. TPZ shall be maintained in place as approved until removal is authorized.
 - B. Entrance/access to the TPZ is not permitted without prior written approval.
 - C. No materials, debris, equipment, or site amenities shall be stored within the TPZ without prior written approval.
3. While TPZ fencing is in place, trees shall be deep-root watered at an interval of once every two weeks when temperatures are at or above 40 degrees F. Trees shall be watered at the rate of twenty-five (25) gallons per inch DBH.
4. Violation of TPZ or damage to protected trees is subject to penalty per Town Ordinance.

1 TREE PROTECTION ZONE
NOT TO SCALE

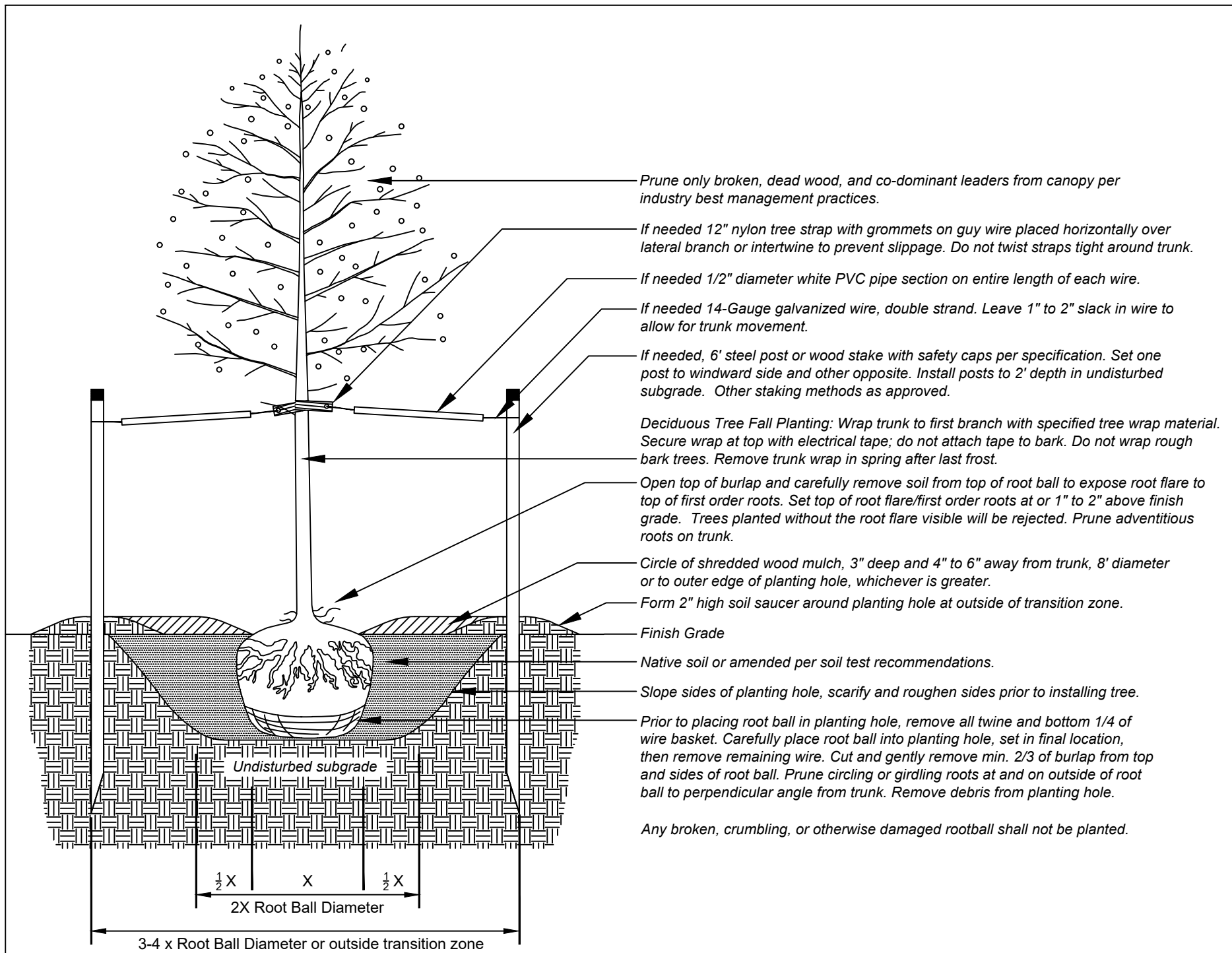
*NO TREES ON SITE REMAIN, NO TREES WILL NEED PROTECTION



1 SHRUB PLANTING
NOT TO SCALE

NOTES:

1. BACKFILL AND WATER-IN THOROUGHLY.
2. BROKEN OR CRUMBLING ROOT BALLS WILL BE REJECTED. REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE FOR DAMAGED ROOT BALLS.



1 TREE PLANTING DETAIL
NOT TO SCALE

Bufferyard Tabulation

Tabulation of required bufferyard types per property line and list of proposed plantings proposed per property line. See Sec. 3-I-5, *Bufferyards*, for requirements.

	Evergreen Trees Required	Evergreen Trees Provided	Deciduous Trees Required	Deciduous Trees Provided	Shrubs Required	Shrubs Provided	Berm Height	Deficiency (if any)
N Boundary Length: <u>109</u> linear feet Adjacent properties are zoned: _____ Bufferyard Type: A B C D (circle one)	2	3	2	4	NA	9	NA	
S Boundary Length: <u>109</u> linear feet Adjacent properties are zoned: _____ Bufferyard Type: A B C D (circle one)	2	1 *	2	3		9		*4 TREES TOTAL - 1 EXTRA DECIDUOUS TREE PROVIDED TO SUB IN PLACE OF 1 EVERGREEN
E Boundary Length: <u>89</u> linear feet Adjacent properties are zoned: _____ Bufferyard Type: A B C D (circle one)	2	2	2	2		9		
W Boundary Length: <u>65</u> linear feet Adjacent properties are zoned: _____ Bufferyard Type: A B C D (circle one)	2	1	2	3	↓	18	↓	BUFFERYARD MIN. BASED ON 100' LOT LINES, TOTAL OF 3X TREES NEEDED TO ACCOUNT FOR 65' LOT LINES, 4 TOTAL PROVIDED

Outdoor Lighting Tabulation

See Article 3.K, *Outdoor Lighting*, for requirements. Ensure each fixture's cut sheet contains the International Dark Sky Association (IDA) Approval Symbol.

Fixture Name	Proposed # of Fixtures	Proposed Lumens per Fixture	Proposed Correlated Color Temperature (in degrees Kelvin)



July 16, 2025

Nicole O'Neill
Sheffield Homes
6777 Wadsworth Blvd.
Arvada, CO 80003

**Re: Roam - Lot 3
 Single Family Design Review Application**

Nicole,

The Roam Design Review Committee has reviewed the updated Lot 3 Construction Document Design Review submittal dated July 11, 2025, and July 15, 2025.

This submittal included:

- Final Site Plan
- Final Grading Plan
- Final Elevations
- Landscape Plan
- Lighting Plan
- Materials Board

These documents were reviewed and are consistent with the Roam Design Standards and Guidelines. The Roam Design Review Committee approves the application. All construction practices shall be utilized as outlined in the Design Standards and Guidelines.

Sincerely,

Roam Design Review Committee

Jeffrey Vogel, AICP
Chair